

KING STREET WEST

ENTRANCE

15.24

Asphalt

P1

P2

P3

36.55

Asphalt

4.96

Concrete Path

Existing Patio

Up

Proposed Fire Escape & Rear 2nd Floor Deck

2.7

3.69

Extent of existing Balcony

2.7

15.24

EXISTING 2-STOREY MIXED USE C5a BUILDING

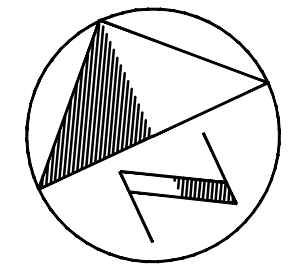
1.65

1.83

36.55

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Marina Fensham, Owner thinkGiraffe Design has reviewed and taken responsibility for the design activities described in this drawing set under OBC 2.17.4.7 f (ii) BCIN: 21574 / 116364



MARCH 5, 2024: ISSUE FOR PERMIT

REMARKS	DATE	NO.
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REVISIONS

thinkGiraffe
ENVIRONMENTAL DESIGN

16 Sulphur Springs Road,
Ancaster, ON, L9G 1L8

905 304 1496
thinkgiraffe@bellnet.ca

PROJECT

Mixed Use Medical / Residential Building
58 King Street West
Stoney Creek, ON

SHEET TITLE

Site Plan

FOLDER

DRAWN BY

FILE

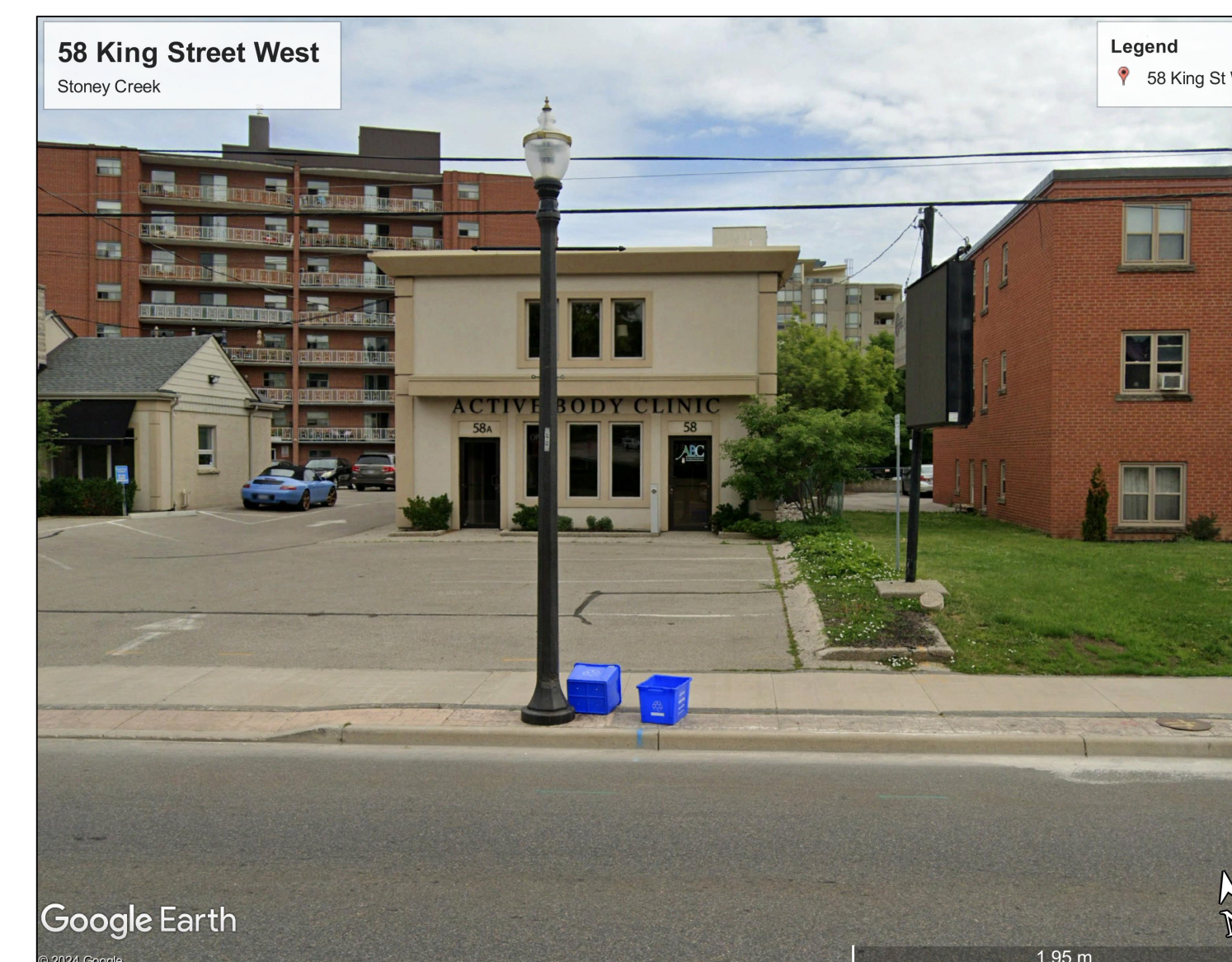
SCALE

DATE

NUMBER

A101

ONTARIO BUILDING CODE DATA MATRIX		OBC REFERENCE	
PROJECT DESCRIPTION: Alterations to Mixed Use Medical / Residential Building New Rear Exterior Fire Escape attached to 2nd Floor Amenity Deck		<input type="checkbox"/> NEW <input type="checkbox"/> ADDITION <input checked="" type="checkbox"/> ALTERATION <input type="checkbox"/> CHANGE OF USE	<input type="checkbox"/> PART 3 <input checked="" type="checkbox"/> PART 9
MAJOR OCCUPANCY(S)	D - PERSONAL SERVICES		
BUILDING AREA (m ²)	EXISTING 168.7 m ² NEW 0 m ² TOTAL 168.7 m ²		
GROSS AREA	EXISTING 335 m ² NEW 0 m ² TOTAL 335 m ²		
NUMBER OF STOREYS	Two		
HEIGHT OF BUILDING (m)	6.3 m ²		
NUMBER OF STREETS/ACCESS ROUTES	One		
BUILDING CLASSIFICATION		3.2.2.47.	
SPRINKLER SYSTEM PROPOSED	<input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> BASEMENT ONLY <input type="checkbox"/> IN LIEU OF ROOF RATING <input checked="" type="checkbox"/> NOT REQUIRED		
STANDPIPE REQUIRED	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		
FIRE ALARM REQUIRED	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		9.10.18.2.(1)
WATER SERVICE SUPPLY IS ADEQUATE	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO		
HIGH BUILDING	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		3.2.6.
CONSTRUCTION RESTRICTIONS	COMBUSTIBLE OR NON-COMBUSTIBLE PERMITTED		3.2.2.47.
MEZZANINE(S) AREA m ²	N/A		
TOTAL OCCUPANCY LOAD	Nine (Main Floor) Seven (2nd Floor)		
BASED ON	<input type="checkbox"/> m ² /PERSON <input checked="" type="checkbox"/> DESIGN OF BUILDING		9.9.1.3.(1)(a)
BARRIER-FREE DESIGN	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		3.8.1.1(a)
HAZARDOUS SUBSTANCES	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		
REQUIRED FIRE RESISTANCE RATING (FRR)	HORIZONTAL ASSEMBLIES FRR (HOURS) FLOORS 1HR ROOF 45 Min MEZZANINE N/A VERTICAL ASSEMBLIES FRR (HOURS) Walls 45 Min	LISTED DESIGN NO. OR DESCRIPTION	
OTHER	1. FIRE EXITS: A MINIMUM OF TWO EXITS ARE REQUIRED FROM 2nd FLOOR AREA NOT DIRECTLY CONNECTED TO MAIN FLOOR ENTRANCE Travel Distance < 25 m	OBC REFERENCE 3.4.2.1(a)	



CEILING SCHEDULE					
No.	LOCATION	Description			REMARKS
		INSULATED	RATING	STC	
C1	Main Floor Ceiling	N/A	1 HR	N/A	2x10@16" o/c Existing Floor Joists SB-2 Table 2.3.12 Fasten 2 Layers Sheetrock Type X 15.9mm Type X Core Gypsumboard to underside of Joists No penetrations allowed
C2	2nd Floor Ceiling		45 Min	N/A	SB-2 Table 2.3.12 Existing min 12.5mm Gypsum Sand Plaster Remains

DOOR SCHEDULE							
No.	OPENING SIZE	DOOR		FRAME		LABEL	REMARKS
		MATERIAL	FINISH	MATERIAL	FINISH		
D1	Unit Doors 34"x80" Interior Access	Solid Core	Paint	Wood	Paint	20m FR SWC	WITH SELF CLOSING DEVICE
D2	34"x 80" Exterior Swing Door	Insulated Metal	Paint	Metal	Paint	No Rating	Full Glass ALL EXTERIOR FIRE ESCAPE DOORS WITH PUSH BARS
D3	34"x 80" Swing Door	MDF	Paint	Wood	Paint		Interior Doors within Units
D4	36"x 80"	Metal	Paint	Metal	Paint	45m FR	Mechanical Room Door

WALL SCHEDULE					
No.	LOCATION	Description			REMARKS
		INSULATED	RATING	FINISH	
W1	Existing Exterior Walls	Min. R14	2 HR		Brick w/ Stucco
W2	Ex. Wood Stud walls		1 HR		SB3 - W1 (d) ADD 1 layer Type X 15.9mm Gypsumboard on EACH side.
W3	Partitions Not Rated				Partition Wall to Underside of Type X Ceiling Non Rated Gypsumboard on each side

- LEGEND:**
- ☼ Interconnected Smoke Alarms W/ VISUAL SIGNALS
CANULC S531
Install as per plan
- OBC 9.10.19.1 A Smoke Alarm shall be installed in each Dwelling Unit.
- 9.10.19.3 Smoke Alarms shall be installed by permanent connections with no disconnect switch
- 9.10.19.4 The activation of one alarm will cause all alarms to sound
- INSTALL SMOKE ALARMS IN ALL BEDROOMS
 - ☼ MECHANICAL EXHAUST FAN
 - ☼ EMERGENCY LIGHTING 3.2.7.2 (1)10lx at floor level (l)
 - HM = HOLLOW METAL
 - MET = METAL
 - P = PAINT
 - WHC = WOOD HOLLOW CORE
 - WSC = WOOD SOLID CORE

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PROJECT

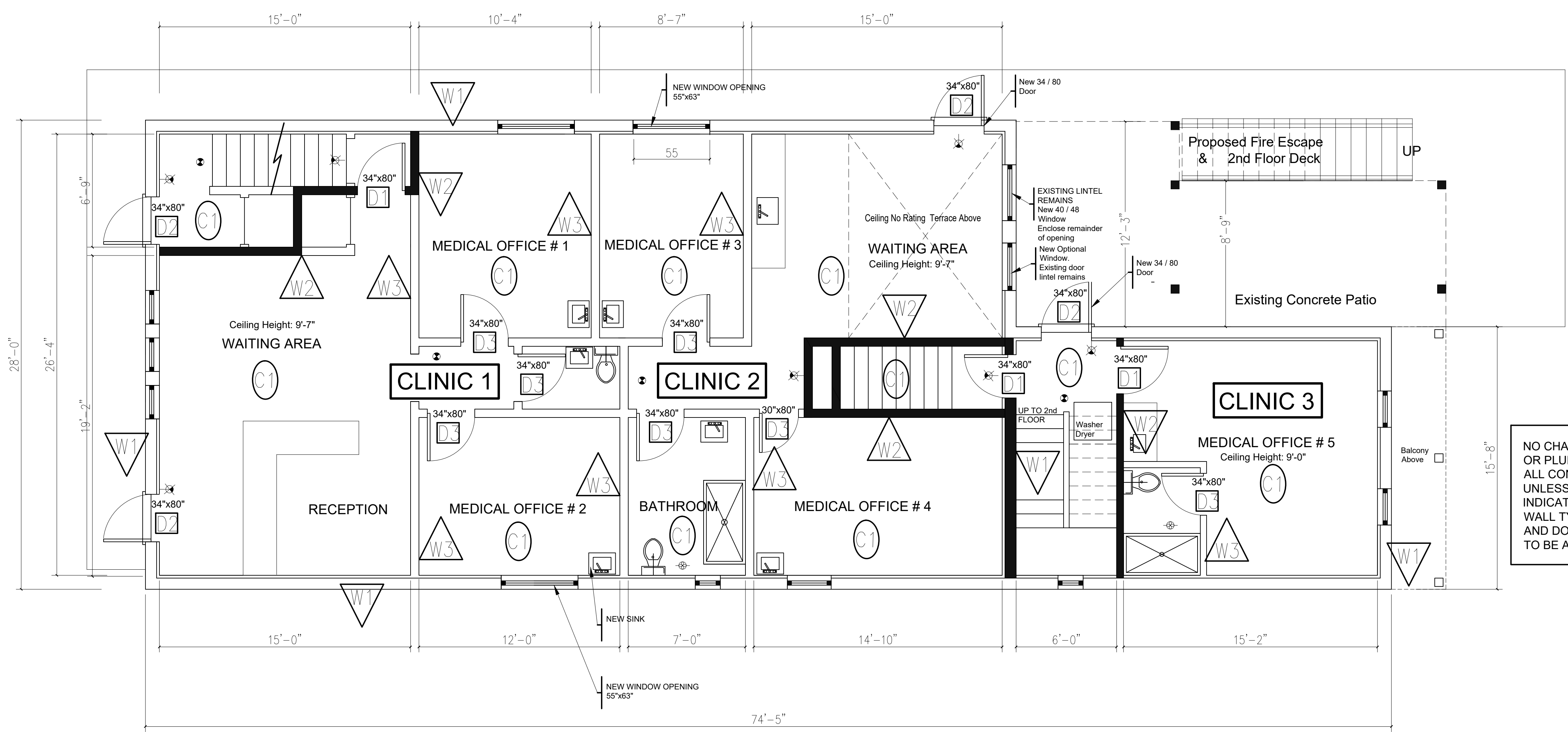
Mixed Use Medical / Residential Building
58 King Street West
Stoney Creek, ON

SHEET TITLE

MAIN FLOOR PLAN

FOLDER	DRAWN BY MLF
FILE	SCALE 1/8" = 1'-0"
DATE	NUMBER

A201



NO CHANGES TO ANY HVAC OR PLUMBING LOCATIONS. ALL CONSTRUCTION EXISTING UNLESS OTHERWISE INDICATED. CONFIRM ALL WALL TYPES, CEILING TYPES AND DOOR SPECIFICATIONS TO BE AS INDICATED

OBC 2012 9.8.7.1. Required Handrails

- (2) Where a stair or a ramp is required to be at least 2200mm wide due to the occupancy load, a handrail shall be installed such that no position on the stair or ramp is more than 825mm from a handrail
- (3) A handrail is not required for stairs and ramps serving a single dwelling unit, where,
 - (a) interior stairs have not more than two risers
 - (b) exterior stairs have not more than three risers, or
 - (c) ramps rise not more than 400mm
- (4) Only one handrail is required on exterior stairs having more than three risers, provided such stairs serve a single dwelling unit

OBC 2012 9.8.7.4. Height of Handrails

- (1) The Height of the handrails on stairs and ramps shall be measured vertically from the top of the handrail
 - (a) a straight line drawn tangent to the trend nosings of the stair served by the handrail, or
 - (b) the surface of the ramp, floor or landing served the handrail
- (2) Except as provided in Sentence (3) and (4), the height of handrails on stairs and ramps shall be,
 - (a) not less than 865mm, and
 - (b) not more than 965mm.
- (3) Where guards are required, handrails required on landings shall be not more than 1070mm in height
- (4) Handrails installed in addition to required handrails need not comply with Sentence (2).

OBC 2012 9.8.8.1. Required Guards

- (1)(a) there is a difference in elevation of more than 600mm between the walking surface and the adjacent surface, or
- (b) the adjacent surface within 1.2m from the walking surface has a slope of more than 1:2m
- (3) When an interior stair has more than two risers or an interior ramp rises more than 400mm, the sides of the stair or ramp and the landing or the floor level around the stairwell or ramp shall be protected by a guard on each side that is not protected by a wall

OBC 2012 9.8.8.3. Height of Guards

- (1) Except as provided in Sentence (2) to (6), all guards shall be not less than 1070mm high.
- (2) All guards within dwelling units shall be not less than 900mm high
- (3) Exterior guards serving not more than one dwelling unit shall be not less than 900mm high where the walking surface served by the guard is not more than 1800mm above the finished ground level.
- (4) Guards for flights of steps, except in required exit stairs be not less than 900mm high
- (5) Except as provided in Sentence (6), the height of guards shall be not less than,
 - (a) 900mm for required exit stairs, and
 - (b) 1070mm around landings
- (6) The height of guards stairs and landings shall be measured vertically from the top of the guard to
 - (a) a straight line drawn tangent to the trend nosings of the stair, or
 - (b) the surface of the landing

OBC 2012 9.8.9.4. Wooden Stair Stringers

- (1) Wooden stair stringers shall,
 - (a) have a minimum effective depth of 90mm, measured perpendicular to the bottom of the stringers at the point of minimum cross-section, and an overall depth of not less than 235mm.
 - (b) be supported and secured top and bottom
 - (c) be not less than 25mm actual thickness if supported along their length, and 38mm actual thickness if unsupported along their length, and
 - (d) except as permitted in Sentence (2), be spaced not more than 900mm o.c. stairs serving not more than one dwelling unit, and 600mm o.c. in other stairs.
- (2) For stairs serving not more than one dwelling unit, where risers support the front portion of the tread, the space between stringers shall be not more than 1200mm

OBC 2012 9.8.9.5. Treads

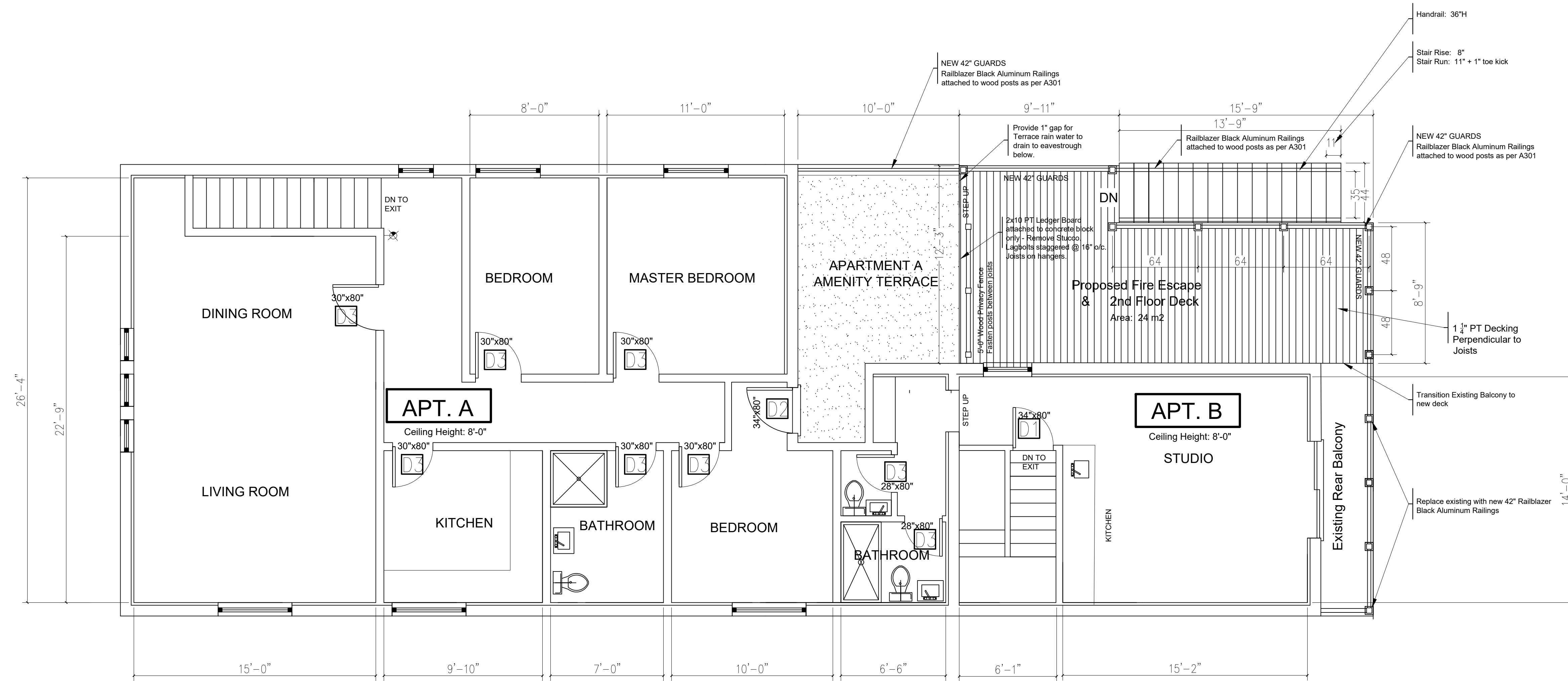
- (1) Stairs tread of lumber, plywood or 0-2 grade OSB within dwelling units shall be not less than 25mm actual thickness, except that if open risers are used and the distance between stringers exceeds 750mm, the treads shall be not less than 38mm actual thickness.
- (2) Stair tread of plywood or OSB, that are not continuously supported by the risers shall have their face grain or direction of face orientation at right angles to the stringers

OBC 2012 9.8.4.1
Rise, Run and Tread Depth for Rectangular Treads

Forming Part of Sentences 9.8.4.1.(1) and 9.8.4.2.(1)

Item	Column 1	Column 2	Column 3	Column 4	Column 5	Column 6	Column 7
		All Steps		Rectangular Treads		Tread Depth, mm	
		Rise, mm	Run, mm	Max.	Min.	Max.	Min.
1.	Service and Mezzanines in livework units	no limit	125	355	no limit	355	no limit
2.	Private	200	125	355	255	355	235
3.	Public	180	125	no limit	280	no limit	280

Fire Escape Rise & Run



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PROJECT
Mixed Use Medical / Residential Building
58 King Street West
Stoney Creek, ON

SHEET TITLE
2nd Floor Plan

FOLDER	DRAWN BY MLF
FILE	SCALE 1/8" = 1'-0"
DATE	NUMBER

A202

