

RENOVATIONS TO EXISTING TWO-STORY OFFICE BUILDING



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SCOPE OF WORK:

RENOVATIONS TO EXISTING TWO-STORY OFFICE BUILDING TO INCLUDE:

- RESURFACING & RE-STRIPING OF EXISTING PARKING LOT
- REPLACEMENT OF ALL EXISTING EXTERIOR STOREFRONT SYSTEM WITH NEW IMPACT RESISTANT STOREFRONT SYSTEM
- RENOVATIONS TO EXISTING RESTROOMS
- REPLACEMENT OF EXTERIOR BREEZEWAY LIGHTING
- REMODELING OF EXISTING NORTH & SOUTH ENTRY FEATURES

APPLICABLE BUILDING CODES:

- 2023 FLORIDA BUILDING CODE (FBC)
- 2023 FLORIDA MECHANICAL CODE
- 2023 FLORIDA PLUMBING CODE
- 2023 NATIONAL ELECTRIC CODE
- ASCE 7-2016
- AMERICANS WITH DISABILITIES ACT
- 2023 FLORIDA ACCESSIBILITY CODE
- 2023 FLORIDA FIRE PREVENTION CODE
- NFPA 101, LIFE SAFETY CODE, FLORIDA 2021 EDITION
- NFPA 1, UNIFORM FIRE CODE, FLORIDA 2021 EDITION

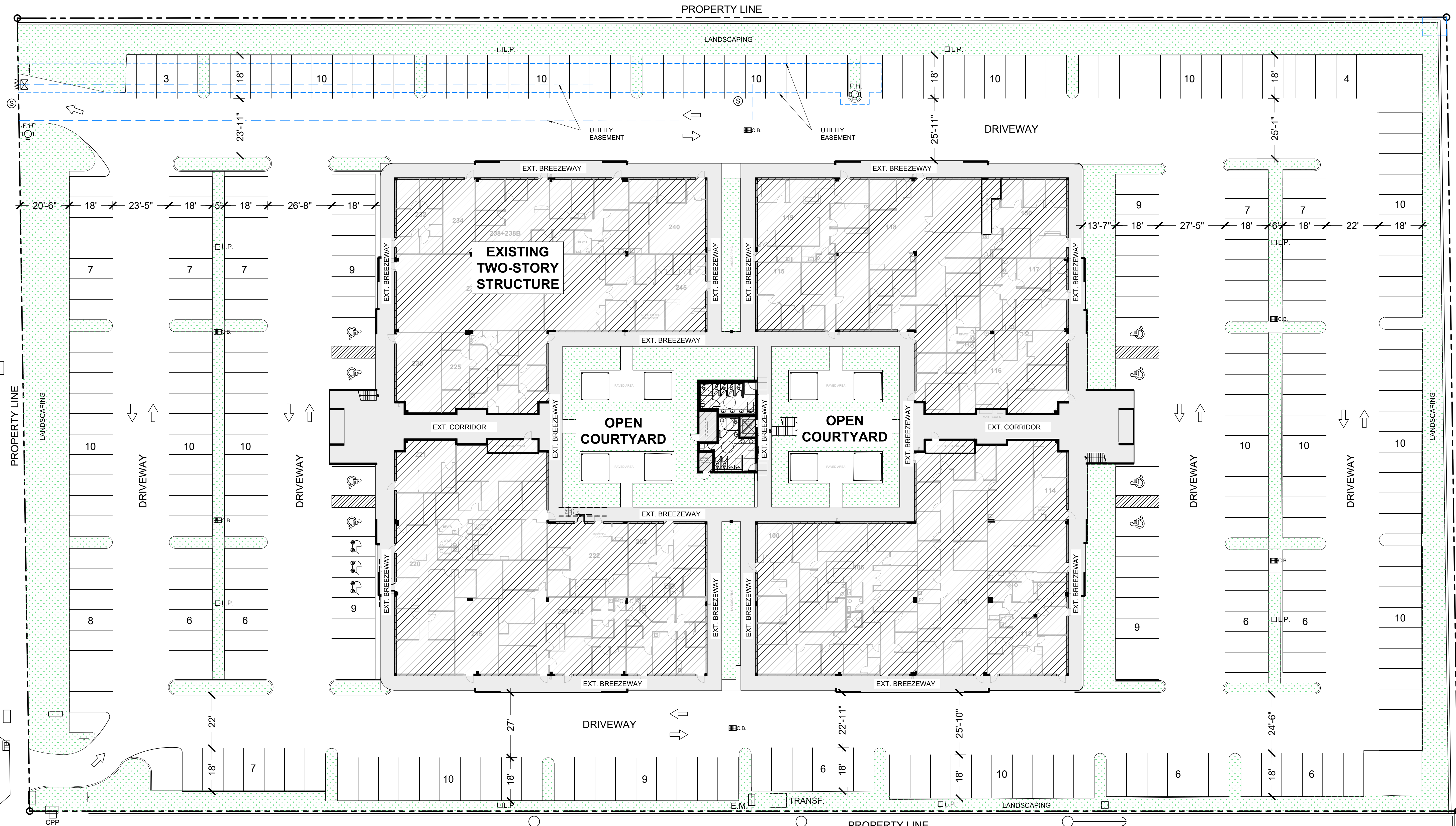
DESIGN TEAM

<p>Owner / Developer: THE COMMONS OWNER LLC</p>	<p>Architect: Blitstein Design Associates 34 Giralda Avenue Coral Gables, Florida 33134 Ph: 305-444-4433 Fax: 305-444-0181</p>
<p>Structural Engineer: THM Structural Consulting 9719 S. Dixie Highway, #2 Miami, Florida 33156 Ph: 305-609-3652</p>	<p>M.E.P. Engineer: PJV Engineering Inc. 7791 NW 46th St., #413 Doral, FL 33166 Ph: 786-334-5683 www.pjveng.com</p>



**3D RENDERINGS SHOWING REVISED ELEVATIONS INCLUDING:
STAIR ENTRY, PAINT COLORS, & NEW STOREFRONT**

SW 72nd Ave
SUNSET DRIVE



EXISTING OFFICE SPACE
83,830 SF

REQUIRED PARKING
[1/300] = 280

PARKING PROVIDED = 294

REQUIRED HANDICAP PARKING = 7
HANDICAP PARKING PROVIDED = 8

REQUIRED BABY STROLLER PARKING SPACES = 3
BABY STROLLER PARKING SPACES REQUIRED = 3

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PETER BLITSTEIN
LIC. No. - AR0007570

project name
Commons - Sunset Drive
9350-9360 SW 72nd St. Miami, FL 33173

date
November 26, 2025

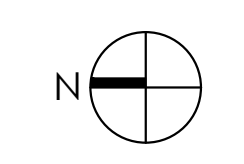
revisions

drawn by
D.W./F.P./M.S.

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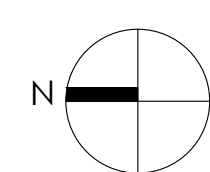
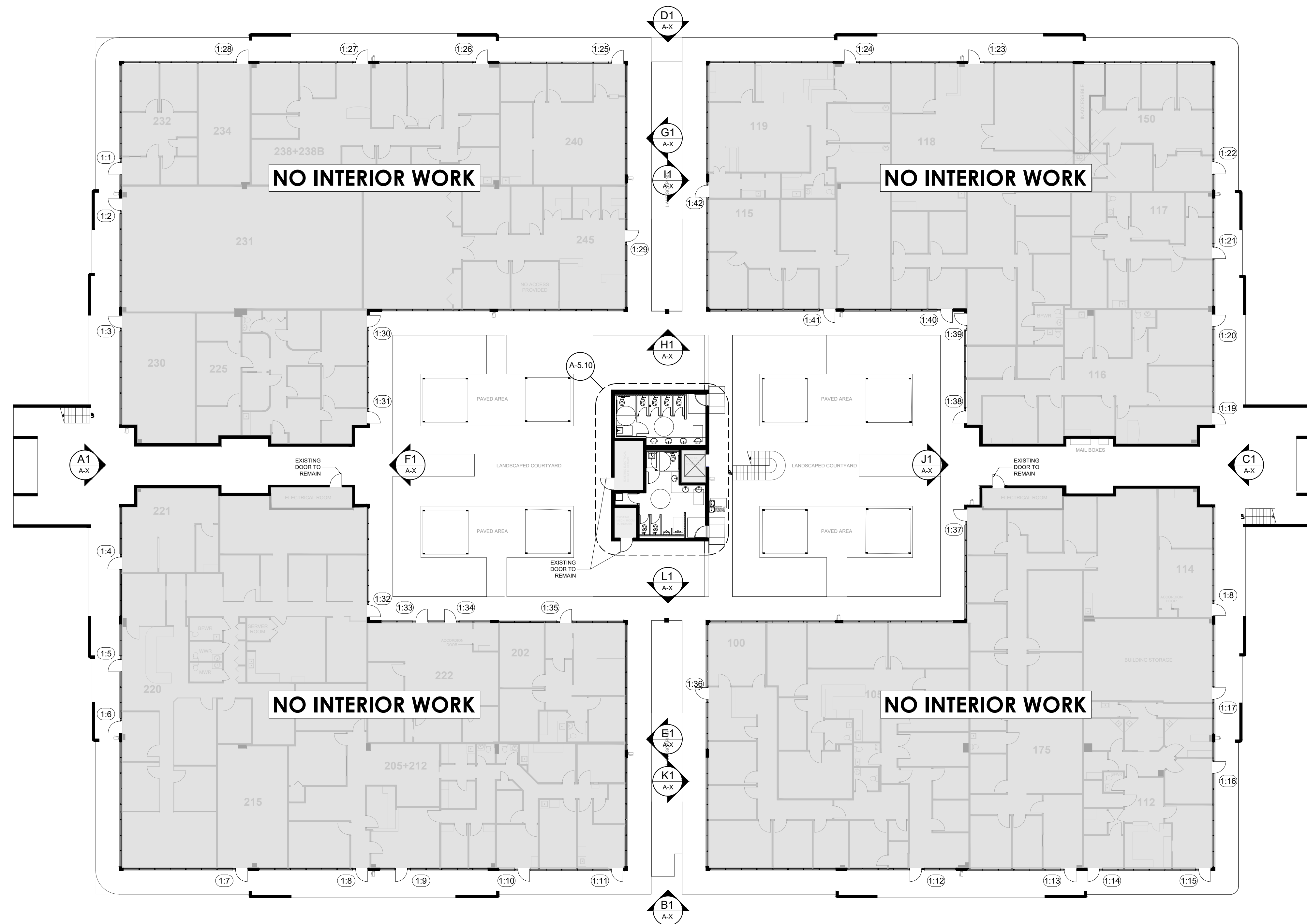
PARKING
RE-STRIPING PLAN

PROGRESS SET
NOT FOR CONSTRUCTION



sheet number
A-1.00

SCALE 1" = 20'-0"



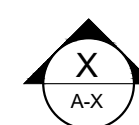
FIRST FLOOR PLAN

SCALE: 1/16" = 1'-0"

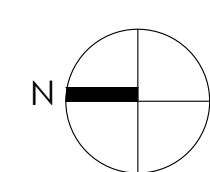
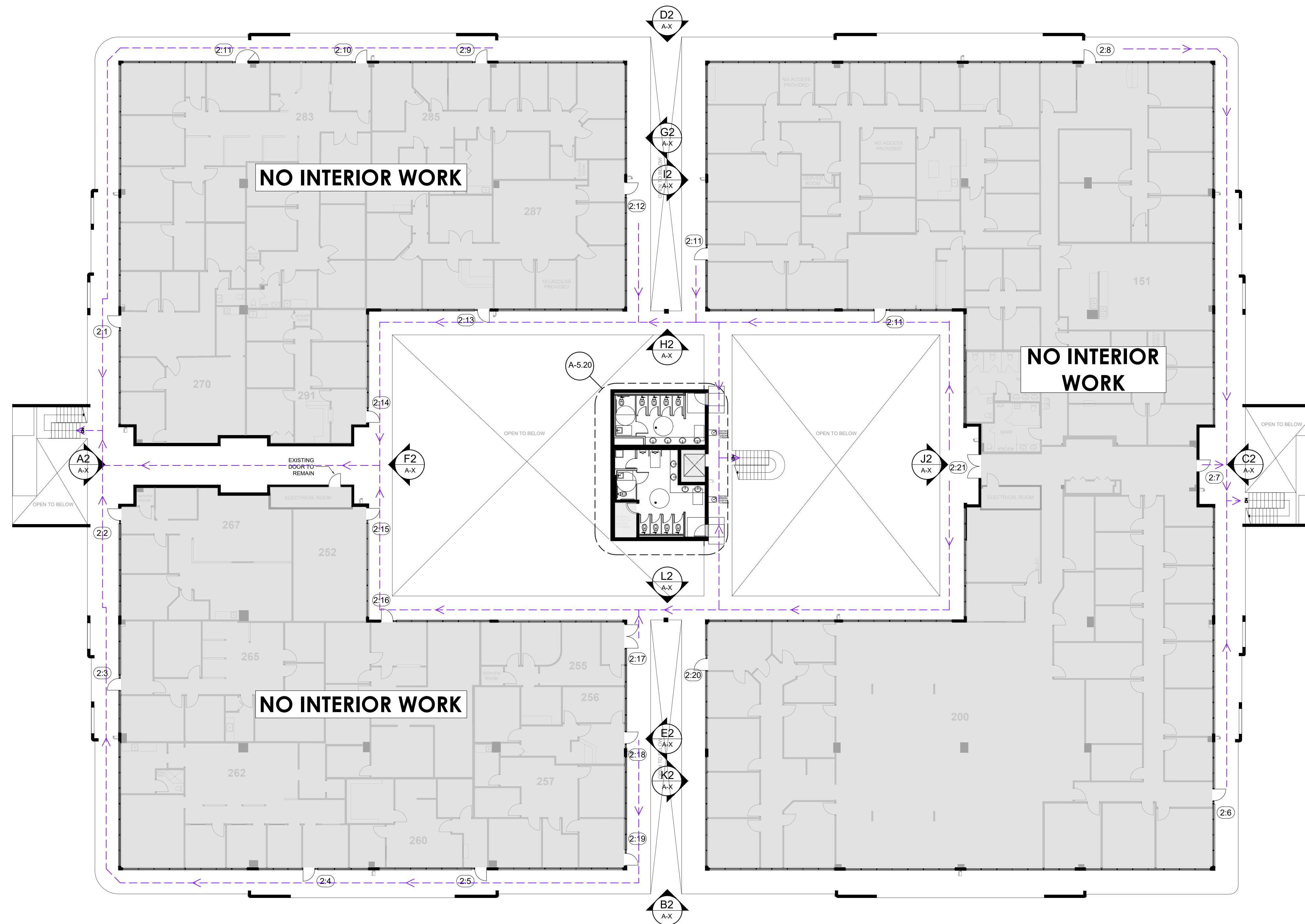
ALL EXISTING STOREFRONT TO BE REMOVED AND REPLACED WITH NEW IMPACT RATED STOREFRONT SYSTEM.

INCLUDES ALL EXTERIOR STOREFRONT DOORS & NUMBERS

1:23 DOOR DESIGNATION



ELEVATION DESIGNATION



SECOND FLOOR PLAN

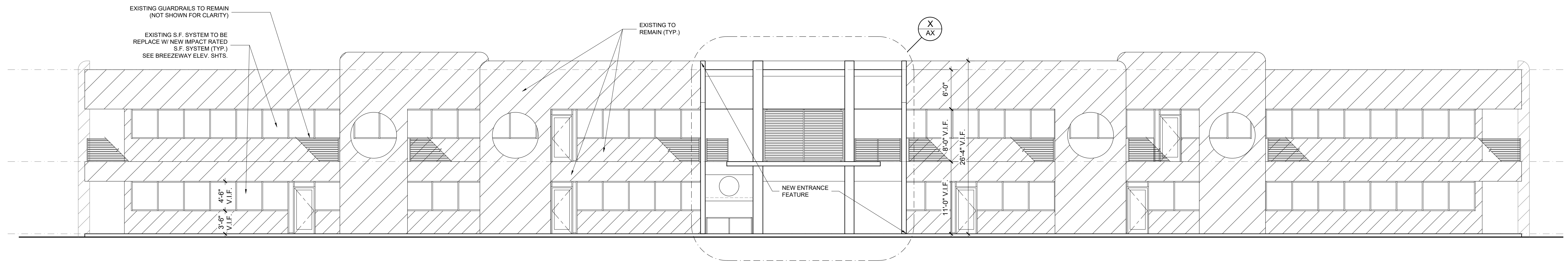
SCALE: 1/16" = 1'-0"

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INCLUDES ALL EXTERIOR STOREFRONT DOORS & NUMBERS

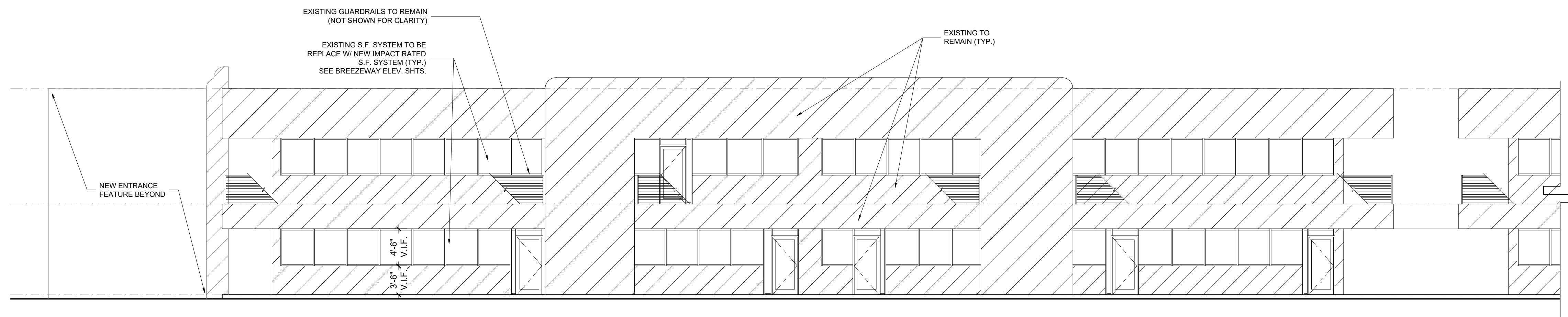
1:23 DOOR DESIGNATION

X A-X ELEVATION DESIGNATION



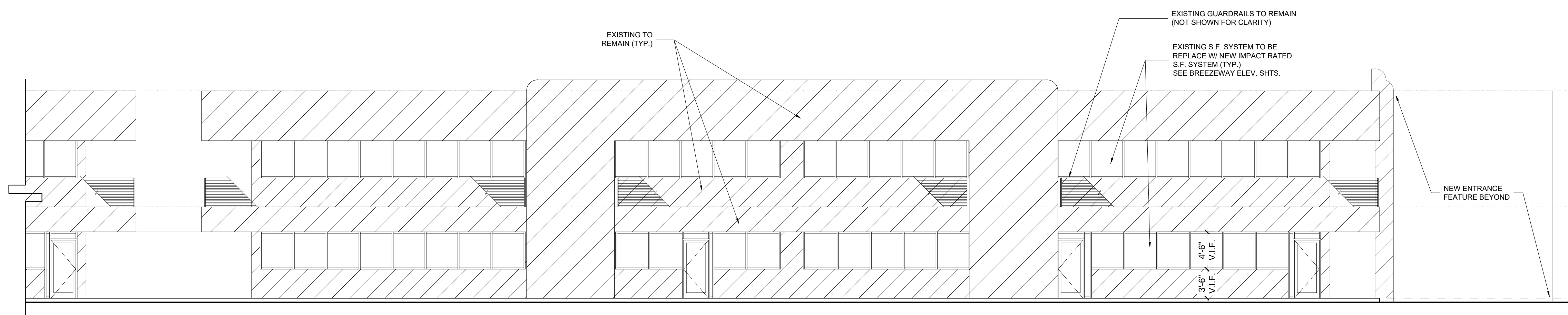
NORTH ELEVATION (FACING SUNSET DRIVE)

SCALE: 1/8" = 1'-0"



WEST ELEVATION

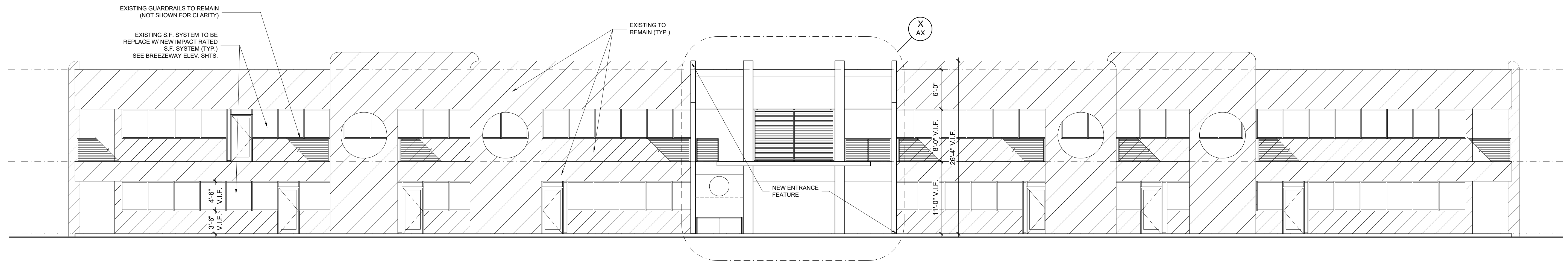
SCALE: 1/8" = 1'-0"



WEST ELEVATION (CONT.)

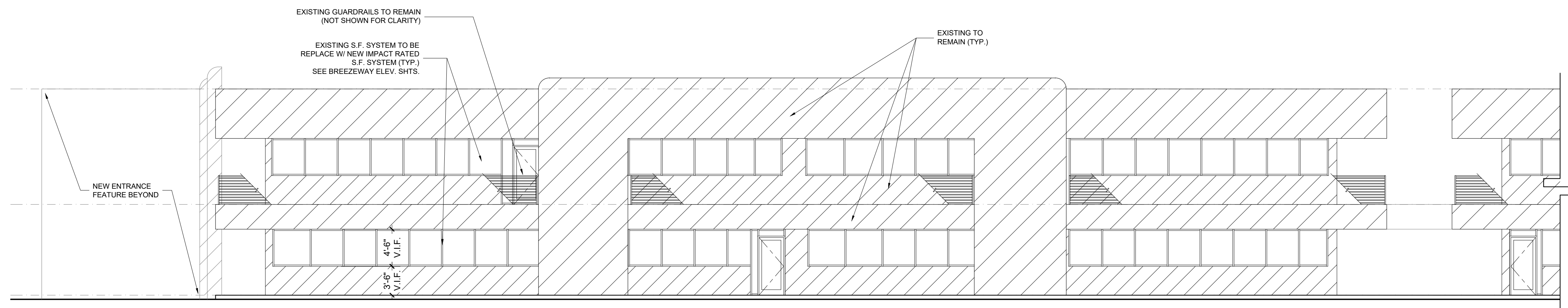
SCALE: 1/8" = 1'-0"

 EXISTING CONSTRUCTION TO REMAIN



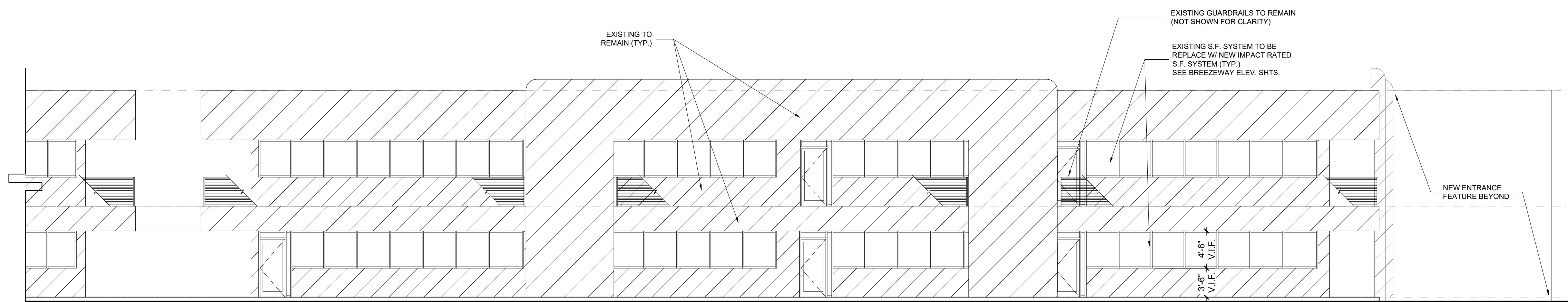
SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



EAST ELEVATION

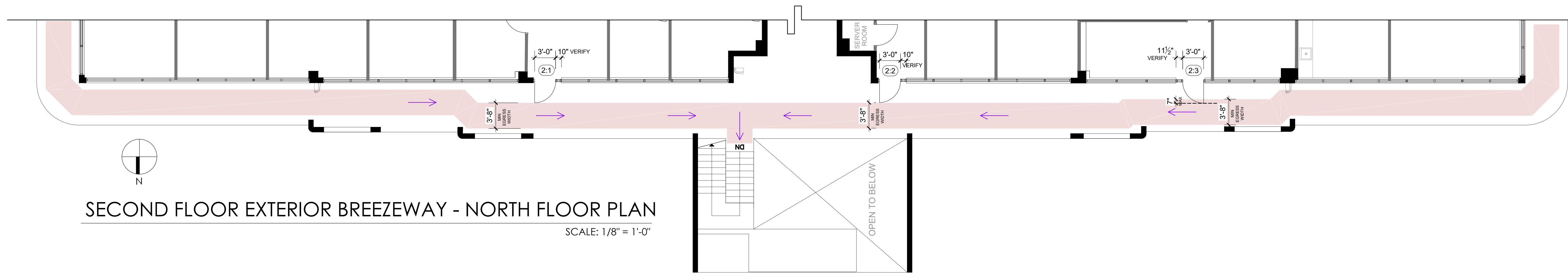
SCALE: 1/8" = 1'-0"



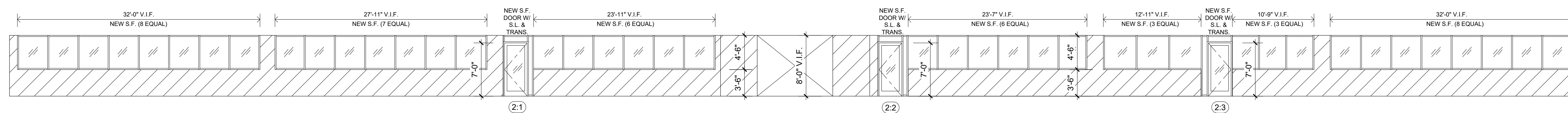
EAST ELEVATION (CONT.)

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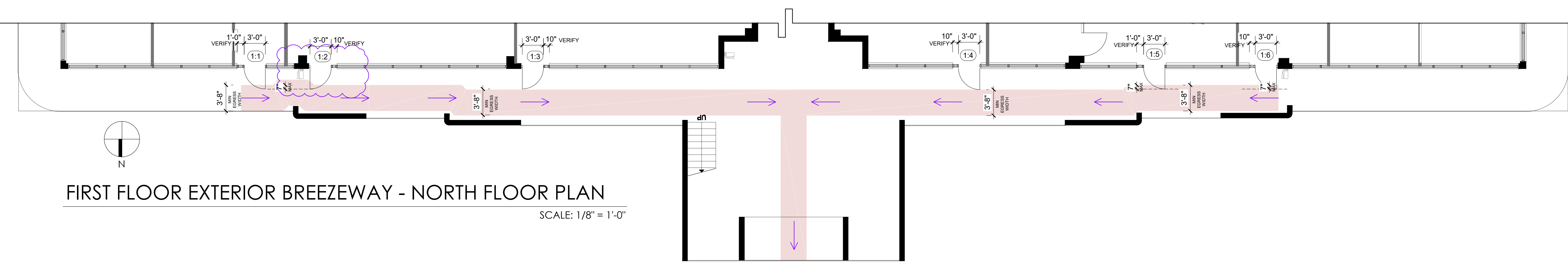
 EXISTING CONSTRUCTION TO REMAIN



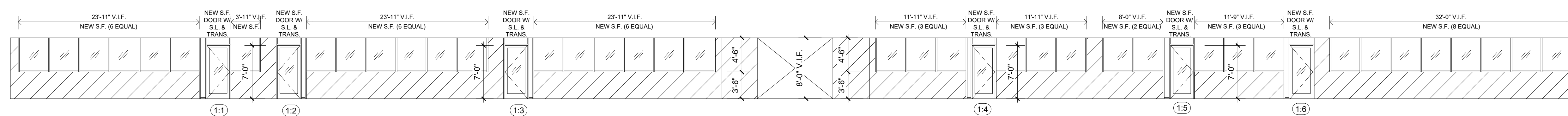
SECOND FLOOR EXTERIOR BREEZEWAY - NORTH FLOOR PLAN
SCALE: 1/8" = 1'-0"



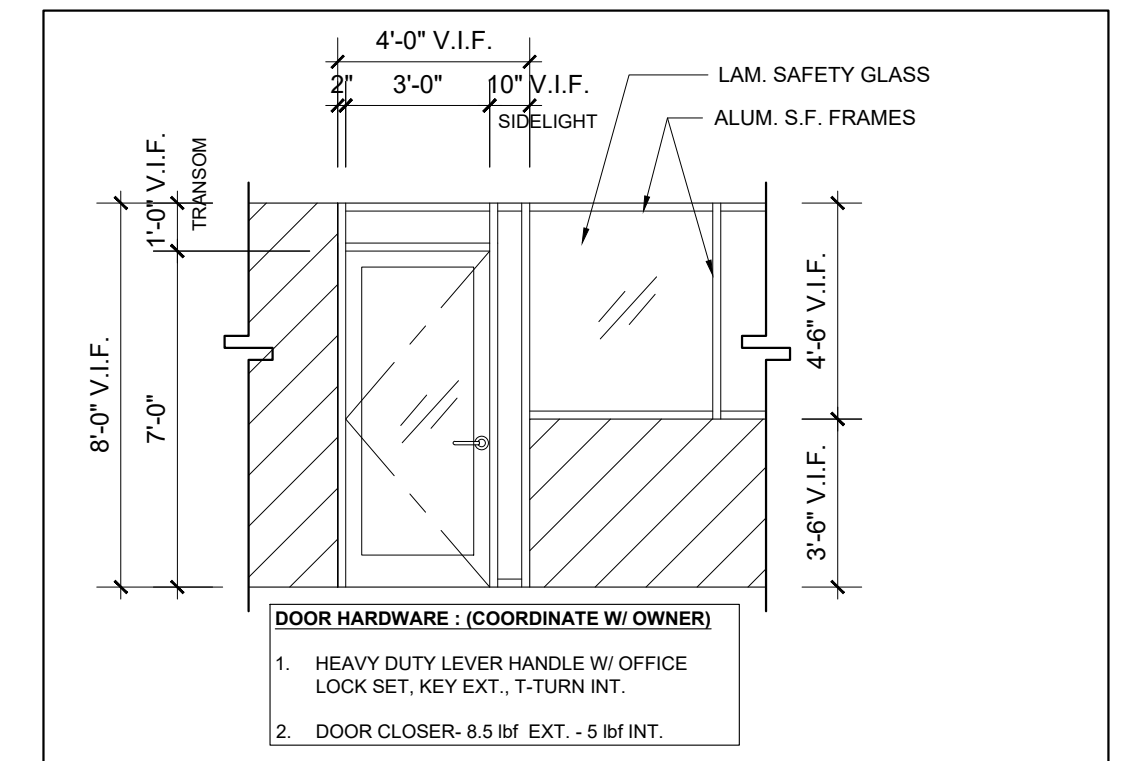
A2 SECOND FLOOR EXTERIOR BREEZEWAY - NORTH ELEVATION
SCALE: 1/8" = 1'-0"



FIRST FLOOR EXTERIOR BREEZEWAY - NORTH FLOOR PLAN
SCALE: 1/8" = 1'-0"



A1 FIRST FLOOR EXTERIOR BREEZEWAY - NORTH ELEVATION
SCALE: 1/8" = 1'-0"

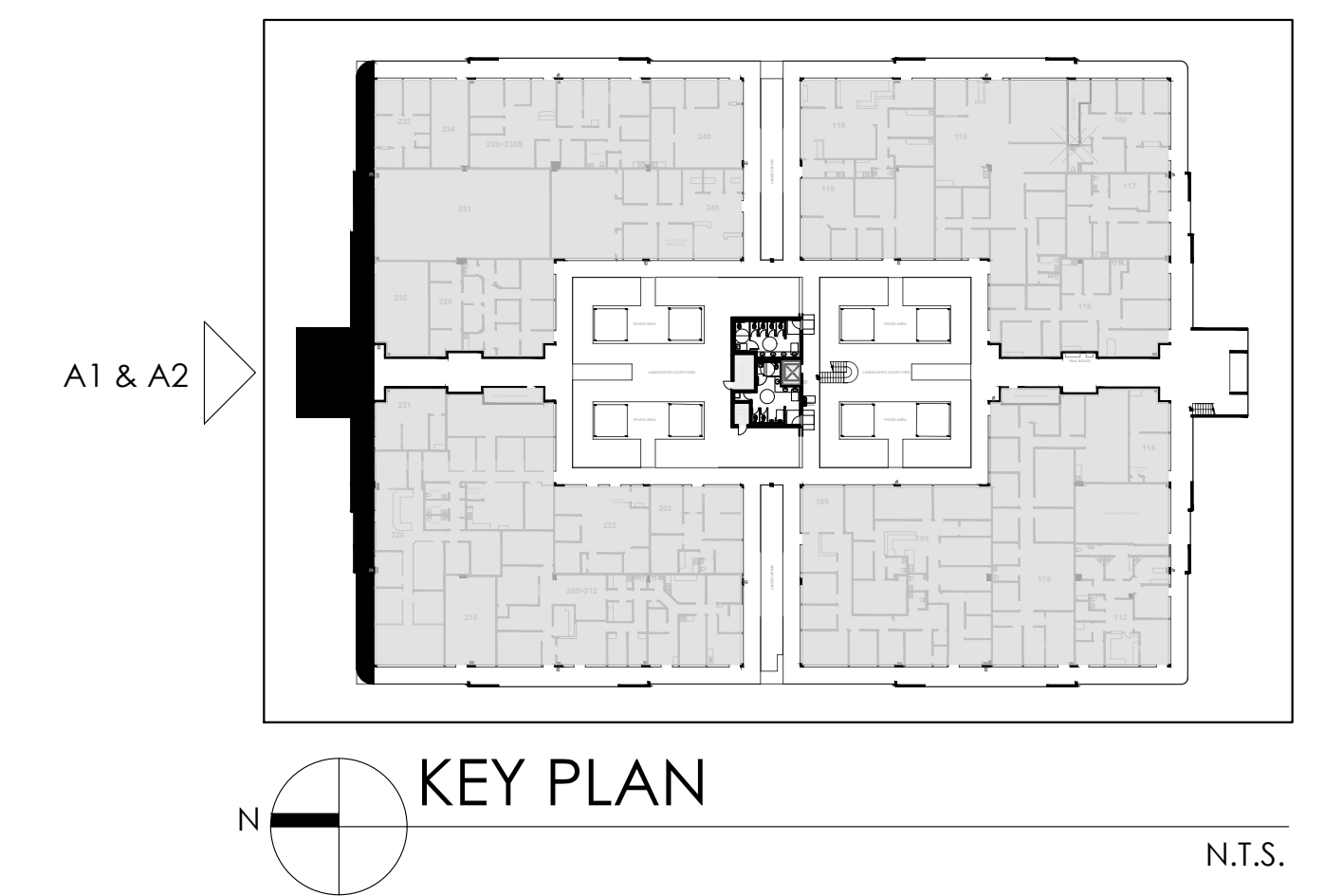


1 TYP. STOREFRONT & DOOR
SCALE: 1/4" = 1'-0"

- STOREFRONT & GLAZING NOTES**
- LARGE & SMALL MISSILE IMPACT RESISTANT PRODUCTS:**
- Storefront
TRULITE - RESISTOR 3100 ALUMINUM WINDOW WALL SYSTEM. IMPACT RESISTANT. GLAZED W/ 9/16" OVERALL LAM. COMPOSED OF: 1/4" GLASS HS + 0.09 INNER LAYER 'SENTRY GLASS PLUS' + 1/4" GLASS HS (N.O.A. 21-1216.10) (OR EQUAL)
 - Storefront Doors
SERIES MEDIUM STILE ALUMINUM STOREFRONT DOORS TRULITE RESISTOR 351 DOOR LEAF GLAZED W/ 3/16" HS + 0.09 INNER LAYER + 3/16" GLASS HS (N.O.A. 20-0424.01) (OR EQUAL)
 - ANCHORS SHALL BE OF TYPE & SPACED AS SHOWN ON MANUF. SHOP DRAWINGS EMBEDMENT INTO BLDG SUBSTRATE BEYOND WALL FINISHES OR STUCCO.
 - ALL STEEL IN CONTACT WITH ALUMINUM IS TO BE PAINTED WITH A COATING OF A HEAVY BODIED BITUMINOUS PAINT OR APPLY A NON-ABSORPTIVE TAPE OR GASKET.
 - STRUCTURE MUST SUPPORT THE LOADS IMPOSED BY GLAZING SYSTEM.
 - FINISH TO BE DARK BRONZE
 - VERIFY ALL EXISTING ROUGH / MASONRY OPENING SIZES IN FIELD PRIOR TO WINDOW OR STOREFRONT FABRICATION.
 - G.C. TO PROVIDE SHOP DRAWINGS & NOA'S FOR ALL STOREFRONT TO BE APPROVED BY ARCHITECT & SUBMITTED TO BUILDING DEPARTMENT.
 - GLAZING TO BE "SOLAR BAND 70" W/ BRONZE TINT.

LEGEND

	DOOR DESIGNATION
	EXISTING CONSTRUCTION TO REMAIN
	MINIMUM EGRESS PATH



ALL EXISTING STOREFRONT TO BE REMOVED AND REPLACED WITH NEW IMPACT RATED STOREFRONT SYSTEM.
ALL DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO SF FABRICATION

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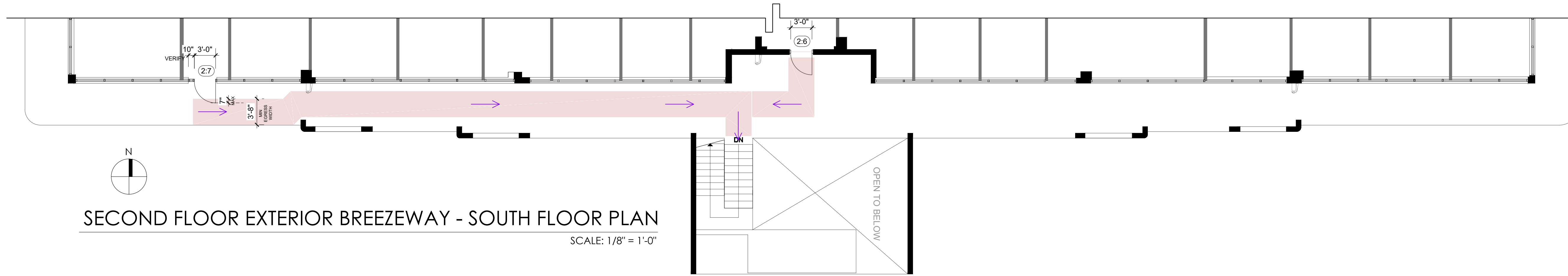
drawn by
D.W./F.P./M.S.

sheet title
EXTERIOR BREEZEWAY STOREFRONT ELEVATIONS

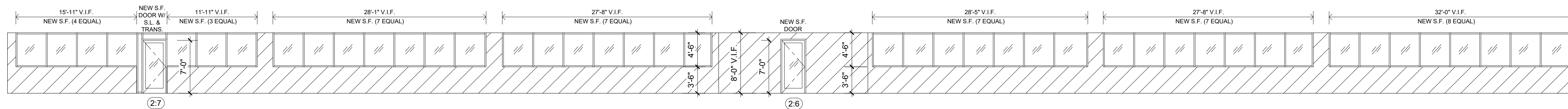
EXTERIOR BREEZEWAY STOREFRONT ELEVATIONS
PROGRESS SET
NOT FOR CONSTRUCTION

sheet number
A-4.00

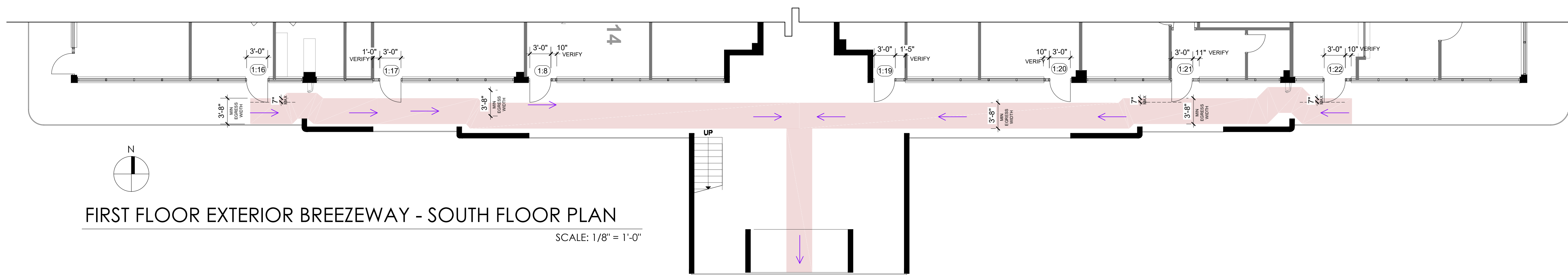
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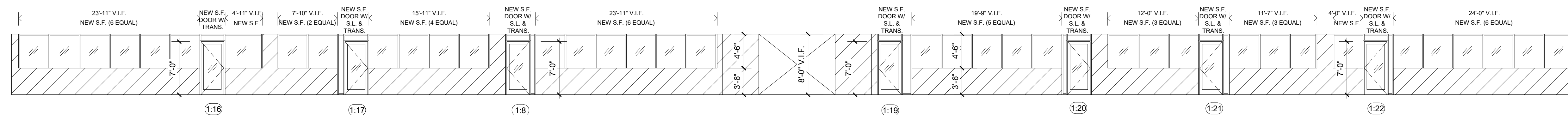
SECOND FLOOR EXTERIOR BREEZEWAY - SOUTH FLOOR PLAN
SCALE: 1/8" = 1'-0"



C2
A-X
SECOND FLOOR EXTERIOR BREEZEWAY - SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

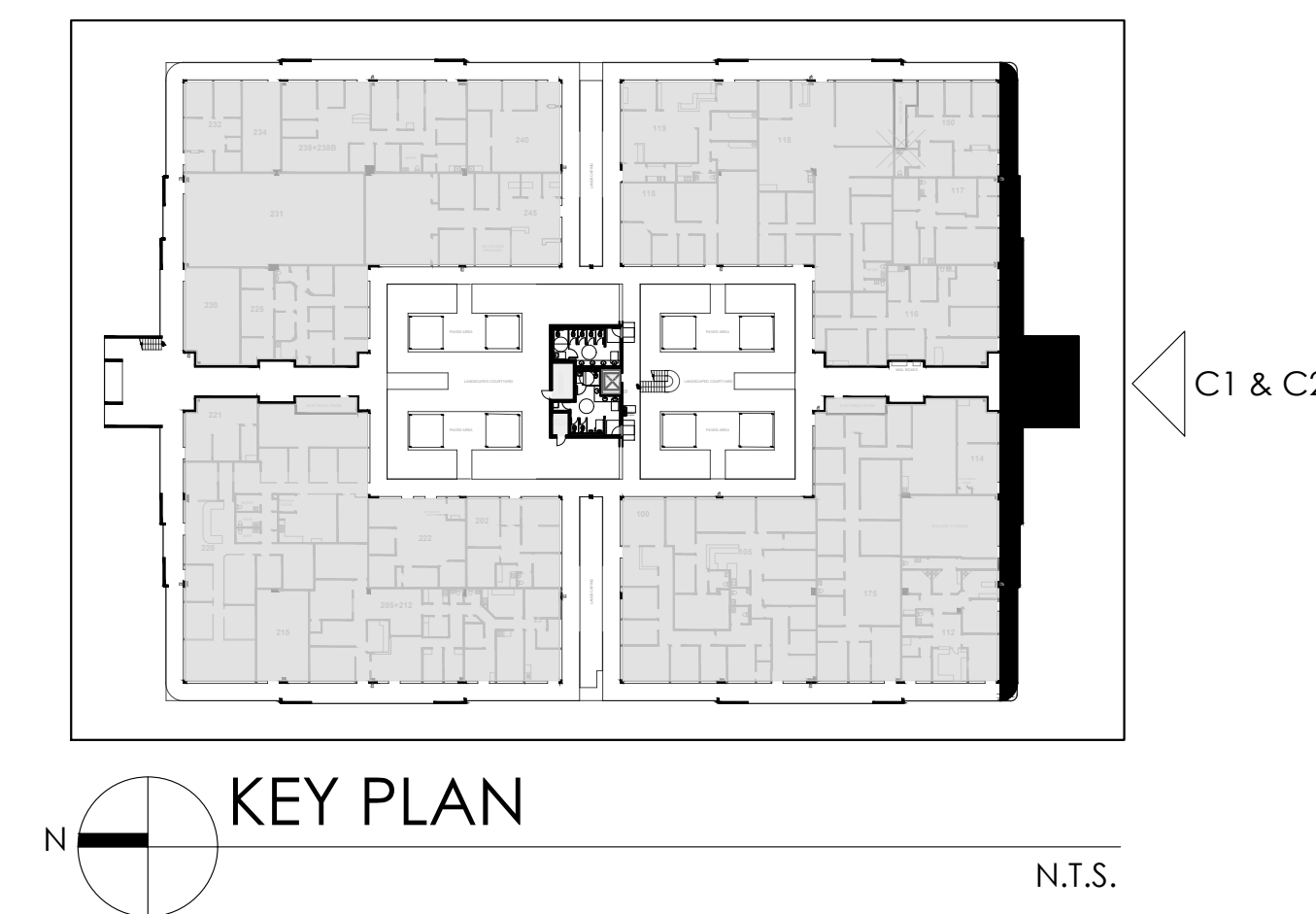


FIRST FLOOR EXTERIOR BREEZEWAY - SOUTH FLOOR PLAN
SCALE: 1/8" = 1'-0"

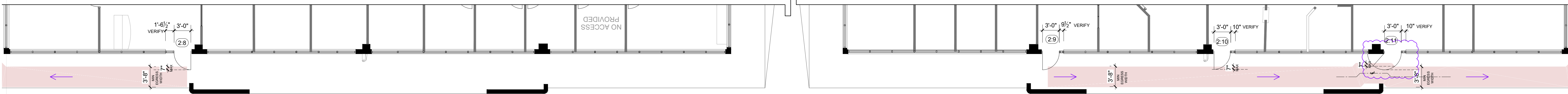


C1
A-X
FIRST FLOOR EXTERIOR BREEZEWAY - SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

LEGEND	
(1:23)	DOOR DESIGNATION
	EXISTING CONSTRUCTION TO REMAIN
	MINIMUM EGRESS PATH

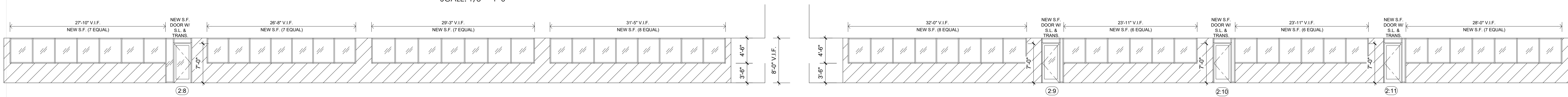


ALL EXISTING STOREFRONT TO BE REMOVED AND REPLACED WITH NEW IMPACT RATED STOREFRONT SYSTEM.
ALL DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO SF FABRICATION



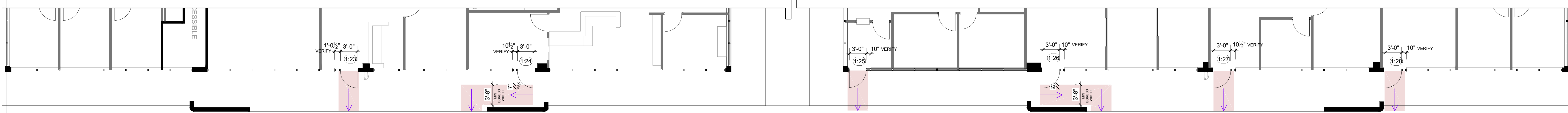
SECOND FLOOR EXTERIOR BREEZEWAY - EAST FLOOR PLAN

SCALE: 1/8" = 1'-0"



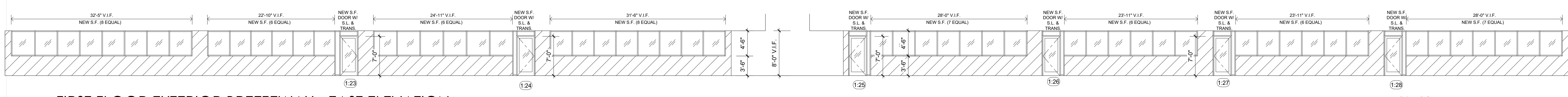
D2 SECOND FLOOR EXTERIOR BREEZEWAY - EAST ELEVATION

SCALE: 1/8" = 1'-0"



FIRST FLOOR EXTERIOR BREEZEWAY - EAST FLOOR PLAN

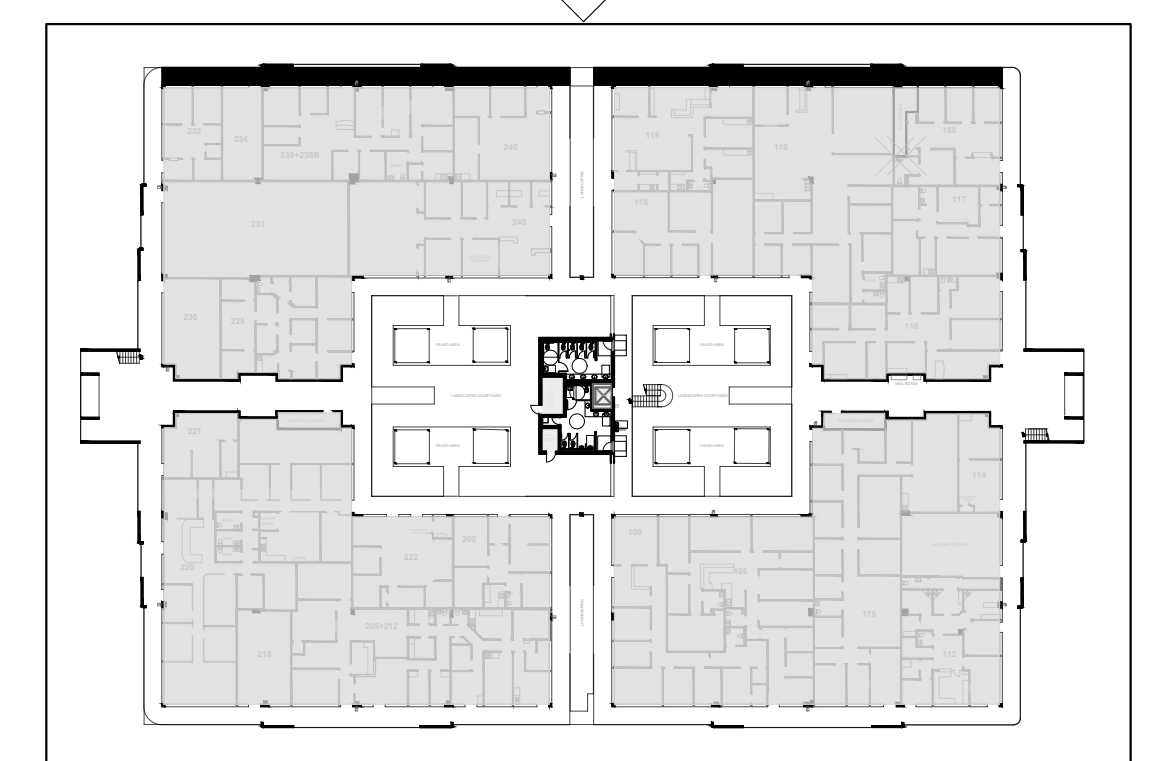
SCALE: 1/8" = 1'-0"



D1 FIRST FLOOR EXTERIOR BREEZEWAY - EAST ELEVATION

SCALE: 1/8" = 1'-0"

LEGEND	
(1:23)	DOOR DESIGNATION
	EXISTING CONSTRUCTION TO REMAIN
	MINIMUM EGRESS PATH



KEY PLAN

N.T.S.

ALL EXISTING STOREFRONT TO BE REMOVED AND REPLACED WITH NEW IMPACT RATED STOREFRONT SYSTEM.
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Commons - Sunset Drive
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date November 26, 2025
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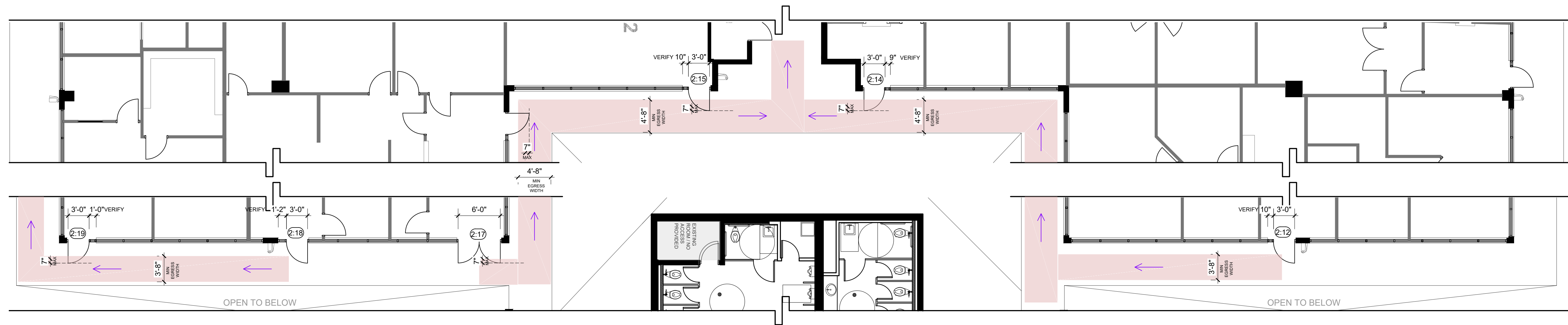
drawn by
DW/F.P./M.S.
sheet title

EXTERIOR BREEZEWAY
STOREFRONT ELEVATIONS
PROGRESS SET
NOT FOR CONSTRUCTION

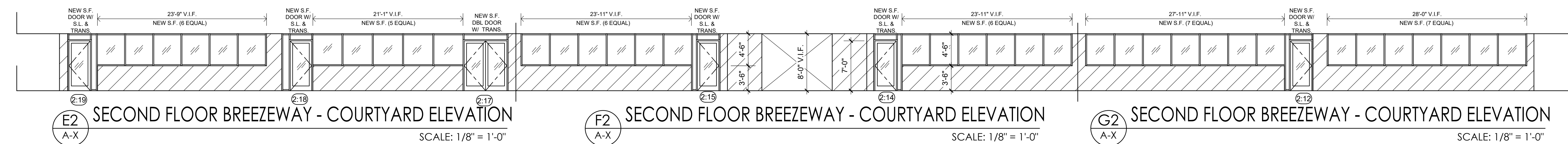
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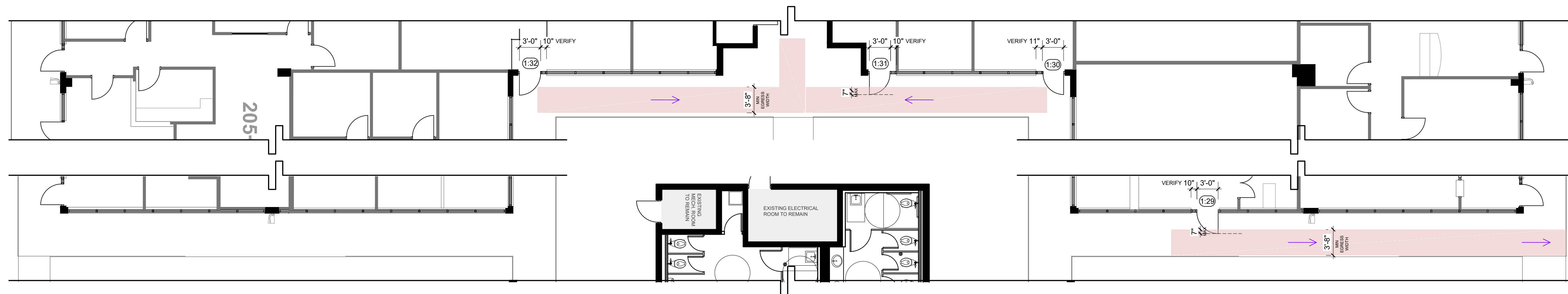
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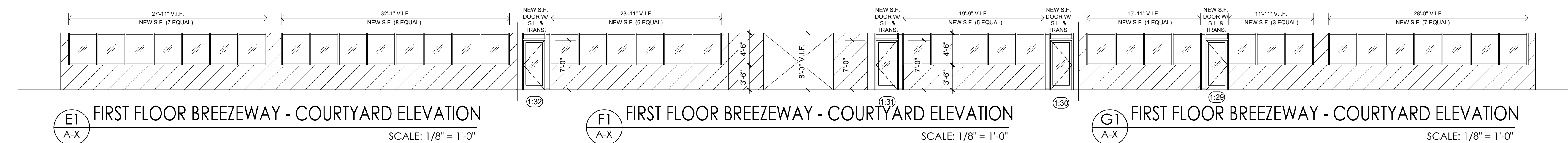
SECOND FLOOR BREEZEWAY - COURTYARD PLAN
SCALE: 1/8" = 1'-0"



SECOND FLOOR BREEZEWAY - COURTYARD ELEVATION
SCALE: 1/8" = 1'-0"

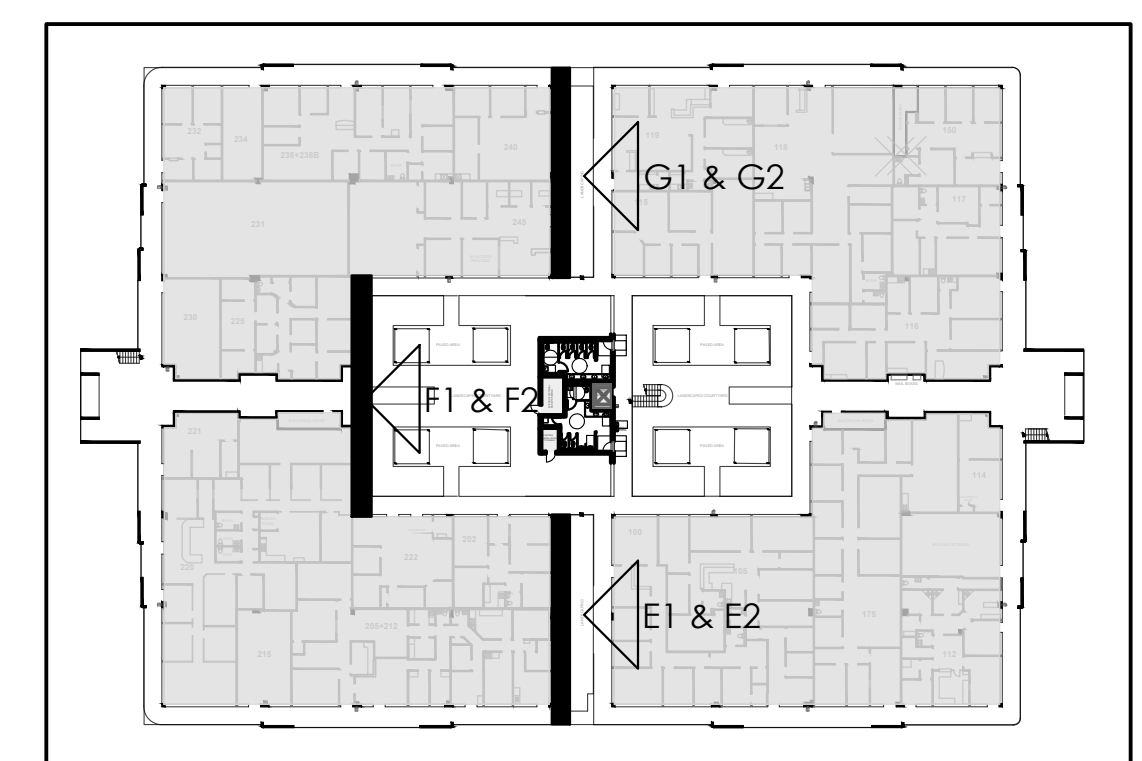


FIRST FLOOR BREEZEWAY - COURTYARD PLAN
SCALE: 1/8" = 1'-0"



FIRST FLOOR BREEZEWAY - COURTYARD ELEVATION
SCALE: 1/8" = 1'-0"

LEGEND	
(1:23)	DOOR DESIGNATION
	EXISTING CONSTRUCTION TO REMAIN
	MINIMUM EGRESS PATH



KEY PLAN
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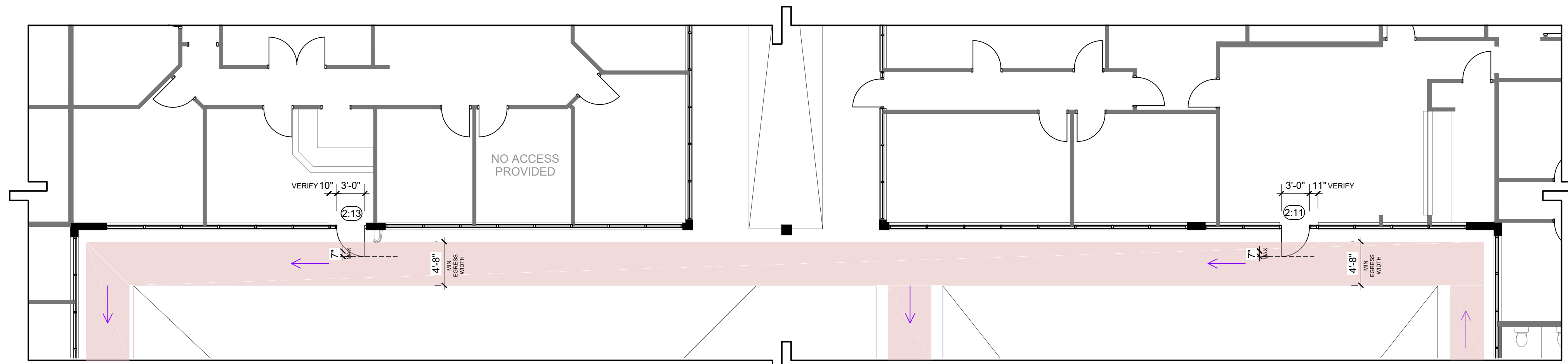
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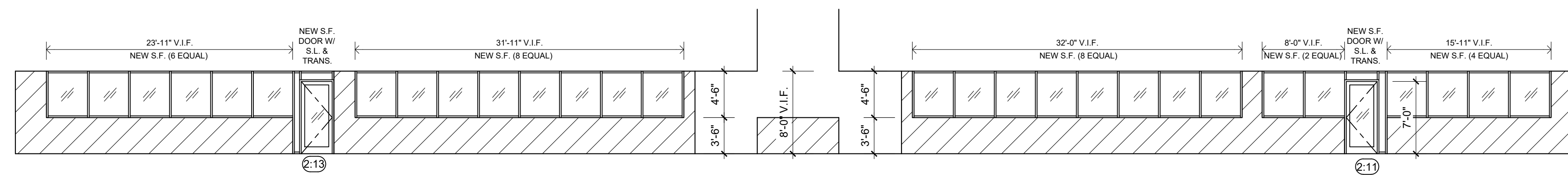
drawn by
DW/FP / M.S.
sheet title

COURTYARD BREEZEWAY STOREFRONT ELEVATIONS
PROGRESS SET
NOT FOR CONSTRUCTION

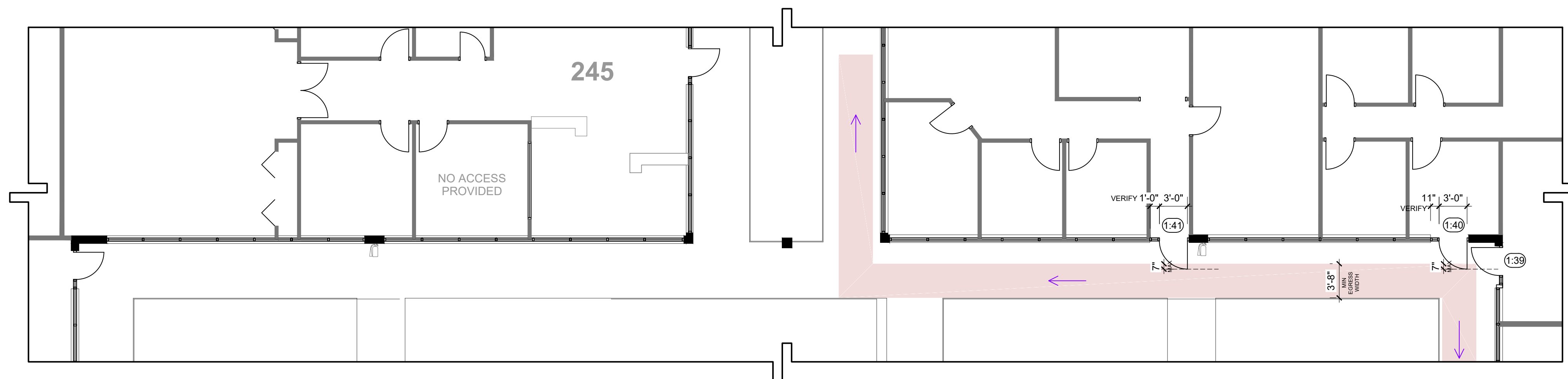
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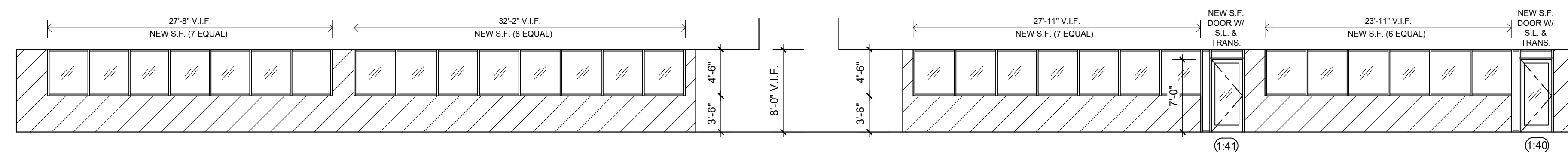
SECOND FLOOR BREEZEWAY - COURTYARD PLAN
SCALE: 1/8" = 1'-0"



H2
A-X
SECOND FLOOR BREEZEWAY - COURTYARD ELEVATION
SCALE: 1/8" = 1'-0"

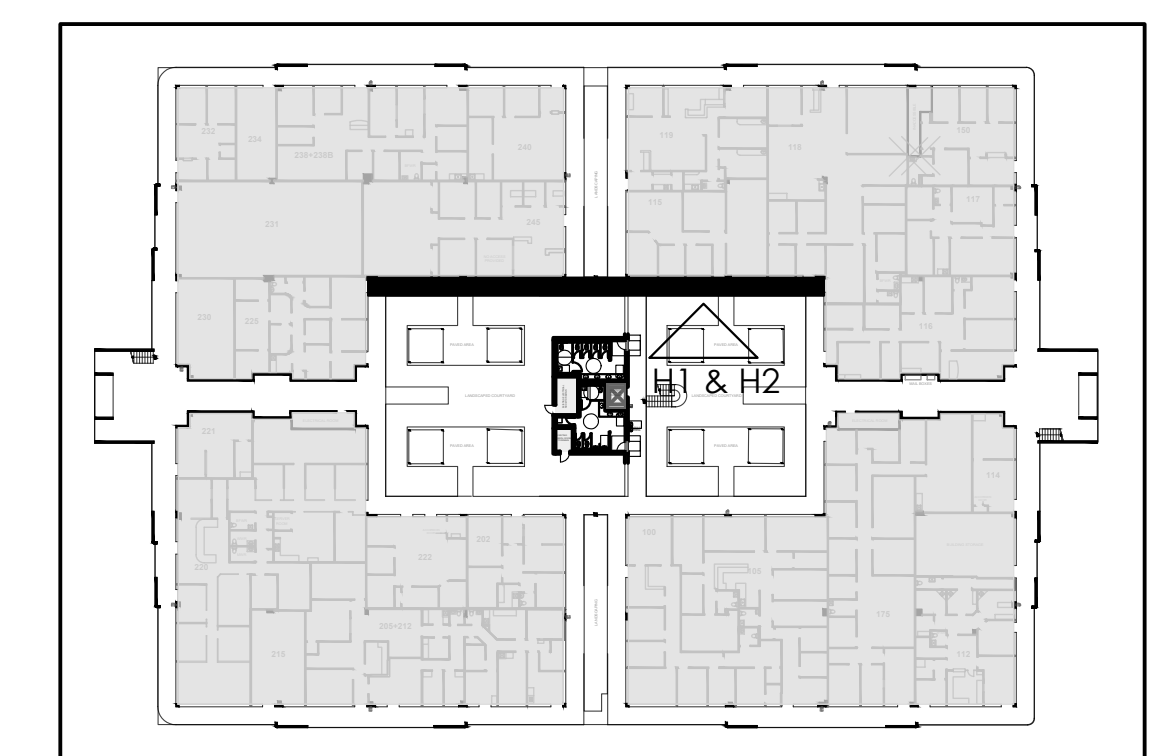


FIRST FLOOR BREEZEWAY - COURTYARD PLAN
SCALE: 1/8" = 1'-0"



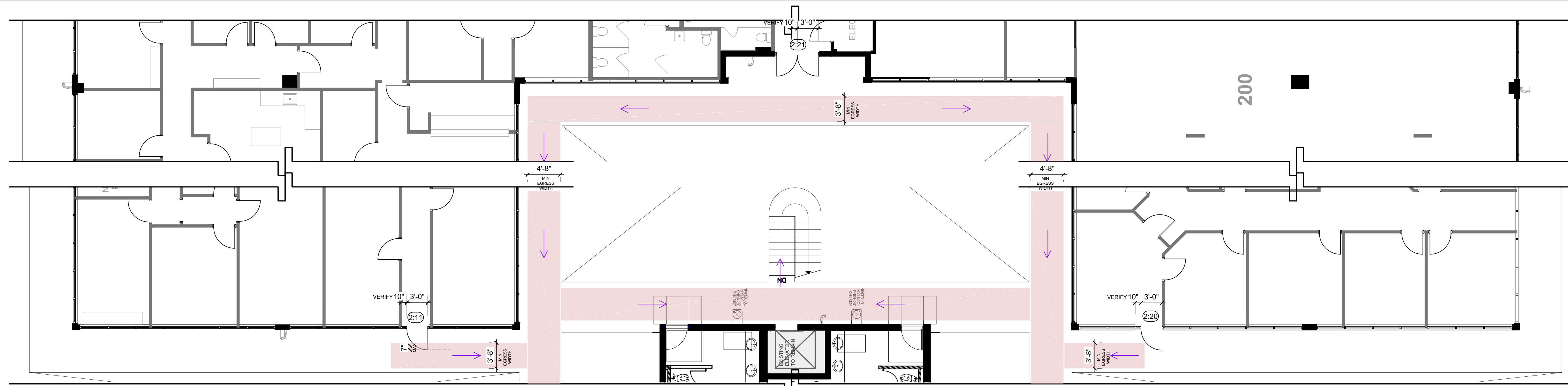
H1
A-X
FIRST FLOOR BREEZEWAY - COURTYARD ELEVATION
SCALE: 1/8" = 1'-0"

LEGEND	
(1:23)	DOOR DESIGNATION
	EXISTING CONSTRUCTION TO REMAIN
	MINIMUM EGRESS PATH



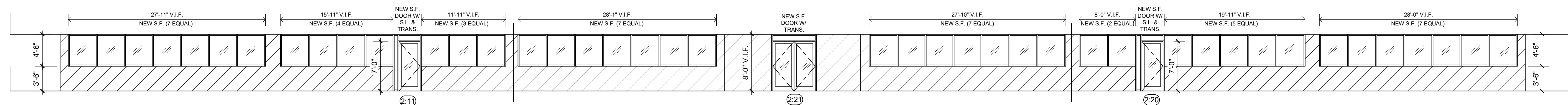
KEY PLAN
N.T.S.

ALL EXISTING STOREFRONT TO BE REMOVED AND REPLACED WITH NEW IMPACT RATED STOREFRONT SYSTEM.
ALL DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO SF FABRICATION



SECOND FLOOR BREEZEWAY - COURTYARD PLAN

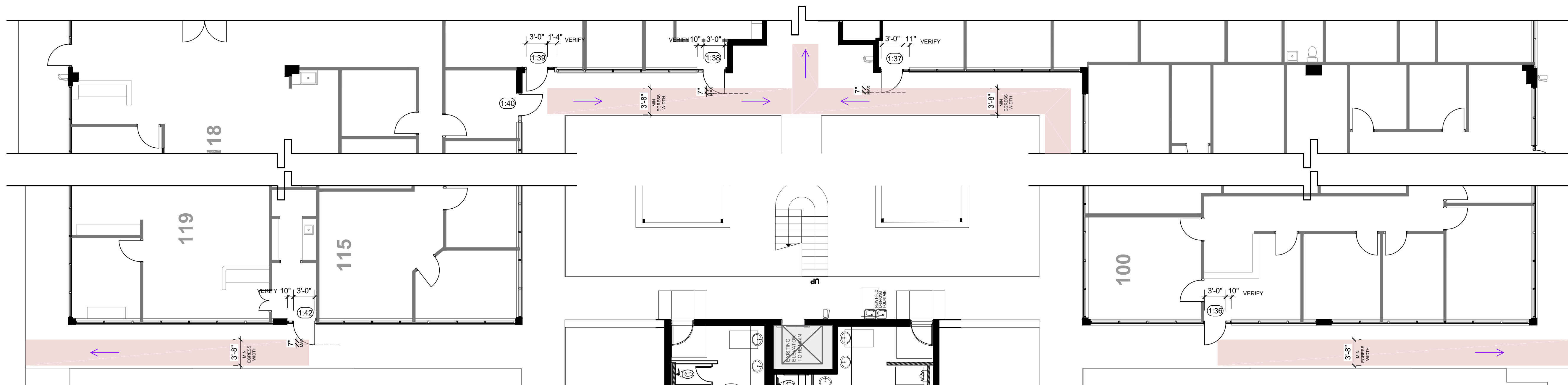
SCALE: 1/8" = 1'-0"



J2 SECOND FLOOR BREEZEWAY - COURTYARD ELEVATION
SCALE: 1/8" = 1'-0"

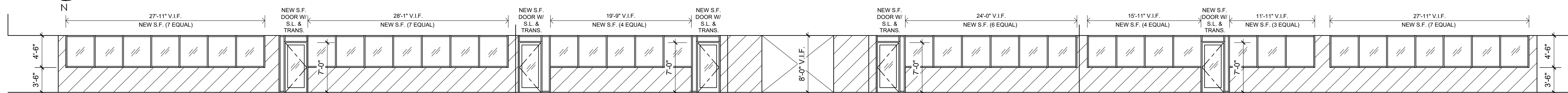
K2 SECOND FLOOR BREEZEWAY - COURTYARD ELEVATION
SCALE: 1/8" = 1'-0"

K2 SECOND FLOOR BREEZEWAY - COURTYARD ELEVATION
SCALE: 1/8" = 1'-0"



FIRST FLOOR BREEZEWAY - COURTYARD PLAN

SCALE: 1/8" = 1'-0"



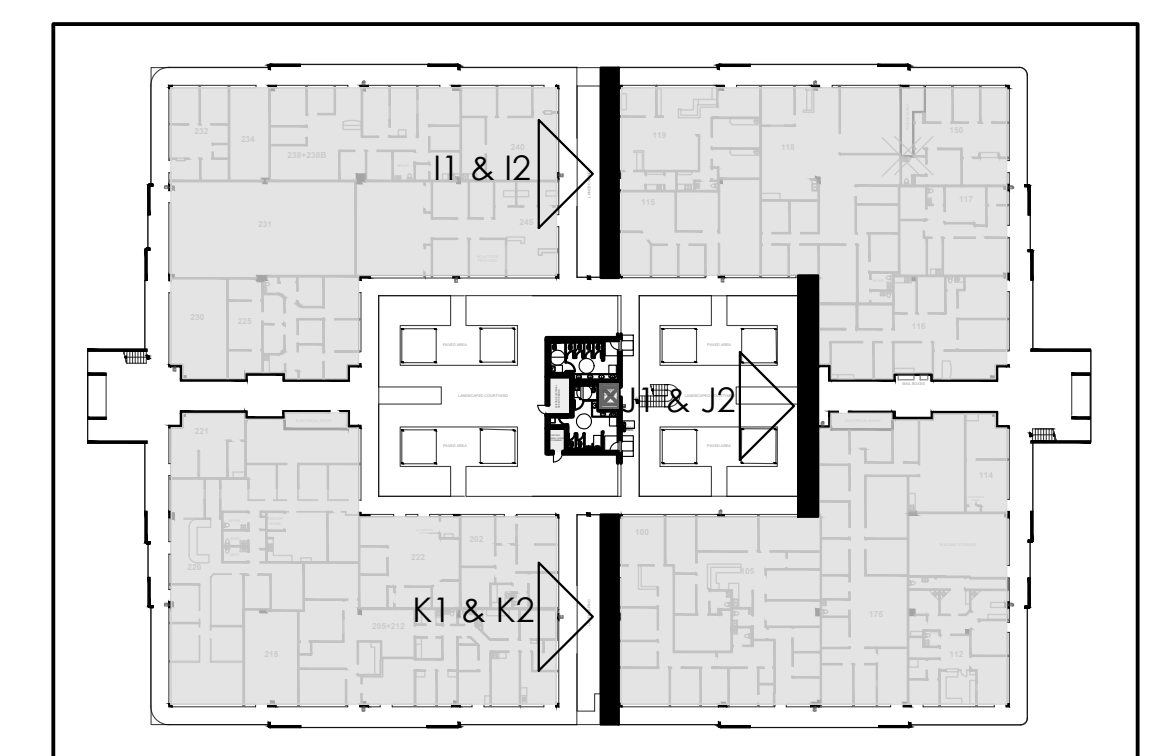
J1 FIRST FLOOR BREEZEWAY - COURTYARD ELEVATION
SCALE: 1/8" = 1'-0"

K1 FIRST FLOOR BREEZEWAY - COURTYARD ELEVATION
SCALE: 1/8" = 1'-0"

K1 FIRST FLOOR BREEZEWAY - COURTYARD ELEVATION
SCALE: 1/8" = 1'-0"

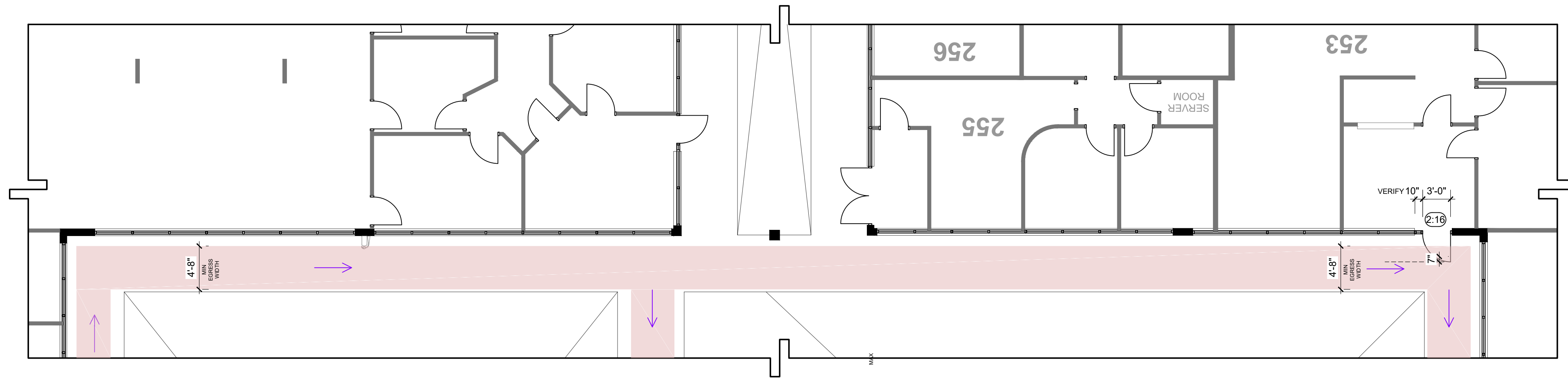
ALL EXISTING STOREFRONT TO BE REMOVED AND REPLACED WITH NEW IMPACT RATED STOREFRONT SYSTEM. ALL DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO SF FABRICATION

LEGEND	
(1:23)	DOOR DESIGNATION
	EXISTING CONSTRUCTION TO REMAIN
	MINIMUM EGRESS PATH

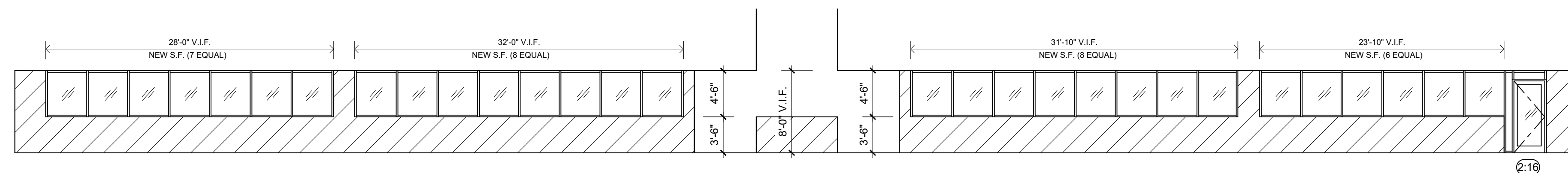


KEY PLAN

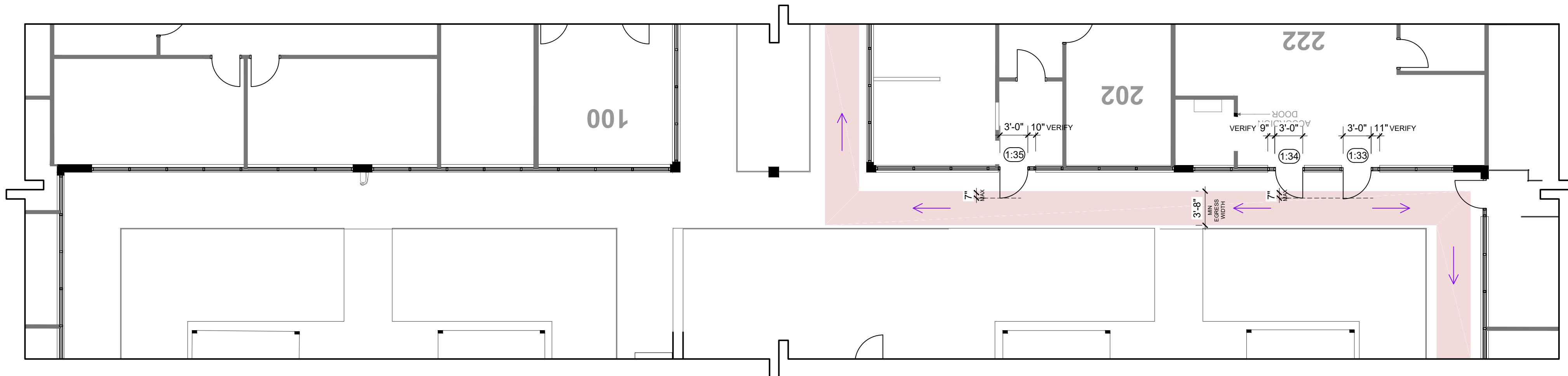
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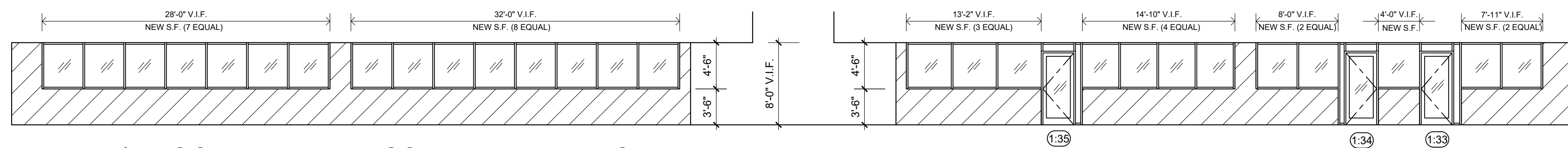
SECOND FLOOR BREEZEWAY - COURTYARD PLAN
SCALE: 1/8" = 1'-0"



L2 SECOND FLOOR BREEZEWAY - COURTYARD ELEVATION
SCALE: 1/8" = 1'-0"

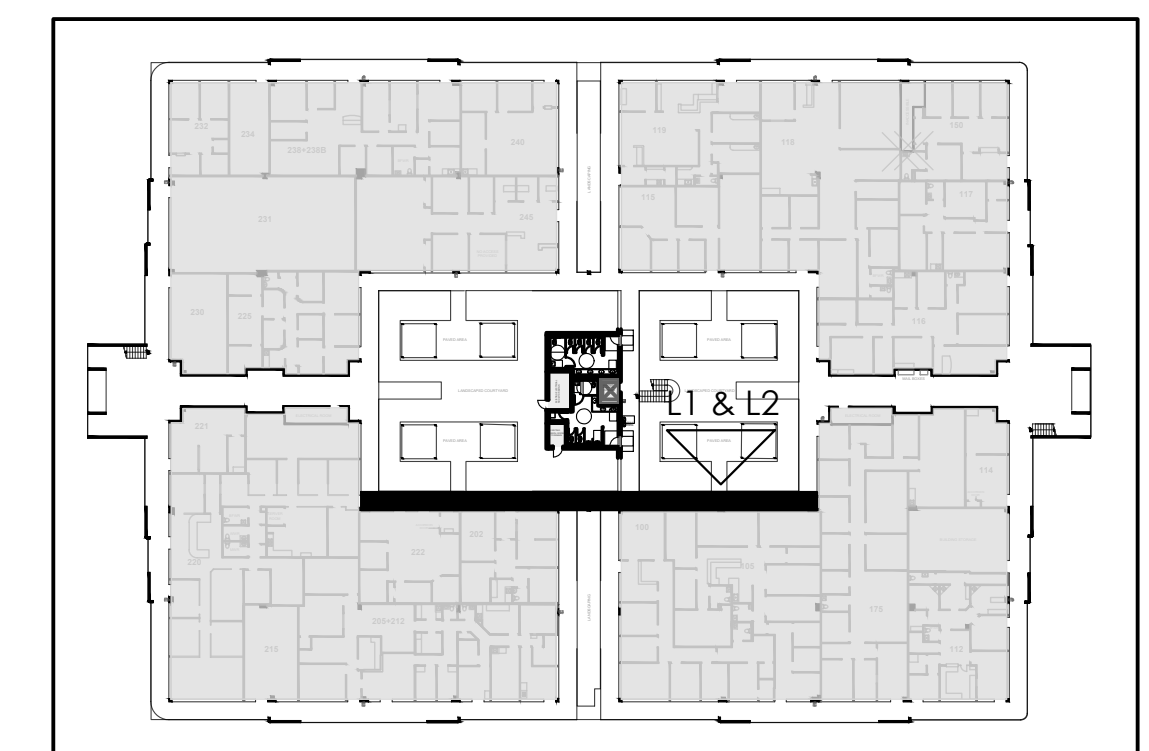


FIRST FLOOR BREEZEWAY - COURTYARD PLAN
SCALE: 1/8" = 1'-0"



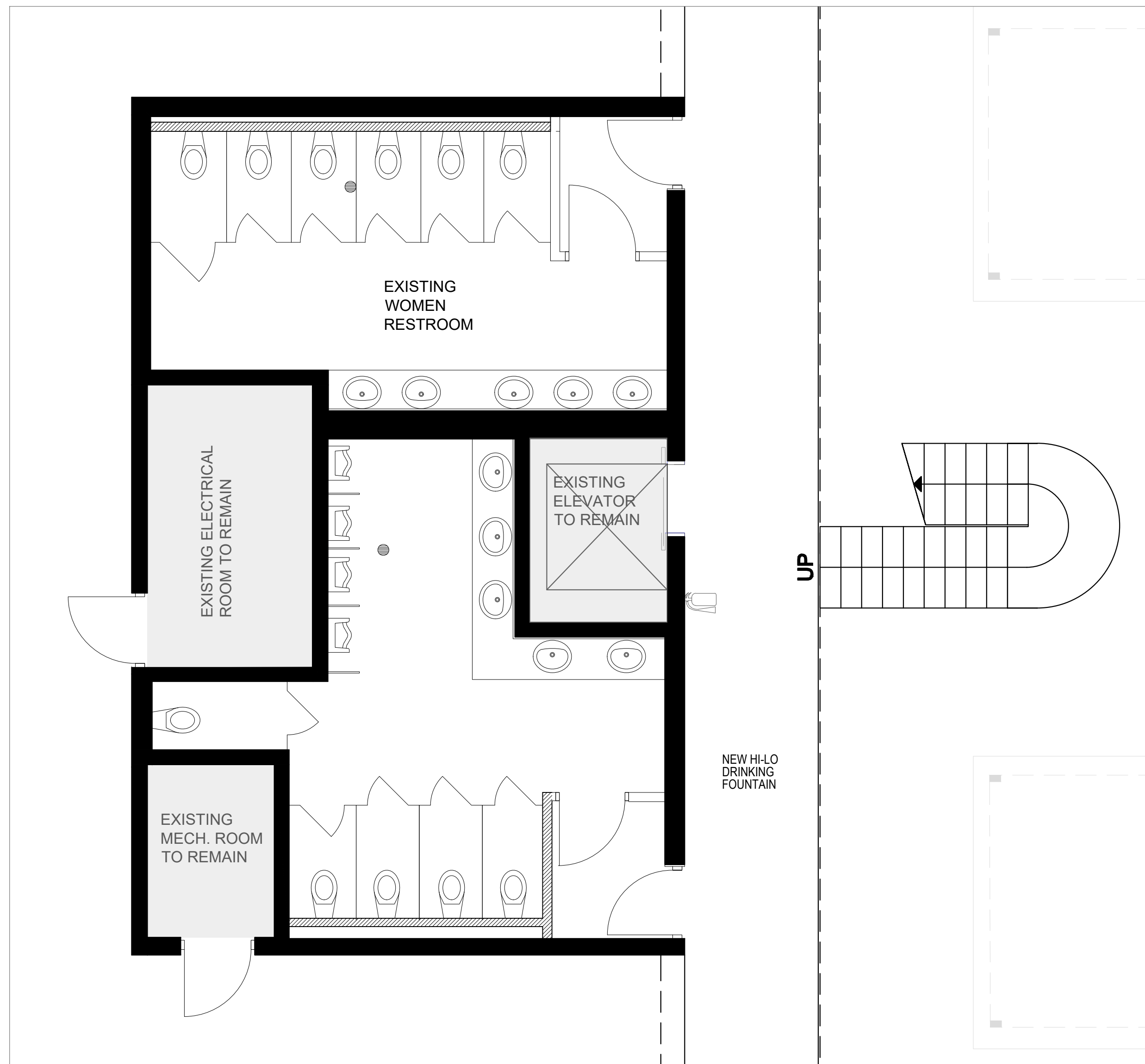
L1 FIRST FLOOR BREEZEWAY - COURTYARD ELEVATION
SCALE: 1/8" = 1'-0"

LEGEND	
(1:23)	DOOR DESIGNATION
	EXISTING CONSTRUCTION TO REMAIN
	MINIMUM EGRESS PATH



KEY PLAN
N.T.S.

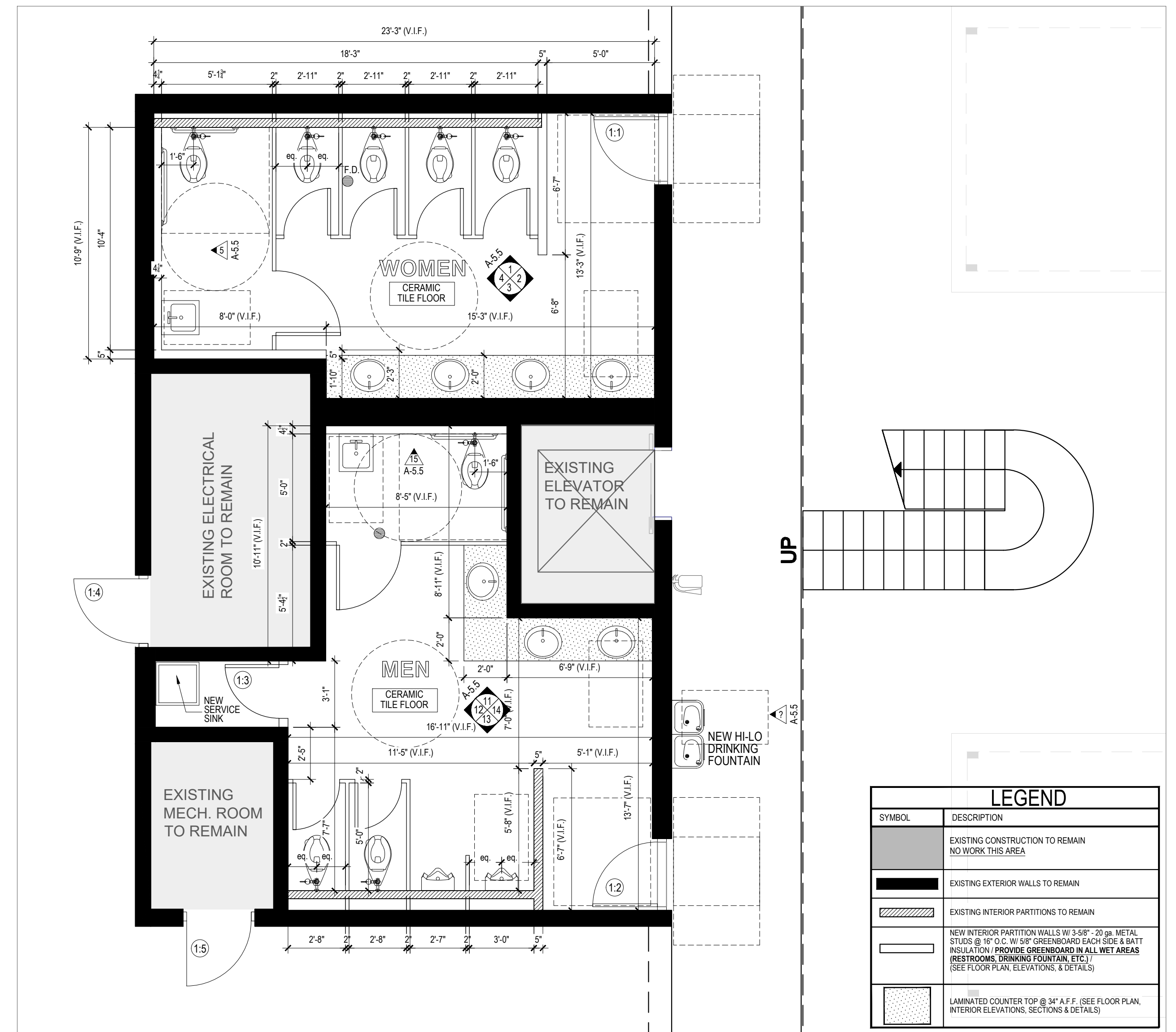
ALL EXISTING STOREFRONT TO BE REMOVED AND REPLACED WITH NEW IMPACT RATED STOREFRONT SYSTEM.
ALL DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO SF FABRICATION



1st. FLOOR RESTROOMS - EXISTING FLOOR PLAN

SCALE: 1/4" = 1'-0"

PLEASE NOTE
GRAY COLOR INDICATES EXISTING AREAS TO REMAIN / **NO WORK IN THESE AREAS** UNDER THIS PERMIT



1st. FLOOR RESTROOMS - PROPOSED FLOOR PLAN

SCALE: 1/4" = 1'-0"

LEGEND	
SYMBOL	DESCRIPTION
[Gray Box]	EXISTING CONSTRUCTION TO REMAIN NO WORK THIS AREA
[Thick Line]	EXISTING EXTERIOR WALLS TO REMAIN
[Thin Line]	EXISTING INTERIOR PARTITIONS TO REMAIN
[Hatched Box]	NEW INTERIOR PARTITION WALLS W/ 3-5/8" - 20 ga. METAL STUDS @ 16" O.C. W/ 5/8" GREENBOARD EACH SIDE & BATT INSULATION PROVIDES GREENBOARD IN ALL NET AREAS (RESTROOMS, DRINKING FOUNTAIN, ETC.) (SEE FLOOR PLAN, ELEVATIONS, & DETAILS)
[Dotted Box]	LAMINATED COUNTER TOP @ 3/4" F.F. (SEE FLOOR PLAN, INTERIOR ELEVATIONS, SECTIONS & DETAILS)

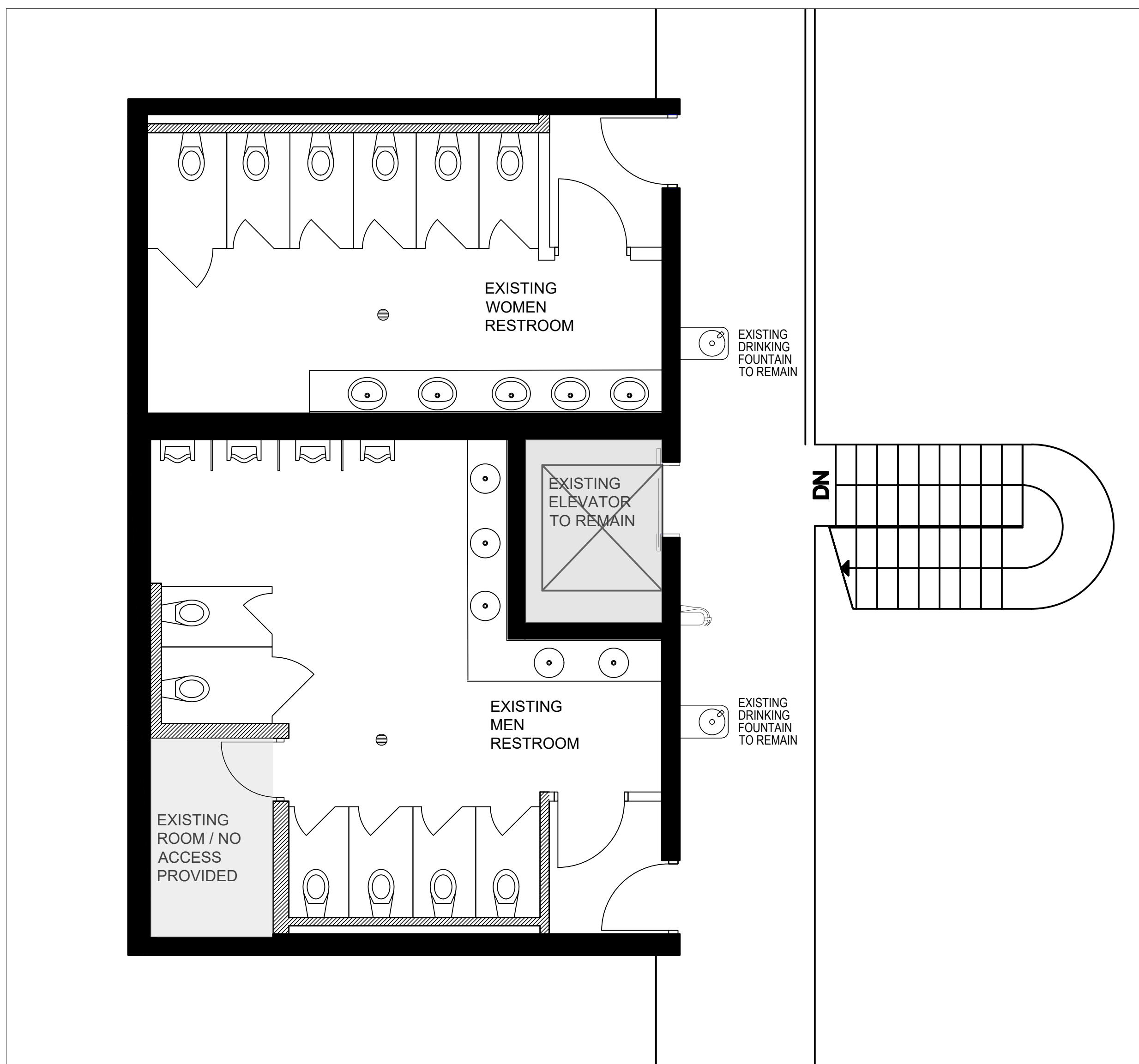
PLEASE NOTE
GRAY COLOR INDICATES EXISTING AREAS TO REMAIN / **NO WORK IN THESE AREAS** UNDER THIS PERMIT

MIN PLUMBING FACILITIES													
(2017 FLORIDA PLUMBING CODE TABLE 403.1)													
	OCCUP.	W.C.	REQ	PROV	LAV.	REQ	PROV	D.F.	REQ	PROV	S.S.	REQ	PROV
BUSINESS	280 (TOTAL)							1/100	1	1	-	1	1
MALES (50%)	140	1/25 (FIRST 50)	2	(3) W.C. & (2) URINALS	1/40 (FIRST 80)	2	4						
		1/50 (> 50)	2		1/80 (> 80)	1							
FEMALES (50%)	140	1/25 (FIRST 50)	2	(5) W.C.	1/40 (FIRST 80)	2	5						
		1/50 (> 50)	2		1/80 (> 80)	1							

DOOR SCHEDULE											
DOOR NO.	LOCATION	DOOR							PRODUCT APPROVAL	REMARKS	
		WIDTH	HEIGHT	THICK	MATL	FRAME	TYPE	RATING			
1.1	WOMEN RESTROOM ENTRANCE	3'-0"	7'-0"	1-3/4"	HM	HM	A	60 min	CL, DS, KP, LHS, WS	N.O.A. #23-0823.15	EXTERIOR INSWING H.M. DOOR IN A.H.M. FRAME. W/ CONT. HINGES, SELF-CLOSER, H.C. HARDWARE & EXTERIOR LOCK (RATING + 60 MIN) / S.S. SATIN FINISH KICKPLATE /
1.2	MEN RESTROOM ENTRANCE	3'-0"	7'-0"	1-3/4"	HM	HM	A	60 min	CL, DS, KP, LHS, WS	N.O.A. #23-0823.15	EXTERIOR INSWING H.M. DOOR IN A.H.M. FRAME. W/ CONT. HINGES, SELF-CLOSER, H.C. HARDWARE & EXTERIOR LOCK (RATING + 60 MIN) / S.S. SATIN FINISH KICKPLATE /
1.3	SERVICE SINK	2'-6"	7'-0"	1-3/4"			A		LHS, CL, DS		SOLID CORE STAIN GRADE 1 3/4" WOOD - S.C. HARDWARE, SELF-CLOSER & EXTERIOR LOCK
1.4	EXISTING ELECTRICAL ROOM										EXISTING TO REMAIN
1.5	EXISTING MECHANICAL ROOM										EXISTING TO REMAIN

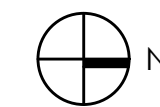
HARDWARE LEGEND	
TYPE	DESCRIPTION
CL	DOOR CLOSER - 5.5 SF EXT. - 5.0 SF INT.
DS	DOOR STOP
KP	KICK PLATE
LHS	HEAVY DUTY LEVER HANDLE W/ CLASSICAL LOCK SET KEY EXT. (ADA)
WS	WEATHER STRIPPING

* VERIFY FINISHES WITH OWNER

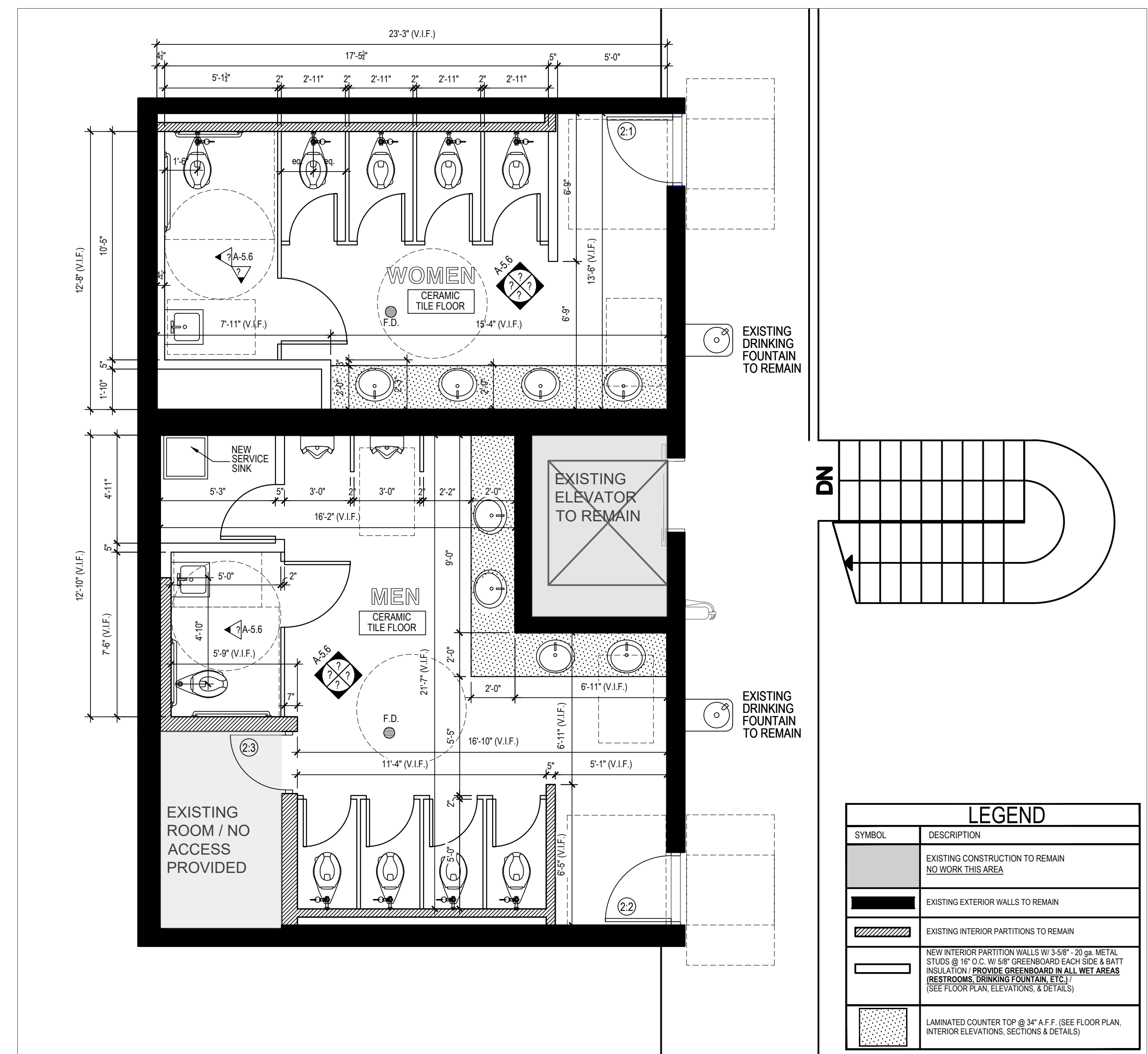


2nd. FLOOR RESTROOMS - EXISTING FLOOR PLAN

SCALE: 1/4" = 1'-0"

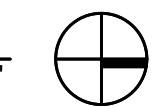


PLEASE NOTE
GRAY COLOR INDICATES EXISTING AREAS TO REMAIN / **NO WORK IN THESE AREAS** UNDER THIS PERMIT



2nd. FLOOR RESTROOMS - PROPOSED FLOOR PLAN

SCALE: 1/4" = 1'-0"



LEGEND	
SYMBOL	DESCRIPTION
	EXISTING CONSTRUCTION TO REMAIN NO WORK THIS AREA
	EXISTING EXTERIOR WALLS TO REMAIN
	EXISTING INTERIOR PARTITIONS TO REMAIN
	NEW INTERIOR PARTITION WALLS W/ 3/8" - 20 ga. METAL STUDS @ 16" O.C. W/ 5/8" GREENBOARD EACH SIDE & BATT INSULATION / PROVIDE GREENBOARD IN ALL WET AREAS (RESTROOMS, DRINKING FOUNTAIN, ETC.) (SEE FLOOR PLAN, ELEVATIONS, & DETAILS)
	LAMINATED COUNTER TOP @ 3/4" A.F.F. (SEE FLOOR PLAN, INTERIOR ELEVATIONS, SECTIONS & DETAILS)

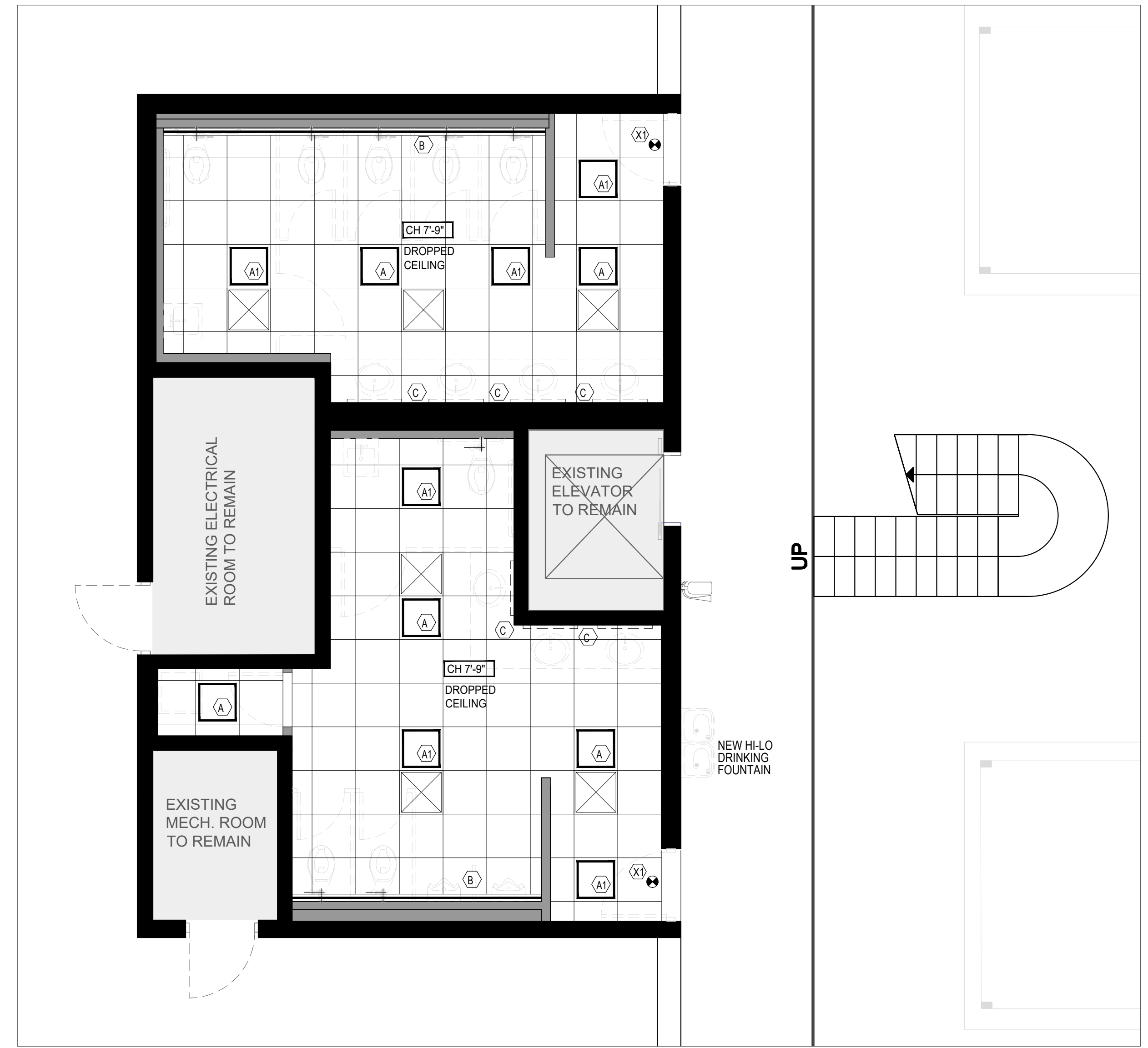
PLEASE NOTE
GRAY COLOR INDICATES EXISTING AREAS TO REMAIN / **NO WORK IN THESE AREAS** UNDER THIS PERMIT

MIN PLUMBING FACILITIES													(2017 FLORIDA PLUMBING CODE TABLE 403.1)					
	OCCUP.	W.C.	REQ.	PROV.	LAV.	REQ.	PROV.	D.F.	REQ.	PROV.	S.S.	REQ.	PROV.					
BUSINESS	280 (TOTAL)							1/100	1	2	-	1	1					
MALES (50%)	140	1/25 (FIRST 50) 1/50 (> 50)	2	(5) W.C. & (2) URINALS	1/40 (FIRST 80) 1/80 (> 80)	2	5											
FEMALES (50%)	140	1/25 (FIRST 50) 1/50 (> 50)	2	(5) W.C.	1/40 (FIRST 80) 1/80 (> 80)	2	5											

DOOR SCHEDULE											
DOOR NO.	LOCATION	DOOR							PRODUCT APPROVAL	REMARKS	
		WIDTH	HEIGHT	THICK	MATL	FRAME	TYPE	RATING			
2.1	WOMEN RESTROOM ENTRANCE	3'-0"	7'-0"	1-3/4"	HM	HM	A	60 min	CL DS, KP, LH3, WS	N.O.A. #23-0823.15	EXTERIOR INSWING H.M. DOOR IN A.H.M. FRAME. W/ CONT. HINGES, SELF-CLOSER, H.C. HARDWARE & EXTERIOR LOCK (RATING + 60 MIN) / S.S. SATIN FINISH KICKPLATE /
2.2	MEN RESTROOM ENTRANCE	3'-0"	7'-0"	1-3/4"	HM	HM	A	60 min	CL DS, KP, LH3, WS	N.O.A. #23-0823.15	EXTERIOR INSWING H.M. DOOR IN A.H.M. FRAME. W/ CONT. HINGES, SELF-CLOSER, H.C. HARDWARE & EXTERIOR LOCK (RATING + 60 MIN) / S.S. SATIN FINISH KICKPLATE /
2.3	EXISTING ROOM										EXISTING TO REMAIN

HARDWARE LEGEND	
TYPE	DESCRIPTION
CL	DOOR CLOSER - 5.5 SF EXT. - 5.0 SF INT.
DS	DOOR STOP
KP	KICKPLATE
LH3	HEAVY DUTY LEVER HANDLE W/ CLASSIC LOCK SET KEY-EXIT (ADA)
WS	WEATHER STRIPPING

* VERIFY FINISHES WITH OWNER



1st. FLOOR RESTROOMS - PROPOSED RCP

SCALE: 1/4" = 1'-0"

PLEASE NOTE
 GRAY COLOR INDICATES EXISTING AREAS TO REMAIN /
NO WORK IN THESE AREAS
 UNDER THIS PERMIT

LIGHT FIXTURE SCHEDULE							
TYPE	DESCRIPTION	MANUFACTURER	CATALOG #	VOLT	LAMP	WATTS	COMMENTS
A	2' X 2' FLAT PANEL	ENVISION	LED-BPL-2X2-3M40-5CCT	120 / 277	LED	31 W	
A1	2' X 2' FLAT PANEL - EMG.	ENVISION	LED-BPL-2X2-3M40-5CCT-EMB	120 / 277	LED	31 W	
B	CONTINUOUS LED LIGHT / (LIGHT COVES)						
C	MIRROR W/ LED LIGHTS						
X1	EDGE LIT EXIT SIGN	CONTECH	REXA-SF-R-EM-P	120	LED	3 W	

* FACTORY SUBMITTAL TO BE APPROVED BY ARCHITECT & OWNER BEFORE ORDERING

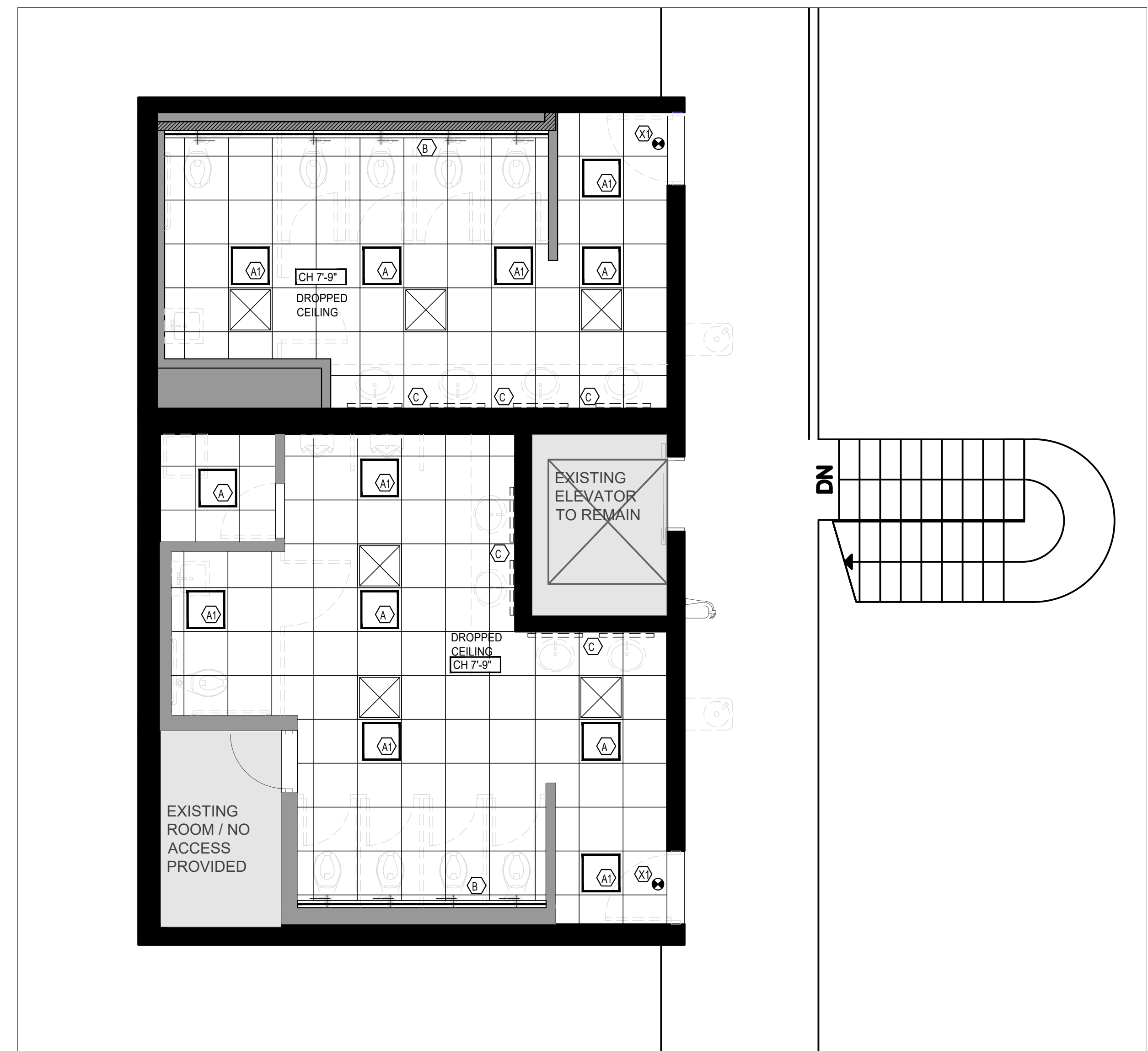
PLEASE NOTE:
REFER TO MECH. DWGS. FOR ALL A/C SUPPLY AND RETURN GRILLES.
 A/C SUPPLY SQUARE GRILLS TO BE TITUS OMNI MODEL - MATTE WHITE COLOR. G.C. TO PROVIDE SHOP DRAWINGS FOR OWNER / ARCHITECT APPROVAL.

PLEASE NOTE:
 ALL FURRING, FRAMING & BLOCKING ABOVE THE CEILING SHALL BE OF NON-COMBUSTIBLE MATERIALS.

PLEASE NOTE:
 ALL DROPPED CEILING TO BE ARMSTRONG / DUNE, FINE TEXTURE W/ SUPRAFINE 9/16" EXPOSED WHITE TEE GRID.

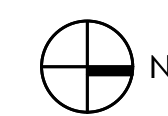
PLEASE NOTE:
 PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS, UTILITY LOCATIONS & CONDITIONS. IF A DISCREPANCY EXISTS ON THE DRAWINGS, CONTRACTOR IS TO NOTIFY ARCHITECT BEFORE PROCEEDING W/ WORK. IF CONTRACTOR PROCEEDS WITHOUT NOTIFICATION TO ARCHITECT, CONTRACTOR SHALL BE RESPONSIBLE FOR MODIFICATION TO IMPROVEMENTS.

PLEASE NOTE:
 GENERAL CONTRACTOR SHALL NOT BE PERMITTED TO MODIFY, ATTACH TO OR HANG ANY LOADS FROM THE LL'S DUCTWORK, WATER LINES, OR CONDUITS. ALL FINISHED SURFACES TO BE TRUE, LEVEL AND PLUMB.



2nd. FLOOR RESTROOMS - PROPOSED RCP

SCALE: 1/4" = 1'-0"



PLEASE NOTE
 GRAY COLOR INDICATES EXISTING
 AREAS TO REMAIN /
NO WORK IN THESE AREAS
 UNDER THIS PERMIT

