

FOR SALE  
CONTROLLED-ENVIRONMENT AGRICULTURAL & RESEARCH FACILITY  
4076 HAYWOOD ROAD  
MILLS RIVER, NC 28759



Dewey Property Advisors

**NAITRI** PROPERTIES

# PROPERTY OVERVIEW

Strategically positioned along a highly traveled corridor, 4076 Haywood Road offers a compelling opportunity to acquire a versatile commercial property in the heart of Mills River — one of Western North Carolina's fastest-growing business markets. The site provides excellent visibility, easy access to regional transportation routes, and proximity to Asheville Regional Airport, making it ideal for owner-users or investors seeking long-term upside.

## ADDRESS

4076 Haywood Road, Mills River, NC 28759

## BUILDING SIZES

Office Building- 4,986 SF

Greenhouse- 65,534 SF

Flex/Lab Building- 9,600 SF

Total Improved Square Footage- 80,120 SF

Office and Greenhouse- 1999

Flex/Lab Building- 2025

## YEAR BUILT

## ACREAGE

8.904 acres

## PURCHASE PRICE

\$8,995,000 (\$112.27/SF)

## ZONING

MR-NC

## FEATURES

- State of the art, turnkey greenhouse facility
- Newly built flex building with fully built out agricultural lab, grow rows, conference room, and a large breakroom
- Property can support research, wholesale, and retail operations
- High visibility on Haywood Road
- Additional acreage provides future additional development
- Ample paved parking

## CONTACT

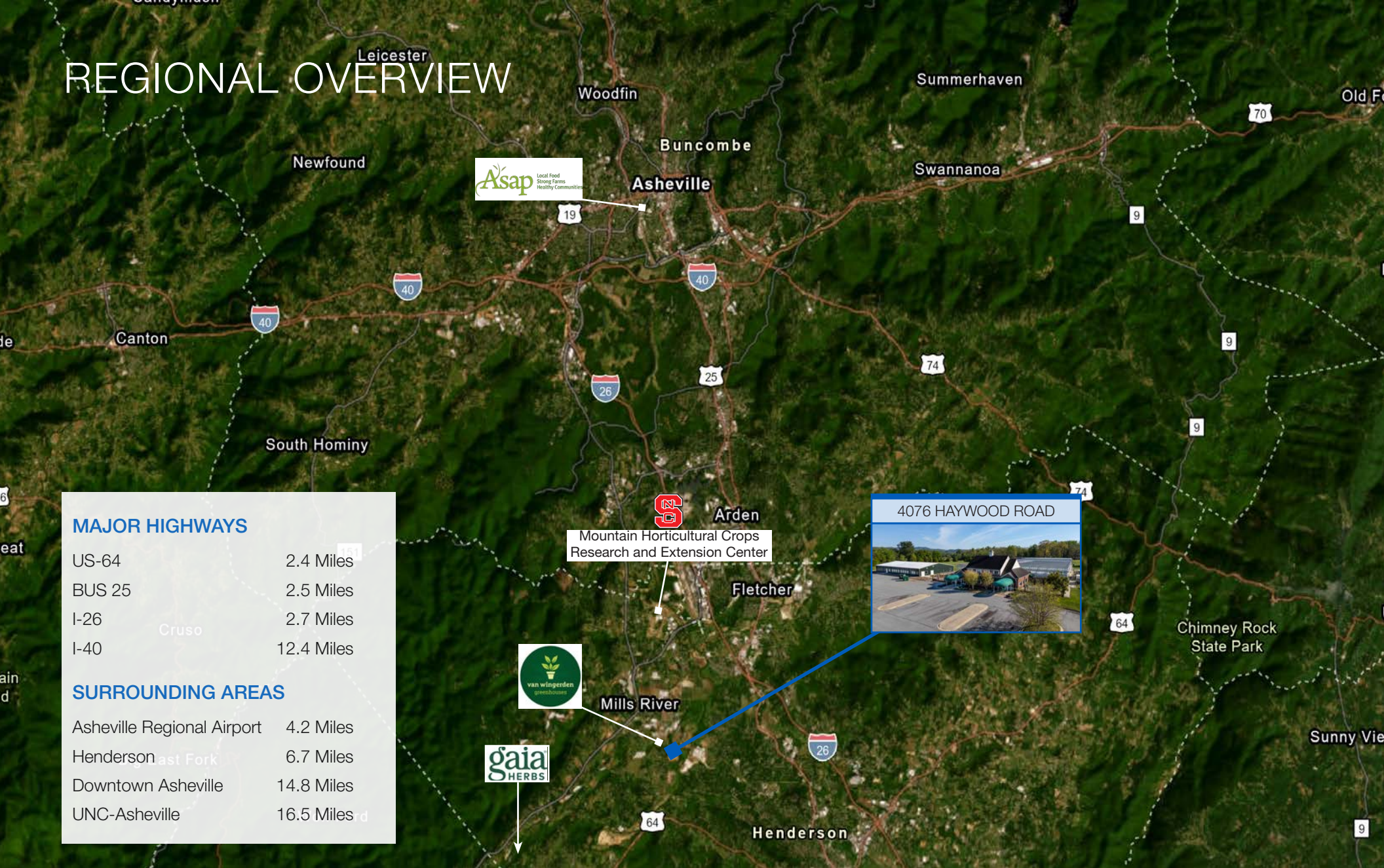
TIM BRAMLEY, CCIM, SIOR | 828.548.0090 | tim.bramley@deweypa.com

RYAN GAYLORD, CCIM, SIOR | 919.491.8722 | rgaylord@triprop.com

PAXTON MASSARELLI | 919.271.8040 | pmassarelli@triprop.com



# REGIONAL OVERVIEW



**MAJOR HIGHWAYS**

US-64	2.4 Miles
BUS 25	2.5 Miles
I-26	2.7 Miles
I-40	12.4 Miles

**SURROUNDING AREAS**

Asheville Regional Airport	4.2 Miles
Henderson East Fork	6.7 Miles
Downtown Asheville	14.8 Miles
UNC-Asheville	16.5 Miles



**CONTACT**

TIM BRAMLEY, CCIM, SIOR | 828.548.0090 | tim.bramley@deweypa.com  
 RYAN GAYLORD, CCIM, SIOR | 919.491.8722 | rgaylord@triprop.com  
 PAXTON MASSARELLI | 919.271.8040 | pmassarelli@triprop.com

All information provided herein is from sources deemed reliable. However, all information is subject to verification. NAI Tri Properties does not independently verify nor warrant the accuracy of the information.



# AERIAL



## CONTACT

TIM BRAMLEY, CCIM, SIOR | 828.548.0090 | [tim.bramley@deweypa.com](mailto:tim.bramley@deweypa.com)

RYAN GAYLORD, CCIM, SIOR | 919.491.8722 | [rgaylord@triprop.com](mailto:rgaylord@triprop.com)

PAXTON MASSARELLI | 919.271.8040 | [pmassarelli@triprop.com](mailto:pmassarelli@triprop.com)

All information provided herein is from sources deemed reliable. However, all information is subject to verification. NAI Tri Properties does not independently verify nor warrant the accuracy of the information.





## CONTACT

TIM BRAMLEY, CCIM, SIOR | 828.548.0090 | [tim.bramley@deweypa.com](mailto:tim.bramley@deweypa.com)

RYAN GAYLORD, CCIM, SIOR | 919.491.8722 | [rgaylord@triprop.com](mailto:rgaylord@triprop.com)

PAXTON MASSARELLI | 919.271.8040 | [pmassarelli@triprop.com](mailto:pmassarelli@triprop.com)

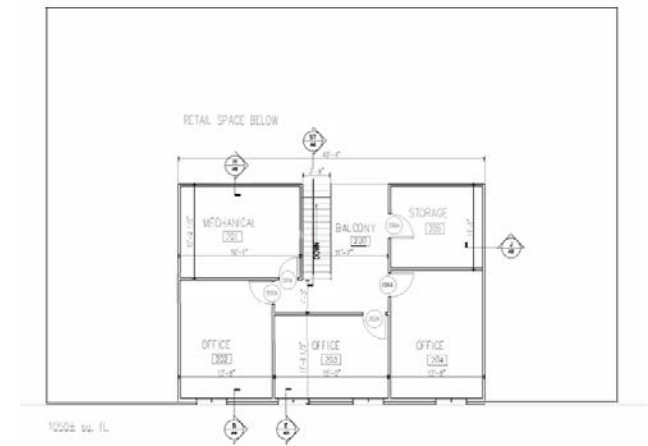
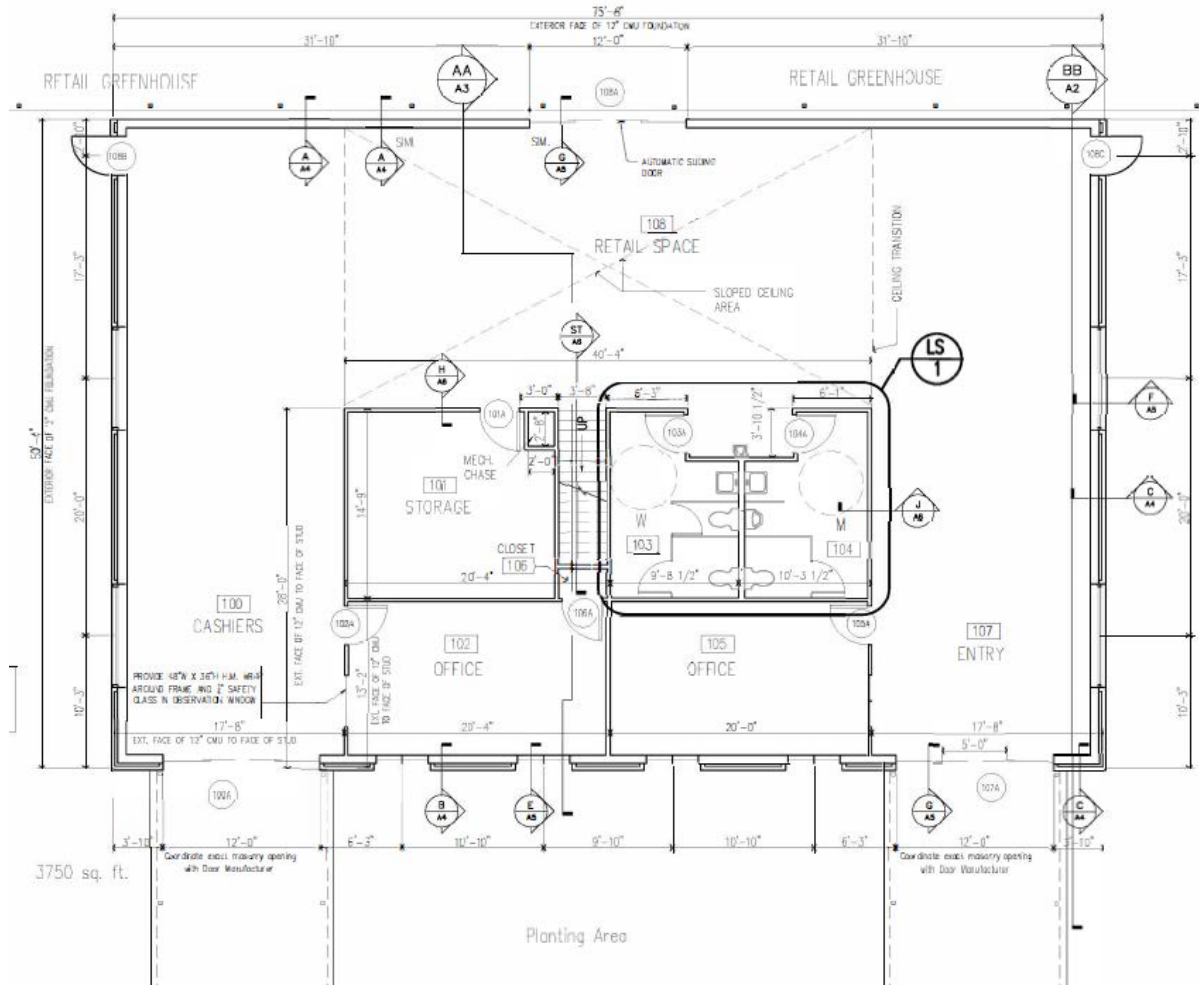
All information provided herein is from sources deemed reliable. However, all information is subject to verification. NAI Tri Properties does not independently verify nor warrant the accuracy of the information.



**NAI TRI PROPERTIES**

# FLOOR PLAN- OFFICE BUILDING

## MAIN FLOOR



## SECOND FLOOR MEZZANINE

### CONTACT

TIM BRAMLEY, CCIM, SIOR | 828.548.0090 | tim.bramley@deweypa.com

RYAN GAYLORD, CCIM, SIOR | 919.491.8722 | rgaylord@triprop.com

PAXTON MASSARELLI | 919.271.8040 | pmassarelli@triprop.com

All information provided herein is from sources deemed reliable. However, all information is subject to verification. NAI Tri Properties does not independently verify nor warrant the accuracy of the information.



# INTERIOR PHOTOS- OFFICE BUILDING



## CONTACT

TIM BRAMLEY, CCIM, SIOR | 828.548.0090 | [tim.bramley@deweypa.com](mailto:tim.bramley@deweypa.com)

RYAN GAYLORD, CCIM, SIOR | 919.491.8722 | [rgaylord@triprop.com](mailto:rgaylord@triprop.com)

PAXTON MASSARELLI | 919.271.8040 | [pmassarelli@triprop.com](mailto:pmassarelli@triprop.com)

All information provided herein is from sources deemed reliable. However, all information is subject to verification. NAI Tri Properties does not independently verify nor warrant the accuracy of the information.



# INTERIOR PHOTOS- GREENHOUSE



## CONTACT

TIM BRAMLEY, CCIM, SIOR | 828.548.0090 | [tim.bramley@deweypa.com](mailto:tim.bramley@deweypa.com)

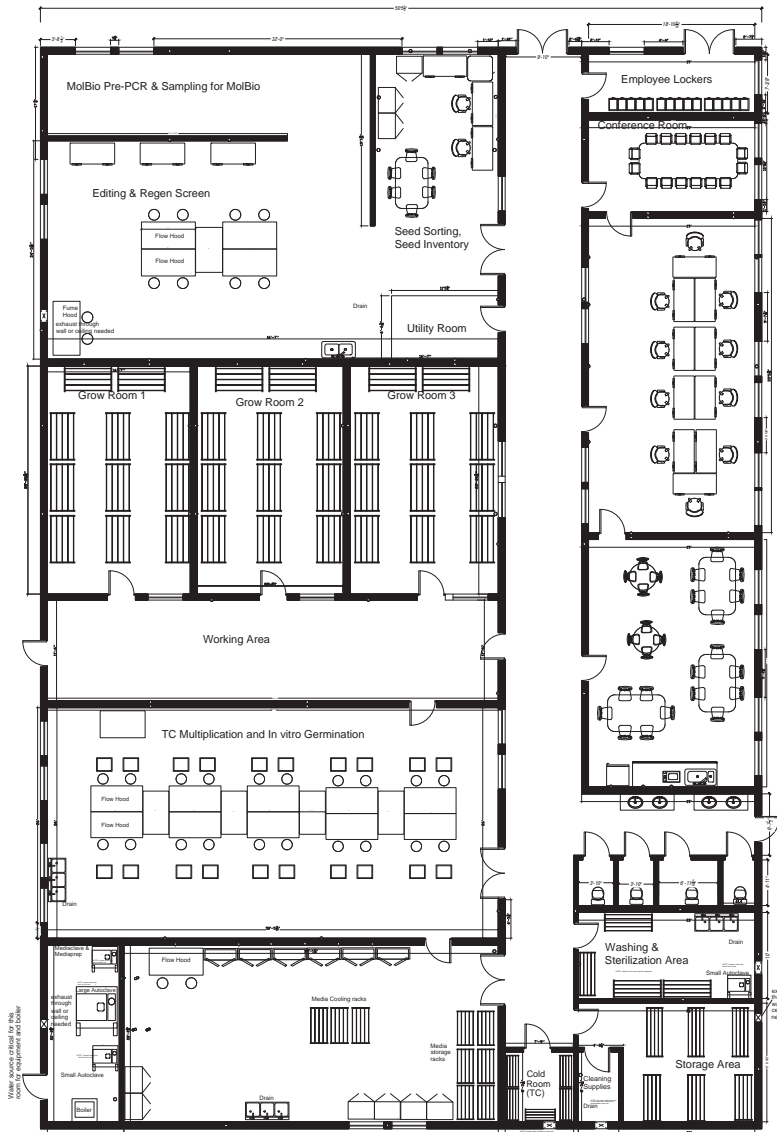
RYAN GAYLORD, CCIM, SIOR | 919.491.8722 | [rgaylord@triprop.com](mailto:rgaylord@triprop.com)

PAXTON MASSARELLI | 919.271.8040 | [pmassarelli@triprop.com](mailto:pmassarelli@triprop.com)

All information provided herein is from sources deemed reliable. However, all information is subject to verification. NAI Tri Properties does not independently verify nor warrant the accuracy of the information.



# FLOOR PLAN- FLEX/LAB BUILDING



\*Furniture not included

## CONTACT

TIM BRAMLEY, CCIM, SIOR | 828.548.0090 | tim.bramley@deweypa.com

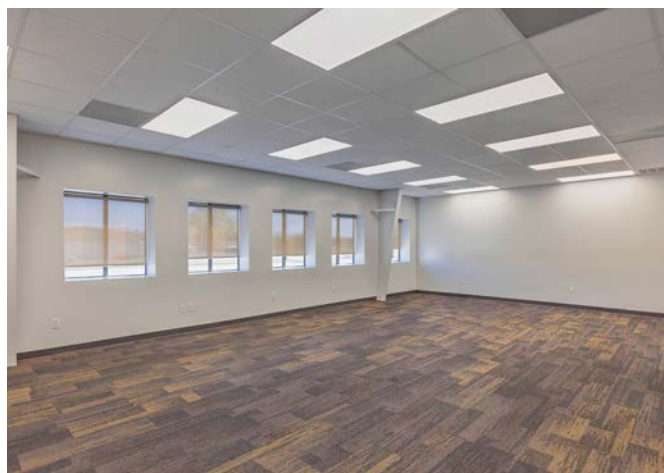
RYAN GAYLORD, CCIM, SIOR | 919.491.8722 | rgaylord@triprop.com

PAXTON MASSARELLI | 919.271.8040 | pmassarelli@triprop.com

All information provided herein is from sources deemed reliable. However, all information is subject to verification. NAI Tri Properties does not independently verify nor warrant the accuracy of the information.



# INTERIOR PHOTOS- FLEX/LAB BUILDING



## CONTACT

TIM BRAMLEY, CCIM, SIOR | 828.548.0090 | [tim.bramley@deweypa.com](mailto:tim.bramley@deweypa.com)

RYAN GAYLORD, CCIM, SIOR | 919.491.8722 | [rgaylord@triprop.com](mailto:rgaylord@triprop.com)

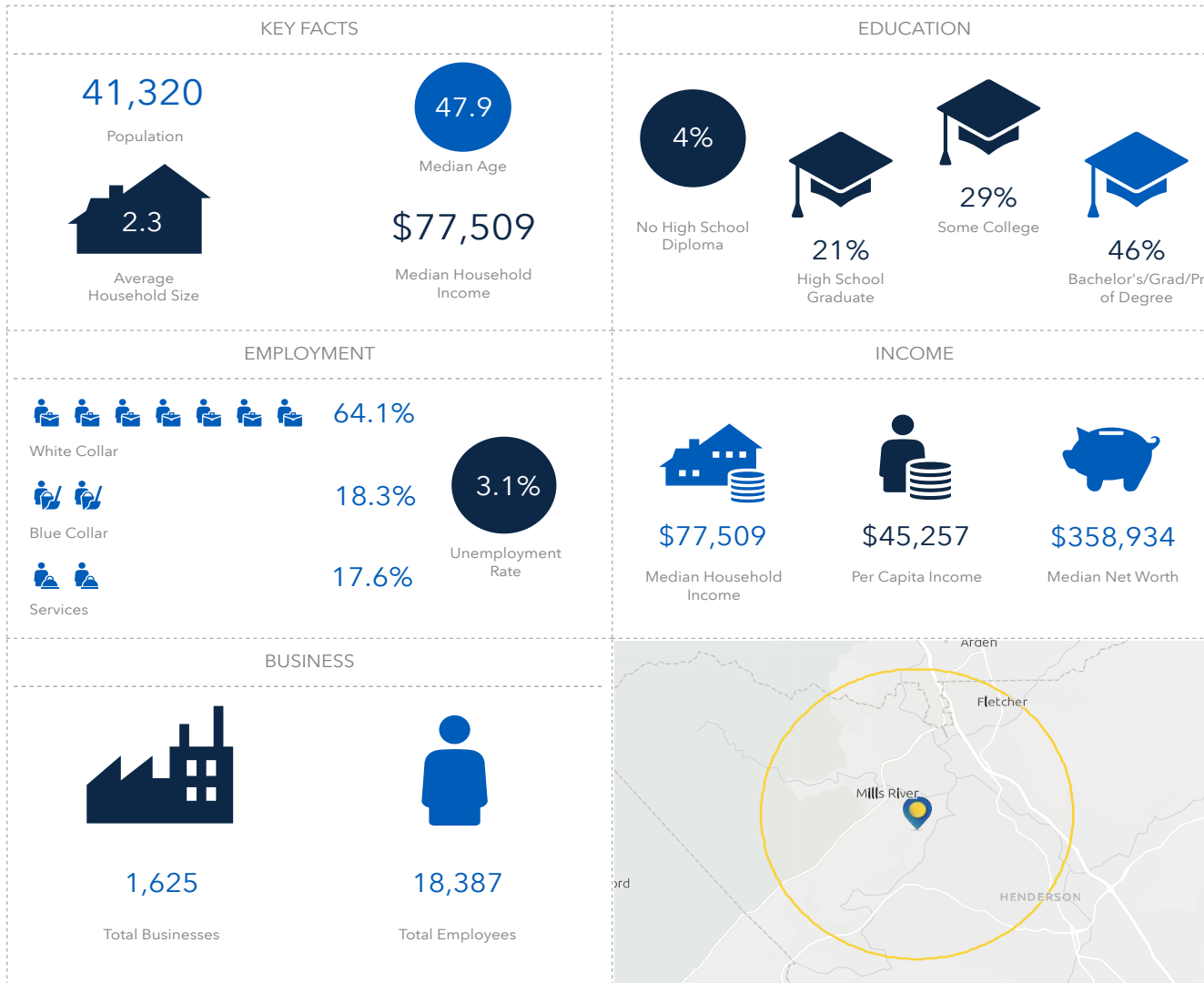
PAXTON MASSARELLI | 919.271.8040 | [pmassarelli@triprop.com](mailto:pmassarelli@triprop.com)

All information provided herein is from sources deemed reliable. However, all information is subject to verification. NAI Tri Properties does not independently verify nor warrant the accuracy of the information.



# DEMOGRAPHICS

## 5 MILE RADIUS



### CONTACT

TIM BRAMLEY, CCIM, SIOR | 828.548.0090 | tim.bramley@deweypa.com

RYAN GAYLORD, CCIM, SIOR | 919.491.8722 | rgaylord@triprop.com

PAXTON MASSARELLI | 919.271.8040 | pmassarelli@triprop.com

All information provided herein is from sources deemed reliable. However, all information is subject to verification. NAI Tri Properties does not independently verify nor warrant the accuracy of the information.



Contacts:

TIM BRAMLEY, CCIM, SIOR  
828.548.0090  
tim.bramley@deweypa.com



RYAN GAYLORD  
919.491.8722  
rgaylord@triprop.com

PAXTON MASSARELLI  
919.271.8040  
pmassarelli@triprop.com



PETER CONTE  
415.489.1844  
peter.conte@transwestern.com



NO WARRANTY OR REPRESENTATION, EXPRESS OR IMPLIED, IS MADE AS TO THE ACCURACY OF THE INFORMATION CONTAINED HEREIN, AND THE SAME IS SUBMITTED SUBJECT TO ERRORS, OMISSIONS, CHANGE OF PRICE, RENTAL OR OTHER CONDITIONS, PRIOR SALE, LEASE OR FINANCING, OR WITHDRAWAL WITHOUT NOTICE, AND OF ANY SPECIAL LISTING CONDITIONS IMPOSED BY OUR PRINCIPALS NO WARRANTIES OR REPRESENTATIONS ARE MADE AS TO THE CONDITION OF THE PROPERTY OR ANY HAZARDS CONTAINED THEREIN ARE ANY TO BE IMPLIED.

