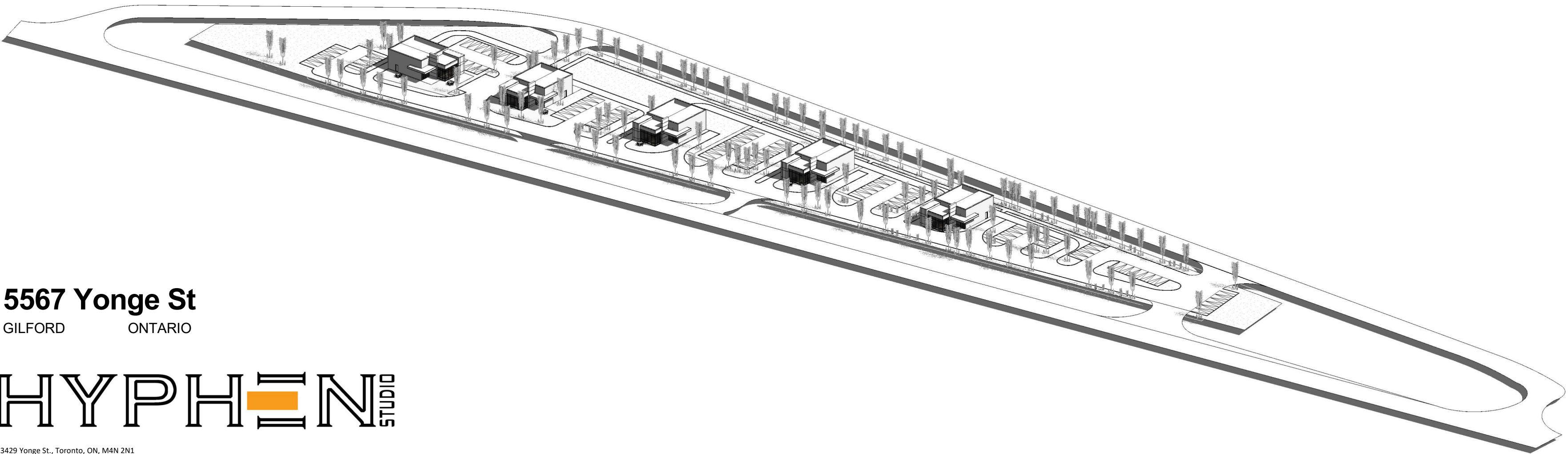
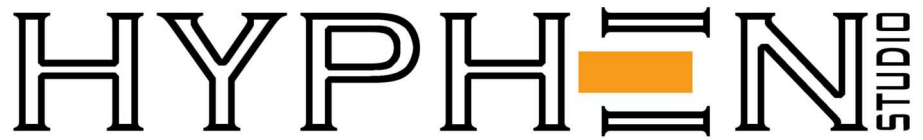


# 3D PLAZA



**5567 Yonge St**  
GILFORD ONTARIO



3429 Yonge St., Toronto, ON, M4N 2N1  
info@hyphenstudio.co  
(+1)647-869-9356 (+1)647-9796879



# 5567 YONGE ST

## PART OF THE SOUTH HALF OF LOT 15-CONCESSION 1 TOWN OF INNISFIL COUNTY OF SIMCOE

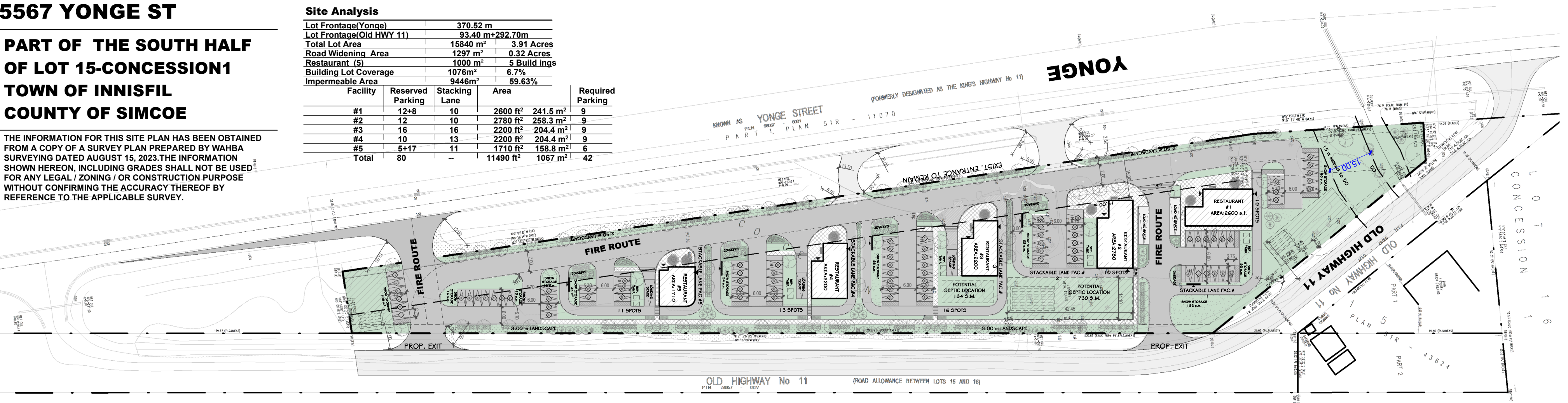
THE INFORMATION FOR THIS SITE PLAN HAS BEEN OBTAINED FROM A COPY OF A SURVEY PLAN PREPARED BY WAHBA SURVEYING DATED AUGUST 15, 2023. THE INFORMATION SHOWN HEREON, INCLUDING GRADES SHALL NOT BE USED FOR ANY LEGAL / ZONING / OR CONSTRUCTION PURPOSE WITHOUT CONFIRMING THE ACCURACY THEREOF BY REFERENCE TO THE APPLICABLE SURVEY.

**Site Analysis**

Lot Frontage(Yonge)	370.52 m	
Lot Frontage(Old HWY 11)	93.40 m+292.70m	
Total Lot Area	15840 m <sup>2</sup>	3.91 Acres
Road Widening Area	1297 m <sup>2</sup>	0.32 Acres
Restaurant (5)	1000 m <sup>2</sup>	5 Build outs
Building Lot Coverage	1076m <sup>2</sup>	6.7%
Impermeable Area	9446m <sup>2</sup>	59.63%

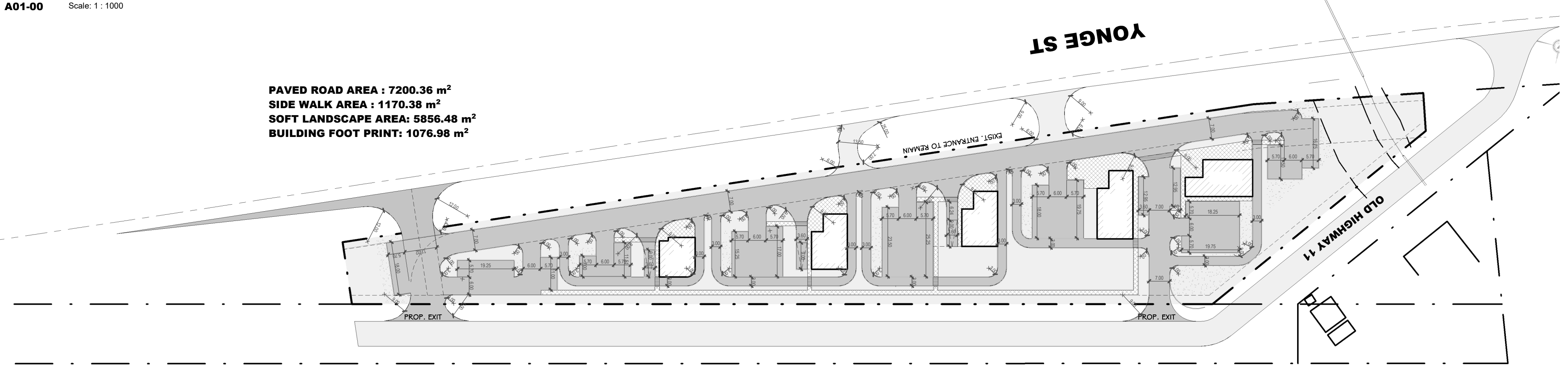
Facility	Reserved Parking	Stacking Lane	Area	Required Parking
#1	12+8	10	2600 ft <sup>2</sup> 241.5 m <sup>2</sup>	9
#2	12	10	2780 ft <sup>2</sup> 258.3 m <sup>2</sup>	9
#3	16	16	2200 ft <sup>2</sup> 204.4 m <sup>2</sup>	9
#4	10	13	2200 ft <sup>2</sup> 204.4 m <sup>2</sup>	9
#5	5+17	11	1710 ft <sup>2</sup> 158.8 m <sup>2</sup>	6
Total	80	-	11490 ft <sup>2</sup> 1067 m <sup>2</sup>	42



### 1 PROPOSED SITE PLAN

A01-00 Scale: 1 : 1000

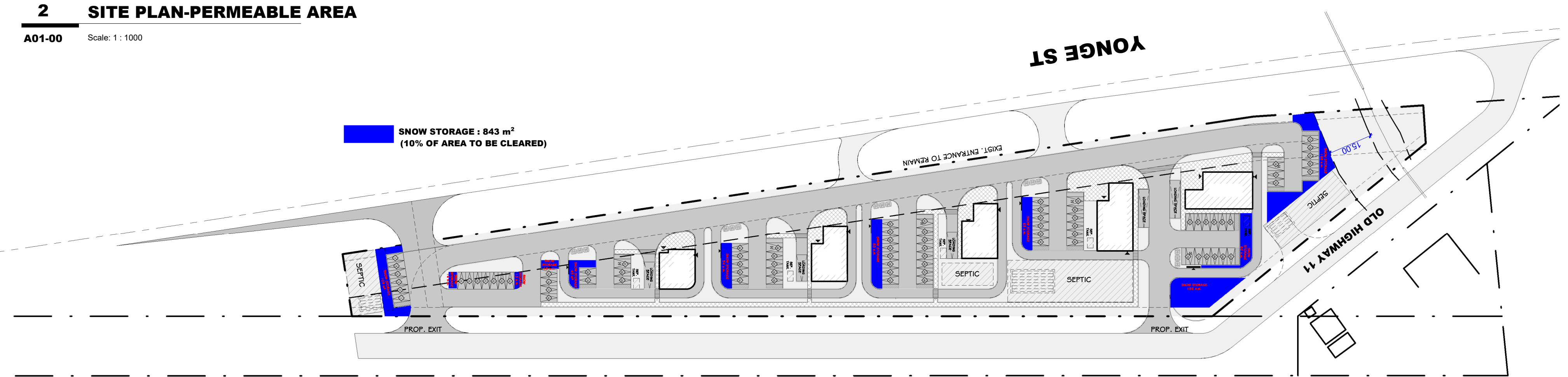
**PAVED ROAD AREA : 7200.36 m<sup>2</sup>**  
**SIDE WALK AREA : 1170.38 m<sup>2</sup>**  
**SOFT LANDSCAPE AREA: 5856.48 m<sup>2</sup>**  
**BUILDING FOOT PRINT: 1076.98 m<sup>2</sup>**



### 2 SITE PLAN-PERMEABLE AREA

A01-00 Scale: 1 : 1000

**SNOW STORAGE : 843 m<sup>2</sup>**  
**(10% OF AREA TO BE CLEARED)**



### 4 SITE PLAN-SNOW STORAGE

A01-00 Scale: 1 : 1000

**ORDERING SCREEN**

**DELIVERY WINDOW**

**PEDESTRIAN ENTRANCE**

**GARBAGE TRUCK MANOUVERING**

**FIRE TRUCK MANOUVERING**

**BENCHMARK:**  
 ELEVATIONS AS SHOWN HEREIN ARE GEODETIC AND ARE DERIVED FROM GPS OBSERVATIONS.

## 3D PLAZA

Project: 5567 Yonge St GILFORD ONTARIO

No.	Date	Description
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No.	Date	Issued For	By
1	26-08-23	For Review	
2	06-09-23	For Review	
3	20-09-23	For Review	
4	29-09-23	For Review	
5			
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3429 Yonge St., Toronto, ON, M4N 2N1  
 info@hyphenstudio.co  
 (+1)647-869-9356 (+1)647-9796879

### SITE PLAN

Drawn: ARCH  
 Checked: Checker  
 Project No: 23-282  
 Date: MAR 2023  
 Scale: As indicated

Sheet No:  
**A01-00**



Ontario Building Code Data Matrix Part 9 Housing and Small Buildings					<b>BUILDING 01</b>		Building Code Reference <sup>1</sup>
9.00	Building Code Version:	O. Reg. 332/12		Last Amendment O. Reg. 191/14			
9.01	Project Type:	<input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Renovation <input type="checkbox"/> Change of use <input type="checkbox"/> Addition and renovation		[A] 1.1.2.			
		Description:					
9.02	Major Occupancy Classification:	Occupancy	Use		9.10.2		
		GROUP E	Mercantile occupancies				
9.03	Superimposed Major Occupancies:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Restaurant with less than 30 seats (Mercantile occupancy)		9.10.2.3.			
9.04	Building Area (m <sup>2</sup> )	Description:	Existing	New	Total	[A] 1.4.1.2.	
			0.00 m <sup>2</sup>	250.42 m <sup>2</sup>	250.42 m <sup>2</sup>		
9.05	Gross Area (m <sup>2</sup> )	Description:	Existing	New	Total	[A] 1.4.1.2.	
		Restaurant (Main floor)	0.00 m <sup>2</sup>	m <sup>2</sup>			
			0.00 m <sup>2</sup>	250.42 m <sup>2</sup>	250.42 m <sup>2</sup>		
		Total:					
9.06	Mezzanine Area (m <sup>2</sup> )	Description:	Existing	New	Total	9.10.4.1.	
		Restaurant (Mezzanine)	0.00 m <sup>2</sup>	0.00 m <sup>2</sup>	0.00 m <sup>2</sup>		
		Total:					
9.07	Building Height	Storeys above grade	(m) Above grade		8.23 m		
		1					
9.08	Number of Streets/Firefighter access	1 (TWO) street(s)		9.10.20.			
9.09	Sprinkler System	<input type="checkbox"/> Required <input checked="" type="checkbox"/> Not Required Proposed: <input type="checkbox"/> entire building <input type="checkbox"/> selected compartments <input type="checkbox"/> selected floor areas <input type="checkbox"/> basement <input type="checkbox"/> in lieu of roof rating <input checked="" type="checkbox"/> none		9.10.8.2.-4.			
9.10	Fire Alarm System	<input checked="" type="checkbox"/> Required <input type="checkbox"/> Not required Proposed: <input checked="" type="checkbox"/> Single stage <input type="checkbox"/> Two stage <input type="checkbox"/> None		9.10.18.			
9.11	Water Service / Supply is Adequate	<input type="checkbox"/> No <input checked="" type="checkbox"/> Yes					
9.12	Construction Type:	Restriction: <input checked="" type="checkbox"/> Combustible permitted <input type="checkbox"/> Non-combustible req. Actual: <input type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input checked="" type="checkbox"/> Combination Heavy Timber Construction: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes		9.10.6.			
9.13	Post-disaster Building	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes		[A] 1.1.2.2.(2)			
9.14	Occupant Load	Floor Level/Area	Occupancy Type	Based On	Occupant Load (Persons)	3.1.17.	
		Main Floor	Mercantile	Design	30		
9.15	Barrier-free Design:	<input type="checkbox"/> No <input checked="" type="checkbox"/> Yes		9.5.2			
9.16	Hazardous Substances	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes		9.10.1.3			
9.17	Required Fire Resistance Ratings	Horizontal Assembly	Rating	Supporting Assembly	Noncombustible in lieu of rating?	9.10.8.	
		Roof	(45 min)	N/A	<input checked="" type="checkbox"/> N <input type="checkbox"/> Y <input type="checkbox"/> N/A		
		1st Floor	(45 min)	N/A	<input checked="" type="checkbox"/> N <input type="checkbox"/> Y <input type="checkbox"/> N/A		

9.18	Spatial Separation	WALL	EBF AREA (m <sup>2</sup> )	L.D(m)	Required FRR(H)	CONSTRUCTION TYPE	CLADDING TYPE
		WEST	183 m <sup>2</sup>	16.07 m	N/A	Non-combustible	Non-combustible
		EAST	183 m <sup>2</sup>	36.6 m	N/A	Non-combustible	Non-combustible
		NORTH	100 m <sup>2</sup>	60.23 m	N/A	Non-combustible	Non-combustible
		SOUTH	100 m <sup>2</sup>	17.08 m	N/A	Non-combustible	Non-combustible

9.19	Plumbing Fixture Requirement	RATIO	MALE:FEMALE = 50:50 EXCEPT AS NOTED OTHERWISE			9.31 & 3.7.4
		Floor Level	OCCUPANT LOAD	OBC SENTENCE	FIXTURE REQUIRED	FIXTURE PROVIDED
		1st Floor	16	3.7.4.8. Plumbing Fixtures for Mercantile Occupancies	6	6



# 3D PLAZA

Project: 5567 Yonge St  
GILFORD ONTARIO

Submission	
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Revision		
No.	Date:	Issued For: By:
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3429 Yonge St., Toronto, ON, M4N 2N1  
info@hyphenstudio.co  
(+1)647-869-9356 (+1)647-9796879

Sheet Title: **OBC MATRIX**

Drawn: ARCH  
Checked: Checker  
Project No: 23-282  
Date: MAR 2023  
Scale: 1 : 32

Sheet No: **R01-A00-01**

Ontario Building Code Data Matrix Part 9 Housing and Small Buildings					<b>BUILDING 02</b>		Building Code Reference <sup>1</sup>	
9.00	Building Code Version:	O. Reg. 332/12	Last Amendment	O. Reg. 191/14				
9.01	Project Type:	<input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Renovation <input type="checkbox"/> Change of use <input type="checkbox"/> Addition and renovation  <b>Description:</b>					[A] 1.1.2.	
9.02	Major Occupancy Classification:	<b>Occupancy</b> GROUP E	<b>Use</b> Mercantile occupancies				9.10.2	
9.03	Superimposed Major Occupancies:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Restaurant with less than 30 seats (Mercantile occupancy)					9.10.2.3.	
9.04	Building Area (m <sup>2</sup> )	<b>Description:</b>	<b>Existing</b>	<b>New</b>	<b>Total</b>		[A] 1.4.1.2.	
			0.00 m <sup>2</sup>	258.83 m <sup>2</sup>	258.83 m <sup>2</sup>			
9.05	Gross Area (m <sup>2</sup> )	<b>Description:</b>	<b>Existing</b>	<b>New</b>	<b>Total</b>		[A] 1.4.1.2.	
		Restaurant (Main floor)	0.00 m <sup>2</sup>	258.83 m <sup>2</sup>	258.83 m <sup>2</sup>			
		<b>Total:</b>						
9.06	Mezzanine Area (m <sup>2</sup> )	<b>Description:</b>	<b>Existing</b>	<b>New</b>	<b>Total</b>		9.10.4.1.	
		Restaurant (Mezzanine)	0.00 m <sup>2</sup>	0.00 m <sup>2</sup>	0.00 m <sup>2</sup>			
		<b>Total:</b>						
9.07	Building Height	<b>Stores above grade</b> 1	<b>(m) Above grade</b> 8.23 m				[A] 1.4.1.2. & 9.10.4	
9.08	Number of Streets/Firefighter access	1 (TWO) <b>street(s)</b>					9.10.20.	
9.09	Sprinkler System	<input type="checkbox"/> Required <input checked="" type="checkbox"/> Not Required <b>Proposed:</b> <input type="checkbox"/> entire building <input type="checkbox"/> selected compartments <input type="checkbox"/> selected floor areas <input type="checkbox"/> basement <input type="checkbox"/> in lieu of roof rating <input checked="" type="checkbox"/> none					9.10.8.2.-4.	
9.10	Fire Alarm System	<input checked="" type="checkbox"/> Required <input type="checkbox"/> Not required <b>Proposed:</b> <input checked="" type="checkbox"/> Single stage <input type="checkbox"/> Two stage <input type="checkbox"/> None					9.10.18.	
9.11	Water Service / Supply is Adequate	<input type="checkbox"/> No <input checked="" type="checkbox"/> Yes						
9.12	Construction Type:	<b>Restriction:</b> <input checked="" type="checkbox"/> Combustible permitted <input type="checkbox"/> Non-combustible req. <b>Actual:</b> <input type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input checked="" type="checkbox"/> Combination <b>Heavy Timber Construction:</b> <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes					9.10.6.	
9.13	Post-disaster Building	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes					[A] 1.1.2.2.(2)	
9.14	Occupant Load	<b>Floor Level/Area</b>	<b>Occupancy Type</b>	<b>Based On</b>	<b>Occupant Load (Persons)</b>		3.1.17.	
		Main Floor	Mercantile	Design	30			
9.15	Barrier-free Design:	<input type="checkbox"/> No <input checked="" type="checkbox"/> Yes					9.5.2	
9.16	Hazardous Substances	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes					9.10.1.3	
9.17	Required Fire Resistance Ratings	<b>Horizontal Assembly</b>	<b>Rating</b>	<b>Supporting Assembly</b>	<b>Noncombustible in lieu of rating?</b>		9.10.8.	
		Roof	(45 min)	N/A	<input checked="" type="checkbox"/> N <input type="checkbox"/> Y <input type="checkbox"/> N/A			
		1st Floor	(45 min)	N/A	<input checked="" type="checkbox"/> N <input type="checkbox"/> Y <input type="checkbox"/> N/A			

9.18	Spatial Separation	WALL	EBF AREA (m <sup>2</sup> )	L.D(m)	Required FRR(H)	CONSTRUCTION TYPE	CLADDING TYPE
		WEST	100 m <sup>2</sup>	15 m	N/A	Non-combustible	Non-combustible
		EAST	100 m <sup>2</sup>	22.2 m	N/A	Non-combustible	Non-combustible
		NORTH	184 m <sup>2</sup>	17.18 m	N/A	Non-combustible	Non-combustible
		SOUTH	184 m <sup>2</sup>	33.85 m	N/A	Non-combustible	Non-combustible

9.19	Plumbing Fixture Requirement	RATIO	MALE:FEMALE = 50:50 EXCEPT AS NOTED OTHERWISE				9.31 & 3.7.4
		Floor Level	OCCUPANT LOAD	OBC SENTENCE	FIXTURE REQUIRED	FIXTURE PROVIDED	
		1st Floor	16	3.7.4.8. Plumbing Fixtures for Mercantile Occupancies	6	6	



# 3D PLAZA

Project: **5567 Yonge St**  
GILFORD ONTARIO

Submission		
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3429 Yonge St., Toronto, ON, M4N 2N1  
info@hyphenstudio.co  
(+1)647-869-9356 (+1)647-9796879

Sheet Title:	
<b>OBC MATRIX</b>	
Drawn: ARCH	Sheet No:
Checked: Checker	
Project No: 23-282	
Date: MAR 2023	
Scale: 1 : 32	

## R02-A00-01





# 3D PLAZA

Project:  
**5567 Yonge St**  
 GILFORD ONTARIO

Submission

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3429 Yonge St., Toronto, ON, M4N 2N1  
 info@hyphenstudio.co  
 (+1)647-869-9356 (+1)647-9796879

Sheet Title: **OBC MATRIX**

Drawn: ARCH  
 Checked: Checker  
 Project No: 23-282  
 Date: MAR 2023  
 Scale: 1 : 32

Sheet No: **R04-A00-01**

Ontario Building Code Data Matrix Part 9 Housing and Small Buildings				<b>BUILDING 04</b>		Building Code Reference <sup>1</sup>
9.00	Building Code Version:	O. Reg. 332/12 Last Amendment O. Reg. 191/14				
9.01	Project Type:	<input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Renovation <input type="checkbox"/> Change of use <input type="checkbox"/> Addition and renovation				[A] 1.1.2.
	Description:					
9.02	Major Occupancy Classification:	Occupancy	Use	GROUP E		9.10.2
		Mercantile occupancies				
9.03	Superimposed Major Occupancies:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Restaurant with less than 30 seats (Mercantile occupancy)				9.10.2.3.
9.04	Building Area (m <sup>2</sup> )	Description:	Existing	New	Total	[A] 1.4.1.2.
			0.00 m <sup>2</sup>	204.77 m <sup>2</sup>	204.77 m <sup>2</sup>	
9.05	Gross Area (m <sup>2</sup> )	Description:	Existing	New	Total	[A] 1.4.1.2.
		Restaurant (Main floor)	0.00 m <sup>2</sup>	m <sup>2</sup>		
			0.00 m <sup>2</sup>	204.77 m <sup>2</sup>	204.77 m <sup>2</sup>	
		<b>Total:</b>				
9.06	Mezzanine Area (m <sup>2</sup> )	Description:	Existing	New	Total	9.10.4.1.
		Restaurant (Mezzanine)	0.00 m <sup>2</sup>	0.00 m <sup>2</sup>	0.00 m <sup>2</sup>	
		<b>Total:</b>				
9.07	Building Height	Storeys above grade	(m) Above grade		8.23 m	[A] 1.4.1.2. & 9.10.4
		Storeys below grade	0			
9.08	Number of Streets/Firefighter access	1 (TWO) street(s)				9.10.20.
9.09	Sprinkler System	<input type="checkbox"/> Required <input checked="" type="checkbox"/> Not Required Proposed: <input type="checkbox"/> entire building <input type="checkbox"/> selected compartments <input type="checkbox"/> selected floor areas <input type="checkbox"/> basement <input type="checkbox"/> in lieu of roof rating <input checked="" type="checkbox"/> none				9.10.8.2.-4.
9.10	Fire Alarm System	<input checked="" type="checkbox"/> Required <input type="checkbox"/> Not required Proposed: <input checked="" type="checkbox"/> Single stage <input type="checkbox"/> Two stage <input type="checkbox"/> None				9.10.18.
9.11	Water Service / Supply is Adequate	<input type="checkbox"/> No <input checked="" type="checkbox"/> Yes				
9.12	Construction Type:	Restriction: <input checked="" type="checkbox"/> Combustible permitted <input type="checkbox"/> Non-combustible req. Actual: <input type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input checked="" type="checkbox"/> Combination Heavy Timber Construction: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes				9.10.6.
9.13	Post-disaster Building	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes				[A] 1.1.2.2.(2)
9.14	Occupant Load	Floor Level/Area	Occupancy Type	Based On	Occupant Load (Persons)	3.1.17.
		Main Floor	Mercantile	Design	30	
9.15	Barrier-free Design:	<input type="checkbox"/> No <input checked="" type="checkbox"/> Yes				9.5.2
9.16	Hazardous Substances	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes				9.10.1.3
9.17	Required Fire Resistance Ratings	Horizontal Assembly	Rating	Supporting Assembly	Noncombustible in lieu of rating?	9.10.8.
		Roof	(45 min)	N/A	<input checked="" type="checkbox"/> N <input type="checkbox"/> Y <input type="checkbox"/> N/A	
		1st Floor	(45 min)	N/A	<input checked="" type="checkbox"/> N <input type="checkbox"/> Y <input type="checkbox"/> N/A	

9.18	Spatial Separation	WALL	EBF AREA (m <sup>2</sup> )	L.D(m)	Required FRR(H)	CONSTRUCTION TYPE	CLADDING TYPE	
		WEST	100 m <sup>2</sup>	15 m	N/A	Non-combustible	Non-combustible	
		EAST	100 m <sup>2</sup>	11.88 m	N/A	Non-combustible	Non-combustible	
		NORTH	154 m <sup>2</sup>	33.85 m	N/A	Non-combustible	Non-combustible	
		SOUTH	154 m <sup>2</sup>	33.95 m	N/A	Non-combustible	Non-combustible	

9.19	Plumping Fixture Requirement	RATIO	MALE:FEMALE = 50:50 EXCEPT AS NOTED OTHERWISE				9.31 & 3.7.4
		Floor Level	OCCUPANT LOAD	OBC SENTENCE	FIXTURE REQUIRED	FIXTURE PROVIDED	
		1st Floor	16	3.7.4.8. Plumbing Fixtures for Mercantile Occupancies	6	6	

Ontario Building Code Data Matrix Part 9 Housing and Small Buildings					<b>BUILDING 05</b>		Building Code Reference <sup>1</sup>
9.00	Building Code Version:		O. Reg. 332/12 Last Amendment O. Reg. 191/14				
9.01	Project Type:	<input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Renovation <input type="checkbox"/> Change of use <input type="checkbox"/> Addition and renovation		[A] 1.1.2.			
		Description:					
9.02	Major Occupancy Classification:	Occupancy	Use		9.10.2		
		GROUP E	Mercantile occupancies				
9.03	Superimposed Major Occupancies:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Resturant with less than 30 seats (Mercantile occupancy)		9.10.2.3.			
9.04	Building Area (m <sup>2</sup> )	Description:	Existing	New	Total	[A] 1.4.1.2.	
			0.00 m <sup>2</sup>	158.84 m <sup>2</sup>	158.84 m <sup>2</sup>		
9.05	Gross Area (m <sup>2</sup> )	Description:	Existing	New	Total	[A] 1.4.1.2.	
		Restaurant (Main floor)	0.00 m <sup>2</sup>	m <sup>2</sup>			
			0.00 m <sup>2</sup>	158.84 m <sup>2</sup>	158.84 m <sup>2</sup>		
		Total:					
9.06	Mezzanine Area (m <sup>2</sup> )	Description:	Existing	New	Total	9.10.4.1.	
		Restaurant (Mezzanine)	0.00 m <sup>2</sup>	0.00 m <sup>2</sup>	0.00 m <sup>2</sup>		
		Total:					
9.07	Building Height	Stores above grade <sub>1</sub>	(m) Above grade 8.23 m		[A] 1.4.1.2. & 9.10.4		
		Stores below grade <sub>0</sub>					
9.08	Number of Streets/Firefighter access	1 (TWO) street(s)		9.10.20.			
9.09	Sprinkler System	<input type="checkbox"/> Required <input checked="" type="checkbox"/> Not Required Proposed: <input type="checkbox"/> entire building <input type="checkbox"/> selected compartments <input type="checkbox"/> selected floor areas <input type="checkbox"/> basement <input type="checkbox"/> in lieu of roof rating <input checked="" type="checkbox"/> none		9.10.8.2.-4.			
9.10	Fire Alarm System	<input checked="" type="checkbox"/> Required <input type="checkbox"/> Not required Proposed: <input checked="" type="checkbox"/> Single stage <input type="checkbox"/> Two stage <input type="checkbox"/> None		9.10.18.			
9.11	Water Service / Supply is Adequate	<input type="checkbox"/> No <input checked="" type="checkbox"/> Yes					
9.12	Construction Type:	Restriction: <input checked="" type="checkbox"/> Combustible permitted <input type="checkbox"/> Non-combustible req. Actual: <input type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input checked="" type="checkbox"/> Combination Heavy Timber Construction: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes		9.10.6.			
9.13	Post-disaster Building	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes		[A] 1.1.2.2.(2)			
9.14	Occupant Load	Floor Level/Area	Occupancy Type	Based On	Occupant Load (Persons)	3.1.17.	
		Main Floor	Mercantile	Design	30		
9.15	Barrier-free Design:	<input type="checkbox"/> No <input checked="" type="checkbox"/> Yes		9.5.2			
9.16	Hazardous Substances	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes		9.10.1.3			
9.17	Required Fire Resistance Ratings	Horizontal Assembly	Rating	Supporting Assembly	Noncombustible in lieu of rating?	9.10.8.	
		Roof	(45 min)	N/A	<input checked="" type="checkbox"/> N <input type="checkbox"/> Y <input type="checkbox"/> N/A		
		1st Floor	(45 min)	N/A	<input checked="" type="checkbox"/> N <input type="checkbox"/> Y <input type="checkbox"/> N/A		

9.18	Spatial Separation	WALL	EBF AREA (m <sup>2</sup> )	L.D(m)	Required FRR(H)	CONSTRUCTION TYPE	CLADDING TYPE
		WEST	100 m <sup>2</sup>	15 m	N/A	Non-combustible	Non-combustible
		EAST	100 m <sup>2</sup>	9.2 m	N/A	Non-combustible	Non-combustible
		NORTH	110 m <sup>2</sup>	39.55 m	N/A	Non-combustible	Non-combustible
		SOUTH	110 m <sup>2</sup>	104.83 m	N/A	Non-combustible	Non-combustible

9.19	Plumping Fixture Requirement	RATIO	MALE:FEMALE = 50:50 EXCEPT AS NOTED OTHERWISE				9.31 & 3.7.4
		Floor Level	OCCUPANT LOAD	OBC SENTENCE	FIXTURE REQUIRED	FIXTURE PROVIDED	
		1st Floor	16	3.7.4.8. Plumbing Fixtures for Mercantile Occupancies	6	6	



# 3D PLAZA

Project:  
5567 Yonge St  
GILFORD ONTARIO

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Sheet Title: **OBC MATRIX**

Drawn: ARCH  
Checked: Checker  
Project No: 23-282  
Date: MAR 2023  
Scale: 1 : 32

Sheet No: **R05-A00-01**





# 3D PLAZA

Project:  
**5567 Yonge St**  
 GILFORD ONTARIO

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Sheet Title: **OBC MATRIX**

Drawn: ARCH  
 Checked: Checker  
 Project No: 23-282  
 Date: MAR 2023  
 Scale: 3/8" = 1'-0"

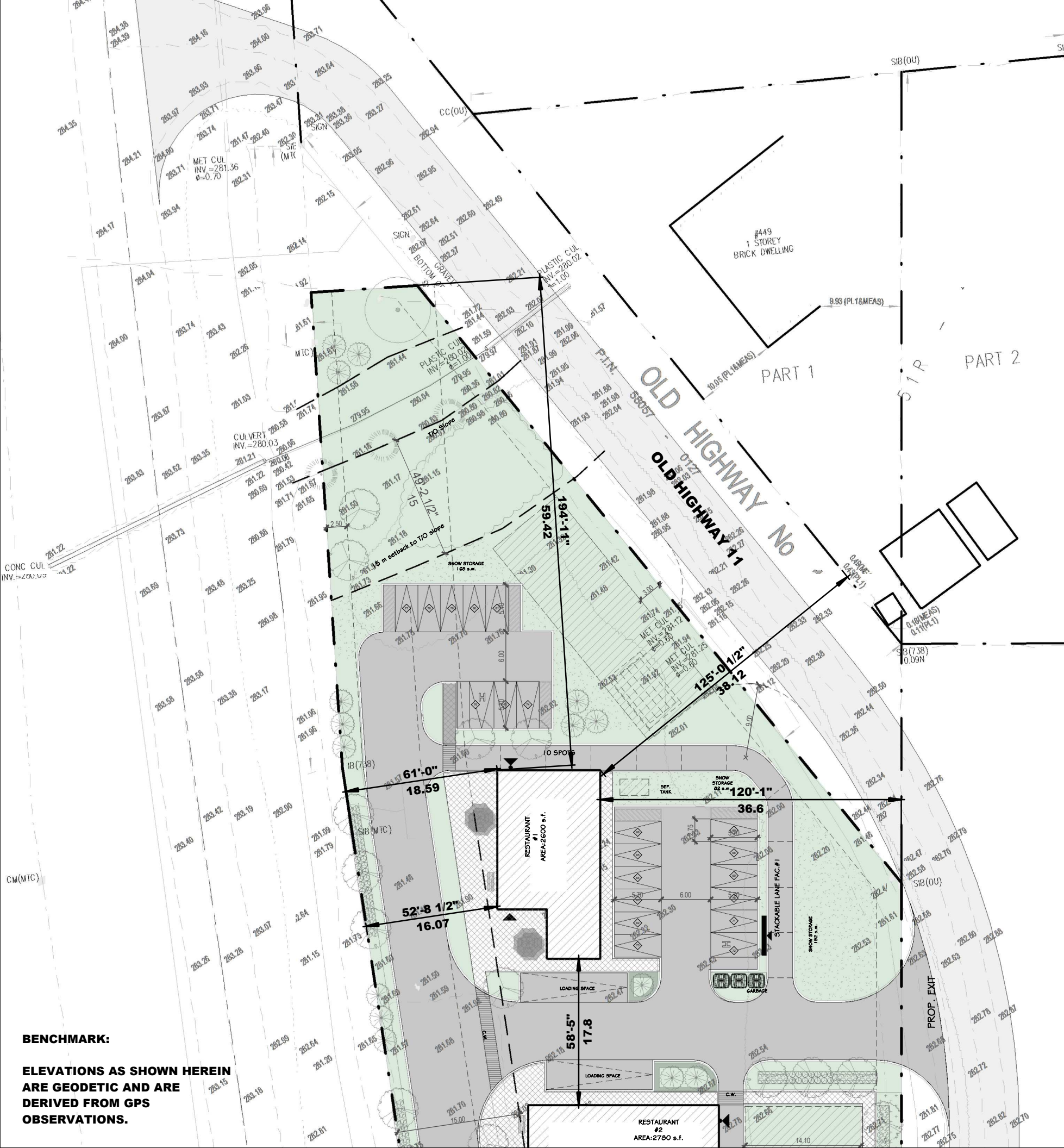
Sheet No: **R03-A00-01**

Ontario Building Code Data Matrix Part 9 Housing and Small Buildings				BUILDING 03		Building Code Reference <sup>1</sup>
9.00	Building Code Version:	O. Reg. 332/12	Last Amendment	O. Reg. 191/14		
9.01	Project Type:	<input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Renovation <input type="checkbox"/> Change of use <input type="checkbox"/> Addition and renovation				[A] 1.1.2.
	Description:					
9.02	Major Occupancy Classification:	Occupancy	Use			9.10.2
		GROUP E	Mercantile occupancies			
9.03	Superimposed Major Occupancies:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Resturant with less than 30 seats (Mercantile occupancy)				9.10.2.3.
9.04	Building Area (m <sup>2</sup> )	Description:	Existing	New	Total	[A] 1.4.1.2.
			0.00 m <sup>2</sup>	204.77 m <sup>2</sup>	204.77 m <sup>2</sup>	
9.05	Gross Area (m <sup>2</sup> )	Description:	Existing	New	Total	[A] 1.4.1.2.
		Restaurant (Main floor)	0.00 m <sup>2</sup>	m <sup>2</sup>		
			0.00 m <sup>2</sup>	204.77 m <sup>2</sup>	204.77 m <sup>2</sup>	
		<b>Total:</b>				
9.06	Mezzanine Area (m <sup>2</sup> )	Description:	Existing	New	Total	9.10.4.1.
		Restaurant (Mezzanine)	0.00 m <sup>2</sup>	0.00 m <sup>2</sup>	0.00 m <sup>2</sup>	
		<b>Total:</b>				
9.07	Building Height	Storeys above grade	(m) Above grade		8.23 m	[A] 1.4.1.2. & 9.10.4
9.08	Number of Streets/Firefighter access	1 (TWO) street(s)				9.10.20.
9.09	Sprinkler System	<input type="checkbox"/> Required <input checked="" type="checkbox"/> Not Required <b>Proposed:</b> <input type="checkbox"/> entire building <input type="checkbox"/> selected compartments <input type="checkbox"/> selected floor areas <input type="checkbox"/> basement <input type="checkbox"/> in lieu of roof rating <input checked="" type="checkbox"/> none				9.10.8.2.-4.
9.10	Fire Alarm System	<input checked="" type="checkbox"/> Required <input type="checkbox"/> Not required <b>Proposed:</b> <input checked="" type="checkbox"/> Single stage <input type="checkbox"/> Two stage <input type="checkbox"/> None				9.10.18.
9.11	Water Service / Supply is Adequate	<input type="checkbox"/> No <input checked="" type="checkbox"/> Yes				
9.12	Construction Type:	<b>Restriction:</b> <input checked="" type="checkbox"/> Combustible permitted <input type="checkbox"/> Non-combustible req. <b>Actual:</b> <input type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input checked="" type="checkbox"/> Combination <b>Heavy Timber Construction:</b> <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes				9.10.6.
9.13	Post-disaster Building	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes				[A] 1.1.2.2.(2)
9.14	Occupant Load	Floor Level/Area	Occupancy Type	Based On	Occupant Load (Persons)	3.1.17.
		Main Floor	Mercantile	Design	30	
9.15	Barrier-free Design:	<input type="checkbox"/> No <input checked="" type="checkbox"/> Yes				9.5.2
9.16	Hazardous Substances	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes				9.10.1.3
9.17	Required Fire Resistance Ratings	Horizontal Assembly	Rating	Supporting Assembly	Noncombustible in lieu of rating?	9.10.8.
		Roof	(45 min)	N/A	<input checked="" type="checkbox"/> N <input type="checkbox"/> Y <input type="checkbox"/> N/A	
		1st Floor	(45 min)	N/A	<input checked="" type="checkbox"/> N <input type="checkbox"/> Y <input type="checkbox"/> N/A	

9.18	Spatial Separation	WALL	EBF AREA (m <sup>2</sup> )	L.D(m)	Required FRR(H)	CONSTRUCTION TYPE	CLADDING TYPE
		WEST	100 m <sup>2</sup>	15 m	N/A	Non-combustible	Non-combustible
		EAST	100 m <sup>2</sup>	19.61 m	N/A	Non-combustible	Non-combustible
		NORTH	154 m <sup>2</sup>	33.85 m	N/A	Non-combustible	Non-combustible
		SOUTH	154 m <sup>2</sup>	33.95 m	N/A	Non-combustible	Non-combustible

9.19	Plumping Fixture Requirement	RATIO	MALE:FEMALE = 50:50 EXCEPT AS NOTED OTHERWISE				9.31 & 3.7.4
		Floor Level	OCCUPANT LOAD	OBC SENTENCE	FIXTURE REQUIRED	FIXTURE PROVIDED	
		1st Floor	16	3.7.4.8. Plumbing Fixtures for Mercantile Occupancies	6	6	



**BENCHMARK:**  
**ELEVATIONS AS SHOWN HEREIN ARE GEODETIC AND ARE DERIVED FROM GPS OBSERVATIONS.**



# 3D PLAZA

Project: **5567 Yonge St**  
 GILFORD ONTARIO

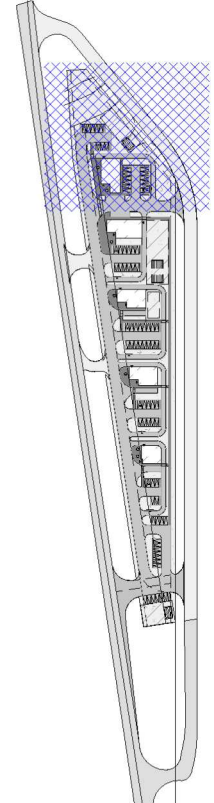
Submission

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Sheet Title: **SITE PLAN R01**

Drawn:	ARCH	Sheet No:	
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Project No:	23-282		
Date:	MAR 2023		
Scale:	As indicated		

# 1 PROPOSED SITE PLAN

Scale: 1 : 500





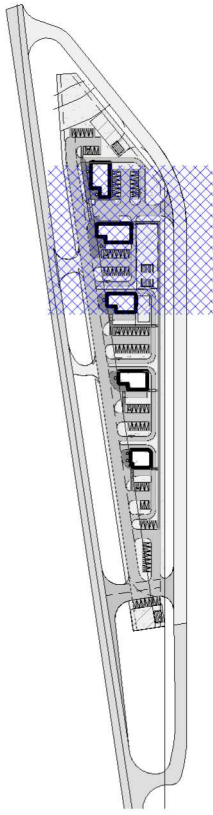
# 3D PLAZA

Project: **5567 Yonge St**  
GILFORD ONTARIO

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## SITE PLAN R02

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# 1 PROPOSED SITE PLAN

Scale: 1 : 500

YONGE ST

BENCHMARK: ELEVATIONS AS SHOWN HEREIN ARE GEODETIC AND ARE DERIVED FROM GPS OBSERVATIONS.



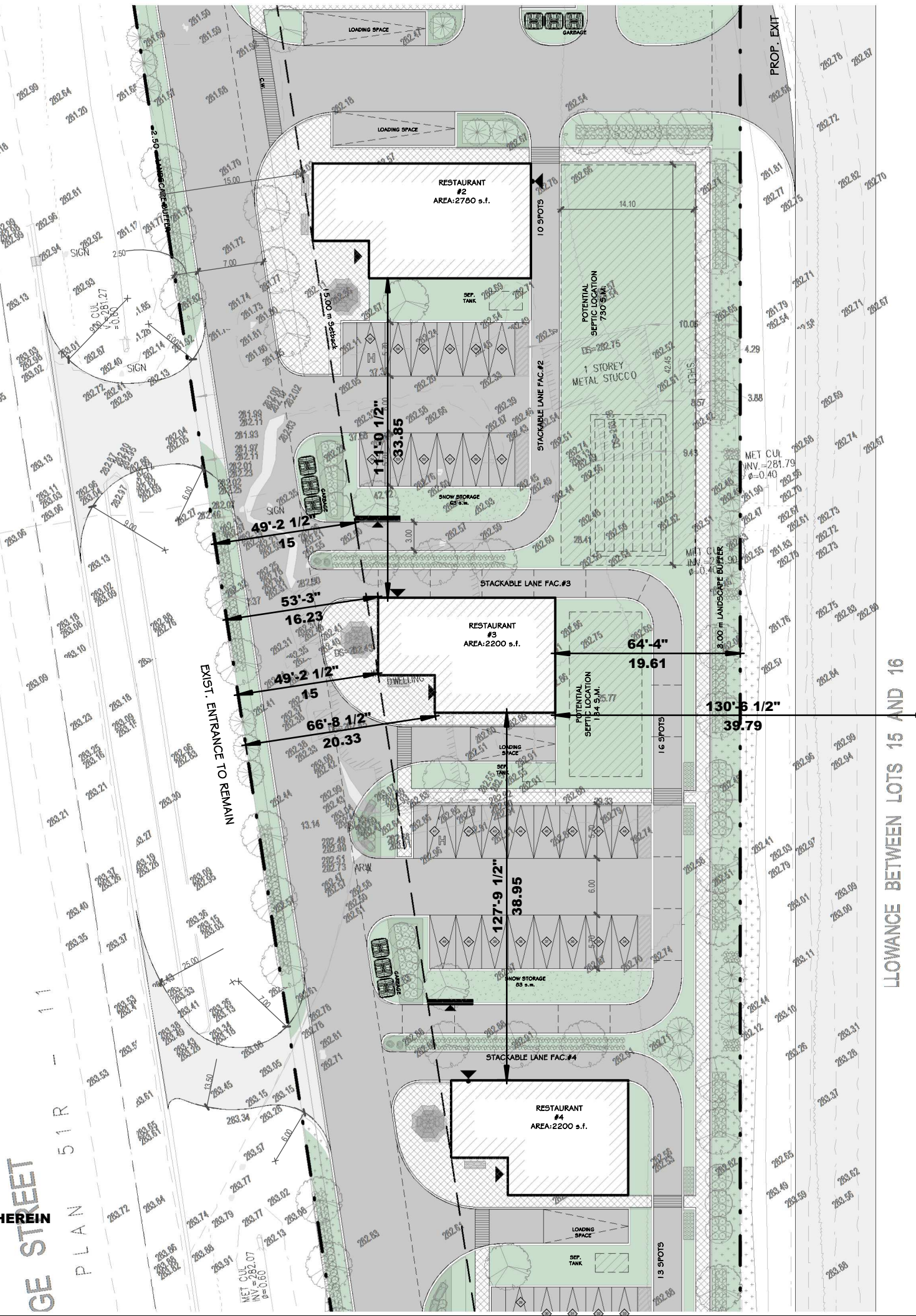


**YONGE ST**

FORMERLY DESIGNATED AS THE KINGS

**GE STREET**  
PLAN 51R - 11

**BENCHMARK:**  
ELEVATIONS AS SHOWN HEREIN  
ARE GEODETIC AND ARE  
DERIVED FROM GPS  
OBSERVATIONS.



ALLOWANCE BETWEEN LOTS 15 AND 16



**3D PLAZA**

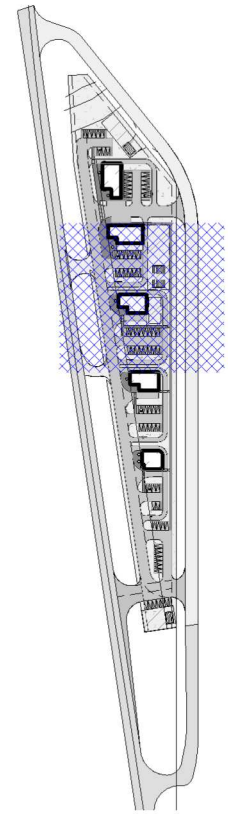
Project: **5567 Yonge St**  
GILFORD ONTARIO

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Sheet Title: **SITE PLAN R03**

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Project No:	23-282		
Date:	MAR 2023		<b>R03-A01-04</b>
Scale:	As indicated		

**1 PROPOSED SITE PLAN**

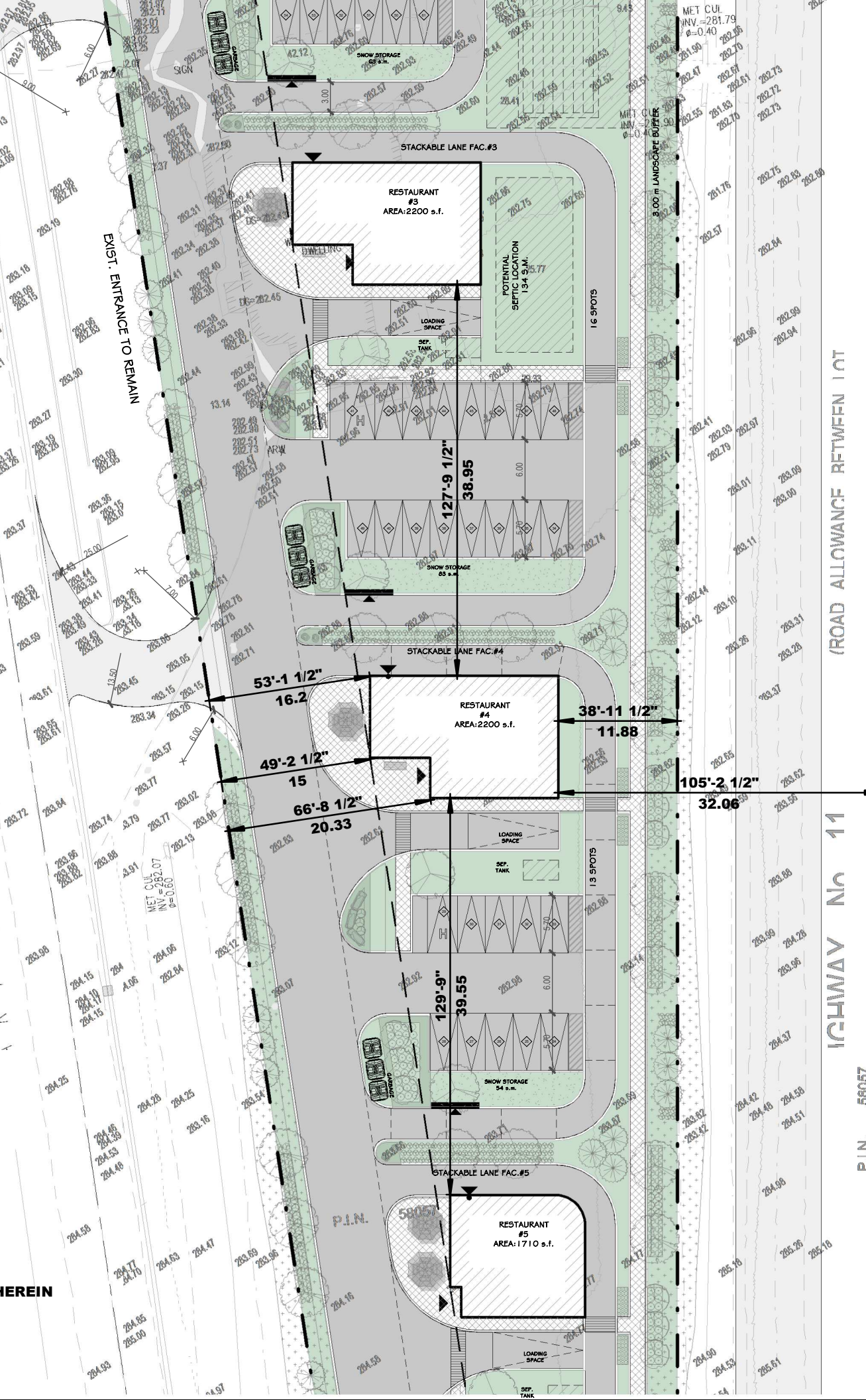
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THE KINGS HIGHWAY NO 11

KNOWN / YONGE STREET  
P.I.N. 58057 - PLAN 51R  
PART 1

**BENCHMARK:**  
ELEVATIONS AS SHOWN HEREIN  
ARE GEODETIC AND ARE  
DERIVED FROM GPS  
OBSERVATIONS.



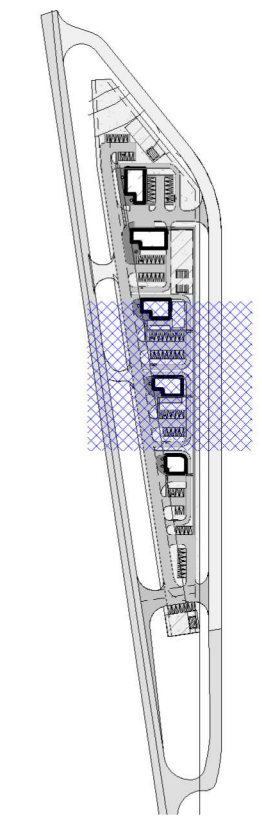
(ROAD ALLOWANCE BETWEEN LOT

IGHWAY NO 11

P.I.N. 58057

# 1 PROPOSED SITE PLAN

Scale: 1 : 500



**KEY PLAN**



## 3D PLAZA

Project: **5567 Yonge St**  
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### SITE PLAN R04

Drawn:	ARCH	Sheet No:	
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Project No:	23-282		
Date:	MAR 2023		
Scale:	As indicated		

**R04-A01-05**



YONGE STREET  
 TOWN AS P.I.N. 58057 - PLAN  
 PART 1,

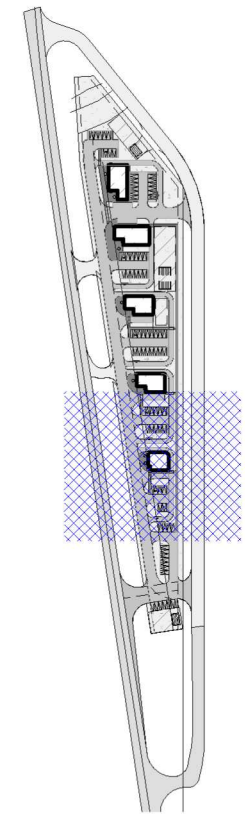


HIGHWAY NO 11  
 58057 - 0127

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**1 PROPOSED SITE PLAN**

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**KEY PLAN**

**3D PLAZA**

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Sheet Title: **SITEPLAN R05**

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 Date: MAR 2023 **R05-A01-06**  
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# 3D PLAZA

Project: 5567 Yonge St  
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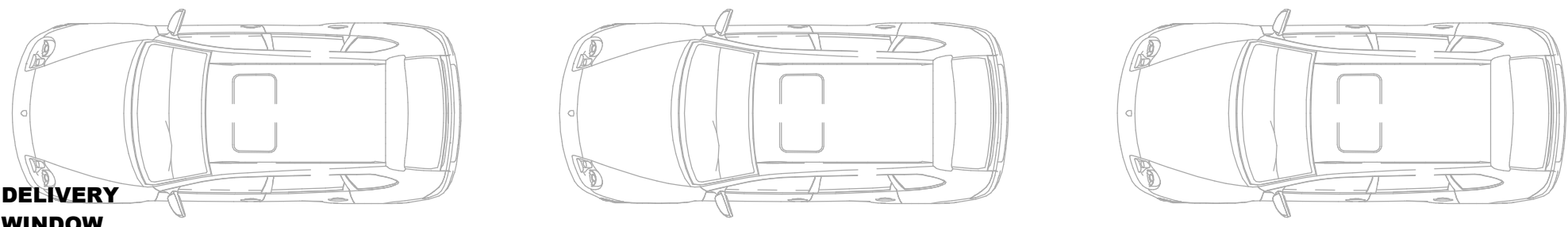


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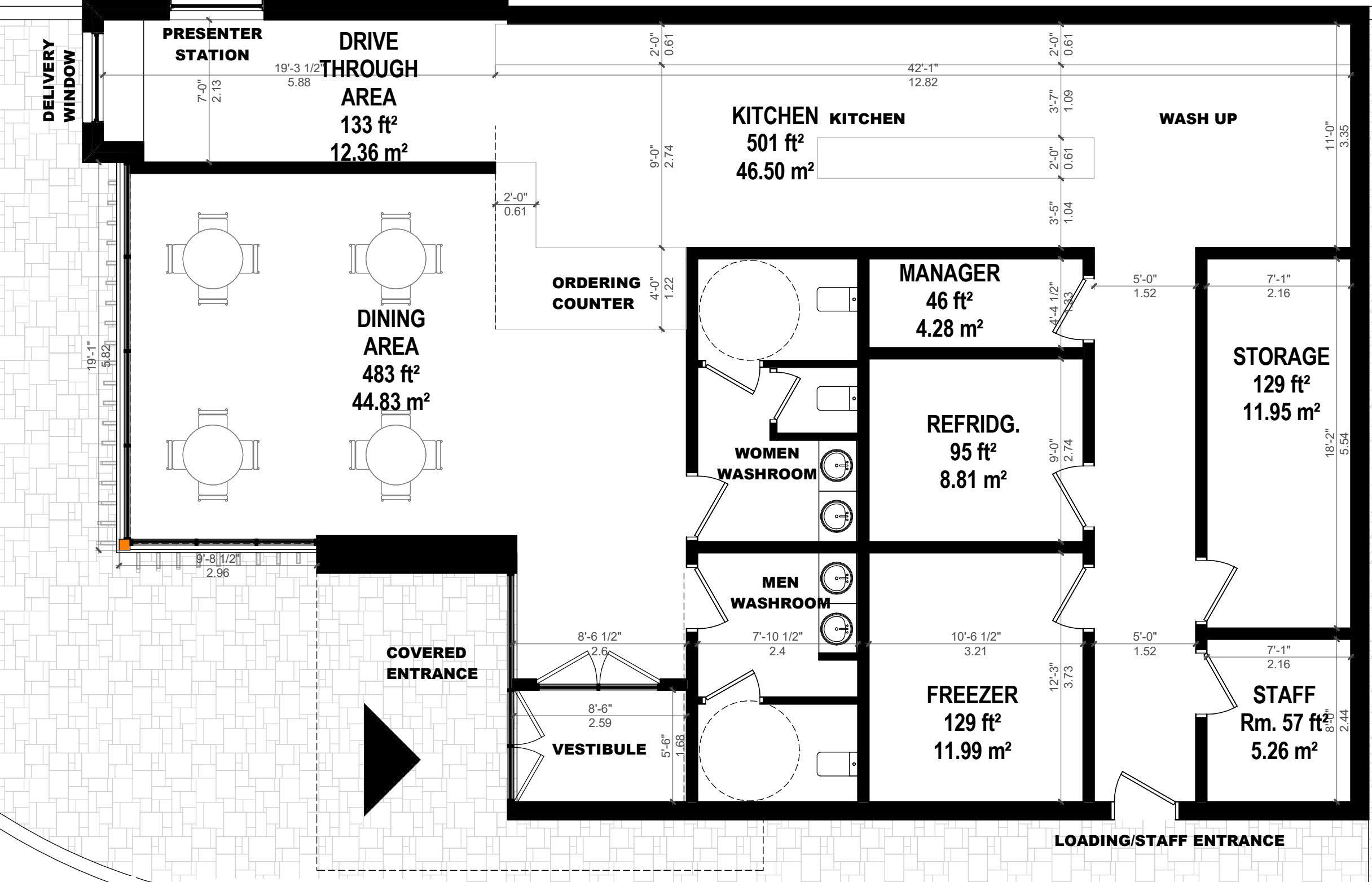
## MAIN FLOOR PLAN

Drawn: ARCH  
Checked: Checker  
Project No: 23-282  
Date: MAR 2023  
Scale: As indicated

Sheet No:  
R03-A01-01



DELIVERY WINDOW



## 1 MAIN FLOOR PLAN

Scale: 3/16" = 1'-0"



# 3D PLAZA

Project:  
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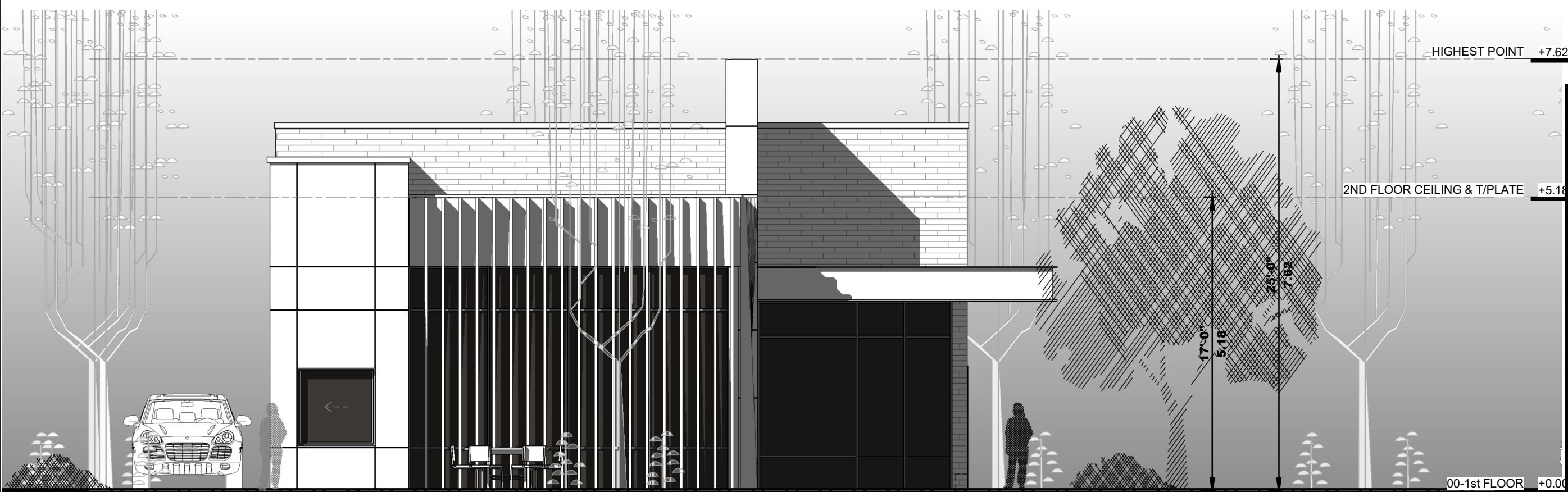
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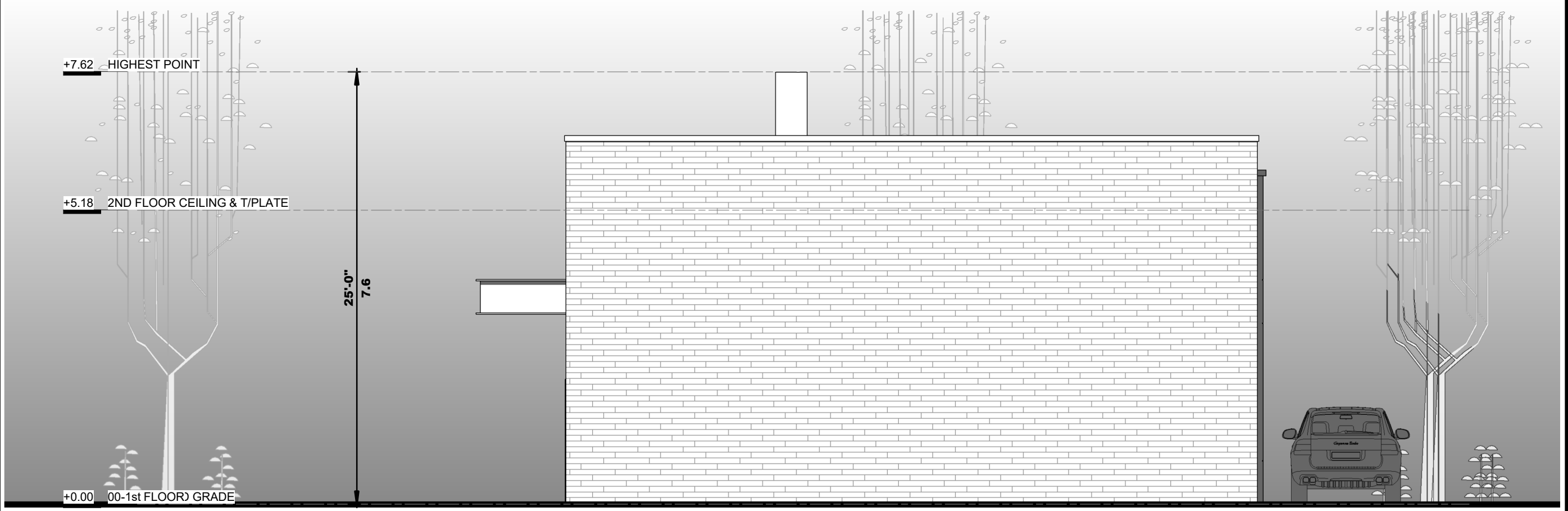
Sheet Title: **MAIN & REAR ELEVATION**

Drawn: ARCH  
 Checked: Checker  
 Project No: 23-282  
 Date: MAR 2023  
 Scale: 1 : 75



## 1 WEST ELEVATION

Scale: 1 : 75



## 2 EAST ELEVATION

Scale: 1 : 75





# 3D PLAZA

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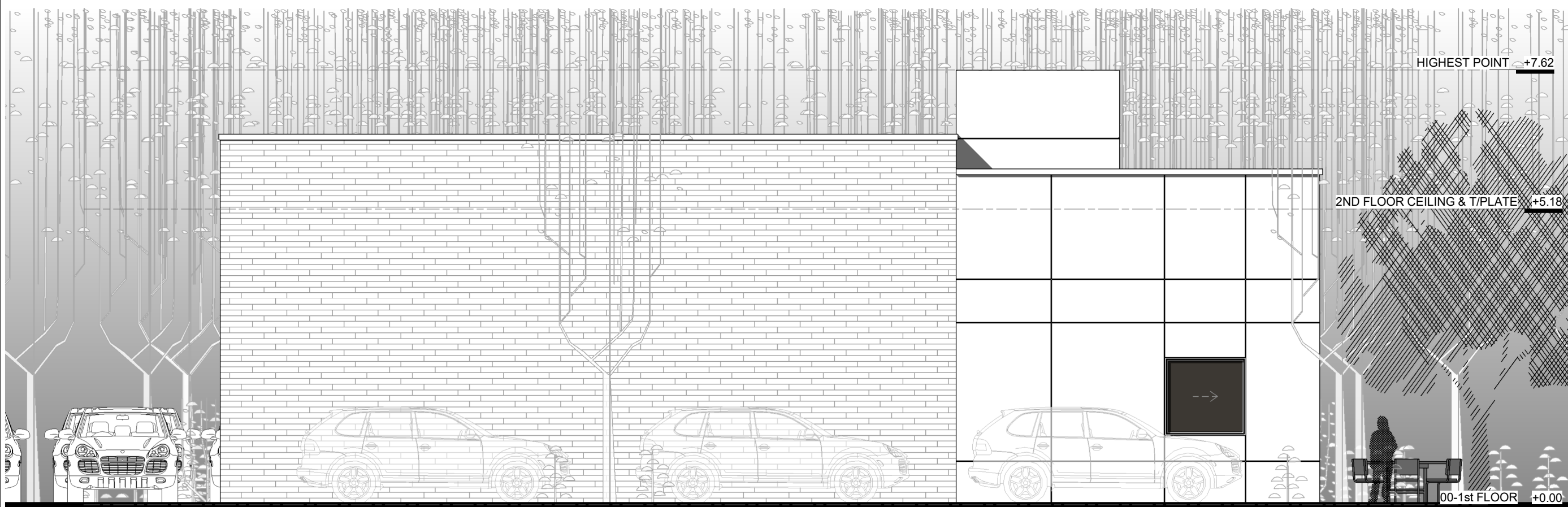


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Sheet Title: **SIDE ELEVATION**

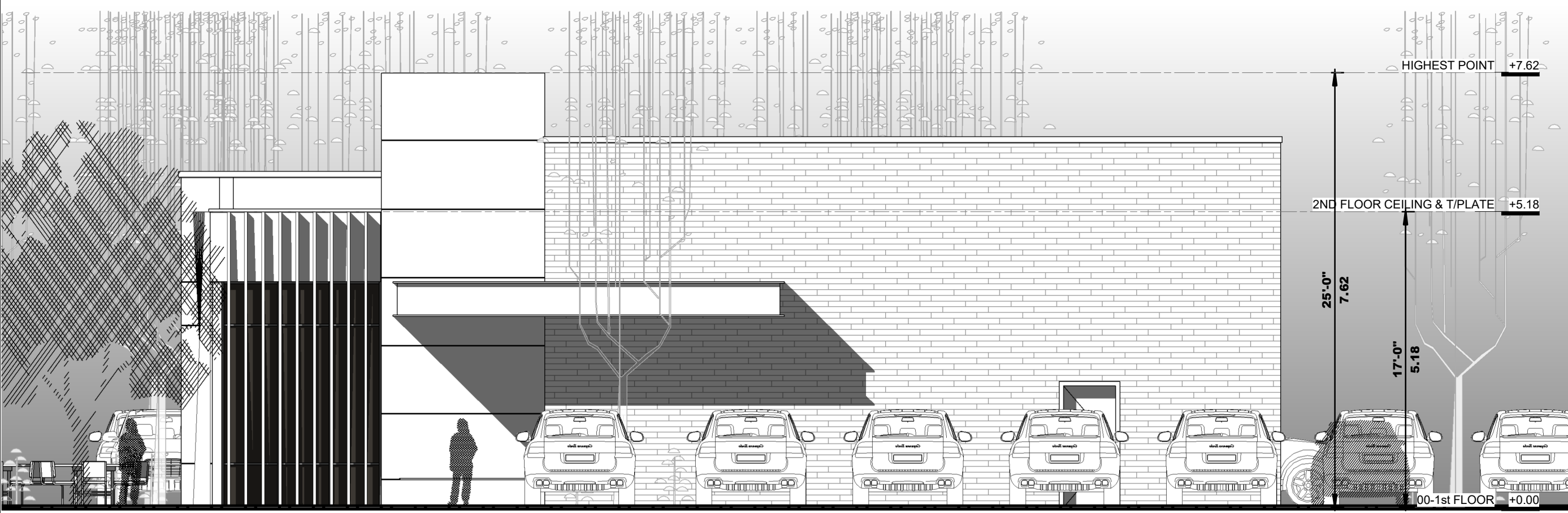
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Date: MAR 2023  
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Sheet No:  
**R03-A02-02**



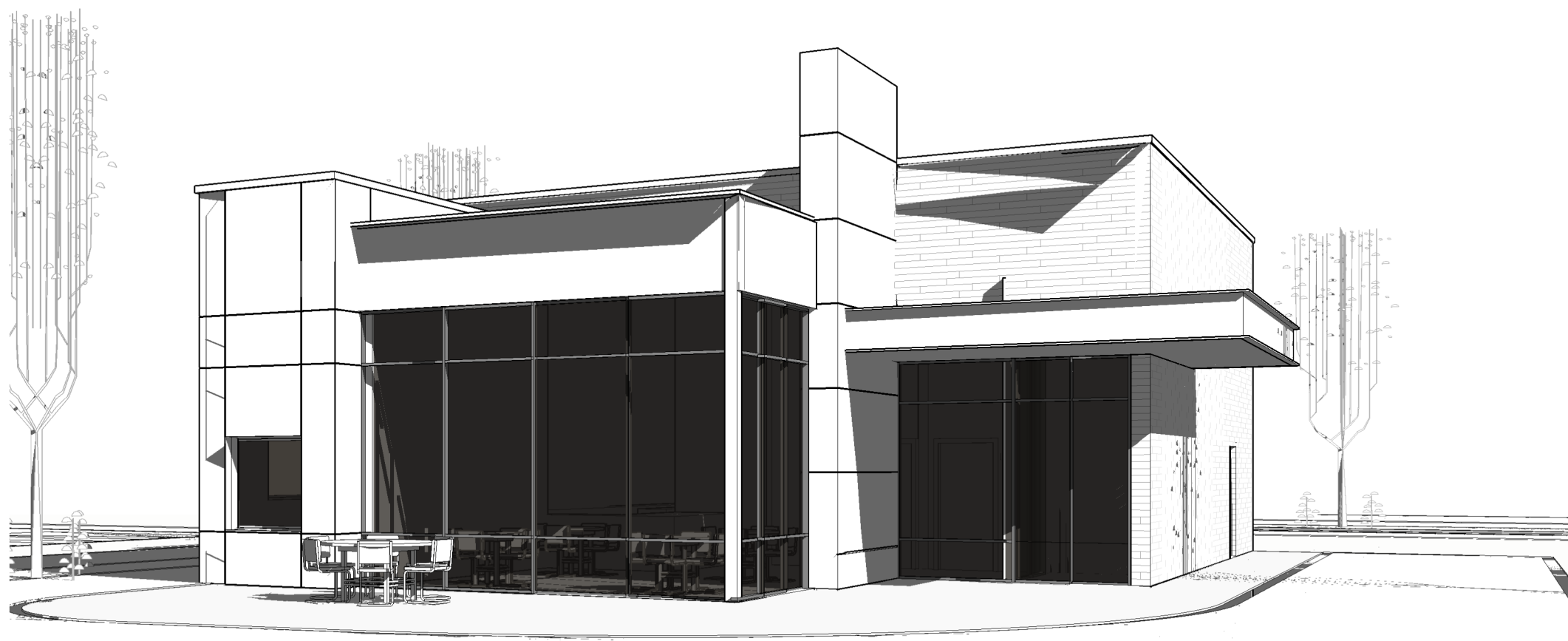
## 1 NORTH ELEVATION

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## 2 SOUTH ELEVATION

Scale: 1 : 75



# 3D PLAZA

Project:  
**5567 Yonge St**  
 GILFORD ONTARIO

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3429 Yonge St., Toronto, ON, M4N 2N1  
 info@hyphenstudio.co  
 (+1)647-869-9356 (+1)647-9796879

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