



2201 JAMES BILBRAY DR LAS VEGAS, NV 89108

Hyde Real Estate

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PROPERTY SUMMARY

Offering Price	\$830,000.00
Building SqFt	3,976 SqFt
Lot Size (SF)	1,000.00 SqFt
Lot Size (acres)	0.02
Levels	2
Units	4.00
Year Built	1998
Subdivision Name	ROCK SPRINGS VISTA UNIT #11
County	Clark
Parcel ID / APN	138-23-124-071
Construction	FRAME

INVESTMENT SUMMARY

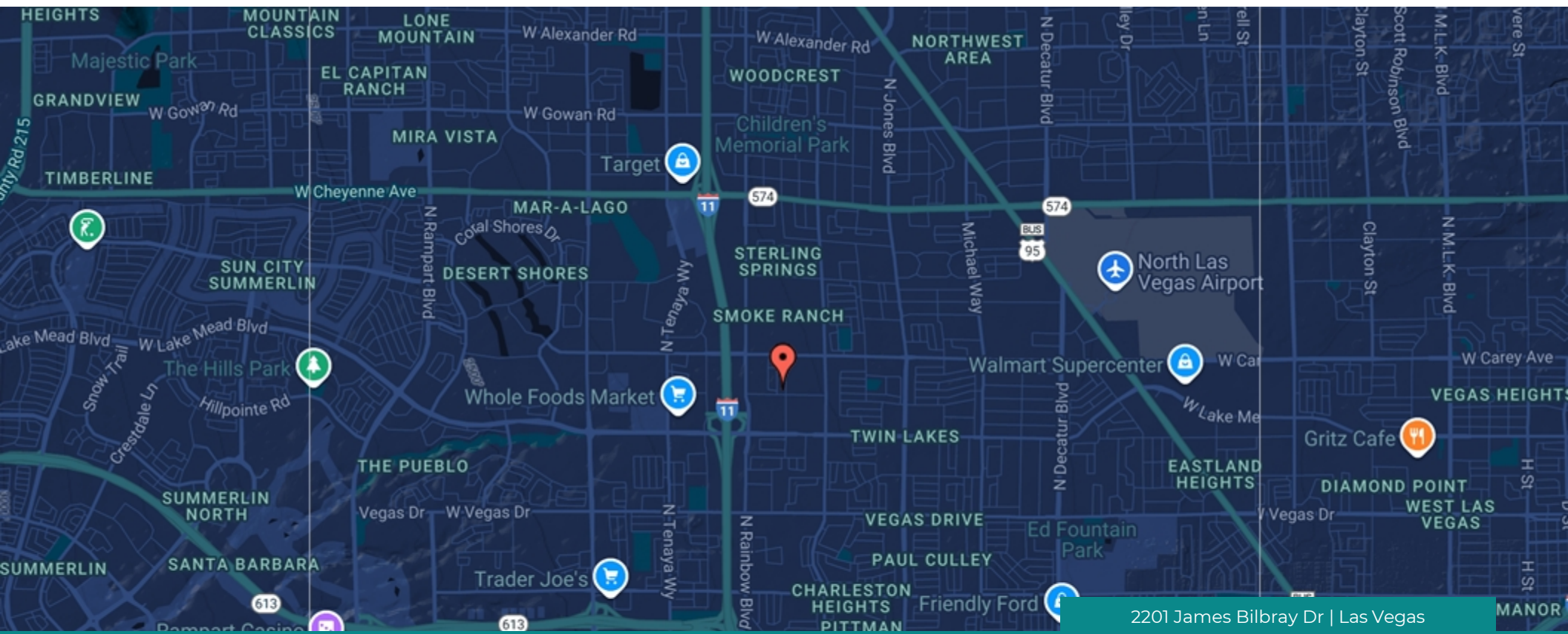
2201 James Bilbray presents a rare opportunity to acquire a Class A fourplex in one of Las Vegas's most desirable submarkets near Summerlin. Built in 1998, this well-maintained property features four spacious 2-bedroom, 2-bathroom units (960 SF each) with in-unit laundry, comfortable living rooms, and dedicated dining areas. The property is 100% occupied, offering immediate cash flow with tenant-paid electricity and gas, while water, sewer, and trash are covered by the HOA.

Situated in a palm-lined community with a resort-style pool and water features, and ideally located minutes from Whole Foods, Boca Park, and Mountain View Hospital, this asset delivers both stability and upside. With a 5.74% proforma cap rate, 2201 James Bilbray is a turnkey investment that caters to the growing demand for quality rental housing in Northwest Las Vegas.



INVESTMENT HIGHLIGHTS

- Prime Location: Northwest Las Vegas near Summerlin; close to high-end retail, dining, and medical facilities.
- Class A Construction: Built in 1998 with stucco exteriors and modern layouts.
- Unit Mix: (4) 2-Bed / 2-Bath units, 960 SF each – all with in-unit laundry.
- Strong Occupancy: Fully leased; tenant-paid power and gas reduce landlord expenses.
- HOA Benefits: Covers water, sewer, and trash – easing operational management.
- Community Amenities: Palm-lined streets, resort-style pool with water features.
- Attractive Returns: 5.74% proforma cap rate in a high-demand rental market.





LOCATION HIGHLIGHTS

- **Prime Northwest Las Vegas Location** – Minutes from the sought-after Summerlin community.
- **Excellent Connectivity** – Easy access to US-95 for quick commutes to Downtown Las Vegas and the Strip.
- **Retail & Dining Convenience** – Near Boca Park, Downtown Summerlin, and Whole Foods Market.
- **Healthcare Access** – Less than 5 minutes from Mountain View Hospital.
- **Lifestyle Amenities** – Surrounded by parks, walking trails, and golf courses.
- **Appealing Neighborhood Setting** – Quiet, palm-lined streets with a community pool.
- **Strong Market Fundamentals** – Located in a high-growth area with rising rental demand and stable occupancy rates.

3 MILE RADIUS



POPULATION
195,692



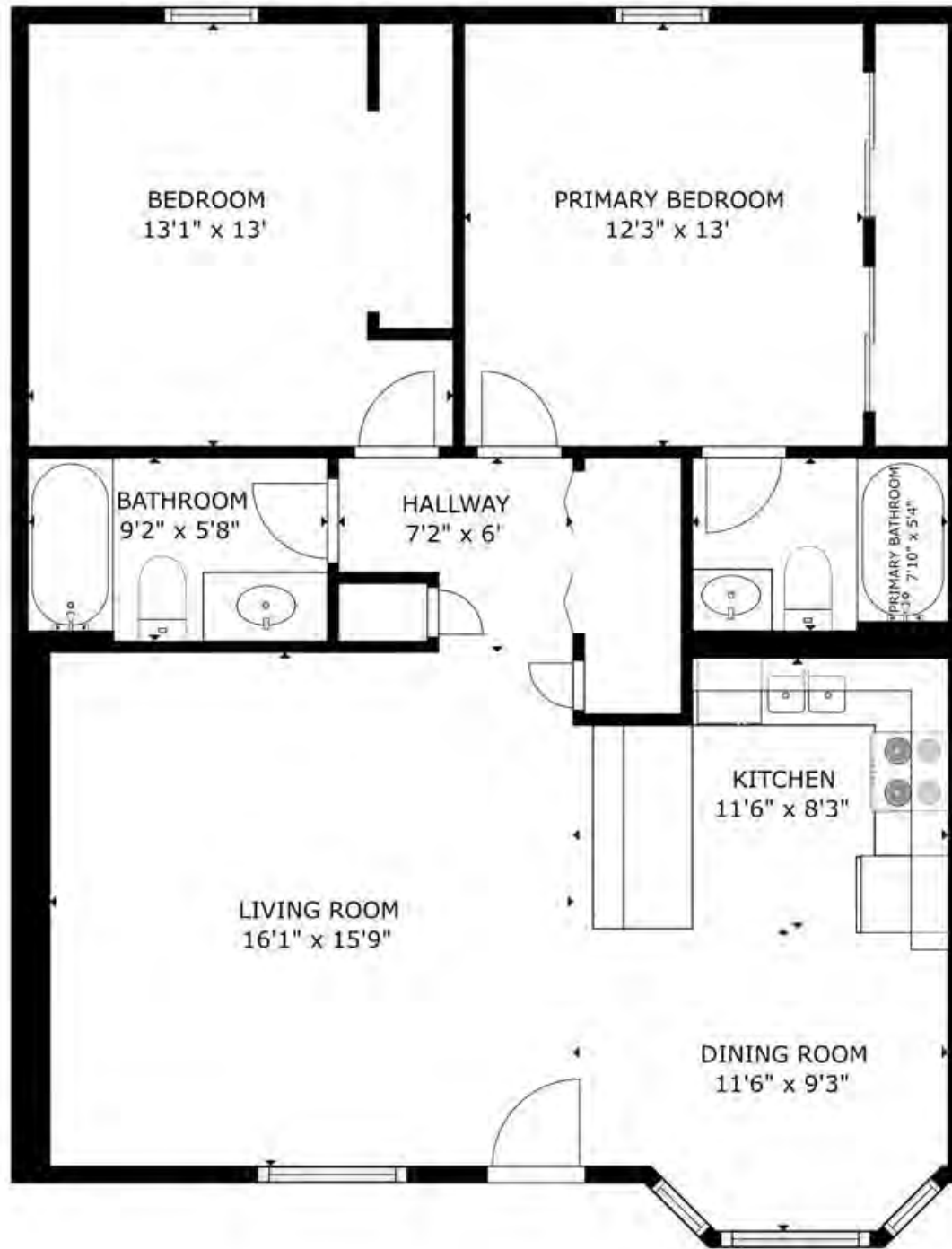
DAYTIME POPULATION
163,669



HOUSEHOLDS
73,980



AVG. HOUSEHOLD INCOME
\$ 88,826



GROSS INTERNAL AREA

RENT ROLL

UNIT#	TENANT NAME	SQUARE FOOTAGE	ANNUAL RENT/ SF	ANNUAL BASE RENT	EXPENSE REIMBURSEMENTS	LEASE TYPE	LEASE START	LEASE END	NOTES
101	A	960	\$13.69	\$13,140.00		+ Utilities		11/01/2025	
102	B	960	\$13.69	\$13,140.00		+ Utilities		08/01/2026	
201	C	960	\$15.00	\$14,400.00		+ Utilities		08/01/2026	
202	D	960	\$15.00	\$14,400.00		+ Utilities		-	MONTH-TO-MONTH
	Total Occupied	3840	\$55,080.00						
	TOTAL	3840	\$55,080.00		\$0.00				

OVERVIEW & ASSUMPTIONS

PRICING SUMMARY

PRICING	\$830,000.00
PRICE PSF	\$216.15
IN PLACE NOI	\$27,453.51
IN PLACE CAP RATE	3.31%
YEAR 1 NOI	\$47,639.79
YEAR 1 CAP RATE	5.74%
YEAR 1 LEVERAGED CASH / CASH RETURN	5.74%

GENERAL INFORMATION

ANALYSIS PERIOD	1
ANALYSIS START DATE	08/26/2025
INCOME GROWTH RATE	37.50%
PROPERTY TAX GROWTH RATE	5.00%
MANAGEMENT FEE GROWTH RATE	5.00%
MARKET RENT/SF	\$0.00

EXPENSE BREAKDOWN

GENERAL EXPENSES	
MAINTENANCE	\$2,376.00
HOA DUES	\$14,076.00
TOTAL GENERAL EXPENSES	\$16,452.00
PROPERTY INSURANCE	\$1,800.00
PROPERTY TAX	\$3,038.49
MANAGEMENT FEE	\$6,336.00
TOTAL EXPENSES	\$27,626.49

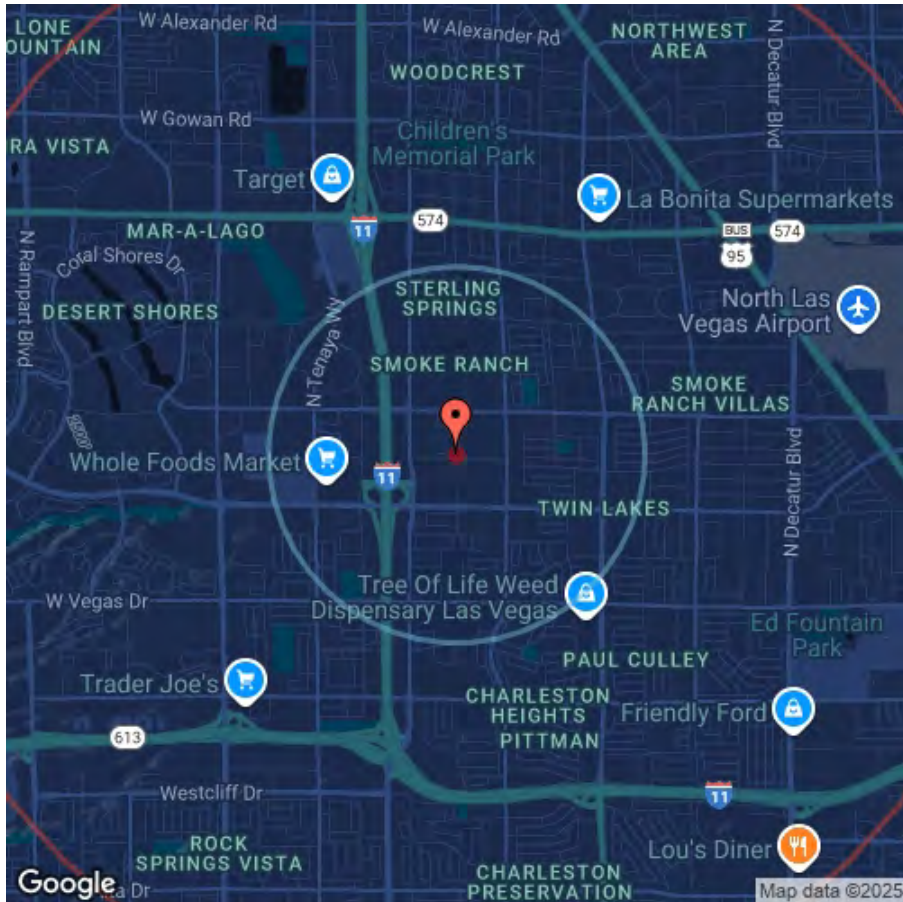
CASH FLOW PROJECTIONS

	IN PLACE	YEAR 1
POTENTIAL GROSS REVENUE		
BASE RENTAL REVENUE	\$55,080.00	\$75,735.00
SCHEDULED BASE RENTAL REVENUE	\$55,080.00	\$75,735.00
TOTAL POTENTIAL GROSS REVENUE	\$55,080.00	\$75,735.00
EFFECTIVE GROSS REVENUE	\$55,080.00	\$75,735.00
OPERATING EXPENSES		
PROPERTY TAX	\$3,038.49	\$3,190.41
INSURANCE	\$1,800.00	\$1,800.00
MANAGEMENT FEE	\$6,336.00	\$6,652.80
GENERAL EXPENSES	\$16,452.00	\$16,452.00
TOTAL OPERATING EXPENSES	\$27,626.49	\$28,095.21
NET OPERATING INCOME	\$27,453.51	\$47,639.79
CAP RATE	3.31%	5.74%

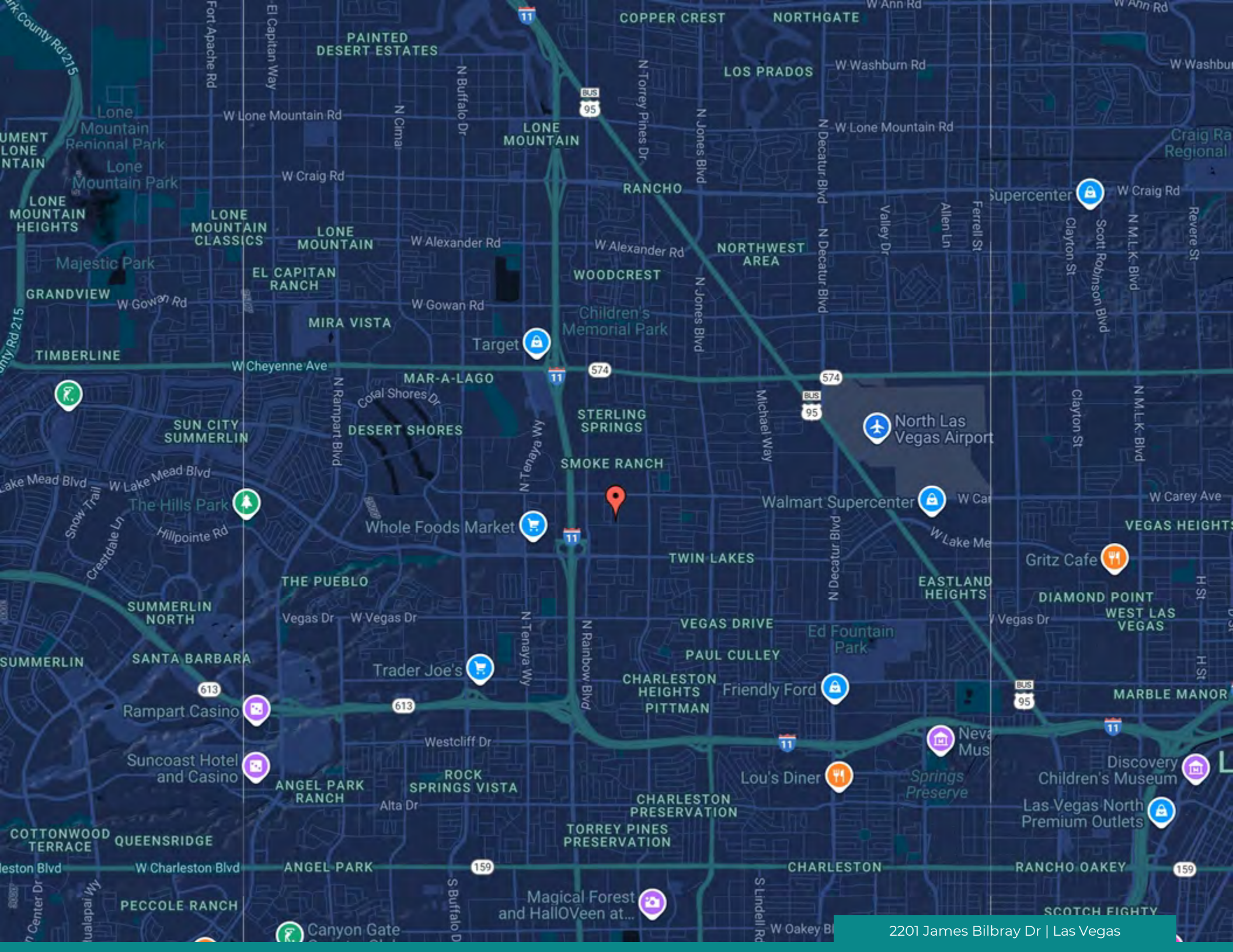
DEMOGRAPHICS

POPULATION	1 MILE	3 MILE	5 MILE
2000 Population	30,400	177,984	376,131
2010 Population	29,681	184,409	413,366
2025 Population	31,372	195,692	440,597
2030 Population	31,723	199,901	449,541
2025-2030 Growth Rate	0.22 %	0.43 %	0.4 %
2025 Daytime Population	30,462	163,669	413,098

2025 HOUSEHOLD INCOME	1 MILE	3 MILE	5 MILE
less than \$15000	1,333	6,411	13,822
\$15000-24999	977	5,107	10,498
\$25000-34999	1,031	5,812	12,470
\$35000-49999	1,650	8,784	17,974
\$50000-74999	2,466	13,613	29,706
\$75000-99999	1,839	11,803	24,264
\$100000-149999	1,689	12,599	30,270
\$150000-199999	685	5,134	13,474
\$200000 or greater	399	4,717	16,013
Median HH Income	\$ 58,302	\$ 68,832	\$ 74,764
Average HH Income	\$ 73,288	\$ 88,826	\$ 101,159



HOUSEHOLDS	1 MILE	3 MILE	5 MILE
2000 Total Households	11,552	65,938	140,043
2010 Total Households	10,826	67,273	152,114
2025 Total Households	12,067	73,980	168,491
2030 Total Households	12,320	76,320	173,294
2025 Average Household Size	2.59	2.63	2.6
2025 Owner Occupied Housing	4,364	39,171	97,171
2030 Owner Occupied Housing	4,584	41,139	101,717
2025 Renter Occupied Housing	7,703	34,809	71,320
2030 Renter Occupied Housing	7,736	35,181	71,576
2025 Vacant Housing	554	3,511	8,226
2025 Total Housing	12,621	77,491	176,717



ABOUT LAS VEGAS

Las Vegas, colloquially referred to as Vegas, is the most populous city in the U.S. state of Nevada and the seat of Clark County. It is the 24th-most populous city in the United States with 641,903 residents at the 2020 census, while the Las Vegas metropolitan area has an estimated 2.4 million residents and is the 29th-largest metropolitan area in the nation. Las Vegas is an internationally renowned major resort city, known primarily for its gambling, shopping, fine dining, entertainment, and nightlife.

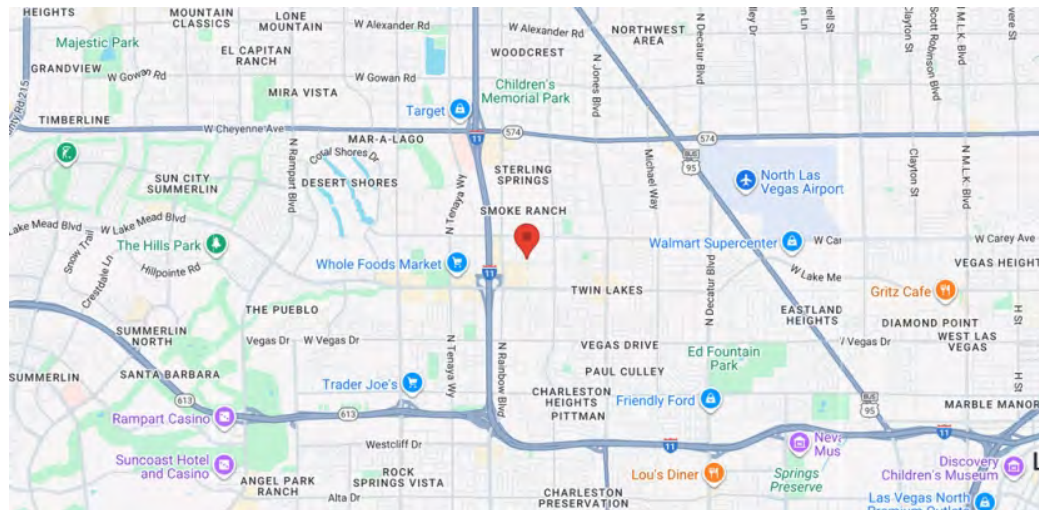


CITY OF LAS VEGAS

COUNTY	CLARK
INCORPORATED	3/15/1911

AREA POPULATION

CITY	141.9 SQ MI
LAND	141.9 SQ MI
WATER	0.1 SQ MI
ELEVATION	2001 FT



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PROPERTY SHOWINGS ARE BY APPOINTMENT ONLY.

PLEASE CONTACT THE HYDE REAL ESTATE ADVISOR FOR MORE DETAILS.

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