

LAND FOR SALE

# 10600 HOOPER ROAD

10600 HOOPER ROAD, CENTRAL, LA 70818



**CASTRO REAL ESTATE SERVICES**

6777 Jefferson Hwy  
Baton Rouge, Louisiana 70806



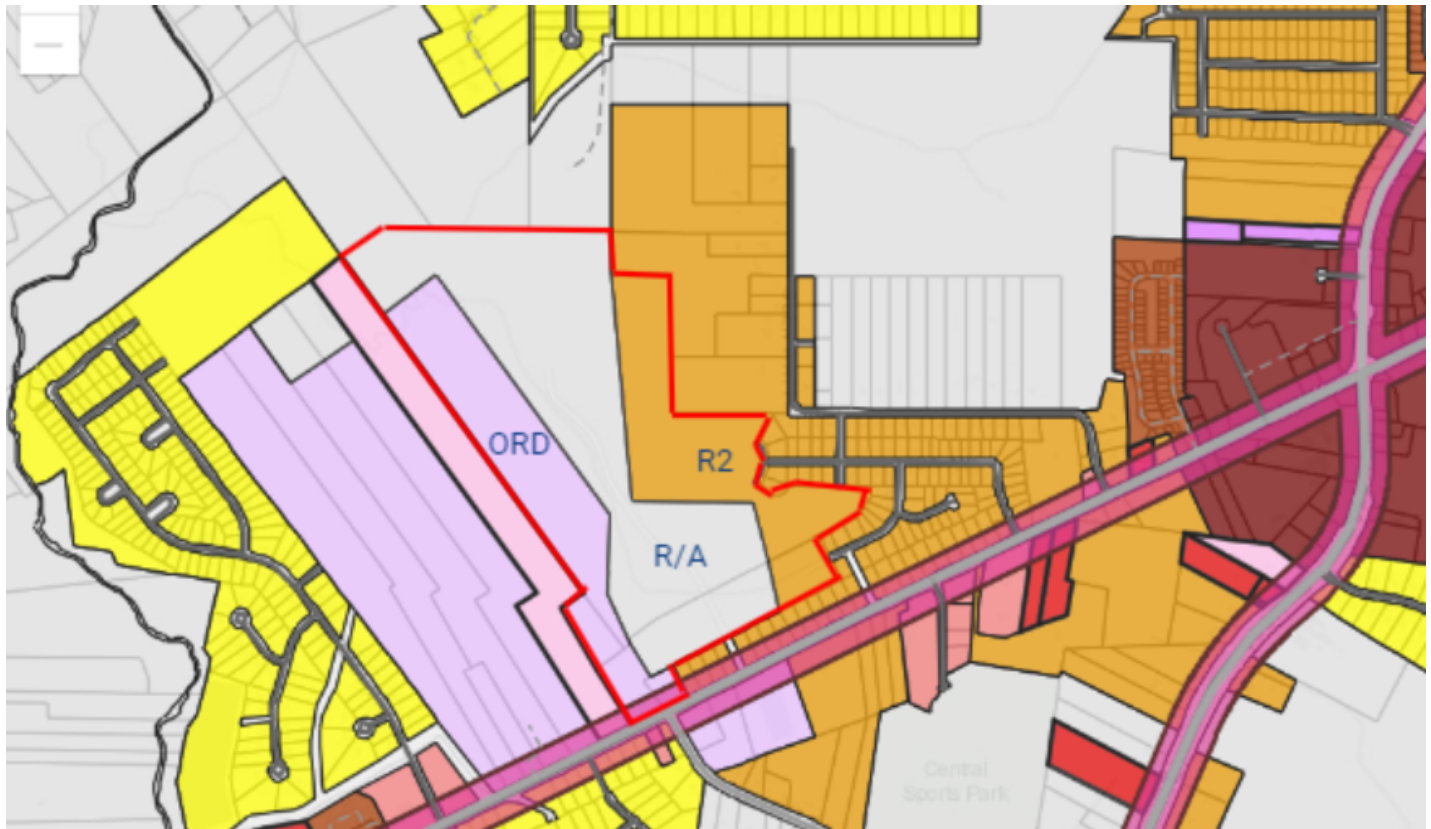
*PRESENTED BY:*

**MIGUEL CASTRO, JR**  
Castro Real Estate Services  
office: (225) 936-7643  
cell: (225) 936-7643  
miguel@castrorealestateservices.com  
995703492, Louisiana

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# PROPERTY SUMMARY

10600 HOOPER ROAD



## Property Summary

Today's Date	1/17/2024
Price:	\$1,500,000
Lot Size:	143.5 Acres
Price / Acre:	\$13,240
Cross Streets:	Hooper Rd and Lovett
Permitted Uses:	Residential and Commercial
Frontage:	450'
Depth:	3,900'
Zoning:	R-2, RA & ORD
APN:	2069997, 82333

## Property Overview

This property sits in the middle of the fast growing city of Central. It is prime for an ambitious development that will serve the community for years to come.

## Location Overview

City of Central is a suburb of Baton Rouge, located about a 25 minute drive North East of BR. Formerly known as Greenwell Springs because of its springs with infamous curative properties of the 1800s, the city got it's new name for the centralization of their many spread out schools.

It is primarily these Centralized schools that attract many new residents to Central every year. Come build a home and be a part of this community.

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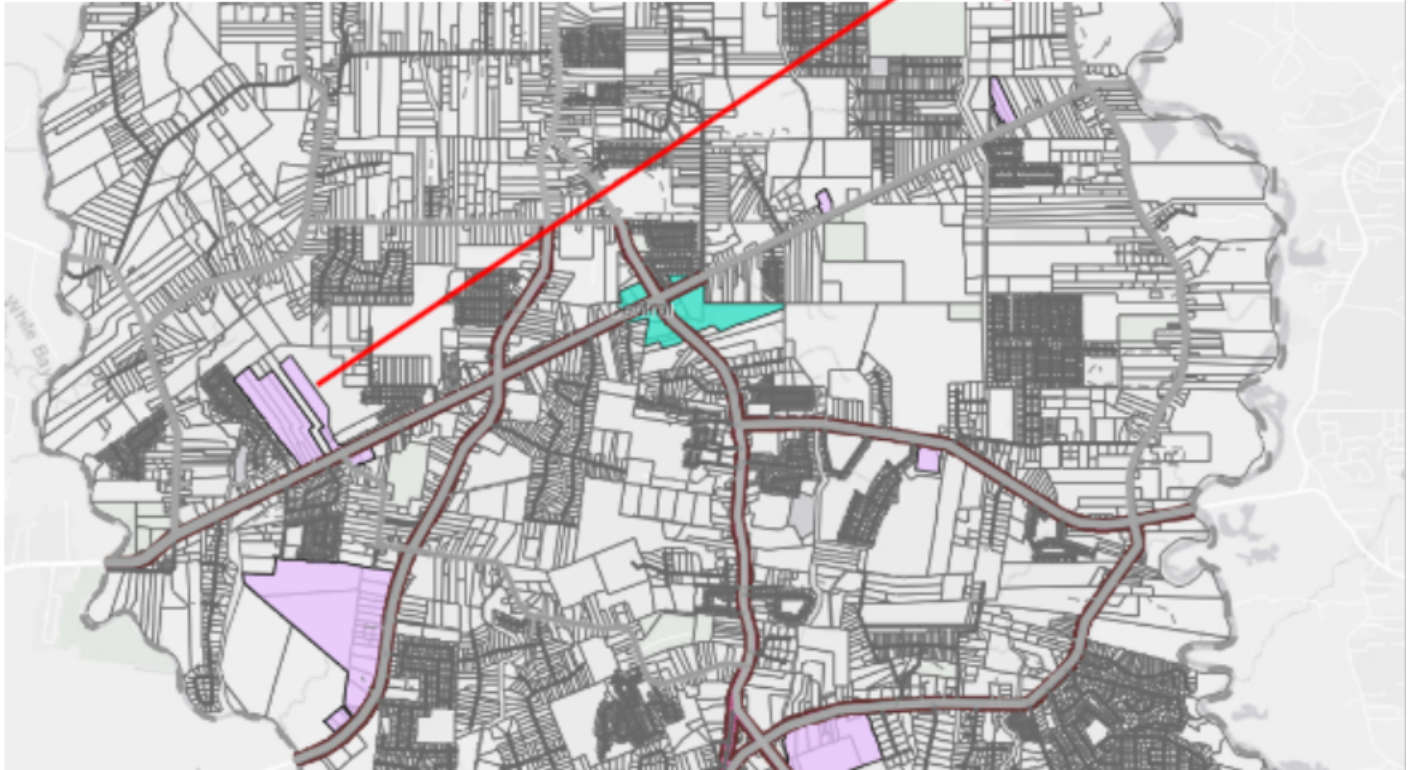
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# PROPERTY DESCRIPTION

10600 HOOPER ROAD



One of the few ORD spots in Central



## Commercial/Residential

This large piece of prime real estate in the city of Central is comprised of four parcels that total approximately 143.6 acres. About 450 linear feet front Hooper Road and perpendicular to the Lovett and Hooper intersection. This property is about 3,900 feet deep. Tons of possibilities with this piece of land.

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### CHAPTER 12. - RURAL/AGRICULTURAL DISTRICT (R/A)

#### Sec. 12.1. - Permitted uses.

- A. Farming of any kind, including, but not limited to, agriculture, floriculture, forestry, horticulture, nurseries, orchards, truck farming, viticulture;
- B. Single-family detached dwellings;
- C. Parks, playgrounds, and preservation areas;
- D. Farm stands for the sale only of produce - at least 50 percent of which is grown on the lot or parcel on which the farm stand is located.
- E. Mobile homes (but not mobile home parks) in accordance with Chapter 18;
- F. Barns and other agriculture buildings; and
- G. Accessory Dwelling Units in accordance with Section 19.2.

#### Sec. 12.2. - Conditional uses.

- A. Breeding, Raising or keeping of livestock;
- B. Churches, temples and synagogues, on lots not less than 12,000 square feet in area and not less than 90 feet in width;
- C. Communications towers;
- D. Country, swim or tennis clubs;
- E. Golf course (public or private);
- F. Kennels or dog breeding facilities;
- G. Private athletic fields and related activities;
- H. Recreational vehicle (RV) parks in accordance with Section 19.4;
  - I. Riding (horses) clubs or schools;
  - J. Schools; elementary, middle or high;
- K. Shooting or gun clubs. (Must be a minimum of 300 feet from the property line of any residential use);
- L. Utility uses, including water filtration plants, pumping stations, and reservoirs.

(Ord. No. 2018-51, 12-18-2018; Ord. No. 2019-43, 11-23-2019)

#### Sec. 12.3. - Bulk regulations.

- A. Minimum Lot Size:
  - 1.

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Minimum area: 1 acre; however, if an area is designated as Conservation, Restrictive Green Space or Incentive Green Space on the 2010 Master Plan Land Use Plan and the subdivision(s) of the property contain 6 or more residential lots, then each lot shall be a minimum of 3 acres and these lots with be subject to no further subdivision.

2. Minimum width: 150 feet for one acre lots and 250 feet for 3-acre lots.

B. Minimum Setbacks:

1. Front Yard: 35 feet.

2. Side yard: 25 feet.

3. Corner side yard: 35 feet.

4. Rear yard: 35 feet.

C. Maximum Building Height: 40 feet measured from the average elevation of the finished grade within 20 feet of the front of the proposed building

D. Parking as required by Off-street Parking and Loading Regulations (Chapter 16).

(Ord. No. 2014-11, 7-1-2014; Ord. No. 2016-53, 12-12-2016)

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### CHAPTER 4. - SINGLE-FAMILY RESIDENCE DISTRICT (R-2)

#### Sec. 4.0. - Purpose.

The purpose of Single-Family Residence District (R-2) is to permit medium density with a maximum Net Density of 4 units per acre.

#### Sec. 4.1. - Permitted uses.

Any use permitted in R-1 District except Accessory Dwelling Units, however, any proposed development of 15 or more units shall require conditional use approval as a PUD.

#### Sec. 4.2. - Conditional uses.

All Conditional Uses permitted in R-1 Districts.

#### Sec. 4.3. - Bulk regulations.

##### A. Lot Area:

1. Minimum width: 75 feet.
2. Minimum total area: 10,500 square feet.

##### B. Setbacks:

1. Minimum Front Yard: 15 feet. Where the front yard setback for 50 percent of the frontage on the same side of a street as the subject property, between two intersecting streets exceeds the minimum, the front yard setback shall be not less than the average front yard setback for the existing buildings. Frontloaded garages shall have a minimum front yard setback of 25 feet.
2. Minimum Rear Yard: 25 feet. Where the rear yard setback in a Recognized Subdivision, as set forth on the subdivision's final plat or, if no such setback is set forth, the rear yard setback required by the UDC at the time the final subdivision plat was approved is smaller than 25 feet, a new structure may be constructed with said smaller setback.
3. Minimum for each Side Yard: the greater of seven and one-half feet or ten percent of the Lot Width.
4. Minimum Corner Side Yard: the greater of 25 feet or 20 percent of the Lot Width.

##### C. Lot Coverage:

1. Maximum total lot coverage: maximum 50 percent.
- 2.

# R2 ZONING

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Maximum Rear yard: 30 percent of the rear yard covered by Accessory Buildings (carport, garage, storage shed, etc.). No Accessory Building shall be constructed closer than ten feet to the residential structure.

- D. Building Height: Maximum: 35 feet measured from the average elevation of the finished grade within 20 feet of the front of the proposed building.
- E. Roof Pitch: The pitch ratio of the main roof of any residential structure must be, at a minimum, 6:12 for at least 50 percent of the building elevation(s) facing a roadway(s). This roof pitch requirement shall only be applicable to new residential construction; not renovations to existing residences or the replacement of a damaged or destroyed residence.
- F. Parking. Minimum: two off-street parking spaces not including driveways.

(Ord. No. 2022-21, § 1, 5-24-2022; Ord. No. 2022-26, § 2, 6-28-2022)



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### CHAPTER 11. - OFFICE, RESEARCH AND DEVELOPMENT DISTRICT (O, R & D)

#### Sec. 11.1. - Purpose; prohibited uses.

The Office, Research and Development District is intended to provide locations for offices, scientific research facilities, and light industrial and manufacturing, including but not limited to, assembly, packaging, light metal fabrication and warehousing conducted within completely enclosed buildings, except off-street parking, off-street loading, and some outdoor storage of materials and equipment. The following uses are not permitted:

1. Refining, or manufacture of any gas or petroleum product;
2. Manufacture of acid, alcohol, ammonia, asphalt, bleaching powder, chlorine, fertilizer, glue, size, gelatin, oil cloth, linoleum, oiled rubber goods, paint, oil, shellac, turpentine, varnish, paper and pulp, soap, tallow, grease or lard, roofing tar or waterproofing or vinegar;
3. Arsenal;
4. Auto wrecking;
5. Blast furnace;
6. Brick, tile pottery or terra cotta manufacturing (except for handcraft products);
7. Coke ovens;
8. Creosote manufacture or treatment;
9. Disinfectants manufacture;
10. Distillation of bones, coal or wood;
11. Dye stuff manufacture;
12. Explosives or fireworks manufacture or storage;
13. Fat rendering;
14. Forge plant;
15. Iron, steel, brass or copper foundry or fabrication plant (except light metal fabrication);
16. Junkyard;
17. Tanning, curing, or storage of rawhides or skins;
18. Tar distillation or manufacture;
19. Wool pulling or scouring;
20. Yeast plant.

#### Sec. 11.2. - Permitted uses.

1. All permitted uses in the B-4 District;

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2. Apparel and textile manufacturing;
3. Ambulance services;
4. Any establishment, the principal use of which is metal fabrication, processing, assembly, repairing, storing, cleaning, servicing or testing of materials, goods or products provided that all operations conform to the performance standards and other regulations set forth herein;
5. Bakeries, wholesale;
6. Bottling works;
7. Cabinet manufacturing shops;
8. Electronic component manufacturing facilities;
9. Furniture cleaning, upholstery and repair shops;
10. Research, development and testing facilities;
11. Silver plating and repair services;
12. Newspaper offices, including printing;
13. Printing, publishing or lithography establishments;
14. Scientific research facilities;
15. Warehousing and distribution.

### Sec. 11.3. - Conditional uses.

1. All conditional uses in the B-4 District;
2. Automobile body repair and paint shops;
3. Automobile and truck repair shops;
4. Concrete plant;
5. Residence of the proprietor, caretaker, or watchman of a permitted use or approved conditional use;
6. Self-service storage facilities;
7. Towing services;
8. Truck terminals;
9. Other uses determined by Zoning Commission to be substantially similar to an above use.

### Sec. 11.4. - Bulk regulations.

- A. Lot Area and Setback Requirements. With the exception of requirements that may be placed on PUDs, there are no lot size requirements for O, R & D uses. Front yard setbacks shall be improved with two deciduous trees, one ornamental tree, two evergreen trees, and 30 shrubs per each 200 lineal feet. Landscaping may be permitted in public street right-of-way, if authorized as part of

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plan approval. In addition, a rear yard setback amounting to 20 percent of the total lot area is required if the rear yard abuts a residential district. A side yard setback amounting to 20 percent of the total lot area is required if the side yard abuts a residential district. The rear or side yards shall be appropriately landscaped to screen the abutting residential property.

B. Maximum Building Height: 60 feet from the average elevation of the finished grade within 20 feet of the front of the proposed building.

C. Parking as required in Off-Street Parking and Loading Regulations (Chapter 16).

Sec. 11.5. - Additional requirements.

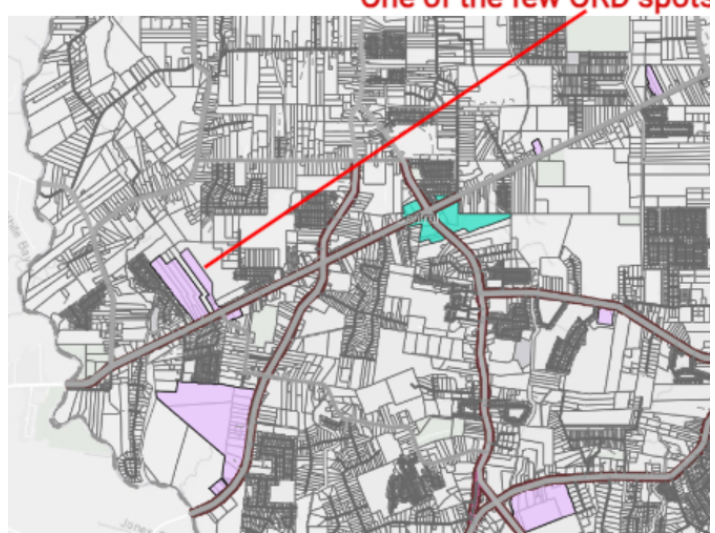
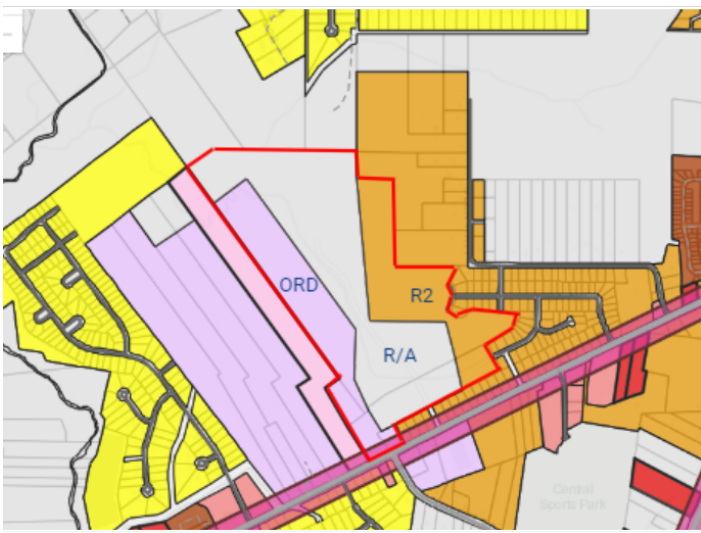
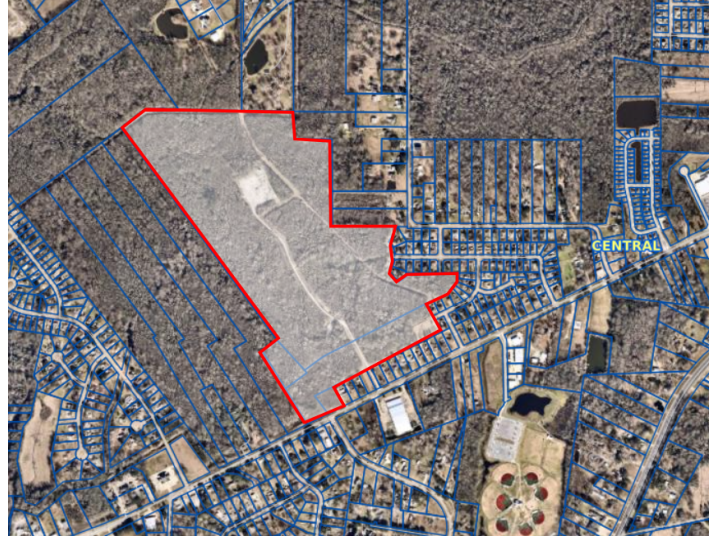
All activities, including but not limited to, manufacturing, assembling, packaging or fabrication shall be performed within completely enclosed buildings. Outdoor storage of material and equipment is permitted provided there is no outdoor storage in any yard abutting a residential area and an eight-foot solid fence or wall completely surrounds the outdoor storage area. No material or equipment (other than vehicles) stored outdoors may project higher than eight feet.

All dumpsters and other garbage or refuse receptacles shall be enclosed by masonry walls on three sides. The doors to the dumpster area shall be painted to match the masonry. Additionally, concrete pads and approach aprons shall be installed for the dumpsters.

All development within the O, R & D District not required to be approved as a PUD shall be subject to site plan review (as outlined in the City's subdivision regulations) for developments 30,000 square feet or greater.

# PROPERTY PHOTOS

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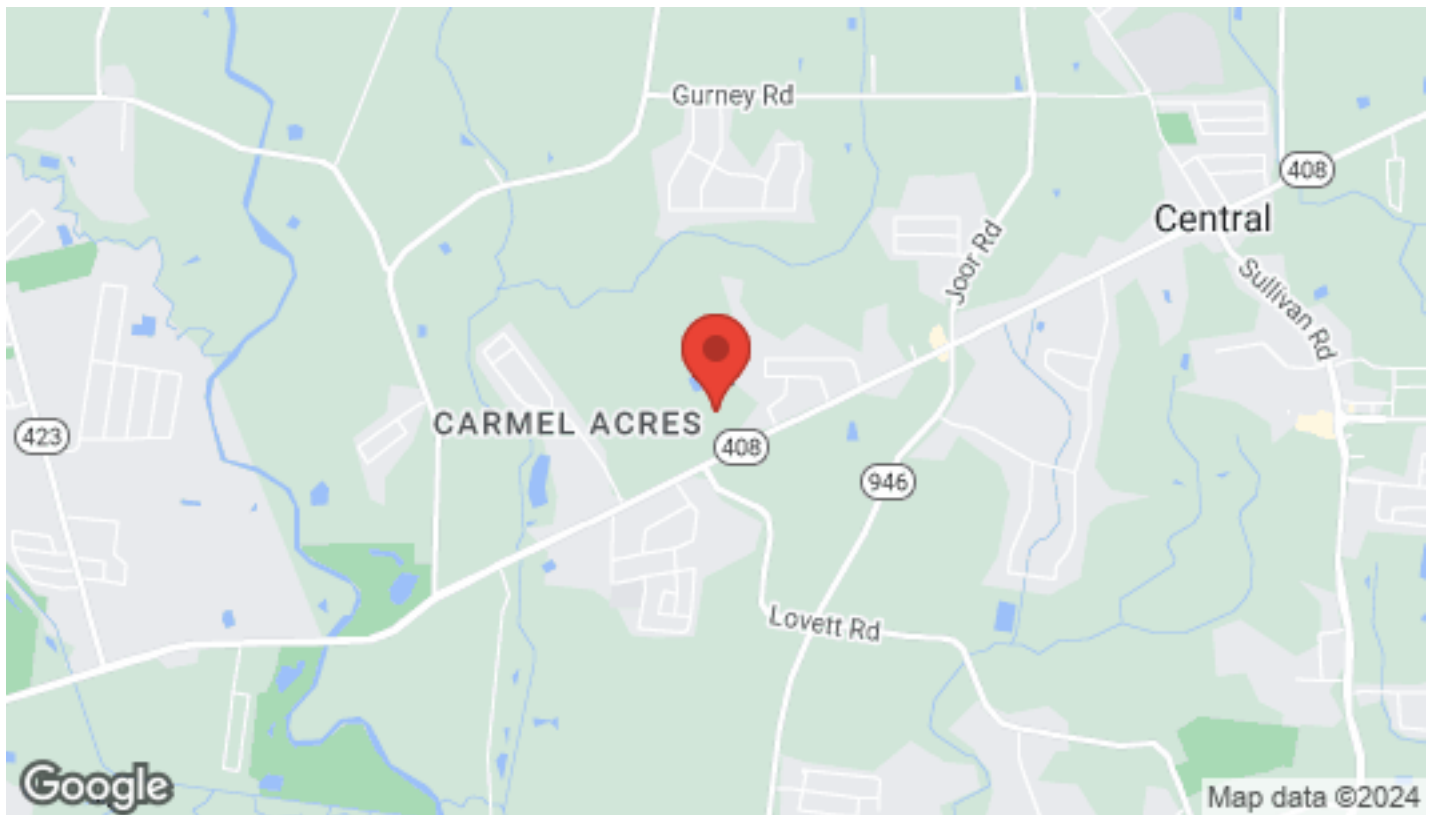
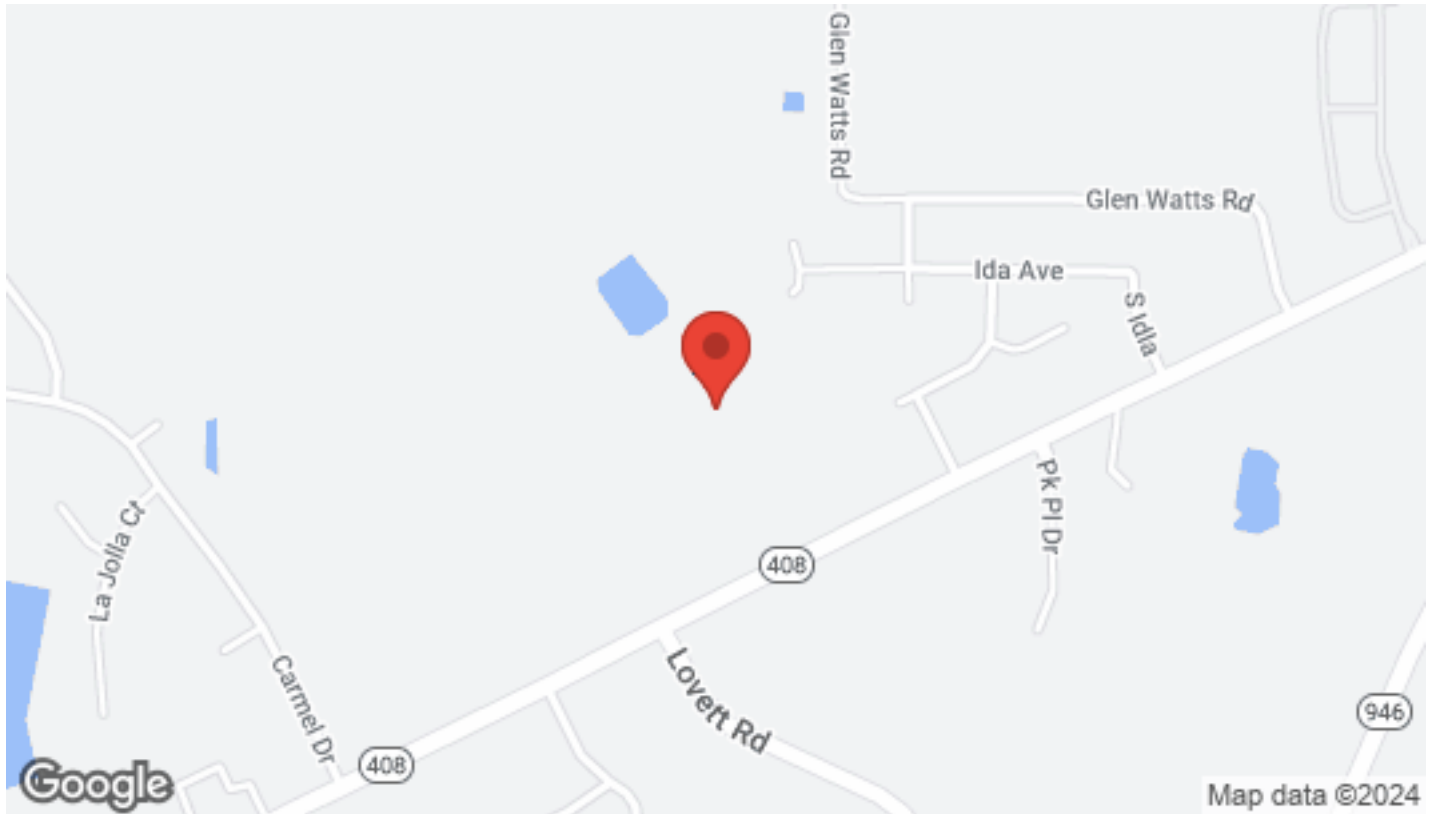
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O: (225) 936-7643  
C: (225) 936-7643  
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# LOCATION MAPS

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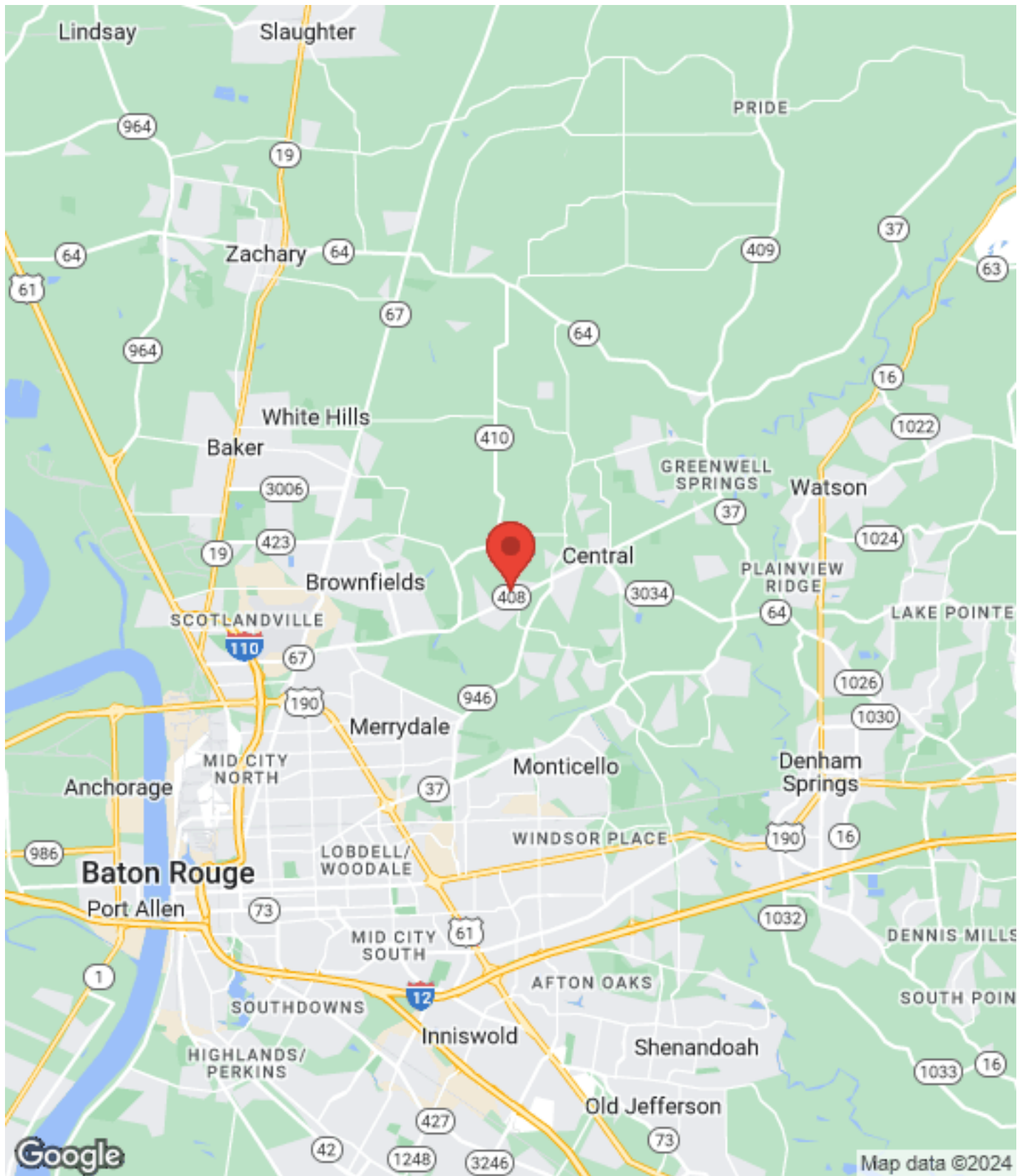
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# REGIONAL MAP

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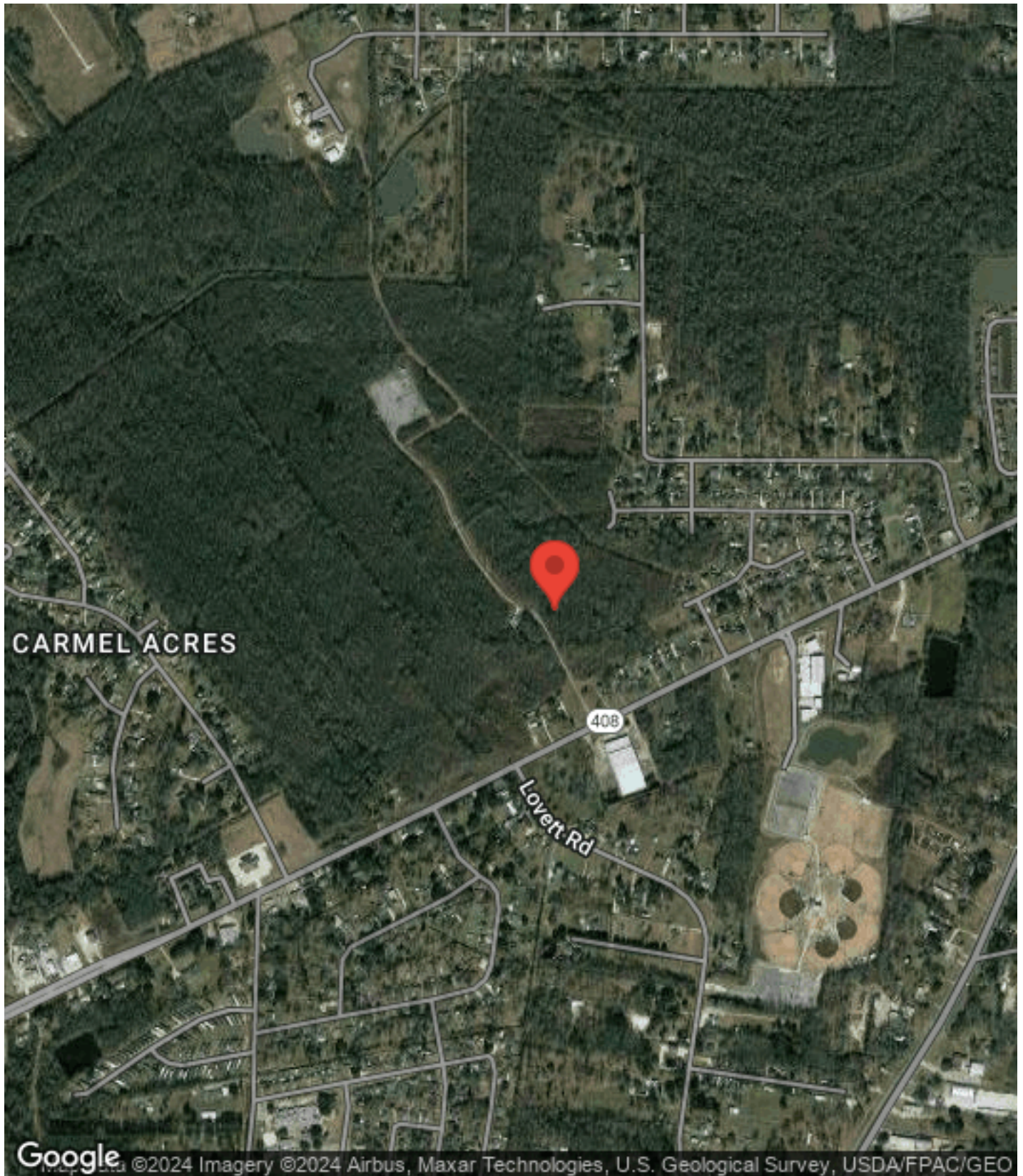


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# AERIAL MAP

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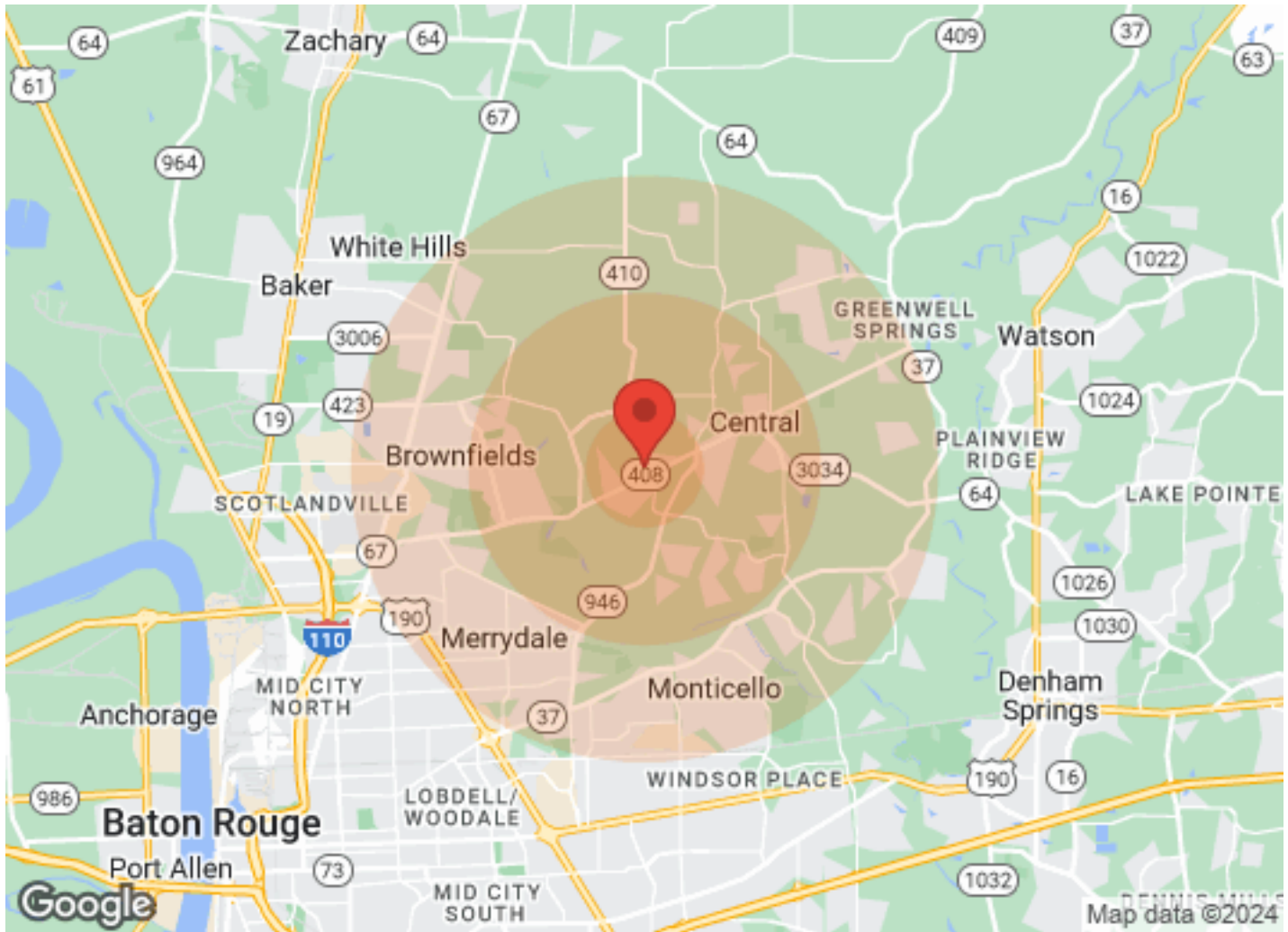


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# DEMOGRAPHICS

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	1 Mile	3 Miles	5 Miles		1 Mile	3 Miles	5 Miles
<b>Population</b>				<b>Income</b>			
Male	1,373	7,132	32,264	Median	\$77,905	\$68,621	\$47,495
Female	1,644	7,798	35,591	< \$15,000	104	407	3,010
Total Population	3,017	14,930	67,855	\$15,000-\$24,999	30	316	2,498
				\$25,000-\$34,999	91	544	2,855
<b>Age</b>				\$35,000-\$49,999	201	992	4,248
Ages 0-14	582	2,593	14,566	\$50,000-\$74,999	162	1,134	5,126
Ages 15-24	405	1,973	10,443	\$75,000-\$99,999	317	1,076	3,287
Ages 25-54	1,278	5,986	27,584	\$100,000-\$149,999	165	720	2,400
Ages 55-64	392	2,057	7,749	\$150,000-\$199,999	99	402	787
Ages 65+	360	2,321	7,513	> \$200,000	N/A	151	291
				<b>Housing</b>			
<b>Race</b>				Total Units	1,128	5,764	25,245
White	2,430	11,019	22,902	Occupied	1,107	5,566	23,819
Black	558	3,729	43,577	Owner Occupied	903	4,826	17,936
Am In/AK Nat	1	3	19	Renter Occupied	204	740	5,883
Hawaiian	N/A	N/A	N/A	Vacant	21	198	1,426
Hispanic	49	243	2,239				
Multi-Racial	30	310	2,400				

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 C: (225) 936-7643  
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# PROFESSIONAL BIO

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Baton Rouge, Louisiana 70806  
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C: (225) 936-7643  
miguel@castrorealestateservices.com  
995703492, Louisiana

Castro Real Estate Services, LLC.  
6777 Jefferson Hwy  
Baton Rouge, La 70806  
225-936-7643 [Mobile]  
800-517-7308 [E-Fax]  
miguel@castrorealestateservices.com  
<http://www.castrorealestateservices.com>

Miguel has managed Real Estate transactions since 1996. He currently guides his clients with all their Commercial Real Estate needs.

Miguel has a degree in Finance with concentration in Investments and Real Estate from the University of New Orleans where he was a member of the Finance and Economics Association.

He has 17 years of Banking experience working for one of the most respected global financial institutions. He has helped many clients in the areas of Banking, Investments and Real Estate Financing.

He is married, has three children and lives in the Baton Rouge area. He is an avid golfer and an astute soccer player.

He attends Healing Place Church where he always finds an uplifting message.

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