

1 MAIN LEVEL FLOOR DEMO PLAN
 - 1/16" = 1'-0"

PROJECT DESCRIPTION:
 THIS IS A PROPOSED CHURCH IN A TWO-OCCUPANT COMMERCIAL BUILDING LOCATED AT 1215 TOM GINNEVER DRIVE, IN O'FALLON, MO. THE PROPOSED CHURCH OCCUPANCY WILL REMODEL THE SPACE PREVIOUSLY USED BY VARIOUS OTHER TENANTS AND USE GROUPS, AND A CHANGE IN USE MAY TAKE PLACE DEPENDING UPON THE MOST RECENT TENANCY. THE 11,997 G.S.F. TENANT SUITE IS SERVED BY FOUR REMOTE EXITS, AND IS PROTECTED WITH A FULLY AUTOMATIC FIRE SUPPRESSION SYSTEM. ALL AREAS OF PRIMARY FUNCTION ARE ON THE ACCESSIBLE ROUTE, WITH EXCEPTION TO A MEZZANINE SPACE IN THE SANCTUARY.

CODE ANALYSIS:
 AS IS REQUIRED BY ADOPTED CODE, EXISTING BUILDINGS AND SPACES ARE FIRST EVALUATED USING ONE OF THREE COMPLIANCE METHODS FOUND IN THE INTERNATIONAL EXISTING BUILDINGS CODE. FOR THIS PROJECT, THE PRESCRIPTIVE COMPLIANCE METHOD IS USED, WITH A LEVEL 2 ALTERATIONS CLASSIFICATION OF WORK. ALTERATIONS ARE MODERATE TO HEAVY IN NATURE, AND INVOLVE THE REMOVAL OF NON-BEARING INTERIOR PARTITIONS AND LIMITED NEW INTERIOR WALL CONSTRUCTION. NO EGRESS SYSTEMS ARE ALTERED IN ANY WAY. NO FIRE SAFETY SYSTEM COMPONENTS ARE ALTERED IN ANY WAY THAT REDUCES THE PERFORMANCE OF THE SYSTEM, AND NO FIRE-RATED ASSEMBLIES ARE ALTERED IN ANY WAY. NO PRIMARY STRUCTURAL LOAD-BEARING COMPONENT WILL BE ALTERED IN ANY WAY. NEW WORK WILL INCLUDE THE INSTALLATION OF LIMITED NEW NON-BEARING GYPSUM WALLBOARD PARTITIONS, CABINETS, PLUMBING FIXTURES AND ONE RELOCATED EXTERIOR DOOR.

THE PROPOSED CHURCH IS A MIX OF NON-SEPARATED USE GROUP CATEGORIES TO INCLUDE A-3 ASSEMBLY, EDUCATION, ACCESSORY STORAGE AND ACCESSORY BUSINESS. THE BUSINESS USE SPACES ARE CONSIDERED ACCESSORY AT LESS THAN 10% OF ANY STORY WHERE COMMON WALLS OCCUR. NO USE GROUP EXCEEDS AN ALLOWABLE FIRE AREA PER TABLE 506.2, AND THE BUILDING IS PROTECTED WITH A FULLY AUTOMATIC FIRE SPRINKLER SYSTEM. THREE MINIMUM MEANS OF EGRESS IS REQUIRED WITH MOST INTENSIVE OCCUPANT LOAD CALCULATION, AND FOUR IMMEDIATE EXITS ARE PROVIDED. THE MAXIMUM ALLOWABLE TRAVEL DISTANCE IS 250'-0". THE MAIN LEVEL OF THE BUILDING IS ON THE ACCESSIBLE ROUTE FROM THE PARKING LOT.

CODES IN O'FALLON, MO & O'FALLON FIRE PROTECTION DISTRICT:

BUILDING: 2015 IEBC - O'FALLON, PRESCRIPTIVE COMP METHOD;
FIRE PREVENTION: 2015 IBC & 2015 IFC - O'FALLON FPD

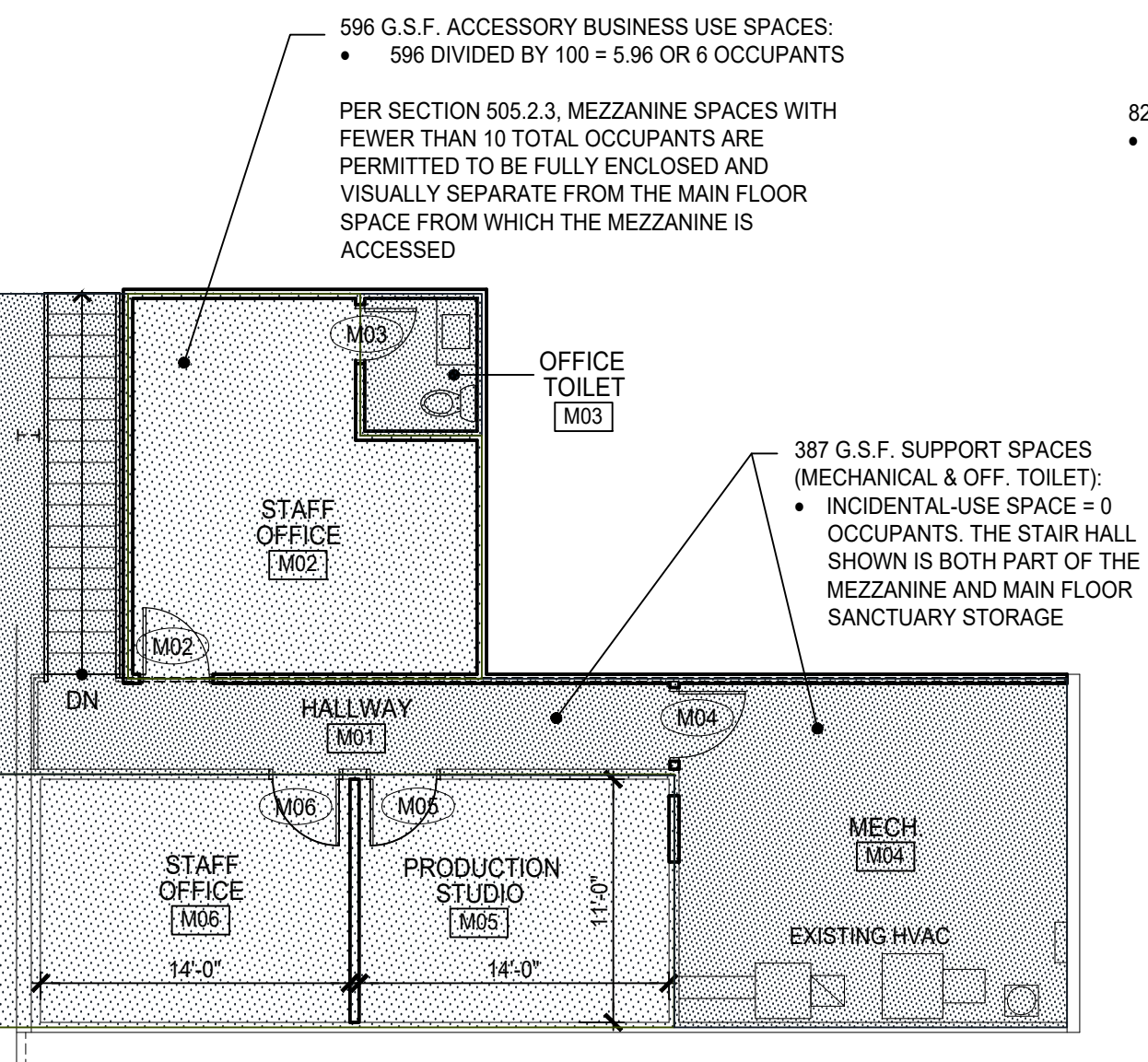
MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS:
 ALL NEW WORK (MAY BE DESIGNED AS REQUIRED) BY A MISSOURI PROFESSIONAL ENGINEER AND ALL DOCUMENTS ARE UNDER SEPARATE PERMIT IF REQUIRED BY THE JURISDICTION. THE FURNISHING OF CONSTRUCTION DOCUMENTS AS REQUIRED, MATERIALS, LABOR, EQUIPMENT AND TOOLS, TO PROVIDE A COMPLETE AND OPERABLE SYSTEMS OF MECHANICAL, ELECTRIC, AND PLUMBING IS BY OTHERS. ALL WORK TO BE INSTALLED IN ACCORDANCE WITH THE CURRENT NATIONAL CODES, AND WITH ALL LOCAL CODES, RULES AND ORDINANCES.

JD&A ARCHITECTURE

14311 Manchester Road
 Manchester, Missouri 63011

03.01.22

STATE OF MISSOURI
 JOHN G. WILMER
 ARCHITECT
 NUMBER
 A-2019021402
 # A-2019021402



1 MEZZANINE COMPLIANCE PLAN
 - 1/8" = 1'-0"

CALCULATED OCCUPANT LOAD IN BUILDING BASED ON FULL-TIME OCCUPANCY FOR MINIMUM PLUMBING FACILITIES:

EDUCATION USE AREA:	3 OCCUPANTS
BUSINESS USE AREA:	8 OCCUPANTS
ACCESSORY STORAGE USE AREA:	3 OCCUPANTS
ASSEMBLY USE AREA:	340 OCCUPANTS*

343 PERSONS + 1 PERSONS + 8 PERSONS + 3 PERSONS = 355 PERSONS. 355 PERSONS DIVIDED BY TWO = 178 PERSONS EACH GENDER. FOR THE PURPOSE OF CALCULATING MINIMUM PLUMBING FACILITIES, CERTAIN INCIDENTAL OCCUPIED SPACES ARE REDUCED FROM THE TOTAL GROSS SQUARE FOOT AREA AS THEY ARE PURELY INCIDENTAL, AND ARE SHOWN AS "SUPPORT" SPACES ON THE CODE COMPLIANCE PLANS. THESE SPACES INCLUDE CLOSETS, PASSAGES, TOILET ROOMS, STAIRS, ETC.

MINIMUM PLUMBING FACILITIES- ALL OCCUPANT LOAD AREAS		
	W/C (UR)	LAVATORY
MALE (355/2 = 178)	2 W/C, w/ 1 UR. SUBSTITUTE	2
FEMALE (355/2 = 178)	3 W/C	3

TWO DRINKING FOUNTAINS AND ONE SERVICE SINK ARE PROVIDED PER 2015 I.P.C. THE TABLE ABOVE SHOWS MINIMUM PLUMBING FACILITIES REQUIRED BY CODE. IN ADDITION TO THE MINIMUM SHOWN IN THE TABLE, "EXISTING FAMILY TOILET 116" AND "GREEN ROOM TOILET 106" PROVIDE ADDITIONAL FACILITIES BEYOND MINIMUM REQUIREMENT. THE LAVATORY IN "EXISTING FAMILY TOILET 116" COUNTS TOWARD THE MINIMUM REQUIREMENT FOR FEMALE OCCUPANTS (2 LAVATORIES IN "EXISTING WOMEN 109" AND ONE LAVATORY IN "EXISTING FAMILY TOILET 116" = 3 LAVATORIES)

*OWNER'S PROPOSED OCCUPANT LOAD IN NON-FIXED SEATS AS SHOWN IN "SANCTUARY 101" ON FLOOR PLAN. THE PEOPLE IN "LOBBY 100" ARE THE SAME AS THE PEOPLE IN "SANCTUARY 101" THE CALCULATED ASSEMBLY LOAD IS FOR EMERGENCY EGRESS PURPOSE

"BACKSTAGE SUPPORT 103" SERVES AS ACCESS TO MEZZANINE SPACES ABOVE SANCTUARY, AS A MEZZANINE AND NOT A STORY ABOVE GRADE. THE FLOOR AREA IS CONSIDERED PART OF THE MAIN FLOOR BELOW WITH A COMMUNICATING STAIR BETWEEN. AS A MEZZANINE, THERE IS NO FLOOR OPENING SHAFT TO PROTECT AND THEREFORE THE MEZZANINE STAIR AND PASSAGE TO MEANS OF EGRESS AND OTHER AREAS OF THE ASSEMBLY USE SPACES REMAINS UNENCLOSED. STRIPED EGRESS PATH LEADS DIRECTLY TO AN EXTERIOR EXIT DISCHARGE POINT, AND ALL USERS OF THE MEZZANINE SPACES ARE FAMILIAR WITH THE INTERIOR LAYOUT OF THE BUILDING, WHICH IS PROTECTED BY A FULLY AUTOMATIC SPRINKLER SYSTEM PER NFPA 13

823 G.S.F. ACCESSORY STORAGE AREA:
 • 823 DIVIDED BY 300 = 2.74, OR 3 OCCUPANTS < 49 (TABLE 1006.2.1), THEREFORE MINIMUM 1 MEANS OF EGRESS REQUIRED FROM THIS ROOM, WITH TRAVEL DISTANCE TO EXIT LESS THAN 75 FEET

RELOCATE EXISTING MEZZANINE STAIR TO HERE. ADD NEW LANDING AT TOP OF STAIR TO JOIN MEZZANINE. GROSS S.F. AREA IS SHOWN ON MEZZANINE PLAN

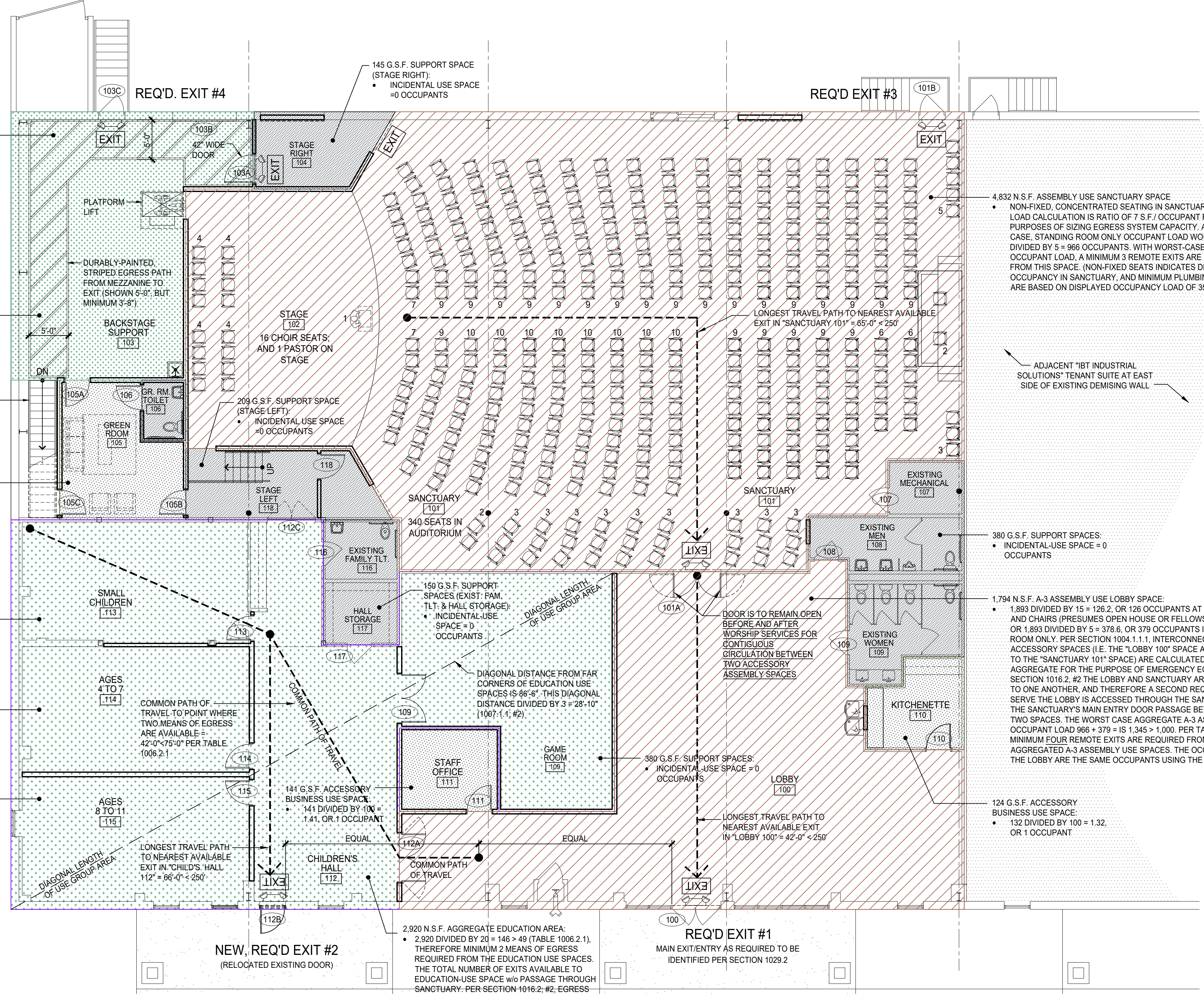
236 G.S.F. ACCESSORY BUSINESS USE:
 • 236 DIVIDED BY 100 = 2.3 < 49 (TABLE 1006.2.1), THEREFORE MINIMUM 1 MEANS OF EGRESS REQUIRED FROM THIS ROOM, WITH TRAVEL DISTANCE TO EXIT LESS THAN 250 FEET

442 N.S.F. CLASSROOM AREA:
 • 442 DIVIDED BY 20 = 21 < 49 (TABLE 1006.2.1), THEREFORE MINIMUM 1 MEANS OF EGRESS REQUIRED FROM THIS ROOM, WITH TRAVEL DISTANCE TO EXIT LESS THAN 75 FEET

454 N.S.F. CLASSROOM AREA:
 • 454 DIVIDED BY 20 = 23 < 49 (TABLE 1006.2.1), THEREFORE MINIMUM 1 MEANS OF EGRESS REQUIRED FROM THIS ROOM, WITH TRAVEL DISTANCE TO EXIT LESS THAN 75 FEET

466 N.S.F. CLASSROOM AREA:
 • 466 DIVIDED BY 20 = 23 < 49 (TABLE 1006.2.1), THEREFORE MINIMUM 1 MEANS OF EGRESS REQUIRED FROM THIS ROOM, WITH TRAVEL DISTANCE TO EXIT LESS THAN 75 FEET

ACTUAL PLANNED STUDENT & TEACHER OCCUPANCY IN THESE THREE ROOMS IS BETWEEN 8-12 EACH. CHURCH HAS PROVIDED A LETTER STATING PLANNED OCCUPANCY FOR THE CLASSROOMS



1 MAIN LEVEL COMPLIANCE PLAN
 - 1/8" = 1'-0"

DURING CONSTRUCTION OF AN ADDITIONAL REAL-WORLD CONDITIONS ARE ALWAYS DISCOVERED THAT DIFFER FROM THE CONSTRUCTION DOCUMENTS AND WILL REQUIRE COORDINATION AND ADJUSTMENTS IN DIMENSIONS AND THE SCOPE OF WORK. ALL DIMENSIONS SHALL BE CONFIRMED BY CONTRACTOR. DISCREPANCIES WITH DIMENSIONS SHOULD BE BROUGHT TO THE ATTENTION OF JEFF DAY & ASSOCIATES TO DISCUSS REMEDIAL ACTION. SUCH CHANGES IN THE SCOPE OF WORK WILL BE THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR.

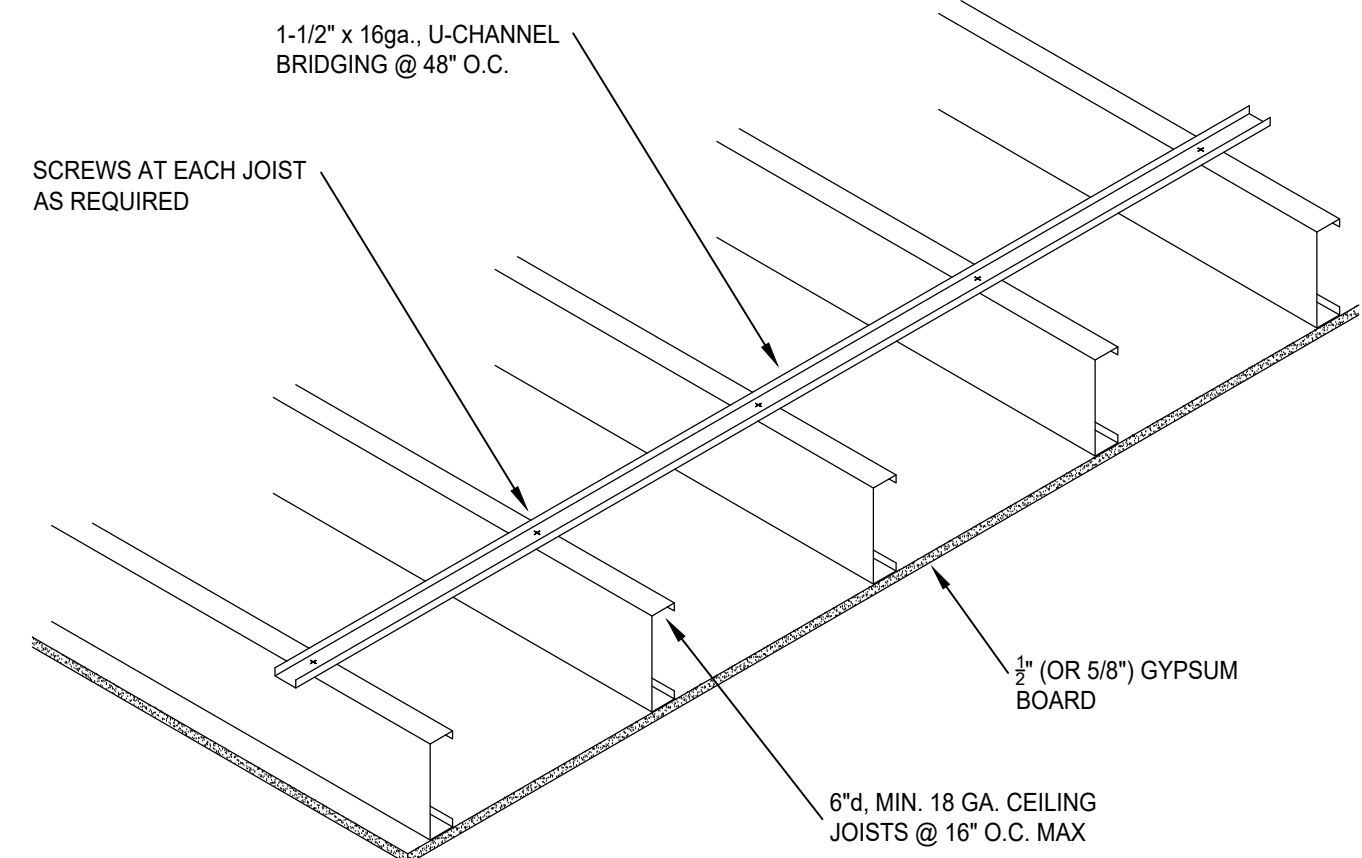
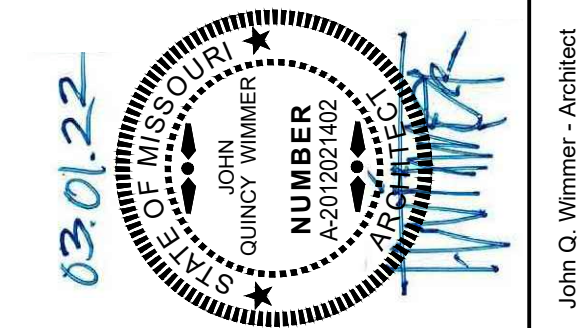
A Building Renovation for
One Seed Church
 1215 Tom Ginnever Ave.
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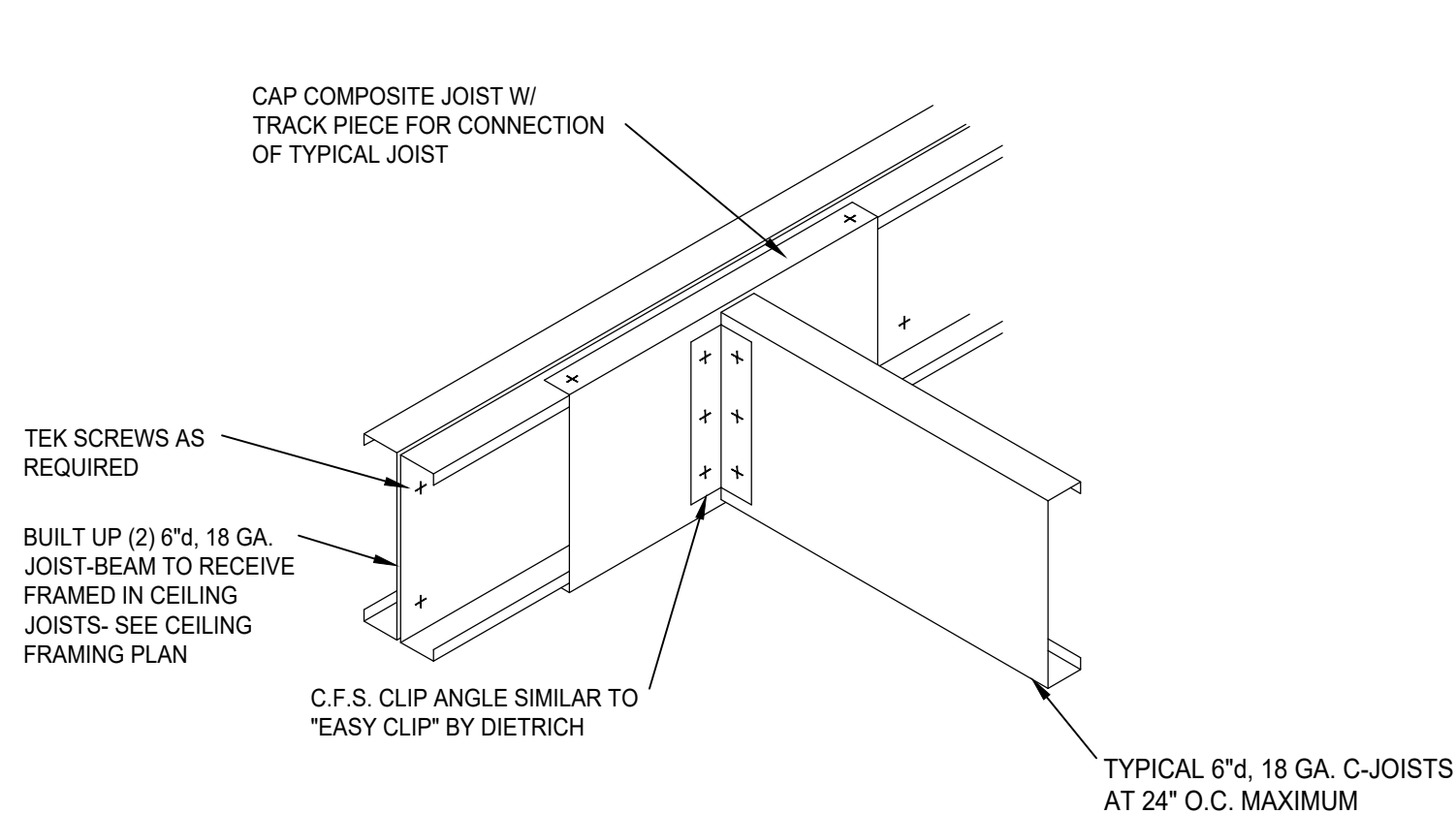
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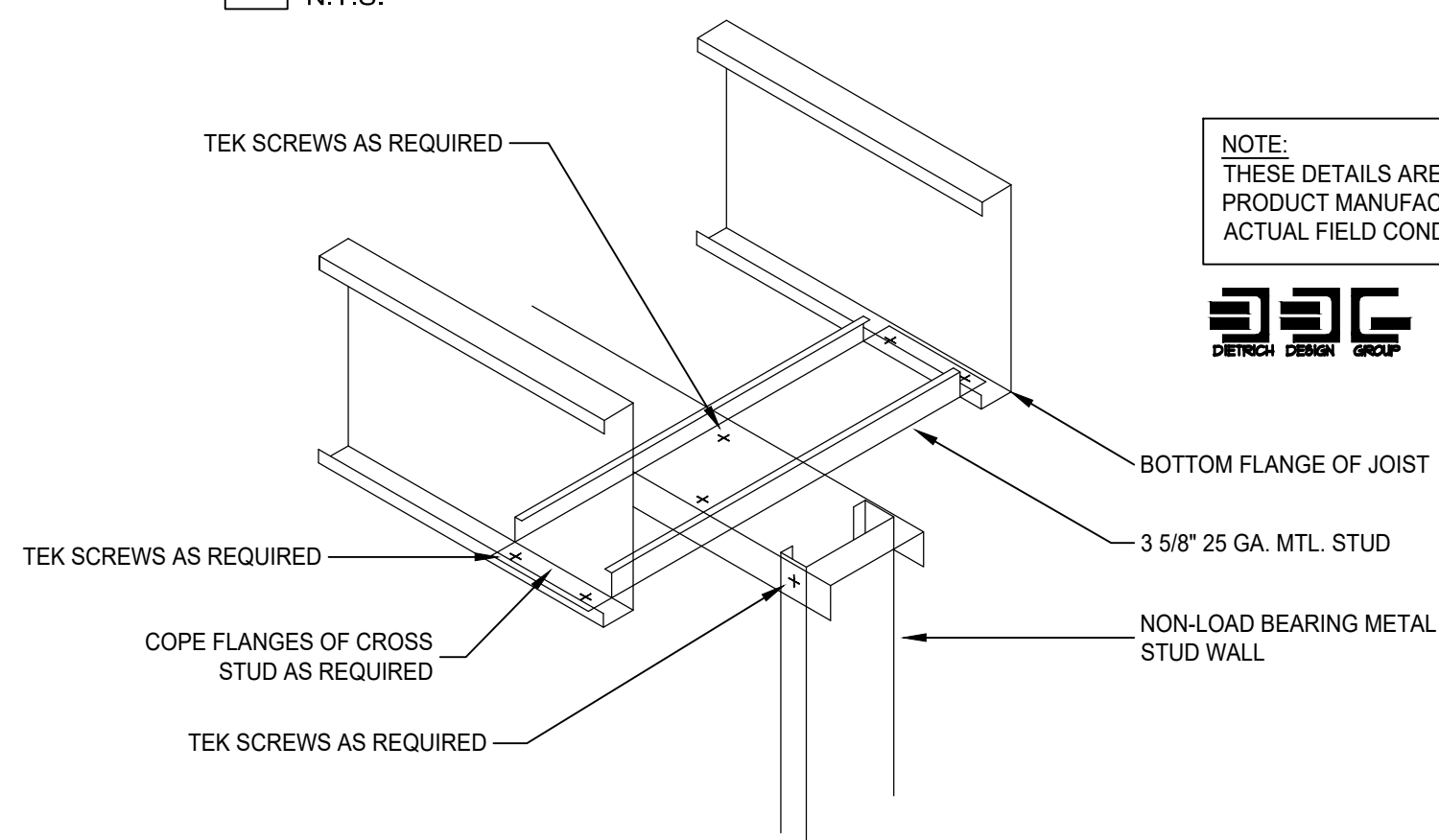
8 CEILING JOIST BRACING DETAIL

N.T.S.



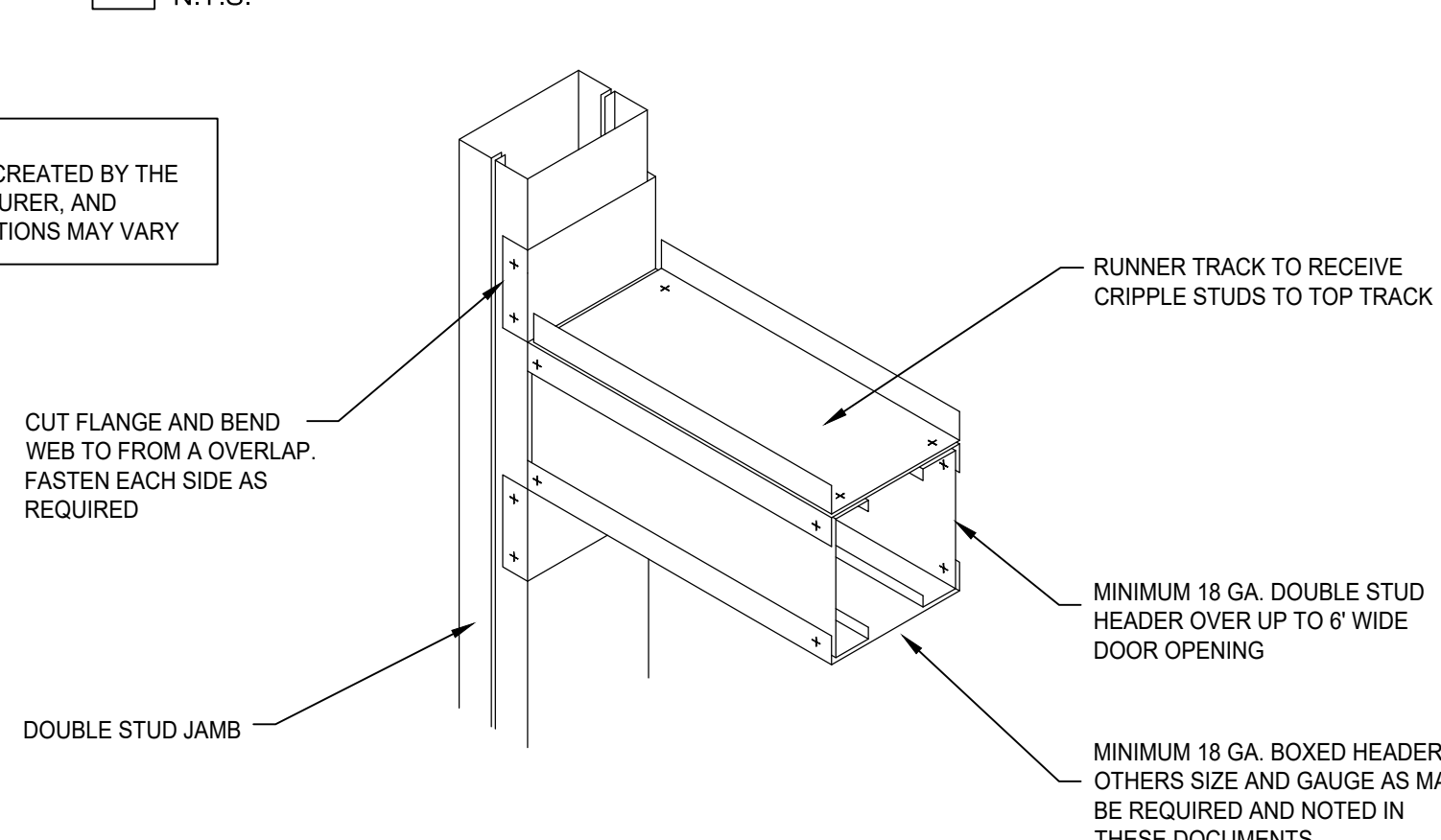
6 JOIST CONNECTION DETAIL

N.T.S.



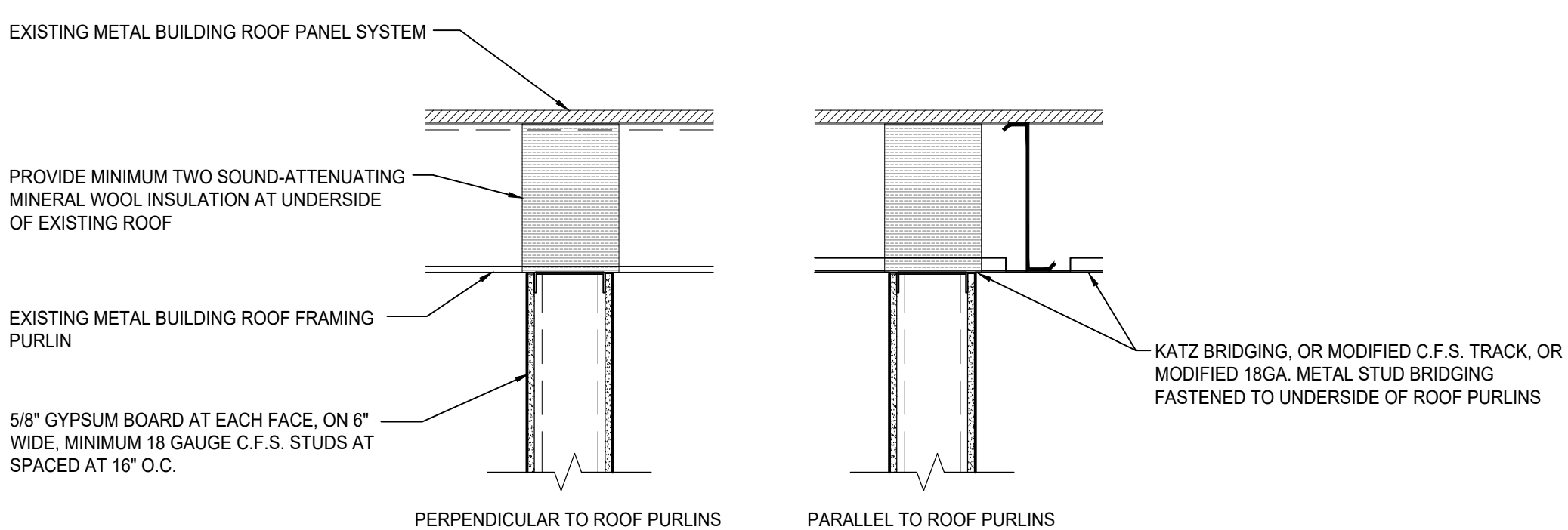
7 WALL CONNECTION TO JOISTS

N.T.S.



5 BOXED HEADER DETAIL

N.T.S.



4 INTERIOR PARTITION TYPES

1" = 1'-0"

SPECIFIC SEISMIC NOTES FOR I.B.C. SEISMIC CATEGORY 'D'

- INSTALLATION OF GRID MUST CONFORM TO CISCA RECOMMENDATIONS FOR AREAS IN SEISMIC CAT. 'D'. IN ADDITION, PROJECTS DESIGNED UNDER I.B.C. IN SEISMIC ZONE 'D' MUST MEET THE FOLLOWING REQUIREMENTS:
- MINIMUM 2" WALL MOLDING AT PERIMETER
 - GRID MUST BE ATTACHED TO TWO ADJACENT WALLS. OPPOSITE WALLS MUST HAVE 2" CLEARANCE
 - ENDS OF MAIN BEAMS AND CROSS TEES MUST BE TIED TOGETHER TO PREVENT THEIR SPREADING
 - PERIMETER SUPPORT WIRES
 - HEAVY-DUTY T-BAR GRID SYSTEM
 - CEILINGS OVER 1,000 S.F. MUST HAVE HORIZONTAL RESTRAINT WIRE OR RIGID BRACING
 - CEILINGS OVER 2,500 S.F. MUST HAVE SEISMIC SEPARATION JOINTS OR FULL-HEIGHT PARTITIONS
 - CEILINGS WITHOUT RIGID BRACING MUST HAVE 2" OVERSIZED TRIM RINGS FOR SPRINKLER HEADS.
 - CHANGES IN CEILING PLANE MUST HAVE POSITIVE BRACING
 - CABLE TRAYS AND ELECTRICAL CONDUITS MUST BE INDEPENDENTLY SUPPORTED AND BRACED
 - SUSPENDED CEILING SYSTEMS MAY BE SUBJECT TO SPECIAL INSPECTION
 - ALL WALL PARTITIONS GREATER THAN 6'-0" IN HEIGHT SHALL BE INDEPENDENTLY BRACED TO THE BUILDING SHELL STRUCTURE. WALL PARTITIONS MAY NOT BE SUPPORTED BY THE BRACED SUSPENDED CEILING ALONE.

NOTES @ CEILING ASSEMBLY LATERAL SUPPORT

1. HORIZONTAL RESTRAINTS SHALL BE EFFECTED BY FOUR NO. 12 GAUGE WIRES SECURED TO THE MAIN RUNNER WITH FOUR TIGHT TWISTS IN 1 1/2 INCHES AND WITHIN 2 INCHES OF THE CROSS RUNNER INTERSECTION AND SPLAYED 90 DEGREES FROM EACH OTHER @ AN ANGLE NOT EXCEEDING 45 DEGREES FROM THE PLANE OF THE CEILING. A STRUT FASTENED TO THE MAIN RUNNER @ THE CONVERGENCE OF THE SPLAYED WIRES SHALL BE EXTENDED TO AND BE FASTENED TO THE ROOF OR FLOOR STRUCTURAL MEMBERS ABOVE OR TO SUCH OTHER FRAMING DEEMED ACCEPTABLE TO THE ENFORCEMENT AGENCY. THESE HORIZONTAL RESTRAINT POINTS SHALL NOT BE PLACED MORE THAN 12 FEET BY 12 FEET ON CENTERS. THERE SHALL BE A RESTRAINT POINT A DISTANCE OF NOT MORE THAN ONE HALF OF THE ABOVE SPACING FROM EACH SURROUNDING WALL.

ATTACHMENT OF THE RESTRAINT WIRES TO THE STRUCTURE ABOVE SHALL BE ADEQUATE FOR THE LOAD IMPOSED.

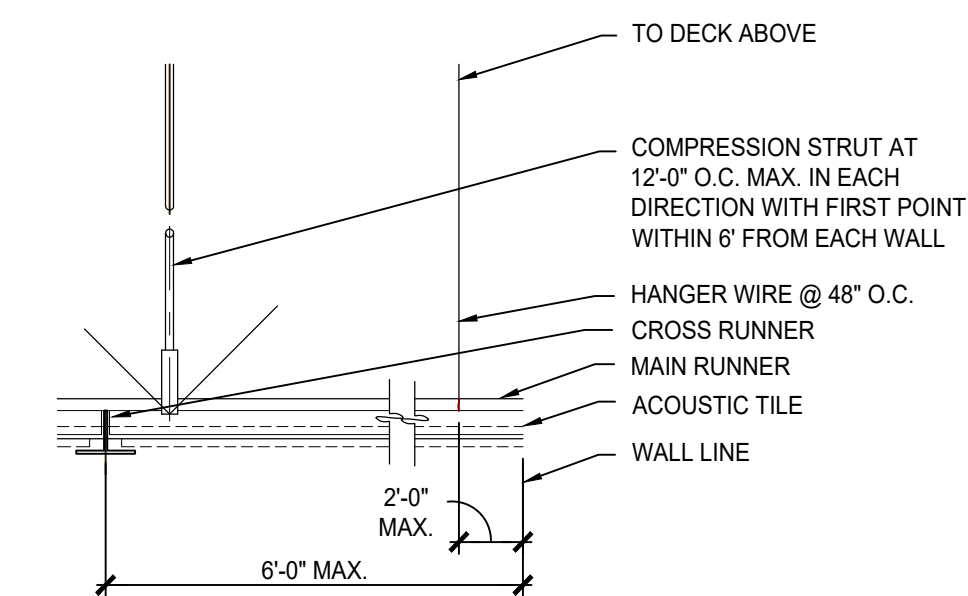
LATERAL FORCE BRACING SHALL BE SPACED A MINIMUM OF 8 INCHES FROM ALL HORIZONTAL PIPING OR DUCTWORK THAT IS NOT PROVIDED WITH THE BRACING RESTRAINTS FOR HORIZONTAL FORCES. BRACING WIRES SHALL BE ATTACHED TO THE GRID AND THE STRUCTURE IN SUCH A MANNER THAT THEY CAN SUPPORT A DESIGN LOAD OF NOT LESS THAN 200 POUNDS OR THE ACTUAL DESIGN LOAD, WHICHEVER IS GREATER, WITH A SAFETY FACTOR OF 2 WITHOUT YIELDING.

2. LIGHTING FIXTURES OVER 55 LBS., AND AIR DIFFUSERS OVER 20 LBS. SHALL BE SUPPORTED DIRECTLY BY WIRES TO THE STRUCTURE ABOVE. SEE ANY ELECTRICAL DRAWINGS AND LIGHTING SPECIFICATIONS.

COMPRESSION STRUT SCHEDULE

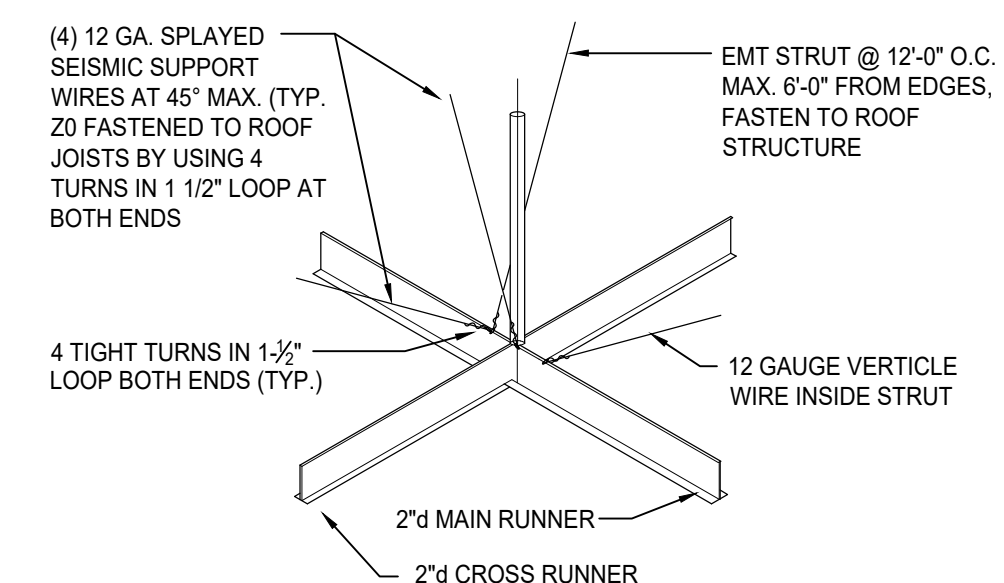
NOMINAL SIZE (INCHES)	MAX. LENGTH (FT)
1/2	3
3/4	5
1	7
1 1/4	12
1 1/2	15
2	22

NOTE: THESE DETAILS PERTAIN TO SUSPENDED CEILING GRID BRACING IN SEISMIC ZONE 'D'. VERIFY w/LOCAL JURISDICTION WHETHER GRID BRACING AS INDICATED IN THESE DETAILS IS REQUIRED. THESE DETAILS ARE INCLUDED AND ARE TO BE FOLLOWED IN THE EVENT OF ANY NEW INSTALLATIONS OF SUSPENDED CEILING GRID SYSTEM.



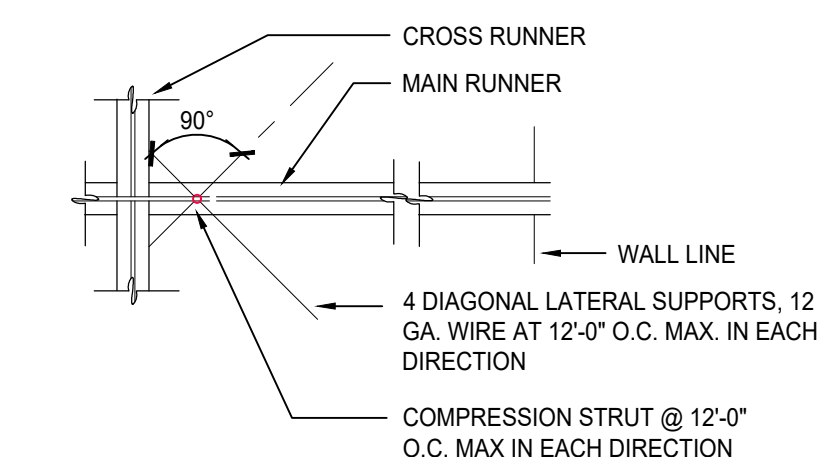
3 SECTION @ SEISMIC SUPPORT

N.T.S.



2 SEISMIC CEILING GRID DETAIL

N.T.S.



1 PLAN @ SEISMIC SUPPORT

N.T.S.

A Building Renovation for

One Seed Church

1215 Tom Ginnever Ave.
O'Fallon, MO 63366

ISSUE

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△ 12.16.21		P&Z MEETING
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DATE: 03.01.22

PROJECT #: 21 276

A2.1

GENERAL SPECIFICATION

DIVISION 1- GENERAL REQUIREMENTS & GENERAL CONDITIONS

1. GENERAL CONDITIONS OF THE AGREEMENT BETWEEN OWNER AND CONTRACTOR:

GENERAL CONDITIONS OF THE AGREEMENT, OF CHOSEN FORM (I.E. AIA STANDARD CONTRACT DOCUMENT, OR OTHER) ARE HEREBY MADE PART OF THE SPECIFICATION THE SAME AS IF BOUND HEREIN.

THE GENERAL CONDITIONS, INCLUDING MODIFICATIONS AND SPECIAL CONDITIONS HEREIN SHALL BECOME PART OF THE CONTRACT AND SHALL APPLY TO THE GERAL CONTRACTOR AND ALL SUBCONTRACTORS.

THE GENERAL REQUIREMENTS & GENERAL CONDITIONS ARE HEREBY MADE A PART OF AND SHALL APPLY TO THE WORK OF EVERY SECTION OR SUB-SECTION OF THESE SPECIFICATIONS

2. SCOPE:

WORK OF THE CONTRACTOR INCLUDES FURNISHING OF ALL LABOR, MATERIALS, APPLIANCES, TRANSPORTATION AND SERVICES REQUIRED FOR SATISFACTORY CONSTRUCTION OF THIS TENANT SPACE

VERIFY EXISTING CONDITIONS THAT AFFECT ALL ALTERATIONS ADJUSTMENTS, ETC. TO DELIVER A COMPLETE TENANT IMPROVEMENT BUILD-OUT THAT CONFORMS TO THE CONTRACT DRAWINGS THESE GENERAL, NON-PROPRIETARY SPECIFICATIONS

THE PROJECT OWNER RESERVES THE RIGHT TO INSTALL FINISHES OR FIXTURES, OR TO USE A PORTION OF THE CONSTRUCTION AREA AFTER SUBSTANTIAL COMPLETION BY THE CONTRACTOR. SUCH OCCUPANCY SHALL IN NO WAY IMPLY ACCEPTANCE OF ANY PART OF THE CONTRACTOR'S WORK.

VERIFY SETBACKS, AND/OR EASEMENTS, EXISTING UTILITIES, AND ANY UNDERGROUND OR SURFACE STRUCTURE OR CONDITIONS PRIOR TO COMMENCING THE WORK

IF USED IN THESE DOCUMENTS (SEE COVER SHEETS), SEE RESPONSIBILITY SCHEDULE TO CLARIFY RESPONSIBILITIES FOR THE WORK.

3. SCHEDULING AND COORDINATION:

COORDINATE CONSTRUCTION SCHEDULING, PROCESS AND PROCEDURES WITH THE LANDLORD, IN AS MUCH AS SUCH COORDINATION MAY BE NECESSARY.

COORDINATE WORK WITH OTHER TRADES, THE LANDLORD'S TEAM (IF PRESENT), OTHER TENANT CONTRACTORS (IF PRESENT) AND OWNER'S OPERATIONS (IF ANY DURING CONSTRUCTION) IN ORDER TO AVOID CONFLICTS AND EXPEDITE THE COMPLETION OF THE PROJECT.

FURNISH LABOR, MATERIALS, EQUIPMENT AND APPLIANCES NECESSARY TO COMPLETE THE INSTALLATION OF ALL ITEMS FURNISHED BY OTHERS, IF IN CONTRACTOR'S WORK SCOPE

NO WORK SHALL COMMENCE WITHOUT CONSENT OF THE LANDLORD, IF SUCH CONSENT IS REQUIRED OF THE OWNER BY THE LANDLORD.

4. OWNER'S EQUIPMENT UNDER THE CONTRACT FURNISHED BY OTHERS:

BECOME ACQUAINTED WITH THE DIMENSIONS OF ALL TENANT'S EQUIPMENT TO BE INSTALLED UNDER THE CONTRACT SO THAT PREPARATIONS CAN BE MADE TO PROVIDE ENTRY INTO THE BUILDING WITH SUFFICIENT CLEARANCES AND ADEQUATE FLOOR AREA IS AVAILABLE.

5. SUPERVISION:

MAINTAIN ONE SUPERINTENDENT ON SITE AT ALL TIMES. SUPERINTENDENT SHALL WORK EXCLUSIVELY ON THIS OWNER'S PROJECT FROM START OF CONSTRUCTION THROUGH RECEIVING OWNER'S ISSUE OF SUBSTANTIAL COMPLETION, AND WILL PROVIDE OWNER WITH MOBILE TELEPHONE ACCESS 24 HOURS PER DAY FOR DURATION OF PROJECT.

ANY WORK REQUIRED TO BE COMPLETED DURING NON-BUSINESS-HOURS SHALL BE INCLUDED IN THE CONTRACTOR'S BID.

COORDINATE AND SCHEDULE ALL NON-BUSINESS-HOUR WORK WITH THE OWNER, OR LANDLORD IF APPROPRIATE.

6. PERMITS:

OBTAIN AND PAY FOR ALL PERMITS AND INSPECTIONS REQUIRED, UNLESS SPECIFIED OTHERWISE

7. UTILITIES:

PROVIDE ALL TEMPORARY FACILITIES (INCLUDING, BUT NOT LIMITED TO, WATER, SEWERAGE, ELECTRICAL POWER, FUEL AND TELEPHONES) AND THE COSTS ASSOCIATED WITH THESE. PROVIDE THE OWNER WITH ALL UTILITY COMPANY NAMES, NUMBERS, CONTACTS AND ACCOUNT NUMBERS. OWNER WILL TRANSFER ACCOUNTS TO ITS NAME AT TURNOVER.

8. ADDENDA AND BULLETINS TO SPECIFICATIONS:

REVISION INSTRUCTIONS ISSUED BY THE OWNER DURING THE PERIOD OF BIDDING MAY BE INCORPORATED IN THE CONTRACT DOCUMENTS BY MEANS OF ADDENDA TO THESE GENERAL SPECIFICATIONS.

REVISION INSTRUCTIONS ISSUED BY THE OWNER DURING THE PERIOD OF CONSTRUCTION WILL BE INCORPORATED IN THE CONTRACT DOCUMENTS BY MEANS OF BULLETIN.

9. TESTS AND INSPECTIONS:

ALL TESTS AND INSPECTIONS, OF ANY KIND, REQUIRED HEREINAFTER IN THE SPECIFICATIONS, AND WHICH INVOLVE EXPENSE, SHALL BE PAID BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.

10. PROTECTION OF WORK IN PLACE:

ALL WORK IN PLACE SHALL BE ENCLOSED WITH ADEQUATE PROTECTION. PERMANENT OPENINGS USED AS THROUGHFARES FOR THE INTRODUCTION OF WORK AND MATERIALS TO THE STRUCTURE SHALL HAVE HEADS, JAMBS AND SILLS WELL-BLOCKED AND BOARDED. REPAIR ALL DAMAGED EXISTING WORK

PROTECT THE PROPERTY OF ADJACENT TENANTS IF ANY, COMMON AREAS IF ANY, AND NEUTRAL PIERS IF ANY AT ALL TIMES. ANY DAMAGE THAT OCCURS AS A RESULT OF DEMOLITION (OR CONSTRUCTION) IS TO BE REPAIRED TO LIKE-NEW CONDITION.

PROTECT ALL NEW WORK, FURNISHINGS, AND EQUIPMENT AT ALL TIMES. ANY DAMAGE THAT OCCURS AS A RESULT OF DEMOLITION (OR CONSTRUCTION) IS TO BE REPAIRED TO LIKE-NEW CONDITION).

11. GUARANTEE:

GUARANTEE IN WRITING ALL WORK FOR A PERIOD OF ONE YEAR FROM DATE OF COMPLETION AND ACCEPTANCE OF WORK BY OWNER.

ALL WORK SHALL CONFORM TO REQUIREMENTS OUTLINED IN THE LANDLORD'S SPECIFICATION TO LESSEE (IF ONE IS PRESENT), AND SHALL BE APPROVED BY THE LANDLORD IF APPROPRIATE.

FURNISH THE FOLLOWING UPON COMPLETION OF WORK-

CERTIFICATE OF OCCUPANCY
GENERAL CONTRACTOR'S AFFIDAVIT (IF NECESSARY)
GENERAL CONTRACTOR'S RELEASE OF WAIVER OF LIEN,
AN EXECUTED AND ACKNOWLEDGED RELEASE OF MECHANICAL LIENS WITH RESPECT TO DEMISED PREMISES EXECUTED BY THE OWNER'S GENERAL CONTRACTOR AND EVERY SUB-CONTRACTOR AND SUPPLIER OF LABOR AND MATERIALS ENGAGED IN OWNERS' PROJECT WORK
ELECTRICAL INSPECTION CERTIFICATE (IF ONE IS REQUIRED)
UNDERWRITER'S APPROVAL CERTIFICATE FOR THE ELECTRICAL WORK (IF REQUIRED)
HVAC WARRANTY
OPERATION MANUALS FOR ALL MECHANICAL AND ELECTRICAL EQUIPMENT.

12. TRASH REMOVAL:

PROVIDE FOR THE REGULAR (DAILY IF POSSIBLE) OF ALL TRASH AND SURPLUS MATERIALS RESULTING FROM CONSTRUCTION IN THE OWNER'S TENANT SPACE

13. CLEAN UP AT TURNOVER

PROVIDE A PROFESSIONAL CLEANING SERVICE FOR ALL AREAS OF THE OWNER'S TENANT SPACE AT THE COMPLETION OF THE PROJECT, AND BEFORE TURNING THE PROJECT OVER TO THE OWNER. WORK TO INCLUDE, BUT NO BE LIMITED TO ALL CEILING SURFACES, FLOOR AND WALL SURFACES, MILLWORK AND CABINetry. THE TENANT SPACE IS TO BE CLEAN AND READY FOR OCCUPATION.

REMOVE ALL PROTECTIVE COVERINGS AND ALL CONSTRUCTION MATERIALS AS DIRECTED BY THE OWNER

HVAC FILTERS ARE TO BE CHANGED FOLLOWING CLEANING.

14. THE TERM 'EQUAL':

WHEREVER THE TERM 'OR EQUAL' IS USED, IT SHALL MEAN EQUAL PRODUCT AS MAY BE INDICATED IN THE CONSTRUCTION DRAWINGS OR ANY PROPRIETARY SPECIFICATIONS.

15. PROGRESS:

CONTRACTOR SHALL CAUSE THE WORK TO BE DILIGENTLY PURSUED UNTIL FINAL COMPLETION. SHOULD THE CONTRACTOR FAIL TO SUPPLY A SUFFICIENTCY OF WORKERS OR MATERIALS OR FAIL TO MAKE TIMELY ARRANGEMENTS WHICH MAY BE REQUIRED FOR PROGRESS, THE CONTRACTOR SHALL PROVIDE EVIDENCE SATISFACTORY TO THE OWNER THAT SAID DEFICIENCIES ARE DUE TO CAUSES BEYOND THE CONTRACTOR'S CONTROL. UNLESS THE CONTRACTOR PROVIDES SUCH EVIDENCE, THE OWNER SHALL HAVE THE RIGHT, AFTER ONE DAY NOTICE IN WRITING, TO MAKE SUCH ARRANGEMENTS AND SUPPLY SUCH WORKERS AND MATERIALS AT THE CONTRACTOR'S EXPENSE. THE SAME RELATIONSHIP SHALL EXIST BETWEEN THE CONTRACTOR AND SUBCONTRACTORS.

16. ROOF DECK PENETRATIONS:

CONTRACT WITH THE LANDLORD'S ROOFER, AS REQUIRED, FOR ALL PENETRATIONS OF THE ROOF DECK UNLESS PRIOR ARRANGEMENT ALLOWS OWNER TO PROCEED WITH WORK AT OWNER'S RISK.

17. QUALITY OF WORK:

ALL WORK SHALL BE PERFORMED IN A SAFE AND WORKMANLIKE MANNER IN ACCORDANCE WITH ACCEPTED CONSTRUCTION STANDARDS AND O.S.H.A. REQUIREMENTS.

ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE PLANS UNLESS A VARIANCE IS APPROVED BY THE OWNER AND ALL AUTHORITIES HAVING JURISDICTION.

ALL EQUIPMENT AND MATERIALS UNDER THE CONTRACT ARE TO BE NEW UNLESS OTHERWISE SPECIFIED IN THE PLANS.

18. CODE COMPLIANCE:

VERIFY ALL WORK IN COMPLIANCE WITH ALL CODES, ORDINANCES, AND REGULATIONS OF ALL CONSTITUTED PULIC AUTHORITIES HAVING JURISDICTION. THIS INCLUDES, BUT IS NOT LIMITED TO, LOCAL BUILDING CODE REQUIREMENTS, FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY REQUIREMENTS, O.S.H.A. AND THE BEST TRADE PRACTICES.

19. DIMENSIONS:

UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE MEASURED FROM THE FINISHED FACE TO THE FINISHED FACE OF MATERIALS, FACE OF STOREFRONT OR LEASE LINE.

VERIFY ALL PROPOSED DIMENSIONS WIT FIELD CONDITIONS. ADVISE THE OWNER AND ARCHITECT OF ANY MAJOR DISCREPANCY BETWEEN THE DRAWING AND ACTUAL JOB CONDITIONS BEFORE BEGINNING THE WORK. FAILURE TO DO SO SHALL PLACE FULL RESPONSIBILITY FOR ANY ERRORS UPON THE CONTRACTOR.

ALL ANGLES SHALL BE 90° OR 45° UNLESS OTHERWISE NOTED IN THE CONSTRUCTION DOCUMENTS.

20. SHOP DRAWINGS AND SUBMITTALS:

IF PROPRIETARY EQUIPMENT OR PRODUCTS ARE SPECIFIED IN THE PLANS, CONTACT THE OWNER AND ARCHITECT TO DETERMINE WHETHER SUBMITTAL OF SHOP DRAWINGS IS DESIRED. IF CUSTOM FABRICATIONS ARE SPECIFIED IN THE PLANS, CONTACT BOTH THE ARCHITECT OR STRUCTURAL ENGINEER TO MAKE SHOP DRAWING SUBMITTALS AS APPROPRIATE. THE ARCHITECT MAY REVIEW, BUT WILL NOT APPROVE ANY SHOP DRAWINGS SUBMITTED. IT SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER OR THE OWNER'S REPRESENTATIVE (I.E. CONSTRUCTION MANAGER).

21. SAMPLES:

IF PROPRIETARY PRODUCTS ARE SPECIFIED AS FINISH SURFACE (I.E. MOLDING PROFILES, COUNTER TOPS, CARPETS, ETC) THE PROJECT OWNER RESERVES THE RIGHT TO REQUEST MATERIAL SAMPLES FOR FINAL APPROVAL. CONTACT THE OWNER AND ARCHITECT TO DETERMINE WHETHER SUBMITTAL OF MATERIAL SAMPLES IS DESIRED.

22. PAYMENT AND WAIVER OF LIENS:

ALL CONDITIONS OF PAYMENTS TO THE CONTRACTOR AND HIS SUBCONTRACTORS ARE TO BE ESTABLISHED BY OWNER OR OWNERS REPRESENTATIVE (I.E. CONSTRUCTION MANAGER)

23. CARRIED INSURANCE:

SECURE, PAY FOR AND MAINTAIN, DURING CONSTRUCTION WITHIN OWNER'S LEASED PREMISES, ALL OF THE INSURANCE POLICIES REQUIRED AND IN AMOUNTS AS SET FORTH BY THE PURCHASED POLICY. TERMS OF THE INSURANCE AND COVERAGE AMOUNTS ARE TO BE DETERMINED BY BOTH THE CONTRACTOR AND OWNER OR OWNER'S REPRESENTATIVE (I.E. CONSTRUCTION MANAGER). VERIFY IF LANDLORD IS TO BE NAMED AS "ADDITIONAL INSURED" THE CERTIFICATE OF INSURANCE SHALL COVER WORK PERFORMED BY THE CONTRACTOR, EACH SUBCONTRACTOR AND ALL MAJOR SUPPLIERS.

MINIMUM COVERAGE LIMITS ARE TO BE DETERMINED BY CONTRACTOR AND OWNER. WORKMAN'S COMPENSATION, INCLUDING PAYMENT TO THE EMPLOYEES OF THE CONTRACTOR, COMPENSATION PROVIDED BY WORKMEN'S COMPENSATION LAWS OF THE STATE OF MISSOURI, WITH LIMITS OF NOT LESS THAN (E.G. \$2,000,000.00), CONTRACTOR'S PUBLIC LIABILITY INSURANCE, WITH LIMITS NOT LESS THAN (E.G. \$2,000,000.00), GENERAL THIRD-PARTY LIABILITY INSURANCE IF NECESSARY, WITH LIMITS NOT LESS THAN (E.G. \$2,000,000.00).

CONTRACTOR IS TO FURNISH A HOLD HARMLESS CERTIFICATE FOR THE PROJECT OWNER AND LANDLORD

24. INDEMNIFICATION:

TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HARMLESS THE LANDLORD, PROJECT OWNER AND ARCHITECT AND THEIR AGENTS AND EMPLOYEES FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING BUT LIMITED TO, ATTORNEY'S FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK, PROVIDED THAT ANY SUCH CLAIM, DAMAGE, LOSS OR EXPENSE IS ATTRIBUTABLE TO BODILY INJURY, SICKNESS, DISEASE OR DEATH, OR TO INJURY OR TO DESTRUCTION OF TANGIBLE PROPERTY (OTHER THAN THE WORK ITSELF) INCLUDING THE LOSS OF USE RESULTING THEREFROM.

25. BACKGROUND COMPUTER-AIDED DESIGN PROGRAM FILES:

IN THE EVENT THAT THE GENERAL CONTRACTOR OR HIS SUBCONTRACTORS REQUIRED ELECTRONIC BACKGROUND CAD DRAWINGS, THE FILES WILL BE FURNISHED BY THE ARCHITECT TO THE OWNER FOR ITS DISTRIBUTION TO THOSE MAKING REQUEST. A 'CAD WAIVER' MAY BE REQUESTED BY THE ARCHITECT PRIOR TO RELEASE OF THE ELECTRONIC BACKGROUND CAD DRAWING.

26. DAMAGED FREIGHT (OWNER-FURNISHED MATERIALS):

OPEN BOXES/CARTONS WITH OBVIOUS DAMAGES AND INSPECT FREIGHT BEFORE SIGNING THE FREIGHT BILL, AND NOTE SPECIFICALLY THE ITEM(S) DAMAGED. AFTER DAMAGE IS NOTED ON THE FREIGHT BILL, HAVE CARRIER'S DRIVER ALSO SIGN IN ORDER TO VERIFY THAT BOTH PARTIES AGREE TO THE EXTENT OF THE DAMAGE. WHEN DAMAGE IS DISCOVERED UPON UNPACKING THE FREIGHT, INSPECT ALL PACKING OR SIGNS OF DAMAGE OR ABUSE. THE FREIGHT BILL IS TO BE NOTED WITH THE SPECIFIED DAMAGE. CONTACT THE OWNER OR OWNER'S REPRESENTATIVE (I.E. CONSTRUCTION MANAGER) WITHIN 48 HOURS OF TAKING RECEIPT OF MATERIALS TO INFORM THEM OF ANY LOSS. IF THE PROJECT OWNER'S CONTRACTOR FAILS TO FOLLOW THIS PROCEDURE, THE OWNER'S CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS RELATED TO THE REPLACEMENT OF MISSING OR DAMAGED OWNER-FURNISHED MATERIALS.

27. MISSING FREIGHT:

OPEN ALL BOXES/CARTONS AND VERIFY QUANTITIES AGAINST PACKING SLIPS AND BILL OF LADING. CONTACT THE OWNER OR OWNER'S REPRESENTATIVE (I.E. CONSTRUCTION MANAGER) WITHIN 48 HOURS OF TAKING RECEIPT OF MATERIALS TO INFORM THE PROJECT OWNER OF ANY MISSING ITEMS. IF THE PROJECT OWNER'S CONTRACTOR FAILS TO FOLLOW THIS PROCEDURE, THE OWNER'S CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS RELATED TO THE REPLACEMENT OF MISSING OR DAMAGED OWNER-FURNISHED MATERIALS.

DIVISION 2- SITE CONSTRUCTION

1. VERIFY EXISTING CONDITIONS AND LOCATIONS OF UTILITIES, ROOF DRAINS, HVAC EQUIPMENT, ETC. PRIOR TO COMMENCING THE WORK

2. DEMOLITION:

THIS PORTION OF THE WORK INCLUDES ALL LABOR, MATERIALS AND SERVICES NECESSARY FOR AND REASONABLY INCIDENTAL TO COMPLETE ALL DISMANTLING, DEMOLITION, AND SALVAGE AS SHOWN AND NOTED ON THE DRAWINGS AND SPECIFIED HEREIN.

DIVISION 3- CONCRETE

1. PATCHING (WHERE REQUIRED):

INSTALL MINIMUM 3,000 PSI CONCRETE FILLER AND PATCHING WHERE EXISTING SLAB HAS BEEN REMOVED FRO UNDER-SLAB CONDUIT, PLUMBING, ETC.

2. CONCRETE SLAB:

INSTALL MINIMUM 3,000 PSI CONCRETE WITH 6" x 6" x W1.4 WELDED WIRE FABRIC REINFORCEMENT AT AT MID-LEVEL OVER 6 MIL POLY VAPOR BARRIER (AT SLAB ON GRADE CONDITIONS, OR ADHERE TO LOCAL CODE REQUIREMENTS). INSTALL CONTROL JOINTS AT MAXIMUM 200 SQUARE FEET. ALLOW TO CURE FOR 7 DAYS MINIMUM AFTER HAVING KEPT MOIST FOR FIRST 24 HOURS.

DIVISION 4- MASONRY

1. NO WORK UNDER THIS SECTION UNLESS REQUIRED FOR PROPER CUTTING AND REPAIR OF BUILDING SHELL.

DIVISION 5- METALS

1. METAL FRAMING:

ALL LIGHT GAUGE METAL STUD FRAMING MEMBERS, RUNNER TRACKS, BRIDGING AND NON-LOAD BEARING STUDS SHALL BE OF THE TYPE AND SIZE INDICATED ON THE DRAWINGS. PROVIDE ALL FASTENERS, SCREWS, BOLTS, CLIPS, ANCHORS, ANGLES, BRIDGES, BRACKETS, SLEEVES, ETC. AS REQUIRED. MATERIALS AND INSTALLATION SHALL BE IN STRICT CONFORMANCE WITH MANUFACTURER'S RECOMMENDATIONS.

STRUCTURAL STEEL AND/OR HEAVY GAUGE METAL FRAMING SHALL BE OF TYPE AND SIZE INDICATED ON THE DRAWINGS. INSTALL FRAMING, CONNECTION PLATES, SCREWS, BOLTS, ETC. AS SHOWN ON THE PLANS AND DETAILS. MATERIALS AND INSTALLATIONS SHALL BE IN STRICT CONFORMANCE WITH MFR'S RECOMMENDATIONS.

GALVANIZED INSULATION IS TO BE INSTALLED BETWEEN ANY DISSIMILAR MATERIALS.

WELDING IS TO BE PERFORMED IN CONFORMANCE WITH A.W.S. STANDARDS.

PROVIDE AND INSTALL UNISTRUT SUSPENSION GRID SYSTEM PER MANUFACTURER'S SPECIFICATIONS FOR LIGHTING, CEILING ACCESSORIES OR MECHANICAL SYSTEMS SUSPENSION. SUPPORT FROM EXISTING ROOF STRUCTURE WITH THREADED RODS AND NUTS AS REQUIRED. CONTACT UNISTRUT FOR ANY NEEDED TECHNICAL ASSISTANCE.

DIVISION 6- WOOD & PLASTICS

1. CARPENTRY AND BLOCKING:

BEFORE USING WOOD FRAMING OR BLOCKING OF ANY TYPE, CONFIRM CODE RESTRICTIONS (I.E. IN TYPE 2 CONSTRUCTION, ONLY NON-COMBUSTIBLE MATERIALS ARE ALLOWED IN STRUCTURAL FRAMING APPLICATIONS EXCEPT WHERE NOTED IN THE REFERENCED EDITION OF THE INTERNATIONAL BUILDING CODE). FIRE-RETARDANT TREATED WOOD (FRT) BLOCKING IS PERMITTED IF USED IN APPLICATIONS SUCH AS TOILET GRAB BARS OR WALL-MOUNTED CABINetry. ANY FRT USED ON THE PROJECT MUST BE IDENTIFIED WITH A U.L. LABEL CERTIFYING THIS CLASSIFICATION.

2. MILLWORK:

RECEIVE AND INSTALL ALL OWNER-FURNISHED FINISH MILLWORK, CABINETS, PANELING, DOORS AND FRAMES, ETC. CUT, FIT AND INSTALL ALL MILLWORK AND SET PLUM AND TRUE IN ACCORDANCE WITH ASSEMBLY INSTALLATION RECOMMENDATIONS OF THE MFR. OR THE A.W.I. BACK CUT FLAT TRIM TO PREVENT WARPING. DRILL WHERE NECESSARY TO PREVENT SPLITTING. CONFIRM BLOCKING REQUIREMENTS WITH VENDORS PRIOR TO CLOSING UP ALL WALL ASSEMBLIES. CONCEAL MEANS OF FASTENING MILLWORK PARTS AND MEMBERS TOGETHER. WHERE SURFACE NAILING IS UNAVOIDABLE, NEATLY SET NAILS FOR PUTTY STOPPING. PROTECT MILLWORK AGAINST DAMAGE BEFORE, DURING AND AFTER INSTALLATION.

DIVISION 7- THERMAL AND MOISTURE PROTECTION

1. VAPOR BARRIERS:

PROVIDE AND INSTALL 6 MIL POLY VAPOR BARRIERS, PLACED DIRECTLY BENEATH ALL NEW INTERIOR CONCRETE FLOOR SLABS. PROVIDE 4 MIL POLYETHYLENE AT WALLS THAT RECEIVE BATT INSULATION ONLY IF EXPRESSLY INDICATED ON CONSTRUCTION DETAIL DRAWINGS.

2. ELASTOMERIC CRACK BRIDGING:

PROVIDE AND INSTALL ELASTOMERIC CRACK BRIDGING AS MANUFACTURED BY NATIONAL APPLIED CONSTRUCTION PRODUCTS, INC. OR EQUAL.

3. BATT INSULATION:

PROVIDE AND INSTALL MINIMUM R19 FRICTION FIT, FULL FIBERGLASS BATT INSULATION AS MANUFACTURED BY OWENS-CORNING, JOHNS MANVILLE, OR EQUAL INTO EXTERIOR STUD WALL CAVITIES PER INTERNATIONAL ENERGY CONSERVATION CODE. PROVIDE MINIMUM R38 BUILDING INSULATION IN ROOF OR ATTIC FRAMING CAVITIES. BLOW-IN LOOSE FILL INSULATION EQUIVALENT TO MIN. R38 MAY BE USED IN ROOF TRUSS SPACE

4. ACOUSTICAL INSULATION:

PROVIDE AND INSTALL ASTM FC665, UNFACED BATT WIDTHS COORDINATE WITH FRAMING FOR FRICTION FILL, THICKNESS TO BE FULL STUD CAVITY AT WALLS, AND LAID ATOP CEILING GRID TILES APPROXIMATELY 24" HORIZONTALLY AT EACH SIDE OF WALLS INDICATED TO RECEIVE SOUND ATTENUATION BATT INSULATION WHERE SUSPENDED CEILING SYSTEMS OCCUR. REFER TO PARTITION TYPES IN THESE DOCUMENTS TO VERIFY ANY ACOUSTICAL INSULATION ON THIS PROJECT.

5. CONTINUOUS RIGID OR SPRAYED FOAM INSULATION:

PROVIDE MINIMUM R9.5 CONTINUOUS POLYISOCYANURATE INSULATION BOARD AT INSIDE FACE OF EXTERIOR CONCRETE MASS WALLS PER INTERNATIONAL ENERGY CONSERVATION CODE (SEE PERIMETER WALLS CONSTRUCTION DETAILS IN THESE DOCUMENTS), OR PROVIDE SPRAYED-IN POLYURETHANE FOAM BETWEEN FRAMING CAVIES TO MINIMUM R-VALUE STATED IN I.E.C.C. FOR CORRESPONDING EXTERIOR ENVELOPE CONSTRUCTION TYPE... NO FOAM INSULATION IS TO REMAIN EXPOSED TO FINISHED INTERIOR SPACE.

6. WATERPROOF MEMBRANE:

PROVIDE AND INSTALL A MINIMUM 30 MIL WATERPROOF MEMBRANE EXTENDED 4" FROM FLOOR UP ALL VERTICAL SURFACES IN TOILET ROOMS, AND PROVIDE BITUTHENE SELF-ADHERED WATERPROOFING MEMBRANE- APPLY ONE FULL ROLL WIDTH AT ENTIRE BOTTOM PERIMETER OF BUILDING AT EXTERIOR WALLS ONLY IF INDICATED ON CONSTRUCTION DETAIL DRAWINGS.

7. SEALANTS:

PROVIDE AND INSTALL THE SEALANTS REQUIRED IN CONJUNCTION WITH WATERPROOFING, FIREPROOFING, FIRESTOPPING, DOOR FRAMES, CARPENTRY AND WOODWORKING. SEALANT COLOR TO APPROXIMATE ADJACENT SURFACES, UNLESS NOTED OTHERWISE.

8. FIRESTOPPING:

PROVIDE AND INSTALL U.L. TESTED FIRESTOPPING ASSEMBLIES AS ARE APPLICABLE FOR EACH CONDITION ENCOUNTERED. IN THE ABSENCE OF TESTED ASSEMBLIES, PROVIDE FIRESTOPPING ASSEMBLIES AS RECOMMENDED BY THE FIRESTOPPING MFR'S STAFF ENGINEERS AND AS APPROVED BY THE A.H.J.

PROVIDE FIRESTOPPING MATERIALS OF THE THICKNESS REQUIRED TO MAINTAIN THE FIRE RATINGS OF THE ASSEMBLIES INTO WHICH THE MATERIALS ARE INSTALLED, AND STRICTLY MATCH U.L. TESTED ASSEMBLIES.

INSTALL FIRESTOPPING WITHOUT GAPS AND VOIDS OF ANY KIND.

INSPECT FIRESTOPPING WORK AND REPAIR OR REPLACE WORK WHICH HAS BEEN DAMAGED, DISTURBED, OR REMOVED BEFORE FIRESTOPPING IS CONCEALED OR ENCLOSED.

PROVIDE ANCHORAGE ACCESSORIES AND OTHER COMPONENTS AS NEEDED TO PROVIDE COMPLETE AND EFFECTIVE FIRESTOPPING SYSTEMS COMPLYING WITH U.L. TESTED ASSEMBLIES.

9. FIRE CAULKING:

ALL SLEEVES, OPENINGS, ETC. THROUGH FIRE-RATED WALLS AND FLOORS SHALL BE FIRE-SEALED WITH CALCIUM SILICATE, SILICONE "RTV" FOAM, "3M" FIRE-RATED SEALANTS OR EQUAL BY HILTI AFTER INSTALLATION SO AS RETAIN THE FIRE RATING.

10. FIRE PROOFING, IF AND WHERE INSTALLED:

PROVIDE AND INSTALL U.L. TESTED FIREPROOFING ASSEMBLIES AS ARE APPLICABLE FOR EACH CONDITION ENCOUNTERED AND AS APPROVED BY A.H.J.

PROVIDE FIREPROOFING MATERIALS OF THE THICKNESS AND DENSITY REQUIRED TO ACHIEVE THE REQUIRED FIRE RATINGS.

STRICTLY MATCH U.L. TESTED ASSEMBLIES PER SPECIFICATIONS IN THESE CONSTRUCTION DRAWING DOCUMENTS, U.N.O.

INSPECT EXISTING FIREPROOFING WORK AND REPAIR OR REPLACE WORK WHICH HAS BEEN DAMAGED, DISTURBED, OR REMOVED.

PROVIDE ACHORAGE ACCESSORIES AND OTHER COMPONENTS AS NEEDED TO PROVIDE COMPLETE, EFFECTING FIREPROOFING SYSTEMS COMPLYING WITH U.L. TESTED ASSEMBLIES.

11. FIREBLOCKING IN COMBUSTIBLE CONSTRUCTION:

CUT OFF ALL CONCEALED DRAFT OPENINGS, BOTH HORIZONTAL AND VERTICAL, BY FORMING AN EFFECTIVE BARRIER BETWEEN FLOORS, BETWEEN A TOP STORY AND A ROOF OR ATTIC SPACE. IN TYPE 5 CONSTRUCTION, MINIMUM 2" NOMINAL THICK LUMBER OR OTHER APPROVED MATERIALS PER CHAPTER 7 OF INTERNATIONAL BUILDING CODE. MINERAL WOOL BATT(S) OR BLANKETS IS ALLOWED FOR USE AS FIREBLOCKING IN DOUBLE-STUD CAVITY WALLS (I.E. AT PLUMBING OR OTHER MECHANICAL PIPE CHASES) PER CHAPTER 7 OF I.B.C.



A Building Renovation for

One Seed Church

1215 Tom Ginnever Ave.
O'Fallon, MO 63366

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Jeff Day & Associates, LLC
Missouri State Certificate of Authority #
A-2009027415

DURING CONSTRUCTION OF AN ADDITION REAL-WORLD CONDITIONS ARE ALWAYS DISCOVERED THAT DIFFER FROM THE CONSTRUCTION DOCUMENTS AND WILL REQUIRE COORDINATION AND ADJUSTMENTS IN DIMENSIONS AND THE SCOPE OF WORK. ALL DIMENSIONS SHALL BE CONFIRMED BY CONTRACTOR. DISCREPANCIES WITH DIMENSIONS SHOULD BE BROUGHT TO THE ATTENTION OF JEFF DAY & ASSOCIATES TO DISCUSS REMEDIAL ACTION. SUCH CHANGES IN THE SCOPE OF WORK WILL BE THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR.

GENERAL SPECIFICATION

DIVISION 8- DOORS & WINDOWS

1. DOORS AND HARDWARE:

FURNISH AND INSTALL ALL DOORS, FRAMES HARDWARE, RELATED PARTS AND MATERIALS AS INDICATED ON DRAWINGS AND RESPONSIBILITY SCHEDULE (IF SCHEDULE IS USED IN THESE DOCUMENTS) OR AS NECESSARY FOR OPERATION.

HOLLOW METAL DOORS AND FRAMES: FLUSH TYPE DOORS, MINIMUM 16 GA. STEEL SIZE, SHAPE AND PARTITION TYPE PER DOOR SCHEDULE.

WOOD DOORS: FLUSH TYPE DOORS, EDGE BANDING AND VENEERS SHALL BE APPEARANCE GRADE AND READY FOR STAIN OR PAINT.

LABELED DOORS AND FRAMES: PROVIDE U.L. LABELED DOORS AND FRAMES PER A.H.J.

FABRICATE AND ERECT TRUE, PLUMB AND SQUARE AS PER MANUFACTURER'S RECOMMENDATIONS

SEE DOOR SCHEDULE FOR MORE SPECIFIC INFORMATION AND HARDWARE TYPES

2. ACCESS DOORS/PANELS (IF ANY):

PROVIDE FLUSH TYPE METAL DOORS THAT SHALL BE MINIMUM 16" x 20", OR AS SPECIFIED ON THE DRAWINGS, MANUFACTURED FORM 14 GAUGE STEEL, COMPLETE WITH FLUSH FLANGE TYPE FRAMES MANUFACTURED FROM 16 GAUGE, WITH ANCHORS.

PROVIDE ACCESS DOORS WHERE NECESSARY AT CONCEALED VALVES, AND OTHER EQUIPMENT REQUIRING SERVICE OR INSPECTION AND AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE (I.E. CONSTRUCTION MANAGER)

ACCESS DOORS SHALL BE SUITABLE FOR INSTALLATION IN THE SPECIFIED WALL AND CEILING MATERIALS.

ACCESS DOORS LOCATED IN FIRE-RATED WALLS, FLOORS, FLOOR-CEILING OR CEILING-ROOF ASSEMBLIES SHALL BE U.L. FIRE-RATED LISTED AND LABELED. PROVIDE KEYED LOCK AT ALL PANELS IN COMMON AREAS.

FINISH ACCESS DOORS TO MATCH ADJACENT SURFACES.

3. STOREFRONT SYSTEMS (INTERIOR OR EXTERIOR)

FURNISH ALL NECESSARY MATERIALS, LABOR AND EQUIPMENT FOR THE COMPLETE INSTALLATION OF FRAMING AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.

ALL GLASS FRAMING SHALL BE SET IN CORRECT LOCATIONS AS SHOWN IN THE DRAWINGS, AND BE LEVEL, SQUARE, PLUMB, AND IN ALIGNMENT WITH OTHER WORK IN ACCORDANCE WITH MFR'S INSTALLATION INSTRUCTIONS, GLASS ASSOCIATION OF NORTH AMERICA AND ANY SHOP DRAWINGS.

PROTECT STOREFRONT SYSTEM FROM DAMAGE BEFORE, DURING AND AFTER INSTALLATION.

4. GLASS AND GLAZING:

MIRRORS: PROVIDE AND INSTALL 1/4" CLEAR PLATE MIRRORS IN TOILET ROOMS WITH CONTINUOUS CHROME J-CLIP, ALL SIDES (WITH MITERED CORNERS), AND ADHESIVE RECOMMENDED BY MANUFACTURER.

STOREFRONT: PROVIDE AND INSTALL 1/2" THICK TEMPERED GLASS (OR AS INDICATED ON DRAWINGS), POLISH ALL EXPOSED EDGES, IF ANY.

PROVIDE AND INSTALL GLAZING CLIPS OR BUTTONS, AS REQUIRED BY LOCAL CODE.

DIVISION 9- FINISHES

1. GYPSUM WALLBOARD (OR, "DRYWALL" AS TERM MAY APPEAR IN DOCUMENTS)

INSTALL ALL GYPSUM WALLBOARD SYSTEMS COMPLETE WITH PARTITION FRAMING, CEILING SUSPENSION SYSTEMS, AND RELATED ACCESSORIES, PARTS, MATERIALS, ETC. AS MAY BE SHOWN ON DRAWINGS OR SPECIFIED

GYPSUM WALLBOARD "DRYWALL": 5/8" THICK (OR 1/2" THICK WHERE NOT APPLIED TO FIRE-RATED ASSEMBLIES) AT TYPICAL NON-RATED ASSEMBLIES, OR MINIMUM 5/8" THICK FIRE CODE DRYWALL TYPE 'X' PANELS OF STANDARD QUALITY OR EQUAL OR AS OTHERWISE SPECIFIED IN THE DRAWINGS.

IN EXTERIOR APPLICATIONS (I.E. SHEATHING); PROVIDE GLASS MAT GYPSUM SUBSTRATE SUCH AS "DENSGLASS" OR EQUAL.

WET LOCATIONS: PROVIDE A WATER-RESISTANT GYPSUM BACKING BOARD (I.E. "GREEN BOARD") OR GLASS MAT WATER-RESISTANT GYPSUM BACKER BOARD

INSTALL ALL MATERIALS PER MFR'S SPECIFICATIONS AND RECOMMENDATIONS. USE PROPER SIZE AND TYPE OF DRYWALL SCREW FASTENERS (SEE ANY FIRE-TESTED ASSEMBLY DESCRIPTIONS IN THESE DOCUMENTS), AND PROVIDE A MINIMUM LEVEL 4 FINISH PRIOR TO THE APPLICATION FINAL FINISHES. REFER TO THE GYPSUM ASSOCIATION GUIDELINES FOR A DESCRIPTION OF THE DESIRED FINISH LEVEL.

2. CEILING SYSTEMS:

FURNISH AND INSTALL CEILING SYSTEMS COMPLETE WITH SUSPENSION SYSTEM AND RELATED ACCESSORIES AS INDICATED, OR MAY BE INDICATED IN THESE DOCUMENTS.

ALL LIGHTE GAUGE METAL FRAMING AND CEILING SUSPENSION COMPONENTS FOR SOFFITS, GYPSUM BOARD AND LAY-IN CEILINGS SHALL BE ANCHORED TO THE STRUCTURAL JOISTS AND/OR BEAMS ONLY. PROVIDE AND INSTALL ANY ADDITIONAL FRAMING THAT MAY BE REQUIRED.

SUSPENSION SYSTEMS SHALL BE ADEQUATE TO SUPPORT LIGHTING FIXTURES, CEILING GRILLS, DIFFUSERS OR OTHER AIR DEVICES, AND OTHER TYPICAL CEILING ACCESSORIES.

PROVIDE SYSTEM COMPONENTS FROM SINGLE MANUFACTURER (I.E. 'ARMSTRONG' OR EQUAL).

INSTALL CEILING AND SUSPENSION SYSTEMS IN STRICT ACCORDANCE WITH MFR'S RECOMMENDATIONS AND ALL APPLICABLE BUILDING CODE REQUIREMENTS. FINISHED CEILING SHALL BE LEVEL, WITH JOINTS SNUG AND SQUARE, AND IN PERFECT CONDITION (I.E. NO SCRATCHED OR SCUFFED LAY-IN TILES, ETC).

LEAVE AT LEAST ONE BOX/CARTON OF CEILING TILES FOR THE OWNER'S LATER REPLACEMENT.

SUSPENDED CEILING SYSTEMS, IF FIRE-RATED, SHALL CONSIST OF CLASS 'A' SUSPENSION GRID, HARDWARE, CLIPS, ETC. AS NECESSARY TO ACHIEVE RATING

3. PAINTING AND FINISHING

REFER TO ANY FINISH SCHEDULE OR USED RESPONSIBILITY SCHEDULE IN THESE DOCUMENTS. IF INSTRUCTIONS FOR FINAL FINISHES IS NOT SPECIFIED IN THESE DOCUMENTS, CONTRACTOR IS TO VERIFY WITH PROJECT OWNER THE FINISH SELECTIONS AND COORDINATE THE ORDERING, STORING AND INSTALLING OF ALL FINISH MATERIALS. SEE ALSO: DAMAGED AND MISSING FREIGHT IN THIS GENERAL SPECIFICATION.

PROVIDE SATISFACTORY FINISH THROUGHOUT, UNLESS SPECIFICALLY STATED OTHERWISE IN THESE DOCUMENTS.

USE ONLY SPECIFIED PAINTS AND MATERIALS, IF SO SPECIFIED.

PAINTED DRYWALL IS TO RECEIVE ONE COAT LATEX PRIMER, AND TWO COATS OF PAINT (COLOR, SHEEN AND BRAND AS SELECTED BY PROJECT OWNER IF NOT SPECIFIED IN THESE DOCUMENTS).

COVER ALL SURFACES THOROUGHLY. IF THE NUMBER OF SPECIFIED PAINT COATS SPECIFIED DOES NOT ACCOMPLISH THE INTENT, THEN APPLY ADDITIONAL COATS OF SPECIFIED MATERIAL TO GIVE SATISFACTORY COVERAGE.

PREPARE BY CLEANING ALL SURFACES FREE OF LOOSE DIRT AND DUST. PREPARE ALL METAL SURFACES IN STRICT ACCORDANCE WITH MFR'S WRITTEN SPECIFICATIONS. SEAL ALL DRYWALL SURFACES BEHIND MIRRORS AND BUILT-IN COMPONENTS. PUTTY ALL NAIL HOLES, COUNTER SUNK SCREWS, BOLTS, CRACKS, ETC. BEFORE APPLYING FINISH. SAND ALL WOOD SURFACES SMOOTH AND EVEN BEFORE APPLYING FINISH.

BEFORE STARTING FINISH WORK REMOVE HARDWARE, ACCESSORIES, PLATES, LIGHTING FIXTURES AND SIMILAR ITEMS, OR PROVIDE AMPLE PROTECTION FOR SUCH ITEMS.

UNLESS FACTORY-FINISHED, PAINT ALL RADIATION COVERINGS, CONVECTORS, REGISTERS, LOUVERS, GRILLS EMERGENCY LIGHTS, SPEAKERS, EXPOSED PIPING, ACCESS DOORS, VENTS, FIRE EXTINGUISHER CABINETS (IF ANY), EQUIPMENT MOUNTING BOARDS, ETC. PAINT TO MATCH ADJACENT WORK UNLESS NOTED OTHERWISE IN THESE DOCUMENTS.

MAKE FINISH WORK UNIFORM OR APPROVED FINISH, SMOOTH, FREE OF RUNS, SAGS, AND DEFECTIVE BRUSHING AND CLOGGING. MAKE EDGES OF PAINT ADJOINING OTHER MATERIALS OR COLORS SHARP AND CLEAN WITHOUT ANY OVERLAP.

PROVIDE FOR SUFFICIENT MAN-HOURS OF TOUCH UP PAINTING TO OCCUR APPROXIMATELY 1 WEEK AFTER OCCUPATION OR DURING SUBSTANTIAL COMPLETION, BUT APART FROM PUNCH LIST WORK. COORDINATE FINAL TOUCH UP WITH OWNER OR OWNER'S REPRESENTATIVE (I.E. CONSTRUCTION MANAGER). LEAVE AT LEAST ONE UNOPENED GALLON CAN OF EACH SEPARATE FINISH PAINT.

4. WALL COVERINGS (IF USED):

REFER TO ANY FINISH SCHEDULE OR USED RESPONSIBILITY SCHEDULE IN THESE DOCUMENTS.

VERIFY QUANTITY TAKE-OFFS

UNROLL AND CHECK WALL COVERINGS FOR DEFECTS IMMEDIATELY UPON DELIVERY. DO NOT HANG DEFECTIVE PRODUCT.

INSTALL ALL MATERIALS BY SKILLED WORKMEN IN STRICT ACCORDANCE WITH MFR'S INSTRUCTIONS.

SEAL DRYWALL BEFORE APPLICATION OF WALL COVERING WITH LATEX PRIMER.

WALL COVERING ADHESIVES TO BE PRE-MIXED AS RECOMMENDED BY THE WALL COVERING MFR. FOR THE SPECIFIED SURFACES. LEAVE FINISHED INSTALLATION FREE OF BLISTERS, WRINKLES OR OTHER DEFECTS. ALL SEAMS SHALL BE TIGHTLY CLOSED. MATCH ADJACENT STRIPS AS REQUIRED, CONSISTENT WITH PATTERN SELECTED.

IF CLEANING IS REQUIRED, USE ONLY MATERIALS AND METHODS RECOMMENDED BY MFR. OR WALL COVERING USED.

EXTRA MATERIALS TO BE MAINTAINED AT THE SITE: FURNISH NOT LESS THAN 10 LINEAR FEET FOR EACH 500 LINEAR FEET OF FRACTION THEREOF, OF EACH TYPE, COLOR, PATTERN, AND SIZE INSTALLED.

5. 1/8" THICK FIBERGLASS REINFORCED PANELS (MAY BE REFERRED TO AS "FRP" ON THE PLANS) :

REFER TO RESPONSIBILITY SCHEDULE, IF USED IN THESE DOCUMENTS, AND ANY FINISH SCHEDULE.

PROVIDE AND INSTALL FIBERGLASS REINFORCED PANELS (FRP) ON SURFACES WHERE SHOWN ON PLANS, AND INSTALL PER MFR'S RECOMMENDATIONS AND INSTRUCTIONS.

7. IF USED, VINYL COMPOSITION TILE (MAY BE REFERRED TO AS "VCT" ON THE PLANS):

REFER TO RESPONSIBILITY SCHEDULE, IF USED IN THESE DOCUMENTS, AND ANY FINISH SCHEDULE.

ALL EDGE CONDITIONS AT TRANSITIONS TO BE FLOATED UP FOR SMOOTH EVEN TRANSITION. ALL WOOD OR CEMENT BOARD SUBFLOORS TO BE MOISTURE TESTED AS RESULTS COMPARED TO MFR'S RECOMMENDED INSTALLATION GUIDELINES. ANY PROBLEMS DUE TO MOISTURE TESTING TO BE REPORTED T40 THE PROJECT OWNER, OR OWNER'S REPRESENTATIVE (I.E. CONSTRUCTION MANAGER) IMMEDIATELY.

FILL ALL CRACKS, JOINTS, ETC. IN SUBFLOOR WITH CRACK FILLER APPROVE BY FLOORING MFR.

INSTALL ALL MATERIALS WITH WEATHERPROOF TYPE ADHESIVE AS RECOMMENDED BY FLOORING MFR. FOR MATERIALS AND SURFACE INVOLVED.

EXTRA MATERIALS TO BE MAINTAINED AT THE SITE: FURNISH NOT LESS THAN 1 BOX/CARTON FOR EACH 50 BOXES OR FRACTION THEREOF, OF EACH TYPE, COLOR, PATTERN AND SIZE INSTALLED.

8. RESILIENT WALL BASE:

REFER TO RESPONSIBILITY SCHEDULE, IF USED IN THESE DOCUMENTS, AND ANY FINISH SCHEDULE.

EXAMINE SUBSTRATES, AREAS, AND CONDITIONS INCLUDING THOSE FOR MAXIMUM MOISTURE CONTENT PRIOR TO INSTALLATION.

COMPLY WITH MFR'S WRITTEN INSTALLATION INSTRUCTIONS.

FORM CORNERS FROM STRAIGHT PIECES OF MAXIMUM LENGTHS POSSIBLE WITHOUT WITHERING AT BENDS.

EXTRA MATERIALS TO BE MAINTAINED AT THE SITE: FURNISH NOT LESS THAN 10 LINEAR FEET FOR EACH 500 LINEAR FEET OF FRACTION THEREOF, OF EACH TYPE, COLOR, PATTERN, AND SIZE INSTALLED.

9. CERAMIC OR PORCELAIN FLOOR TILE:

REFER TO RESPONSIBILITY SCHEDULE, IF USED IN THESE DOCUMENTS, AND ANY FINISH SCHEDULE

ALL WOOD OR CEMENT BOARD SUBFLOORS TO BE MOISTURE TESTED AS RESULTS COMPARED TO MFR'S RECOMMENDED INSTALLATION GUIDELINES. ANY PROBLEMS DUE TO MOISTURE TESTING TO BE REPORTED T40 THE PROJECT OWNER, OR OWNER'S REPRESENTATIVE (I.E. CONSTRUCTION MANAGER) IMMEDIATELY.

PROVIDE SUFFICIENT HEAT AND VENTILATION IN AREAS WHERE TILE WORK IS BEING PERFORMED TO ALLOW TILE TO SET PROPERLY. FLOOR TILE TO BE INSTALLED WITH UNIVERSAL LATEX MODIFIED THIN SET MORTAR IN ACCORDANCE WITH ANSI 118.4. DO NOT USE LATEX ADDITIVES UNLESS SPECIFICALLY ALLOWED BY FLOORING MFR.

CAREFULLY CLEAN ALL WORK (ALL GROUT FILM, MUST BE REMOVED) AND REPLACE OR REPAIR ANY DAMAGED WORK AND LEAVE IN PERFECT CONDITION. USE NO ACID AGENT OR DEVISE THAT MAR SURFACE.

EXTRA MATERIALS TO BE MAINTAINED AT THE SITE: FURNISH NOT LESS THAN 1 BOX/CARTON FOR EACH 50 BOXES OR FRACTION THEREOF, OF EACH TYPE, COLOR, PATTERN AND SIZE INSTALLED.

10. CARPET (ROLLED OR SQUARE TILES):

REFER TO RESPONSIBILITY SCHEDULE, IF USED IN THESE DOCUMENTS, AND ANY FINISH SCHEDULE

ALL EDGE CONDITIONS AT TRANSITIONS TO BE FLOATED UP FOR SMOOTH EVEN TRANSITION

ALL WOOD OR CEMENT BOARD SUBFLOORS TO BE MOISTURE TESTED AS RESULTS COMPARED TO MFR'S RECOMMENDED INSTALLATION GUIDELINES. ANY PROBLEMS DUE TO MOISTURE TESTING TO BE REPORTED T40 THE PROJECT OWNER, OR OWNER'S REPRESENTATIVE (I.E. CONSTRUCTION MANAGER) IMMEDIATELY.

PROVIDE AND INSTALL APPROPRIATE TRANSITION STRIPS. TRANSITION STRIPS MUST BE NEW MATERIALS, AND MUST COFORM TO ALL CODE REQUIREMENTS AND INDUSTRY QUALITY STANDARDS.

CARPET SHALL BE TURNED OVER CLEAN AND WITHOUT STAINS OR SNAGS DUE TO CONSTRUCTION WORK. PROTECT CARPET BEFORE, DURING AND AFTER INSTALLATION.

EXTRA MATERIALS TO BE MAINTAINED AT THE SITE: FURNISH NOT LESS THAN THE REQUIRED AMOUNT TO REPLACE THE FLOORING AREA, OR NOT LESS THAN 1 BOX/CARTON FOR EACH 50 BOXES OR FRACTION THEREOF, OF EACH TYPE, COLOR, PATTERN AND SIZE INSTALLED.

11. TRANSITION STRIPS:

REFER TO ANY DETAILS IN THESE DOCUMENTS FOR REQUIRED TRANSITION STRIPS.

INSTALL TRANSITIONS BETWEEN DISSIMILAR FLOOR MATERIALS.

NO TRANSITION STRIP SHALL EXCEED REQUIREMENTS SET FORTH IN ANSI 117.1 OR ANY OTHER A.H.J.

DIVISION 10- SPECIALTIES

1. TOILET ACCESSORIES:

REFER TO THE ARCHITECTURAL DRAWINGS FOR LOCATIONS OF GRAB BARS, AND PROVIDE SUFFICIENT IN-WALL BLOCKING AS RIGID BACKER FOR INSTALLATION

ALL SIGNAGE TO COMPLY WITH THE SPECIFICATIONS AND REQUIREMENTS OF ADA/ANSI 117.1 OR OTHER AUTHORITY HAVING JURISDICTION.

2. FIRE EXTINGUISHERS:

UNLESS SPECIFICALLY LOCATED ON THE PLANS, PROVIDE FIRE EXTINGUISHERS, CABINETS (IF USED) AND/OR HARDWARE AS REQUIRED BY ALL A.H.J. CONTRACTOR IS TO CONTACT FIRE MARSHAL FOR FINAL LOCATIONS OF MOBILE FIRE EXTINGUISHERS.

DIVISION 11- EQUIPMENT

WORK IN THIS SECTION IS TO BE INSTALLED ACCORDING TO SHOP DRAWINGS AND SPECIFICATIONS OF THE THE ASSOCIATED MANUFACTURER, AND TO BE COORDINATED WITH THE OWNER OR THE OWNER'S REPRESENTATIVE (I.E. CONSTRUCTION MANAGER)

DIVISION 12- FURNISHINGS

NO FURNISHINGS ARE ANTICIPATED TO BE ORDERED, STORED OR INSTALLED BY THE CONTRACTOR UNLESS REQUESTED OTHERWISE BY THE OWNER OR THE OWNER'S REPRESENTATIVE. VERIFY WITH PROJECT OWNER ANY DESIRED FURNISHINGS WORK.

DIVISION 13- SPECIAL CONSTRUCTION

NO SPECIAL CONSTRUCTION IS ANTICIPATED IN THE PROJECT WORK SCOPE.

DIVISION 14- CONVEYING SYSTEMS

NO CONVEYING SYSTEMS WORK IS ANTICIPATED IN THE PROJECT WORK SCOPE.

DIVISION 15- MECHANICAL AND PLUMBING SYSTEMS

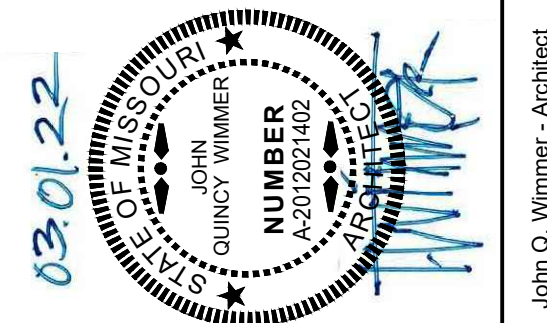
REFER TO MECHANICAL AND PLUMBING ENGINEER'S CONTRACT DOCUMENTS FOR ALL RELATED WORK SCOPE

DIVISION 16- ELECTRICAL SYSTEMS

REFER TO ELECTRICAL ENGINEER'S CONTRACT DOCUMENTS FOR ALL RELATED WORK SCOPE



14311 Manchester Road
Manchester, Missouri 63011



John O. Wimmer - Architect
A-2012021402

A Building Renovation for

One Seed Church

1215 Tom Ginnever Ave.
O'Fallon, MO 63366

ISSUE

NO:	DATE:	DESCRIPTION:
△	12.16.21	P&Z MEETING
△	01.31.22	PLAN MEETING
△	03.01.22	PERMIT ISSUE
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△		
DRAWN BY	CHECKED BY	
JQW	JQW	
DATE	03.01.22	
PROJECT #	21 276	

A4.1

Jeff Day & Associates, LLC
Missouri State Certificate of Authority #
A-2009027415

DURING CONSTRUCTION OF AN ADDITION REAL-WORLD CONDITIONS ARE ALWAYS DISCOVERED THAT DIFFER FROM THE CONSTRUCTION DOCUMENTS AND WILL REQUIRE COORDINATION AND ADJUSTMENTS IN DIMENSIONS AND THE SCOPE OF WORK. ALL DIMENSIONS SHALL BE CONFIRMED BY CONTRACTOR. DISCREPANCIES WITH DIMENSIONS SHOULD BE BROUGHT TO THE ATTENTION OF JEFF DAY & ASSOCIATES TO DISCUSS REMEDIAL ACTION. SUCH CHANGES IN THE SCOPE OF WORK WILL BE THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR.