

RESOLUTION NO. 22-07

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF TEHACHAPI APPROVING ARCHITECTURAL DESIGN AND SITE PLAN REVIEW NO. 2022-11 PINON TOWNHOME ESTATES ARCHITECTURE, SUBJECT TO CONDITIONS OF APPROVAL

WHEREAS, the applicant, Michael Dhanens Architect, filed an application (the "Application") with the City of Tehachapi (the "City") for an Architectural Design and Site Plan Review Permit, seeking architecture approval of 96 units within Pinon Townhome Estates (Tract Map No. 6507); and

WHEREAS, on June 13, 2022, the Planning Commission held a public hearing on the Project, considered all public testimony as well as all materials in the staff report and accompanying documents for Architectural Design and Site Plan Review No. 2022-11; Pinon Townhome Estates Architecture, which hearing was publicly noticed by an agenda posting, and to persons requesting public notice; and

WHEREAS, the Planning Commission makes the following findings (the "Findings"):

- 1. The project is consistent with the goals and policies of the City's General Plan and meets applicable district development standards.
2. The project meets the minimum applicable requirements of this title and is in compliance with all other applicable laws, ordinances, and regulations of the City of Tehachapi and the State of California.
3. The project will not be materially detrimental to the health, safety, and welfare of the public or to property and residents in the vicinity.
4. The project complies with the terms and provisions of any prior zone change approval or Conditional Use Permit.
5. The project adequately and safely provides for vehicular or pedestrian safety, both on and off site, by reason of properly arranged vehicular or pedestrian ingress and egress and internal circulation, or that excessive traffic congestion will not be created.
6. The project makes adequate provision to protect adjoining properties and structures from excessive and unreasonable nuisances, including for example, noise, vibrations, gases or odors, which might interfere with the use and enjoyment of surrounding properties.
7. The project is consistent with the applicable provisions of CEQA and the State CEQA Guidelines.
8. The proposed land use, site and architecture promote a design consistent with

and appropriate for the location, and consistent with the intended physical environment of the zoning district.

NOW, THEREFORE, the Planning Commission of the City of Tehachapi resolves and orders as follows:

- 1. That the foregoing recitals and Findings are true and correct.
2. Architectural Design and Site Plan Review No. 2022-11; Pinon Townhome Estates Architecture, is approved subject to conditions of approval in "Exhibit A" attached hereto and by this reference made a part hereof.

PASSED AND ADOPTED by the Planning Commission of the City of Tehachapi at its regular meeting thereof held on the 27th day of June 2022.

AYES: NIXON, CHRISTENSEN, HAMBLIN, WHITE
NOES: NONE
ABSTAIN: NONE
ABSENT: HOLLINSWORTH

KIM NIXON, Chairperson
of the Planning Commission of the City of Tehachapi

ATTEST:

TORI MARSH, CMC
Administrator of the Planning Commission
Of the City of Tehachapi

I hereby certify that the foregoing resolution was duly and regularly adopted by the Planning Commission of the City of Tehachapi at a regular meeting thereof held on June 27, 2022.

TORI MARSH, CMC
Administrator of the Planning Commission
Of the City of Tehachapi

EXHIBIT A

CONDITIONS OF APPROVAL

Statutory Conditions of Approval

- 1. These Conditions of Approval are intended to supplement the Conditions of Approval that govern the initial project approval from August 2005. In the case where original Conditions conflict with the below Conditions, the stricter Condition shall apply at the discretion of the Development Services Director.
2. The project approval is conditional and shall be valid for a period of two (2) years from the date of the Planning Commission or Director approval unless substantial progress in the implementation phase of the project has been achieved. "Substantial progress" is determined at the sole discretion of Development Services Director.
3. All contractors and/or subcontractors shall be required to procure a business license prior to commencement of any work on the subject development.
4. Permits and approvals must be obtained from other governmental agencies (i.e. Kern County Environmental Health, Kern County Fire Department, Caltrans, etc.) for this project. It is the responsibility of the applicant to seek and receive said permits/approvals prior to the start of business. The City reserves the right to withhold its approval of this project if the applicant fails to receive necessary and related approvals from other agencies.
5. The Developer/Applicant shall indemnify, protect, defend, and hold harmless, the City and any agency or instrumentality thereof, and/or any of its officers, employees and agents (collectively the "City") from any and all claims, actions, demands, and liabilities arising or alleged to arise as the results of the applicant's performance or failure to perform under this Architectural Design & Site Plan Review or the City's approval thereof, or from any proceeding against or brought against the City, or any agency or instrumentality thereof, or any of their officers, employees and agents, to attack, set aside, void, annul, or seek monetary damages resulting from an action by the City or any agency or instrumentality thereof, advisory agency, appeal board or legislative body including actions approved by the voters of the City, concerning this Architectural Design & Site Plan Review.
6. Property owners are responsible for the continual maintenance of all landscaped areas on-site, as well as contiguous planted areas within the public right-of-way. All landscaped areas shall be kept free of weeds and debris and maintained in a healthy, growing condition, and shall receive regular water, fertilizing, mowing or trimming.

Design Conditions of Approval

- 7. All vehicle parking and maneuvering areas shall be surfaced with a minimum of two-inches of A.C. paving and 4" base or material of higher quality as may be required by the City Engineer.
8. Standard vehicle parking spaces shall be 10' X 20' or larger in size and shall be designated by white painted stripes.
9. All utilities shall be placed underground.
10. Non-reflective paint and construction material shall be used for the project.
11. The City will provide and support up to two water meters for the site: one meter for potable service and one meter for landscaping service. Water meters and appropriate appurtenances shall be installed in accordance with applicable City standards.
12. A wall mounted internally illuminated address is required to assist public safety providers.
13. Roof or ground mounted mechanical equipment shall be screened from public view. This equipment includes air conditioning, heating, ventilation ducts and exhaust vents, refuse storage areas, and utility services, electrical transformers, gas meters, etc.
14. The Applicant shall improve the public right-of-way in accordance with City standards along the project frontage (Pinon Street and Applewood Place). Improvements shall include, but not be limited to, sidewalks, fire hydrants, streetlights, and drive approaches.

Prior to Building Permit Issuance Conditions of Approval

- 15. The Applicant is required to pay water/sewer connection fees, traffic impact fees, public safety fees, engineering fees, school fees, building permit fees, landscape application fee and other fees in place prior to the issuance of a building, grading or encroachment permit.
16. Prior to Building Permit issuance, the developer shall submit complete landscaping plans, prepared in compliance with State regulation prepared by the properly licensed professional for review and approval by the City Development Department prior to issuance of a related Building Permit. These plans will be accompanied by a separate landscape review application. Application fees in place at such time shall apply and must be paid at the time of submittal. The plan must comply with City Standards in addition to the State Water Conservation in Landscaping Act AB 1881. Trees shall be a minimum of 24" box or 15 gallons in size, shrubs shall be a minimum of 5 gallons on size, and groundcovers shall be a minimum of 1 gallon in size at time of planting.
17. The Applicant shall submit complete building plans prepared in accordance with the California Building Code by a licensed professional for review and approval by the City Building Department (including

mechanical, plumbing, and electrical plans) and Kern County Fire Department prior to permit issuance.

- 18. The Applicant shall separately submit improvement plans (grading, drainage, surface improvements, and utility layout) in accordance with the Subdivision and Development Standards for review and approval by the office of the City Engineer.
19. Kern County Fire Department and the City Engineer shall approve fire protection facilities and all Fire Department requirements prior to the issuance of building permits. The Applicant is required to make a separate submittal to the Kern County Fire Department as part of Building Permit application. The City of Tehachapi does not provide this service. The address for the Kern County Fire Department is 5642 Victor Street, Bakersfield, CA 93308.
20. The Applicant shall submit final colors and material specifications to the Planning Department for review and approval prior to the issuance of building permits.
21. Prior to Final Inspection, all public landscaping shall be installed and shall be in a viable growth condition and in substantial conformance with the approved landscape plan.

Construction Phase Conditions of Approval

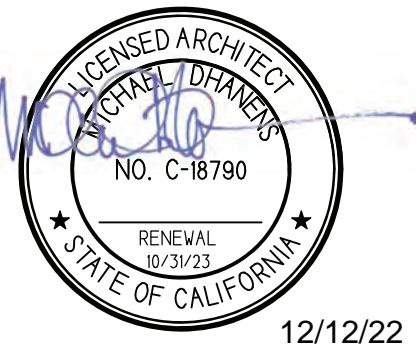
- 22. The project site shall be watered during grading or the use of soil binders to prevent fugitive dust.
23. The Applicant shall comply with the East Kern Air Pollution Control District construction requirements.
24. Grading shall be halted when winds reach 20mph or greater in a two (2) or more hour time period.

Prior to Final Inspection

- 25. All public improvements including those conditioned and those agreed upon are required to be constructed and accepted prior to building final inspection.
26. A qualified landscape contractor shall be retained by the property owner for the ongoing maintenance and upkeep of all common area landscaping. Landscaping shall be in viable growth condition at all times. The contractor shall be required to procure a business license prior to the commencement of any work.
27. The property owner shall submit the name and contact information for the landscape contractor responsible for ongoing maintenance of common area landscaping to the Planning Department at planner@tehachapicityhall.com. It is the property owner's responsibility to ensure that the information on file with the Planning Department is current at all times.

MICHAEL DHANENS ARCHITECT

661/324-4141
P.O. BOX 82155
BAKERSFIELD, CALIFORNIA 93308
C-18790



12/12/22

ELEVATION A

PROJECT Pinon Townhome Estates

NWC Pinon Street and Applewood Drive
Parcel 1; Parcel Map 6507
APN 416-500-01
Tehachapi, California

TRI-PLEX

RES NO. 22-07
CONDITIONS OF APPROVAL

AD & SPR 2022-11

PERMIT B22-

Table with columns: NO., REVISIONS, ISSUED FOR, PERMIT REVIEW (12/12/22), DATE, SHEET, DRAWN, PROJECT NUMBER, ARCHITECTURAL.

A-0.01

976.02

ARCHITECTURAL

| DIVISION 4.1 PLANNING AND DESIGN (SITE DEVELOPMENT) | |
|---|---|
| 4.106.2 | PROJECTS WHICH DISTURB LESS THAN 1 ACRE OF SOIL AND ARE NOT A PART OF A LARGER COMMON PLAN OF DEVELOPMENT SHALL MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION |
| 4.106.3 | CONSTRUCTION PLANS SHALL INDICATE HOW THE SITE GRADING OR DRAINAGE SYSTEM WILL MAINTAIN ALL SURFACE WATER FLOWS TO KEEP WATER FROM ENTERING BUILDINGS, EXCEPT FOR ADDITIONS AND ALTERATIONS WHICH DO NOT ALTER THE EXISTING DRAINAGE PATH |
| 4.106.4 | <p>COMPLY WITH SECTIONS 4.106.4.1, 4.106.4.2 OR 4.106.4.3 FOR FUTURE INSTALLMENT AND USE OF EV CHARGERS.</p> <p>ELECTRICAL VEHICLE SUPPLY EQUIPMENT (EVSE) SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE, ARTICLE 625</p> <p>EXCEPTIONS ON A CASE-BY-CASE BASIS AS DETERMINED BY THE LOCAL ENFORCING AGENCY: WHERE THERE IS NO COMMERCIAL POWER VERIFICATION THAT MEETING REQUIREMENTS WILL ALTER THE LOCAL UTILITY INFRASTRUCTURE DESIGN REQUIREMENTS ON THE UTILITY SIDE OF THE METER INCREASING COSTS TO THE HOMEOWNER/DEVELOPER BY MORE THAN \$400.00 PER DWELLING UNIT.</p> |
| 4.106.4.1 & 4.106.4.1.1 | <p>INSTALL A LISTED RACEWAY TO ACCOMMODATE A DEDICATED 208/240V BRANCH CIRCUIT FOR EACH DWELLING UNIT</p> <p>RACEWAY SHALL NOT BE LESS THAN TRADE SIZE 1 (NOMINAL 1/4 INCH INSIDE DIAMETER)</p> <p>RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR SUB-PANEL AND TERMINATE INTO A LISTED CABINET, BOX OR OTHER ENCLOSURE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF AN EV CHARGER</p> <p>RACEWAYS ARE REQUIRED TO BE CONTINUOUS AT ENCLOSED, INACCESSIBLE OR CONCEALED AREAS AND SPACES</p> <p>SERVICE PANEL AND/OR SUB-PANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVER-CURRENT PROTECTIVE DEVICE. SERVICE PANEL OR SUB-PANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVER-CURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGER AS "EV CAPABLE". THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENTLY AND VISIBLY MARKED AS "EV CAPABLE."</p> <p>EXCEPTIONS ON A CASE-BY-CASE BASIS AS DETERMINED BY THE LOCAL ENFORCING AGENCY: WHERE THERE IS NO COMMERCIAL POWER VERIFICATION THAT MEETING REQUIREMENTS WILL ALTER THE LOCAL UTILITY INFRASTRUCTURE DESIGN REQUIREMENTS ON THE UTILITY SIDE OF THE METER INCREASING COSTS TO THE HOMEOWNER/DEVELOPER BY MORE THAN \$400.00 PER DWELLING UNIT.</p> |
| 4.106.4.2 | NEW MULTI-FAMILY DWELLINGS: NOT APPLICABLE |

| DIVISION 4.2 ENERGY EFFICIENCY | |
|--------------------------------|---|
| 4.201.1 & 5.201.1 | ENERGY EFFICIENCY REQUIREMENTS FOR LOW-RISE RESIDENTIAL (SECTION 4.201.1) AND HIGH-RISE RESIDENTIAL/HOTELS/MOTELS (SECTION 502.1) ARE NOW IN BOTH RESIDENTIAL AND NON-RESIDENTIAL CHAPTERS OF CALGREEN. |
| | STANDARDS FOR RESIDENTIAL BUILDINGS DO NOT REQUIRE COMPLIANCE WITH LEVELS OF MINIMUM ENERGY EFFICIENCY BEYOND THOSE REQUIRED BY THE 2016 CALIFORNIA ENERGY CODE |

| DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION (INDOOR WATER USE) | |
|---|--|
| 4.303.1 | PLUMBING FIXTURES AND FITTINGS SHALL COMPLY WITH THE FOLLOWING: |
| WATER CLOSETS | 128 gallons/flush |
| WALL MOUNTED URINALS | 0.25 gallons/flush |
| URINALS (ALL OTHERS) | 0.50 gallons/flush |
| SINGLE SHOWER HEADS | MAXIMUM 18 gpm AT 80 psi. SHOWER HEADS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE US EPA WATERSENSE SPECIFICATION FOR SHOWER HEADS |
| MULTIPLE SHOWER HEADS SERVING ONE SHOWER | WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWER HEAD, THE COMBINED FLOW RATE OF ALL SHOWER HEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 18 gpm AT 80 psi. THE SHOWER SHALL BE DESIGNED TO BE IN OPERATION AT A TIME |
| LAVATORY FAUCETS | MAX FLOW RATE: 1.20 gpm AT 80 psi MINIMUM FLOW RATE: 0.8 gpm AT 20 psi |
| LAVATORY FAUCETS IN COMMON AND PUBLIC USE AREAS | 0.50 gpm AT 80 psi |
| METERING FAUCETS | 0.25 GALLONS PER CYCLE |
| KITCHEN FAUCETS | 1.80 gpm AT 80 psi; TEMPORARY INCREASE TO 2.2 gpm ALLOWED BUT SHALL DEFAULT TO 1.80 gpm |
| 4.303.2 | PLUMBING FIXTURES AND FITTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE AND SHALL MEET APPLICABLE STANDARDS REFERENCED IN TABLE 1701 OF THE CPC |

| DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION (OUTDOOR WATER USE) | |
|--|---|
| 4.304.1 | <p>AFTER DECEMBER 15, 2015, NEW RESIDENTIAL DEVELOPMENTS WITH AN AGGREGATE LANDSCAPE AREA EQUAL TO OR GREATER THAN 500 SF SHALL COMPLY WITH ONE OF THE FOLLOWING:</p> <p>A. LOCAL WATER EFFICIENT LANDSCAPE ORDINANCE OR THE CURRENT CALIFORNIA DEPARTMENT OF WATER RESOURCES' MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO), WHICHEVER IS MORE STRINGENT, OR</p> <p>PROJECTS WITH AGGREGATE LANDSCAPE AREAS LESS THAN 2500 SF MAY COMPLY WITH THE MWELO'S APPENDIX D, PRESCRIPTIVE COMPLIANCE OPTION</p> |
| 4.305.1 | NEWLY CONSTRUCTED RESIDENTIAL DEVELOPMENTS WHERE DISINFECTED TERTIARY RECYCLED WATER IS AVAILABLE FROM A MUNICIPAL SOURCE TO A CONSTRUCTION SITE, MAY BE REQUIRED TO HAVE RECYCLED WATER SUPPLY SYSTEMS INSTALLED, ALLOWING THE USE OF RECYCLED WATER FOR RESIDENTIAL LANDSCAPE IRRIGATION SYSTEMS. SEE CHAPTER 15 OF THE CALIFORNIA PLUMBING CODE |

| DIVISION 4.4 MATERIAL CONSERVATION & RESOURCE EFFICIENCY (ENHANCED DURABILITY & REDUCED MAINTENANCE/CONSTRUCTION WASTE REDUCTION & RECYCLING) | |
|---|--|
| 4.406.1 | ANNULAR SPACES AROUND PIPES, ELECTRICAL CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE CLOSED WITH CEMENT MORTAR, CONCRETE MASONRY OR A SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY TO PREVENT PASSAGE OF RODENTS |
| 4.408.1 | <p>RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65% OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION DEBRIS IN ACCORDANCE WITH EITHER SECTION 4.408.2, 4.408.3 OR 4.408.4, OR MEET A MORE STRINGENT LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE</p> <p>DOCUMENTATION IS REQUIRED PER SECTION 4.408.5</p> <p>EXCEPTIONS:</p> <ol style="list-style-type: none"> EXCAVATED SOIL AND LAND-CLEARING DEBRIS ALTERNATIVE WASTE REDUCTION METHODS DEVELOPED BY WORKING WITH LOCAL ENFORCING AGENCIES IF DIVERSION OR RECYCLE FACILITIES CAPABLE OF COMPLIANCE WITH THIS ITEM DO NOT EXIST OR ARE NOT LOCATED REASONABLY CLOSE TO THE JOB SITE THE ENFORCING AGENCY MAY MAKE EXCEPTIONS TO THE REQUIREMENTS OF THIS SECTION WHEN ISOLATED JOB SITES ARE LOCATED IN AREAS BEYOND THE HAZL BOUNDARIES OF THE DIVERSION FACILITY |
| 4.408.2 | SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN MEETING ITEMS 1 THROUGH 5 IN SECTION 4.408.2. PLANS SHALL BE UPDATED AS NECESSARY AND SHALL BE AVAILABLE FOR EXAMINATION DURING CONSTRUCTION |
| 4.408.3 | UTILIZE A WASTE MANAGEMENT COMPANY, APPROVED BY THE ENFORCING AGENCY, WHICH CAN PROVIDE VERIFIABLE DOCUMENTATION THAT DIVERTED CONSTRUCTION AND DEMOLITION WASTE MATERIALS MEET THE REQUIREMENTS IN SECTION 4.408.1 |
| 4.408.4 | (LR) PROJECTS THAT GENERATE A TOTAL COMBINED WEIGHT OF CONSTRUCTION AND DEMOLITION WASTE DISPOSAL IN LANDFILLS, WHICH DO NOT EXCEED 3.4 POUNDS PER SQUARE FOOT OF THE BUILDING AREA SHALL MEET THE MINIMUM 65% CONSTRUCTION WASTE REDUCTION REQUIREMENTS IN SECTION 4.408.1 |
| 4.408.4.1 | PROJECTS THAT GENERATE A TOTAL COMBINED WEIGHT OF CONSTRUCTION AND DEMOLITION WASTE DISPOSAL IN LANDFILLS, WHICH DO NOT EXCEED 2.0 POUNDS PER SQUARE FOOT OF THE BUILDING AREA SHALL MEET THE MINIMUM 65% CONSTRUCTION WASTE REDUCTION REQUIREMENT IN SECTION 4.408.1 |

| DIVISION 4.4 MATERIAL CONSERVATION & RESOURCE EFFICIENCY (BUILDING MAINTENANCE AND OPERATION) | |
|---|---|
| 4.410.1 | AT THE TIME OF FINAL INSPECTION, A MANUAL, COMPACT DISC, WEB-BASED REFERENCE OR OTHER MEDIA ACCEPTABLE TO THE ENFORCING AGENCY WHICH COVERS 10 SPECIFIC SUBJECT AREAS SHALL BE PLACED IN THE BUILDING |
| 4.410.2 | MULTI-FAMILY RESIDENTIAL PROJECT: NOT APPLICABLE |

| DIVISION 4.5 ENVIRONMENTAL QUALITY (FIREPLACES) | |
|---|--|
| 4.503.1 | ANY INSTALLED GAS FIREPLACE SHALL BE A DIRECT-VENT SEALED-COMBUSTION TYPE. ANY INSTALLED WOOD STOVE OR PELLET STOVE SHALL COMPLY WITH US EPA NEW SOURCE PERFORMANCE STANDARDS (NSPS) EMISSION LIMITS AS APPLICABLE, AND SHALL HAVE A PERMANENT LABEL INDICATING THEY ARE CERTIFIED TO MEET THE EMISSION LIMITS. WOOD STOVES, PELLET STOVES AND FIREPLACES SHALL ALSO COMPLY WITH ALL APPLICABLE LOCAL ORDINANCES |

| CONSTRUCTION WASTE MANAGEMENT (CWM) WORKSHEET | |
|---|--|
| PERMIT NO: | |
| PROJECT: | SHERWOOD CONDOS, TRI-PLEX A, TEHACHAPI, CA |
| PROJECT MANAGER: | OWNER/BUILDER |
| WASTE HAULING CO.: | TO BE DETERMINED |

| WASTE MATERIAL TYPE | DIVERSION METHOD | | PROJECTED DIVERSION RATE |
|--|--------------------------------|--------------------------|--------------------------|
| | CO-MINGLED AND SORTED OFF-SITE | SOURCE SEPARATED ON-SITE | |
| ASPHALT | | NOT APPLICABLE | |
| CONCRETE | | X | 65% |
| SHOTCRETE | | NOT APPLICABLE | |
| METALS | | X | 65% |
| WOOD | | X | 100% |
| RIGID INSULATION | | NOT APPLICABLE | |
| FIBERGLASS INSULATION | | X | 65% |
| ACOUSTIC CEILING TILE | | X | 65% |
| GYPSUM WALLBOARD | | X | 100% |
| CARPET/CARPET PAD | | X | 65% |
| PLASTIC PIPE | | X | 65% |
| PLASTIC | | NOT APPLICABLE | |
| CEMENT BOARD | | | |
| GLASS | | ↓ | |
| CARDBOARD | | X | 100% |
| PALLETS | | X | 100% |
| JOB OFFICE TRASH | | NOT APPLICABLE | |
| ALKALINE AND RECHARGEABLE BATTERIES AND ELECTRONIC DEVICES | | ↓ | |

| | |
|--|------------|
| <p>CONTRACTOR</p> <ul style="list-style-type: none"> I CERTIFY THAT THIS CERTIFICATE OR COMPLIANCE DOCUMENTATION IS ACCURATE AND COMPLETE I CERTIFY THAT THE FEATURES AND PERFORMANCE SPECIFICATIONS FOR THE DESIGN IDENTIFIED ON THIS CERTIFICATE OF COMPLIANCE CONFORM TO THE REQUIREMENTS OF TITLE 24, PART II OF THE CALIFORNIA CODE OF REGULATIONS THE DESIGN FEATURES IDENTIFIED ON THIS CERTIFICATE OF COMPLIANCE ARE CONSISTENT WITH THE INFORMATION DOCUMENTED ON OTHER APPLICABLE COMPLIANCE FORMS, WORKSHEETS, CALCULATIONS, PLANS AND SPECIFICATIONS SUBMITTED TO THE ENFORCEMENT AGENCY FOR APPROVAL WITH THE PERMIT APPLICATION | |
| SIGNATURE: | |
| COMPANY: | DATE: |
| ADDRESS: | LICENSE: |
| CITY/STATE/ZIP: | TELEPHONE: |

| DIVISION 4.5 ENVIRONMENTAL QUALITY (POLLUTANT CONTROL) | |
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| 4.504.1 | AT THE TIME OF ROUGH INSTALLATION, DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP AND COOLING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED. TAPE, PLASTIC, SHEET METAL OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF DUST AND DEBRIS ENTERING IN THE SYSTEM MAY BE USED. |
| 4.504.2.1 | <p>ADHESIVES, SEALANTS AND CAULKS USED ON THE PROJECT SHALL MEET THE REQUIREMENTS OF THE FOLLOWING STANDARDS UNLESS MORE STRINGENT LOCAL OR REGIONAL AIR POLLUTION OR AIR QUALITY MANAGEMENT DISTRICT RULES APPLY:</p> <ol style="list-style-type: none"> ADHESIVES, ADHESIVE BONDING PRIMERS, ADHESIVE PRIMERS, SEALANTS, SEALANT PRIMERS AND CAULKS SHALL COMPLY WITH LOCAL OR REGIONAL AIR POLLUTION CONTROL OR AIR QUALITY MANAGEMENT DISTRICT RULES WHERE APPLICABLE OR SECTION 4.504.3 SHALL BE DETERMINED BY CLASSIFYING THE COATING AS FLAT, NONFLAT, OR NONFLAT-HIGH GLOSS COATING, BASED ON ITS GLOSS, AS DEFINED IN SUBSECTIONS 4.21, 4.36 AND 4.37 OF THE 2007 CALIFORNIA AIR RESOURCE BOARD, SUGGESTED CONTROL MEASURE, AND THE CORRESPONDING FLAT, NONFLAT OR NONFLAT-HIGH GLOSS VOC LIMIT IN TABLE 4.504.3 SHALL APPLY. AEROSOL ADHESIVES AND SMALLER UNIT SIZES OF ADHESIVES AND SEALANT OR CAULKING COMPOUNDS (IN UNITS OF PRODUCT, LESS PACKAGING, WHICH DO NOT WEIGH MORE THAN 1 POUND AND DO NOT CONSIST OF MORE THAN 16 FLUID OUNCES) SHALL COMPLY WITH STATEWIDE VOC STANDARDS AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS, OF THE CALIFORNIA CODE OF REGULATIONS (CCR), TITLE 17, COMMENCING WITH SECTION 94507. |
| 4.504.2.2 | ARCHITECTURAL PAINTS AND COATING SHALL COMPLY WITH VOC LIMITS IN TABLE 1 OF THE ARB ARCHITECTURAL COATING SUGGESTED CONTROL MEASURE AS SHOWN IN TABLE 4.504.3 UNLESS MORE STRINGENT LOCAL LIMITS APPLY. |
| 4.504.2.3 | AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT-WEIGHTED MIX LIMITS (ROC IN SECTION 94520(a)(2)) AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS AND OZONE DEPLETING SUBSTANCES, IN SECTION 94520(a) AND (F) OF THE CCR, TITLE 17, COMMENCING WITH SECTION 94520; AND IN AREAS UNDER THE JURISDICTION OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT SHALL COMPLY WITH THE PERCENT VOC BY WEIGHT OR PRODUCT LIMITS OF REGULATION 8, RULE 49 |
| 4.504.3 | <p>CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING AND PRODUCT REQUIREMENTS OF ONE OF THE FOLLOWING:</p> <ol style="list-style-type: none"> CARPET AND RUG INSTITUTE GREEN LABEL PLUS PROGRAM CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS" VERSION 11, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350) NSF/ANSI 140 AT THE GOLD LEVEL SCIENTIFIC CERTIFICATIONS SYSTEMS INDOOR ADVANTAGE™ GOLD |
| 4.504.3.1 | ALL CARPET CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CARPET AND RUG INSTITUTE GREEN LABEL PLUS PROGRAM |
| 4.504.3.2 | ALL CARPET ADHESIVE SHALL MEET THE REQUIREMENTS OF TABLE 4.504.1 |
| 4.504.4 | WHERE RESILIENT FLOORING IS INSTALLED, AT LEAST 80% OF THE FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING: |
| 1. | PRODUCTS COMPLIANT WITH THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS" VERSION 11, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350) CERTIFIED AS A CHPS LOW-EMITTING MATERIAL IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) HIGH PERFORMANCE PRODUCTS DATABASE |
| 2. | PRODUCTS CERTIFIED UNDER UL GREENGUARD GOLD (FORMALLY THE GREENGUARD CHILDREN AND SCHOOLS PROGRAM) |
| 3. | CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAM |
| 4. | MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS" VERSION 11, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350) |
| 4.504.5 | HARDWOOD PLYWOOD, PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN THE "AIR TOXIC CONTROL MEASURES FOR COMPOSITE WOOD" (7/07 CCR 9320.01 9603) AS SHOWN IN TABLE 4.504.5.1 |
| 4.504.5.1 | DEFINITION OF COMPOSITE WOOD PRODUCTS: COMPOSITE WOOD PRODUCTS INCLUDED HARDWOOD PLYWOOD, PARTICLEBOARD AND MEDIUM DENSITY FIBERBOARD. "COMPOSITE WOOD PRODUCTS" DO NOT INCLUDE HARDBOARD, STRUCTURAL PLYWOOD, STRUCTURAL PANELS, STRUCTURAL COMPOSITE LUMBER, ORIENTED STRAND BOARD, GLUED LAMINATED TIMBER, PREFABRICATED WOOD JOISTS OR FINGER-JOINED LUMBER, ALL AS SPECIFIED IN CCR, TITLE 17, SECTION 9320.1(a) |
| 4.504.5.1 | VERIFICATION OF COMPLIANCE SHALL BE PROVIDED AS REQUESTED OF THE ENFORCING AGENCY AS REQUIRED IN SECTION 504.5.1 |

| DIVISION 4.5 ENVIRONMENTAL QUALITY (INDOOR MOISTURE CONTROL) | |
|--|--|
| 4.505.2 | CONCRETE SLAB FOUNDATIONS OR CONCRETE SLAB-ON-GROUND FLOORS REQUIRED TO HAVE A VAPOR RETARDER BY CALIFORNIA BUILDING CODE, CHAPTER 19, OR THE CALIFORNIA RESIDENTIAL CODE, CHAPTER 5, RESPECTIVELY, SHALL ALSO COMPLY WITH THIS SECTION. |
| 4.505.2.1 | A CAPILLARY BREAK SHALL BE INSTALLED IN COMPLIANCE WITH AT LEAST ONE OF THE FOLLOWING: A 4-INCH THICK BASE OF 1/2-INCH OR LARGER CLEAN AGGREGATE SHALL BE PROVIDED WITH A VAPOR RETARDER IN DIRECT CONTACT WITH CONCRETE AND A CONCRETE MIX DESIGN, WHICH ADDRESSES BLEEDING, SHRINKAGE AND CURLING SHALL BE USED, FOR ADDITIONAL INFORMATION SEE AMERICAN CONCRETE INSTITUTE, ACI 302.2R-08 |
| 2. | OTHER EQUIVALENT METHODS APPROVED BY THE ENFORCING AGENCY |
| 3. | A SLAB DESIGN SPECIFIED BY A LICENSED DESIGN PROFESSIONAL |
| 4.505.3 | BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 18 PERCENT MOISTURE CONTENT. MOISTURE CONTENT SHALL BE VERIFIED IN POWER AS FOLLOWS: |
| 1. | MOISTURE CONTENT SHALL BE DETERMINED WITH EITHER A PROBE-TYPE OR CONTACT-TYPE MOISTURE METER. EQUIVALENT MOISTURE VERIFICATION METHODS MAY BE APPROVED BY THE ENFORCING AGENCY AND SHALL SATISFY REQUIREMENTS IN SECTION 101.8 |
| 2. | MOISTURE READINGS SHALL BE TAKEN AT A POINT 2 FEET TO 4 FEET FROM THE GRADE STAMPED END OF EACH PIECE TO BE VERIFIED |
| 3. | AT LEAST THREE RANDOM MOISTURE READINGS SHALL BE PERFORMED ON WALL AND FLOOR FRAMING WITH DOCUMENTATION ACCEPTABLE TO THE ENFORCING AGENCY PROVIDED AT THE TIME OF APPROVAL TO ENCLOSE THE WALL AND FLOOR FRAMING |
| | INSULATION PRODUCTS WHICH ARE VISIBLY WET OR HAVE A HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES. NET-APPLIED INSULATION PRODUCTS SHALL FOLLOW THE MANUFACTURER'S DRYING RECOMMENDATIONS PRIOR TO ENCLOSURE. |

| DIVISION 4.5 ENVIRONMENTAL QUALITY (INDOOR AIR QUALITY AND EXHAUST) | |
|---|--|
| 4.506.1 | <p>EACH BATHROOM FAN SHALL BE MECHANICALLY VENTILATED AND SHALL COMPLY WITH THE FOLLOWING:</p> <ol style="list-style-type: none"> FANS SHALL BE "ENERGY STAR" COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL. <p>HUMIDITY CONTROLS SHALL BE CAPABLE OF MANUAL OR AUTOMATIC ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF LESS THAN 50% TO A MAXIMUM OF 80%. A HUMIDITY CONTROL MAY BE A SEPARATE COMPONENT TO THE EXHAUST FAN AND IS NOT REQUIRED TO BE INTEGRAL OR BUILT-IN</p> <p>NOTE: FOR CALGREEN A "BATHROOM" IS A ROOM WHICH CONTAINS A BATHTUB, SHOWER OR TUB/SHOWER COMBINATION. FANS OR MECHANICAL VENTILATION IS REQUIRED FOR EACH BATHROOM</p> |

| DIVISION 4.5 ENVIRONMENTAL QUALITY (ENVIRONMENTAL COMFORT) | |
|--|---|
| 4.507.2 | HEATING AND AIR CONDITIONING SYSTEMS SHALL BE SIZED, DESIGNED AND HAVE THEIR EQUIPMENT SELECTED USING THE FOLLOWING METHODS: |
| | THE HEAT LOSS AND HEAT GAIN IS ESTABLISHED ACCORDING TO ANSI/ACCA 2 MANUAL, J-2011 (RESIDENTIAL LOAD CALCULATION), ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS. |
| | DUCT SYSTEMS ARE SIZED ACCORDING TO ANSI/ACCA 1 MANUAL, D-2014 (RESIDENTIAL DUCT SYSTEMS), ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS. |
| | SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSI/ACCACCA 3 MANUAL, S-2014 (RESIDENTIAL EQUIPMENT SELECTION) OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS |
| | USE OF ALTERNATE DESIGN TEMPERATURE NECESSARY TO ENSURE THE SYSTEMS FUNCTION ARE ACCEPTABLE. |

| ADHESIVE VOC LIMIT (TABLE 4.504.1) | | | |
|------------------------------------|-------------------|----------------------------------|-------------------|
| ARCHITECTURAL APPLICATIONS | CURRENT VOC LIMIT | SPECIALTY APPLICATIONS | CURRENT VOC LIMIT |
| INDOOR CARPET ADHESIVES | 50 | PVC WELDING | 500 |
| CARPET PAD ADHESIVES | 50 | CPVC WELDING | 490 |
| OUTDOOR CARPET ADHESIVES | 150 | ABS WELDING | 325 |
| WOOD FLOORING ADHESIVES | 100 | PLASTIC CEMENT WELDING | 250 |
| RUBBER FLOOR ADHESIVES | 60 | ADHESIVE PRIMER FOR PLASTIC | 550 |
| SUB-FLOOR ADHESIVES | 50 | CONTACT ADHESIVE | 80 |
| CERAMIC TILE ADHESIVES | 65 | SPECIAL PURPOSE CONTACT ADHESIVE | 250 |
| VCT AND ASPHALT TILE ADHESIVES | 50 | STRUCTURAL WOOD MEMBER ADHESIVE | 140 |
| WALLBOARD AND PANEL ADHESIVES | 50 | TOP AND TRIM ADHESIVE | 250 |
| COVE BASE ADHESIVES | 50 | SUBSTRATE SPECIFIC APPLICATIONS | |
| MULTIPURPOSE ADHESIVES | 70 | METAL TO METAL | 30 |
| STRUCTURAL GLAZING ADHESIVES | 100 | PLASTIC FOAMS | 50 |
| SINGLE-PLY ROOF MEMBRANE ADHESIVES | 250 | POROUS MATERIAL (EXCEPT WOOD) | 50 |
| ADHESIVES NOT LISTED | 50 | WOOD | 30 |
| | | FIBERGLASS | 80 |

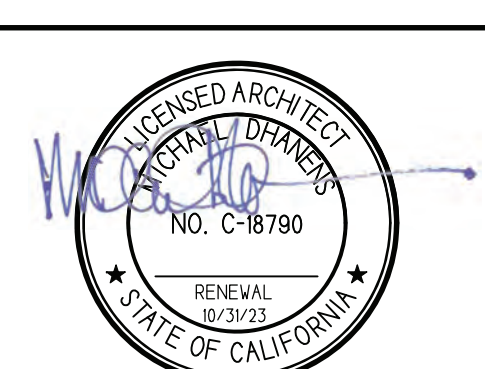
| SEALANT VOC LIMIT (TABLE 4.504.2) | | | |
|-----------------------------------|-------------------|--------------------------------|-------------------|
| SEALANTS | CURRENT VOC LIMIT | SEALANT PRIMERS | CURRENT VOC LIMIT |
| ARCHITECTURAL | 250 | ARCHITECTURAL NONPOROUS POROUS | 250 |
| MARINE DECK | 780 | MODIFIED BITUMINOUS | 500 |
| NON-MEMBRANE ROOF | 300 | MARINE DECK | 780 |
| ROADWAY | 250 | OTHER | 750 |
| SINGLE-PLY ROOF MEMBRANE | 450 | | |
| OTHER | 420 | | |

| VOC CONTENT FOR ARCHITECTURAL COATINGS (TABLE 4.504.3) | | | |
|--|-------------------|--------------------------------|-------------------|
| ARCHITECTURAL APPLICATIONS | CURRENT VOC LIMIT | SPECIALTY APPLICATIONS | CURRENT VOC LIMIT |
| FLAT COATINGS | 50 | MASTIC TEXTURE COATINGS | 100 |
| NON-FLAT COATINGS | 100 | METALLIC PIGMENTED COATINGS | 500 |
| HIGH GLOSS COATINGS | 150 | MULTICOLOR COATINGS | 250 |
| SPECIALTY COATINGS | | PRE-TREATMENT WASH PRIMERS | 420 |
| ALUMINUM ROOF COATINGS | 400 | PRIMERS/SEALERS/UNDERCOATERS | 100 |
| BASEMENT SPECIALTY COATINGS | 400 | REACTIVE PENETRATING SEALERS | 350 |
| BITUMINOUS ROOF COATINGS | 50 | RECYCLED COATINGS | 250 |
| BITUMINOUS ROOF PRIMERS | 350 | ROOF COATINGS | 50 |
| BOND BREAKERS | 350 | RUST PREVENTATIVE COATINGS | 250 |
| CONCRETE CURING COMPOUNDS | 350 | SHELLACS: CLEAR OPAQUE | 730 |
| CONCRETE/MASONRY SEALERS | 100 | | 550 |
| DRIVEWAY SEALERS | 50 | SPECIALTY PRIMERS | 100 |
| DRY FOG COATINGS | 150 | STAINS | 250 |
| FAUX FINISH COATINGS | 350 | STONE CONSOLIDANTS | 450 |
| FIRE RESISTIVE COATINGS | 350 | SWIMMING POOL COATINGS | 340 |
| FLOOR COATINGS | 100 | TRAFFIC MARKING COATINGS | 100 |
| FORM RELEASE COMPOUNDS | 250 | TUB AND TILE REFINISH COATINGS | 420 |
| GRAPHIC ARTS COATINGS | 500 | WATERPROOFING MEMBRANES | 250 |
| HIGH TEMPERATURE COATINGS | 420 | WOOD COATINGS | 275 |
| INDUSTRIAL MAINTENANCE COATINGS | 250 | WOOD PRESERVATIVES | 350 |
| LOW SOLIDS COATINGS | 120 | ZINC-RICH PRIMERS | 340 |
| MAGNESTIE CEMENT COATINGS | 450 | | |

| FORMALDEHYDE LIMITS (TABLE 5.504.4.5) MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION | | | |
|--|---------------|--|--|
| PRODUCT | CURRENT LIMIT | | |
| HARDWOOD PLYWOOD VENEER CORE | 0.05 | | |
| HARDWOOD PLYWOOD COMPOSITE CORE | 0.05 | | |
| PARTICLE BOARD | 0.09 | | |
| MEDIUM DENSITY FIBERBOARD | 0.11 | | |
| THIN MEDIUM DENSITY FIBERBOARD | 0.13 | | |

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 12/12/22

PROJECT

Piñon Townhome Estates

NWC Piñon Street and Applewood Drive
Parcel 1; Parcel Map 6507
APN 416-500-01
Tehachapi, California

TRI-PLEX

GREEN CODE MANDATORY MEASURES

AD & SPR 2022-11

PERMIT B22-

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2019 LOW-RISE RESIDENTIAL MANDATORY MEASURES SUMMARY



2019 Low-Rise Residential Mandatory Measures Summary

NOTE: Low-rise residential buildings subject to the Energy Standards must comply with all applicable mandatory measures, regardless of the compliance approach used. Review the respective section for more information. *Exceptions may apply. (01/20/20)

| Building Envelope Measures: | |
|--|--|
| § 110.0(a)(1): | Air Leakage. Manufactured fenestration, exterior doors, and exterior pet doors must limit air leakage to 0.3 CFM per square foot or less when tested per NFRC-600, ASTM E283 or AIAA/MVDMA/CSA 1011.3, 2014/48-2011.* |
| § 110.0(a)(5): | Labeling. Fenestration products and exterior doors must have a label meeting the requirements of § 10-111(c). |
| § 110.0(b): | Field fabricated exterior doors and fenestration products must use U-factors and solar heat gain coefficient (SHGC) values from Tables 110.6-A, 110.6-B, or JAA.5 for exterior doors. They must be caulked and/or weather-stripped.* |
| § 110.7: | Air Leakage. All joints, penetrations, and other openings in the building envelope that are potential sources of air leakage must be caulked, gasketed, or weather-stripped. |
| § 110.0(a)(4): | Insulation Certification by Manufacturers. Insulation must be certified by the Department of Consumer Affairs, Bureau of Household Goods and Services (BHGS). |
| § 110.0(g): | Insulation Requirements for Heated Slab Floors. Heated slab floors must be insulated per the requirements of § 110.0(g). |
| § 110.0(i): | Roofing Products Solar Reflectance and Thermal Emittance. The thermal emittance and aged solar reflectance values of the roofing materials must meet the requirements of § 110.0(i), and be labeled per § 10-111 when the installation of a roof is specified on the CP-18. |
| § 110.0(h): | Radiant Barrier. When required, radiant barriers must have an emittance of 0.05 or less and be certified to the Department of Consumer Affairs. |
| § 150.0(a): | Ceiling and Rafter Roof Insulation. Minimum R-22 insulation in wood-frame ceiling; or the weighted average U-factor must not exceed 0.043. Minimum R-19 or weighted average U-factor of 0.054 or less in a rafter roof alteration. Attic access doors must have permanently attached insulation using adhesive or mechanical fasteners. The attic access must be gasketed to prevent air leakage. Insulation must be installed in direct contact with a continuous roof or ceiling which is sealed to limit infiltration and exfiltration as specified in § 110.7, including but not limited to placing insulation either above or below the roof deck or on top of a drywall ceiling.* |
| § 150.0(b): | Loose-fill Insulation. Loose fill insulation must meet the manufacturer's required density for the labeled R-value. |
| § 150.0(c): | Wall Insulation. Minimum R-13 insulation in 2x4 inch wood framing wall or have a U-factor of 0.102 or less, or R-20 in 2x6 inch wood framing or have a U-factor of 0.071 or less. Opposite non-framed assemblies must have an overall assembly U-factor not exceeding 0.12. Masonry walls must meet Tables 150.1-A or B.* |
| § 150.0(d): | Raised-floor Insulation. Minimum R-19 insulation in raised wood framed floor or 0.037 maximum U-factor.* |
| § 150.0(e): | Slab Edge Insulation. Slab edge insulation must meet all of the following: have a water vapor permeance no greater than 2.0 perms per inch; be protected from physical damage and UV light deterioration; and, when installed as part of a heated slab floor, meet the requirements of § 110.0(g). |
| § 150.0(f): | Vapor Retarder. This climate zone 1 through 16, the earth floor of unvented crawl space must be covered with a Class I or Class II vapor retarder. This requirement also applies to controlled ventilation crawl space for buildings complying with the exception to § 150.0(d). |
| § 150.0(g)(2): | Vapor Retarder. In climate zones 14 and 16, a Class I or Class II vapor retarder must be installed on the conditioned space side of all insulation in all exterior walls, vented attics, and unvented attics with air-permeable insulation. |
| § 150.0(h): | Fenestration Products. Fenestration, including skylights, separating conditioned space from unconditioned space or outdoors must have a maximum U-factor of 0.58; or the weighted average U-factor of all fenestration must not exceed 0.58.* |
| Fireplaces, Decorative Gas Appliances, and Gas Log Measures: | |
| § 110.5(e): | Pilot Light. Continuously burning pilot lights are not allowed for indoor and outdoor fireplaces. |
| § 150.0(e)(1): | Closable Doors. Masonry or factory-built fireplaces must have a closable metal or glass door covering the entire opening of the firebox. |
| § 150.0(e)(2): | Combustion Intake. Masonry or factory-built fireplaces must have a combustion outside air intake, which is at least six square inches in area and is equipped with a readily accessible, operable, and tight-fitting damper or combustion-air control device.* |
| § 150.0(e)(3): | Flue Damper. Masonry or factory-built fireplaces must have a flue damper with a readily accessible control.* |
| Space Conditioning, Water Heating, and Plumbing System Measures: | |
| § 110.0 & 110.3: | Certification. Heating, ventilation and air conditioning (HVAC) equipment, water heaters, showheads, faucets, and all other regulated appliances must be certified by the California Energy Commission.* |
| § 110.2(a): | HVAC Efficiency. Equipment must meet the applicable efficiency requirements in Table 110.2-A through Table 110.2-K.* |
| § 110.2(b): | Controls for Heat Pumps with Supplementary Electric Resistance Heaters. Heat pumps with supplementary electric resistance heaters must have controls that prevent supplementary heater operation when the heating load can be met by the heat pump alone; and in which the cut-on temperature for compression heating is higher than the cut-on temperature for supplementary heating; and the cut-off temperature for compression heating is higher than the cut-off temperature for supplementary heating.* |
| § 110.2(c): | Thermostats. All heating or cooling systems not controlled by a central energy management control system (EMCS) must have a setback thermostat.* |
| § 110.2(d): | Water Heating Recirculation Loops Serving Multiple Dwelling Units. Water heating recirculation loops serving multiple dwelling units must meet the air release valve, backflow prevention, pump priming, pump isolation valve, and recirculation loop connection requirements of § 110.3(a).* |
| § 110.3(c)(8): | Isolation Valves. Instantaneous water heaters with an input rating greater than 5.8 kBtu per hour (2 kW) must have isolation valves with hose bibbs or other fittings on both cold and hot water lines to allow for fueling the water heater when the valves are closed. |
| § 110.5: | Pilot Lights. Continuously burning pilot lights are prohibited for natural gas: fan-type central furnaces; household cooling appliances (except appliances without an electrical supply voltage connection with pilot lights that consume less than 150 Btu per hour); and pool and spa heaters.* |
| § 150.0(h)(1): | Building Cooling and Heating Loads. Heating and/or cooling loads are calculated in accordance with the ASHRAE Handbook, Equipment Volume, Applications Volume, and Fundamentals Volume; the SBACMAN Residential Comfort System Installation Standards Manual; or the ACCA Manual J using design conditions specified in § 150.0(h)(2). |



2019 Low-Rise Residential Mandatory Measures Summary

| Requirements for Ventilation and Indoor Air Quality: | |
|--|--|
| § 150.0(j)(1): | Requirements for Ventilation and Indoor Air Quality. All dwelling units must meet the requirements of ASHRAE Standard 62.2, Ventilation and Acceptable Indoor Air Quality in Residential Buildings subject to the amendments specified in § 150.0(j)(1). |
| § 150.0(j)(1C): | Single Family Detached Dwelling Units. Single family detached dwelling units, and attached dwelling units not sharing ceilings or floors with other dwelling units, occupancy garages, or commercial spaces must have mechanical ventilation airflow provided as rates determined by ASHRAE 62.2 Sections 4.1 and 4.2 and controlled in § 150.0(j)(1C). |
| § 150.0(j)(1E): | Multifamily Attached Dwelling Units. Multifamily attached dwelling units must have mechanical ventilation airflow provided at rates in accordance with Equation 150.0-B and must be either a balanced system or continuous supply or continuous exhaust system. If a balanced system is not used, all units in the building must use the same system type and the dwelling-unit envelope leakage must be ≤ 0.3 CFM at 50 Pa (0.2 inch water) per square foot of dwelling unit envelope surface area and verified in accordance with Reference Residential Appendix RA3.8. |
| § 150.0(j)(1F): | Multifamily Building Central Ventilation Systems. Central ventilation systems that serve multiple dwelling units must be balanced to provide ventilation airflow for each dwelling unit served at a rate equal to or greater than the rate specified by Equation 150.0-B. All unit airflows must be within ±20 percent of the unit with the lowest airflow rate as it relates to the individual unit's minimum required airflow rate provided for compliance. |
| § 150.0(j)(1G): | Kitchen Range Hoods. Kitchen range hoods must be rated for sound in accordance with Section 7.2 of ASHRAE 62.2. |
| § 150.0(j)(2): | Field Verification and Diagnostic Testing. Dwelling unit ventilation airflow must be verified in accordance with Reference Residential Appendix RA3.7. A kitchen range hood must be verified in accordance with Reference Residential Appendix RA3.7.4.3 to confirm it is rated by HV1 to comply with the airflow rates and sound requirements as specified in Section 6 and 7.2 of ASHRAE 62.2. |
| Pool and Spa Systems and Equipment Measures: | |
| § 110.4(a): | Certification by Manufacturers. Any pool or spa heating system or equipment must be certified to have all of the following: a thermal efficiency that complies with the Appliance Efficiency Regulations; an on-off switch mounted outside of the heater that allows shutting off the heater without adjusting the thermostat setting; a permanent weatherproof plate or card with operating instructions; and must not use electric resistance heaters.* |
| § 110.4(b)(1): | Piping. Any pool or spa heating system or equipment must be installed with at least 36 inches of pipe between the filter and the heater, or dedicated suction and return lines, or built-in or built-up connections to allow for future solar heating. |
| § 110.4(b)(2): | Covers. Outdoor pools or spas that have a heat pump or gas heater must have a cover. |
| § 110.4(b)(3): | Directional Inlets and Time Switches for Pools. Pools must have directional inlets that adequately mix the pool water, and a time switch that will allow all pumps to be set or programmed to run only during off-peak electric demand periods. |
| § 110.5: | Pilot Light. Natural gas pool and spa heaters must not have a continuously burning pilot light. |
| § 150.0(p): | Pool Systems and Equipment Installation. Residential pool systems or equipment must meet the specified requirements for pump sizing, flow rate, piping, filters, and valves.* |
| Lighting Measures: | |
| § 110.9: | Lighting Controls and Components. All lighting control devices and systems, ballasts, and luminaires must meet the applicable requirements of § 110.9.* |
| § 150.0(k)(1A): | Luminaire Efficacy. All installed luminaires must meet the requirements in Table 150.0-A. |
| § 150.0(k)(1B): | Blank Electrical Boxes. The number of electrical boxes that are more than five feet above the finished floor and do not contain a luminaire or other device must be no greater than the number of bedrooms. These electrical boxes must be served by a dimmer, vacancy sensor, control, or fan speed control. |
| § 150.0(k)(1C): | Recessed Downlight Luminaires in Ceilings. Luminaires recessed into ceilings must meet all of the requirements for insulation contact (IC) labeling; air leakage; sealing; maintenance; and socket and light source as described in § 150.0(k)(1C). |
| § 150.0(k)(1D): | Electronic Ballasts for Fluorescent Lamps. Ballasts for fluorescent lamps rated 15 watts or greater must be electronic and must have an output frequency no less than 20 kHz. |
| § 150.0(k)(1E): | Night Lights, Step Lights, and Path Lights. Night lights, step lights and path lights are not required to comply with Table 150.0-A or be controlled by vacancy sensors provided they are rated to consume no more than 5 watts of power and emit no more than 150 lumens. |
| § 150.0(k)(1F): | Lighting Integral to Exhaust Fans. Lighting integral to exhaust fans (except when installed by the manufacturer in kitchen exhaust hoods) must meet the applicable requirements of § 150.0(k)*. |
| § 150.0(k)(1G): | Screw based luminaires. Screw based luminaires must contain lamps that comply with Reference Joint Appendix JAB.* |
| § 150.0(k)(1H): | Light Sources in Enclosed or Recessed Luminaires. Lamps and other separable light sources that are not compliant with the JAB elevated temperature requirements, including marking requirements, must not be installed in enclosed or recessed luminaires. |
| § 150.0(k)(1): | Light Sources in Drawers, Cabinets, and Linen Closets. Light sources internal to drawers, cabinetry or linen closets are not required to comply with Table 150.0-A or be controlled by vacancy sensors provided that they are rated to consume no more than 5 watts of power, emit no more than 150 lumens, and are equipped with controls that automatically turn the lighting off when the drawer, cabinet or linen closet is closed. |
| § 150.0(k)(2A): | Interior Switches and Controls. All forward phase out dimmers used with LED light sources must comply with NEMA SSL 7A.* |
| § 150.0(k)(2B): | Interior Switches and Controls. Exhaust fans must be controlled separately from lighting systems.* |
| § 150.0(k)(2C): | Interior Switches and Controls. Lighting must have readily accessible wall-mounted controls that allow the lighting to be manually turned ON and OFF.* |
| § 150.0(k)(2D): | Interior Switches and Controls. Controls and equipment must be installed in accordance with manufacturer's instructions. |
| § 150.0(k)(2E): | Interior Switches and Controls. Controls must not bypass a dimmer, occupant sensor, or vacancy sensor function if the control is installed to comply with § 150.0(k).* |
| § 150.0(k)(2F): | Interior Switches and Controls. Lighting controls must comply with the applicable requirements of § 110.9. |



2019 Low-Rise Residential Mandatory Measures Summary

| § 150.0(h)(3A): | Clearance. Air conditioner and heat pump outdoor condensing units must have a clearance of at least five feet from the outlet of any dryer. |
|--------------------------|---|
| § 150.0(h)(3B): | Liquid Line Drier. Air conditioners and heat pump systems must be equipped with liquid line drier filters if required, as specified by the manufacturer's instructions. |
| § 150.0(j): | Storage Tank Insulation. Unfired hot water tanks, such as storage tanks and backup storage tanks for solar water-heating systems, must have a minimum of R-12 internal insulation or R-15 external insulation where the internal insulation R-value is indicated on the exterior of the tank. |
| § 150.0(j)(2A): | Water Piping, Solar Water-heating System Piping, and Space Conditioning System Line Insulation. All domestic hot water piping must be insulated as specified in Section 605.11 of the California Plumbing Code. In addition, the following piping conditions must have a minimum insulation wall thickness of one inch or a minimum insulation R-value of 7.7: the first five feet of cold water pipes from the storage tank; all hot water piping with a nominal diameter equal to or greater than 3/4 inch and less than one inch; all hot water piping with a nominal diameter less than 3/4 inch that is associated with a domestic hot water recirculation system, from the heating source to storage tank between tanks, buried below grade, and from the heating source to kitchen fixtures.* |
| § 150.0(j)(3): | Insulation Protection. Piping insulation must be protected from damage, including that due to sunlight, moisture, equipment maintenance, and wind as required by Section 120.9(a). Insulation exposed to weather must be water resistant and protected from UV light (no adhesive tapes). Insulation covering chilled water piping and refrigerant suction piping located outside the conditioned space must include, or be protected by, a Class I or Class II vapor retarder. Pipe insulation buried below grade must be installed in a waterproof and non-crazeable casing or sleeve. |
| § 150.0(j)(4): | Gas or Propane Water Heating Systems. Systems using gas or propane water heaters to serve individual dwelling units must include all of the following: A dedicated 125 or 20 amp electrical nonmetallic conduit connected to the electric panel with a 120/0/0/3 conductor; 10 AWG copper branch circuit, within three feet of the water heater without obstruction. Both ends of the unused conductor must be labeled with the word "spare" and be electrically isolated. Have a reserved single pole circuit breaker space in the electrical panel adjacent to the circuit breaker for the branch circuit and labeled with the words "Future 240V Load," a Category III or IV vent, or a Type B vent with straight pipe between the outside termination and the space where the water heater is installed; a condensate drain that is no more than two inches higher than the base of the water heater, and allows natural draining without pump assistance; and a gas supply line with a capacity of at least 200,000 Btu per hour. |
| § 150.0(j)(5): | Recirculating Loops. Recirculating loops serving multiple dwelling units must meet the requirements of § 110.3(c)(5). |
| § 150.0(j)(6): | Solar Water-heating Systems. Solar water-heating systems and collectors must be certified and rated by the Solar Rating and Certification Corporation (SRCC), the International Association of Plumbing and Mechanical Officials, Research and Testing (IAPMO R&T), or by a listing agency that is approved by the Executive Director. |
| Ducts and Fans Measures: | |
| § 110.0(k)(3): | Ducts. Insulation installed on an existing space-conditioning duct must comply with § 604.0 of the California Mechanical Code (CMC). If a contractor installs the insulation, the contractor must certify to the customer, in writing, that the insulation meets this requirement. |
| § 150.0(m)(1): | CMC Compliance. All air-distribution system ducts and plenums must meet the requirements of the CMC §§ 651.0, 602.0, 603.0, 604.0, 605.0 and ANSIS/MACNA-008-2006 HVAC Duct Construction Standards Metal and Flexible 3rd Edition. Portions of supply-air and return-air ducts and plenums must be insulated to a minimum installed level of R-6.0 or a minimum installed level of R-4.2 when ducts are entirely in conditioned space as confirmed through field verification and diagnostic testing (RA3.14.3.8). Portions of the duct system completely exposed and surrounded by directly conditioned space are not required to be insulated. Connections of metal ducts and inner core of flexible ducts must be mechanically fastened. Openings must be sealed with mastic, tape, or other duct-closure material that meets the applicable requirements of UL 181, UL 184, or UL 181B or sealed in a manner that meets the requirements of UL 723. If mastic or tape is used to seal openings greater than 1/2 inch, the combination of mastic and either mesh or tape must be used. Building cavities, support platforms for air handlers, and plenums designed or constructed with materials other than sealed sheet metal, duct board or flexible duct must not be used to convey conditioned air. Building cavities and support platforms may contain ducts. Ducts installed in cavities and support platforms must not be compressed to cause reductions in the cross-sectional area.* |
| § 150.0(m)(2): | Factory-Fabricated Duct Systems. Factory-fabricated duct systems must comply with applicable requirements for duct construction, connections, and closures; joints and seams of duct systems and their components must not be sealed with cloth back rubber adhesive duct tapes unless such tape is used in combination with mastic and draw bands. |
| § 150.0(m)(3): | Field-Fabricated Duct Systems. Field-fabricated duct systems must comply with applicable requirements for: pressure-sensitive tapes, mastics, sealants, and other materials specified for duct construction. |
| § 150.0(m)(7): | Backdraft Damper. Fan systems that exchange air between the conditioned space and outdoors must have backdraft or automatic dampers. |
| § 150.0(m)(8): | Gravity Ventilation Dampers. Gravity ventilating systems serving conditioned space must have either automatic or readily accessible, manually operated dampers in all openings to the outside, except combustion inlet and outlet air openings and elevator shaft vents. |
| § 150.0(m)(9): | Protection of Insulation. Insulation must be protected from damage, sunlight, moisture, equipment maintenance, and wind. Insulation exposed to weather must be suitable for outdoor service. For example, protected by aluminum, sheet metal, painted canvas, or plastic cover. Cellular foam insulation must not be protected as above or painted with a coating that is water retardant and provides shielding from solar radiation. |
| § 150.0(m)(10): | Porous Inner Core Flex Duct. Porous inner core flex ducts must have a non-porous layer between the inner core and outer vapor barrier. |
| § 150.0(m)(11): | Duct System Sealing and Leakage Test. When space conditioning systems use forced air duct systems to supply conditioned air to an occupiable space, the ducts must be sealed and duct leakage tested, as confirmed through field verification and diagnostic testing, in accordance with § 150.0(m)(11) and Reference Appendix RA3. |
| § 150.0(m)(12): | Air Filtration. Space conditioning systems with ducts exceeding 10 feet and the supply side of ventilation systems must have MERV 13 or equivalent filters. Filters for space conditioning systems must have a two inch depth or can be one inch if sized per Equation 150.0-A. Pressure drops and labeling must meet the requirements in §150.0(m)(12). Filters must be accessible for regular service.* |
| § 150.0(m)(13): | Space Conditioning System Airflow Rate and Fan Efficacy. Space conditioning systems that use ducts to supply cooling must have a hole for the placement of a static pressure probe, or a permanently installed static pressure probe in the supply plenum. Airflow must be ≥ 350 CFM per ton of nominal cooling capacity, and an air-handling unit fan efficacy ≥ 0.45 watts per CFM for gas air handlers and ≥ 0.58 watts per CFM for all others. Small duct high velocity systems must provide an airflow ≥ 280 CFM per ton of nominal cooling capacity, and an air-handling unit fan efficacy ≥ 0.62 watts per CFM. Field verification testing is required in accordance with Reference Residential Appendix RA3.3.* |



2019 Low-Rise Residential Mandatory Measures Summary

| § 150.0(k)(2): | Interior Switches and Controls. An energy management control system (EMCS) may be used to comply with control requirements if it: provides functionality to the specified control according to § 110.9; meets the Installation Certificate requirements of § 130.4; meets the EMCS requirements of § 130.0(e); and meets all other requirements in § 150.0(k)(2). |
|------------------------|--|
| § 150.0(k)(2H): | Interior Switches and Controls. A multi-line programmable controller may be used to comply with dimmer requirements in § 150.0(k) if it provides the functionality of a dimmer according to § 110.9, and complies with all other applicable requirements in § 150.0(k)(2). |
| § 150.0(k)(2): | Interior Switches and Controls. In bedrooms, family rooms, and utility rooms, at least one luminaire in each of these spaces must be controlled by an occupant sensor or a vacancy sensor providing automatic off-functionality. If an occupant sensor is installed, it must be initially configured to manual-on operation using the manual control under Section 150.0(k)(2C). |
| § 150.0(k)(2): | Interior Switches and Controls. Luminaires that are or contain light sources that meet Reference Joint Appendix JAB requirements for dimming, and that are not controlled by occupancy or vacancy sensors, must have dimming controls.* |
| § 150.0(k)(2K): | Interior Switches and Controls. Under cabinet lighting must be controlled separately from ceiling-installed lighting systems. |
| § 150.0(k)(3A): | Residential Outdoor Lighting. For single-family residential buildings, outdoor lighting permanently mounted to a residential building, or to other buildings on the same lot, must meet the requirement in Item 150.0(k)(3A) (ON and OFF switch) and the requirements in either § 150.0(k)(3A) (photocell) and/or automatic time switch control or § 150.0(k)(3A) (electronic time clock), or an EMCS. |
| § 150.0(k)(3B): | Residential Outdoor Lighting. For low-rise residential buildings with four or more dwelling units, outdoor lighting for private patios, entrances, balconies, and porches; and residential parking lots and carports with less than eight vehicles per site must comply with either § 150.0(k)(3A) or with the applicable requirements in Sections 110.9, 130.0, 130.2, 130.4, 140.7 and 141.0. |
| § 150.0(k)(3C): | Residential Outdoor Lighting. For low-rise residential buildings with four or more dwelling units, any outdoor lighting for residential parking lots or carports with a total of eight or more vehicles per site and any outdoor lighting not regulated by § 150.0(k)(3B) or § 150.0(k)(3D) must comply with the applicable requirements in Sections 110.9, 130.0, 130.2, 130.4, 140.7 and 141.0. |
| § 150.0(k)(4): | Internally illuminated address signs. Internally illuminated address signs must comply with § 140.6; or must consume no more than 5 watts of power as determined according to § 150.0(p). |
| § 150.0(k)(5): | Residential Garages for Eight or More Vehicles. Lighting for residential parking garages for eight or more vehicles must comply with the applicable requirements for nonresidential garages in Sections 110.9, 130.0, 130.1, 130.4, 140.6, and 141.0. |
| § 150.0(k)(6A): | Interior Common Areas of Low-rise Multifamily Residential Buildings. In a low-rise multifamily residential building where the total interior common area in a single building equals 20 percent or less of the floor area, permanently installed lighting for the interior common areas in that building must be comply with Table 150.0-A and be controlled by an occupant sensor. |
| § 150.0(k)(6B): | Interior Common Areas of Low-rise Multifamily Residential Buildings. In a low-rise multifamily residential building where the total interior common area in a single building equals more than 20 percent of the floor area, permanently installed lighting for the interior common areas in that building must: 1. Comply with the applicable requirements in Sections 110.9, 130.0, 130.1, 140.6 and 141.0; and 2. Lighting installed in corridors and stairwells must be controlled by occupant sensors that reduce the lighting power in each space by at least 50 percent. The occupant sensors must be capable of latching fully on and off from all designated paths of ingress and egress. |
| Solar Ready Buildings: | |
| § 110.10(a)(1): | Single Family Residences. Single family residences located in subdivisions with 10 or more single family residences and where the application for a tentative subdivision map for the residences has been deemed complete and approved by the enforcement agency, which do not have a photovoltaic system installed, must comply with the requirements of § 110.10(b) through § 110.10(i). |
| § 110.10(a)(2): | Low-rise Multifamily Buildings. Low-rise multifamily buildings that do not have a photovoltaic system installed must comply with the requirements of § 110.10(b) through § 110.10(i). |
| § 110.10(a)(1): | Minimum Solar Zone Area. The solar zone must have a minimum total area as described below. The solar zone must comply with access, pathway, smoke ventilation, and spacing requirements as specified in Title 24, Part 6 or other parts of Title 24 or in any requirements adopted by a local jurisdiction. The solar zone total area must be comprised of areas that have no dimension less than 5 feet and are no less than 50 square feet each for buildings with roof areas less than or equal to 10,000 square feet or no less than 150 square feet each for buildings with roof areas greater than 10,000 square feet. For single family residences, the solar zone must be located on the roof or overhang of the building and have a total area no less than 250 square feet. For low-rise multifamily buildings the solar zone must be located on the roof or overhang of the building, or on the roof or overhang of another structure located within 250 feet of the building, or on covered parking installed with the building project, and have a total area no less than 15 percent of the total roof area of the building excluding any skylight area. The solar zone requirement is applicable to the entire building, including mixed occupancy.* |
| § 110.10(a)(2): | Azimuth. All sections of the solar zone located on steep-sloped roofs must be oriented between 90 degrees and 300 degrees of true north. |
| § 110.10(b)(3A): | Shading. The solar zone must not contain any obstructions, including but not limited to: vents, chimneys, architectural features, and roof-mounted equipment.* |
| § 110.10(b)(3B): | Shading. Any obstruction located on the roof or any other part of the building that projects above a solar zone must be located at least twice the distance, measured in the horizontal plane, of the height difference between the highest point of the obstruction and the horizontal projection of the nearest point of the solar zone, measured in the vertical plane.* |
| § 110.10(b)(3): | Structural Design Loads on Construction Documents. For areas of the roof designated as a solar zone, the structural design loads for roof dead load and roof live load must be clearly indicated on the construction documents. |
| § 110.10(b)(4): | Interconnection Pathways. The construction documents must indicate a location reserved for inverters and metering equipment and a pathway reserved for routing of conduit from the solar zone to the point of interconnection with the electrical service; and for single family residences and central water-heating systems, a pathway reserved for central plumbing from the solar zone to the water-heating system. Documentation. A copy of the construction documents or a comparable document indicating the information from § 110.10(c) must be provided to the occupant. |
| § 110.10(d): | Main Electrical Service Panel. The main electrical service panel must have a minimum busbar rating of 200 amps. |
| § 110.10(e)(1): | Main Electrical Service Panel. The main electrical service panel must have a reserved space to allow for the installation of a double pole circuit breaker for a future solar electric installation. The reserved space must be permanently marked as "For Future Solar Electric". |
| § 110.10(e)(2): | |

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12/12/22

PROJECT
Piñon Townhome Estates

NWC Piñon Street and Applewood Drive
Parcel 1; Parcel Map 6507
APN 416-500-01
Tehachapi, California

TRI-PLEX

RESIDENTIAL MANDATORY MEASURES

AD & SPR 2022-11

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NO. REVISIONS

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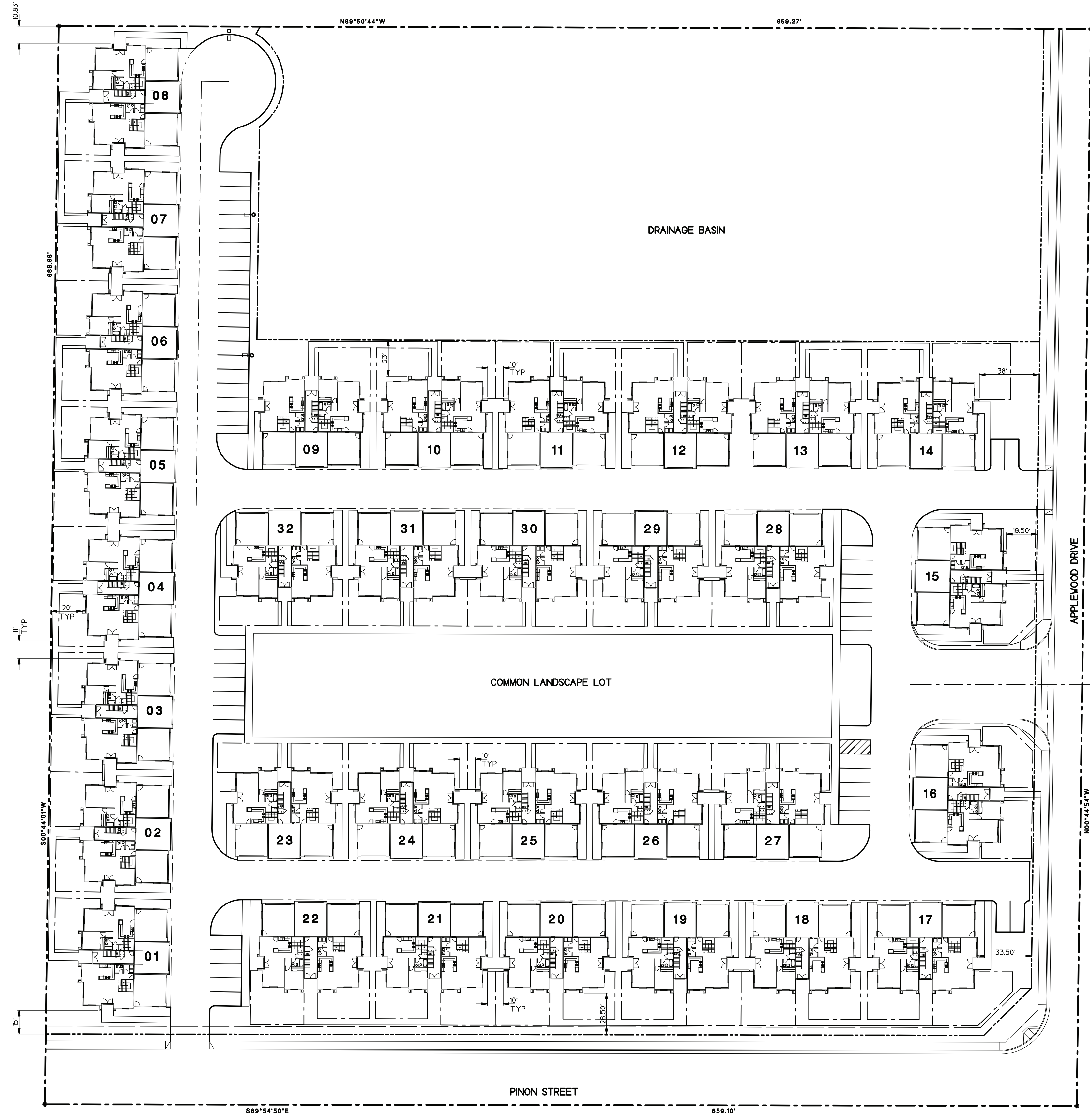
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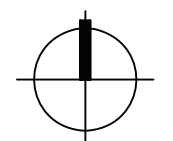
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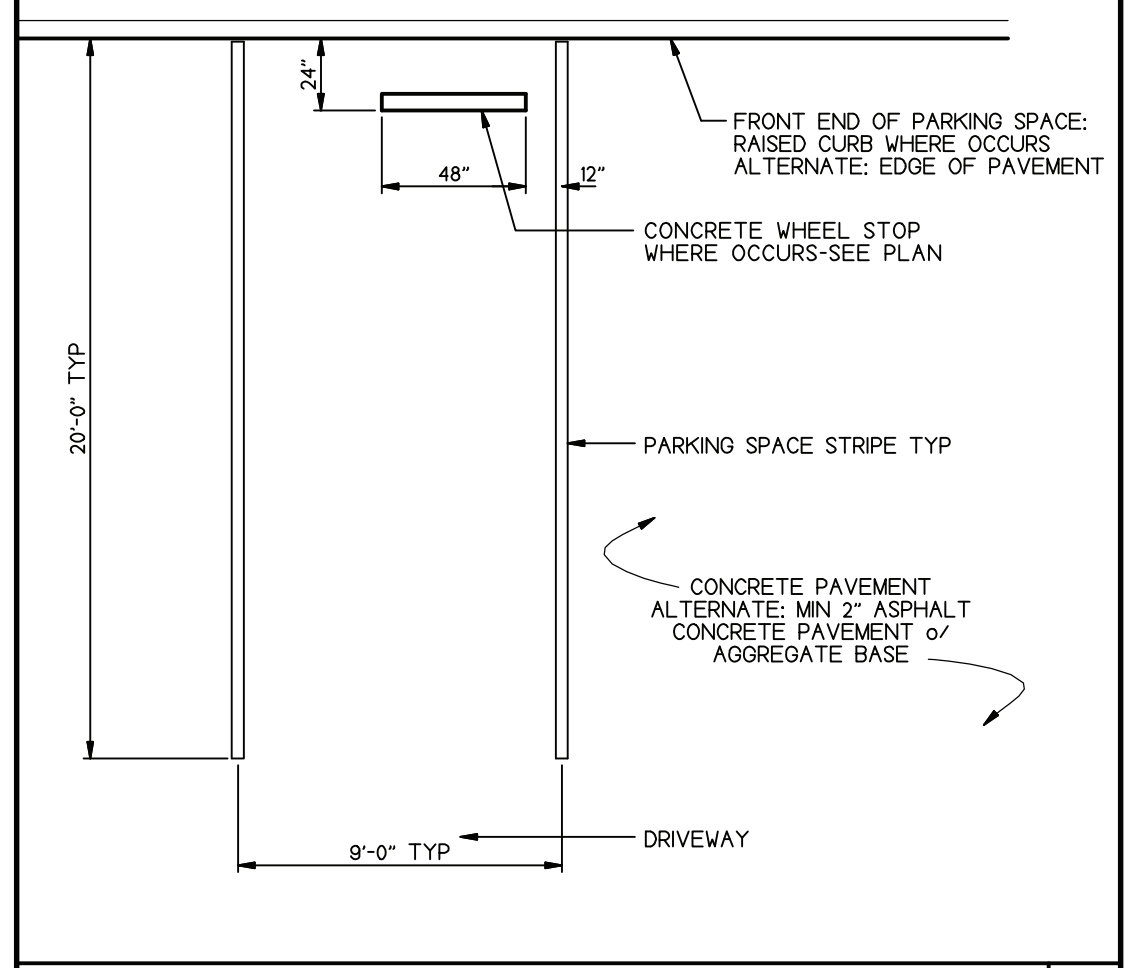


SITE PLAN

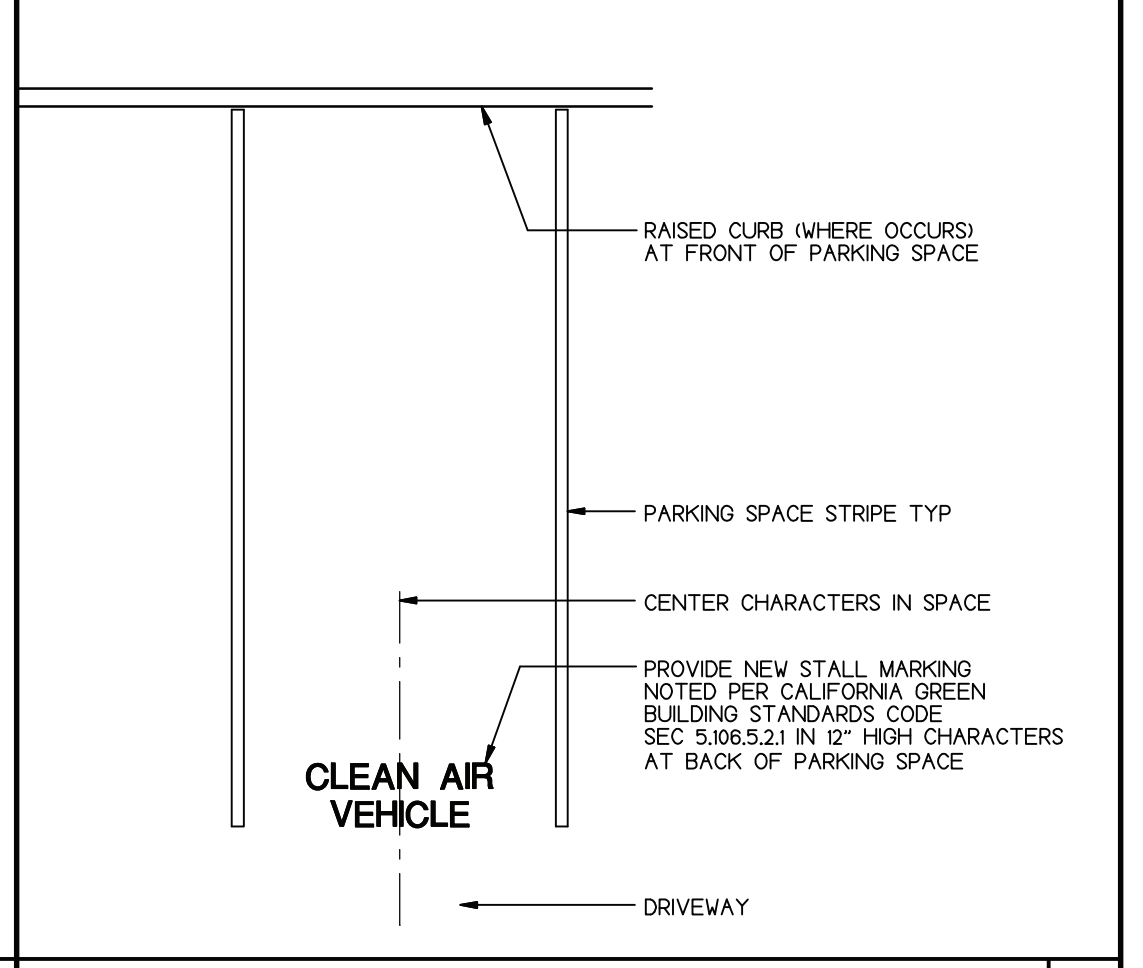


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| 1. | TRACT 4854 BOUNDARY |
| 2. | INTERIOR PROPERTY LINE TYPICAL |
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| 4. | PUBLIC UTILITY EASEMENT |
| 5. | EXISTING CURB AND GUTTER |
| 6. | EXISTING CURB RETURN AND NEW ACCESSIBLE CURB RAMP |
| 7. | NEW CONCRETE SIDEWALK PER CITY STANDARDS |
| 8. | EXISTING TWO STORY RESIDENTIAL DWELLING UNITS |
| 9. | LOCATION OF PROPOSED NEW LOT LINE UNDER SEPARATE INSTRUMENT |
| 10. | EXISTING FIRE HYDRANT |
| 11. | EXISTING STREET LIGHT |
| 12. | EXISTING WALL/FENCE |
| 13. | PROPOSED RESIDENTIAL DWELLING UNIT; SEE TABLE THIS SHEET |
| 14. | NEW CONCRETE SIDEWALK |
| 15. | NEW ASPHALT CONCRETE PAVING |
| 16. | STANDARD PARKING SPACE: 8'x20' TYPICAL |
| 17. | ACCESSIBLE PARKING SPACE AND OFF LOAD |
| 18. | NEW CURB RAMP |
| 19. | NEW RAISED CONCRETE CURB |
| 20. | REFUSE BIN ENCLOSURE |
| 21. | POLE MOUNTED LED PARKING LOT LIGHT FIXTURE ON CONCRETE BASE |
| 22. | PEDESTAL WALKWAY LED LIGHT FIXTURE |
| 23. | PICNIC AREA; SEE LANDSCAPE PLAN |
| 24. | TOT LOT; SEE LANDSCAPE PLAN |
| 25. | |
| 26. | |
| 27. | |
| 28. | LANDSCAPE AREA (LS) |

PLAN NOTES 2



TYPICAL PARKING SPACE 3/16" 3



"CLEAN AIR VEHICLE" 3/16" 4

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PROJECT
Pinon Townhome Estates
 NWC Pinon Street and Applewood Drive
 Parcel 1; Parcel Map 6507
 APN 416-500-01
 Tehachapi, California

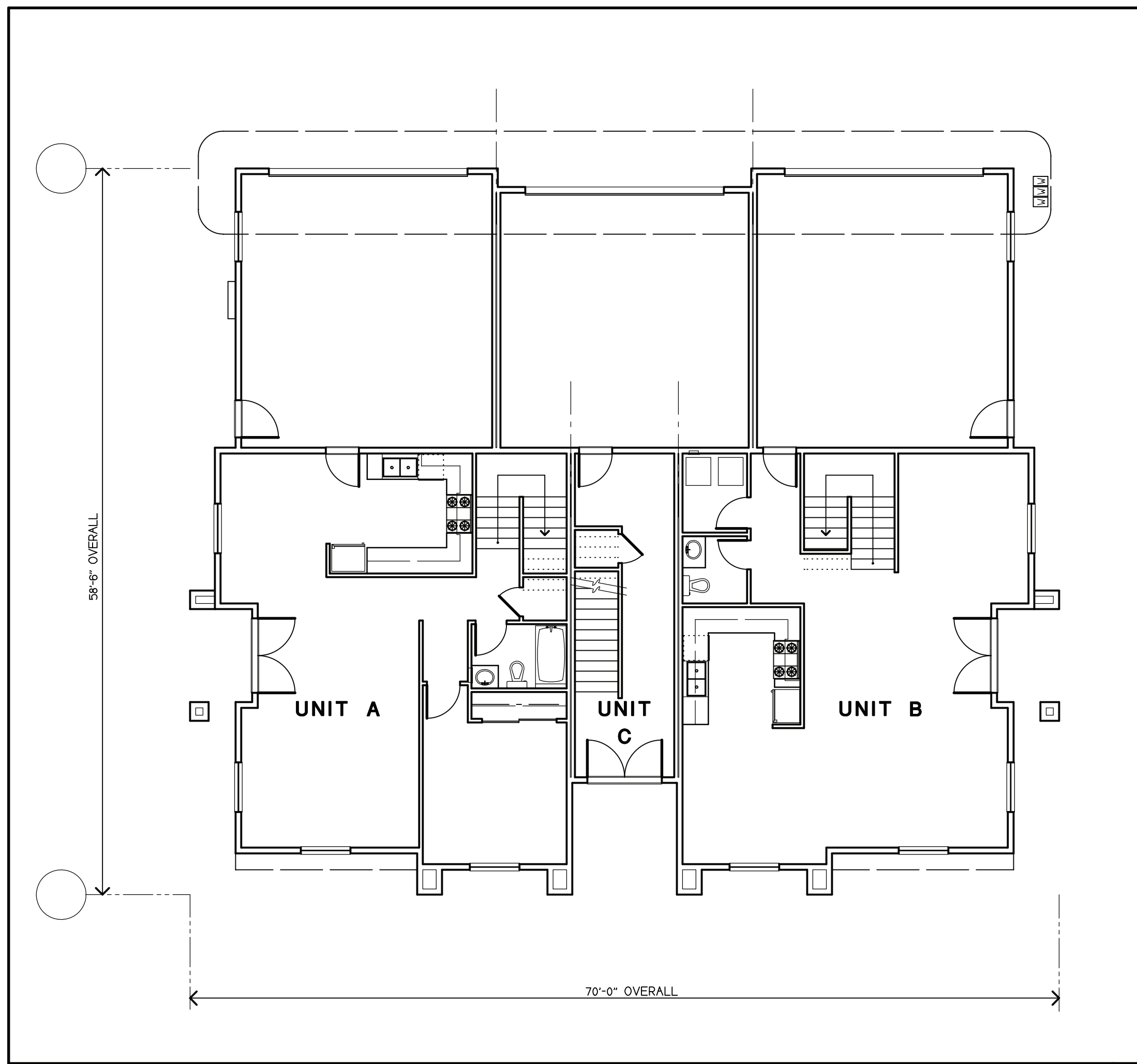
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SITE PLAN

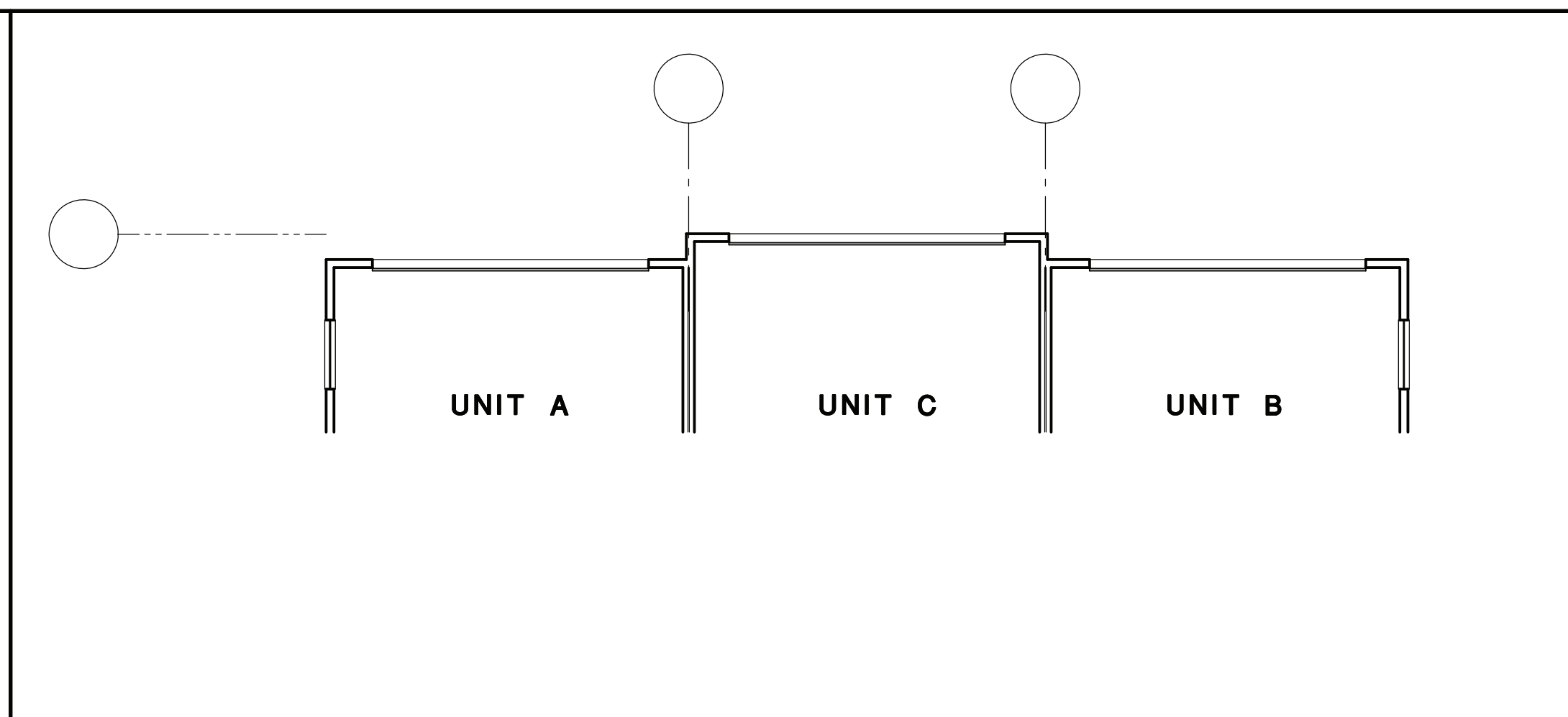
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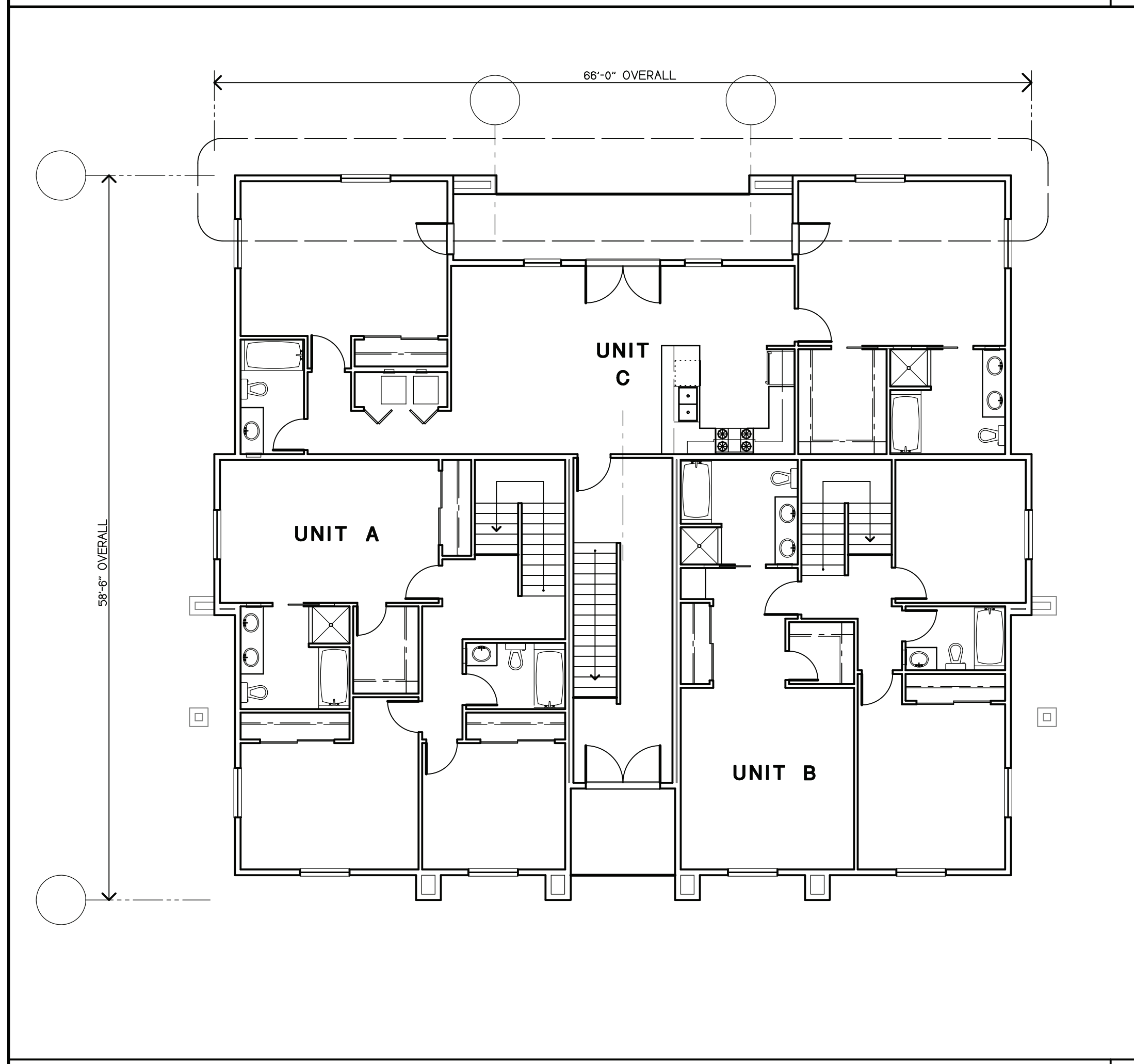
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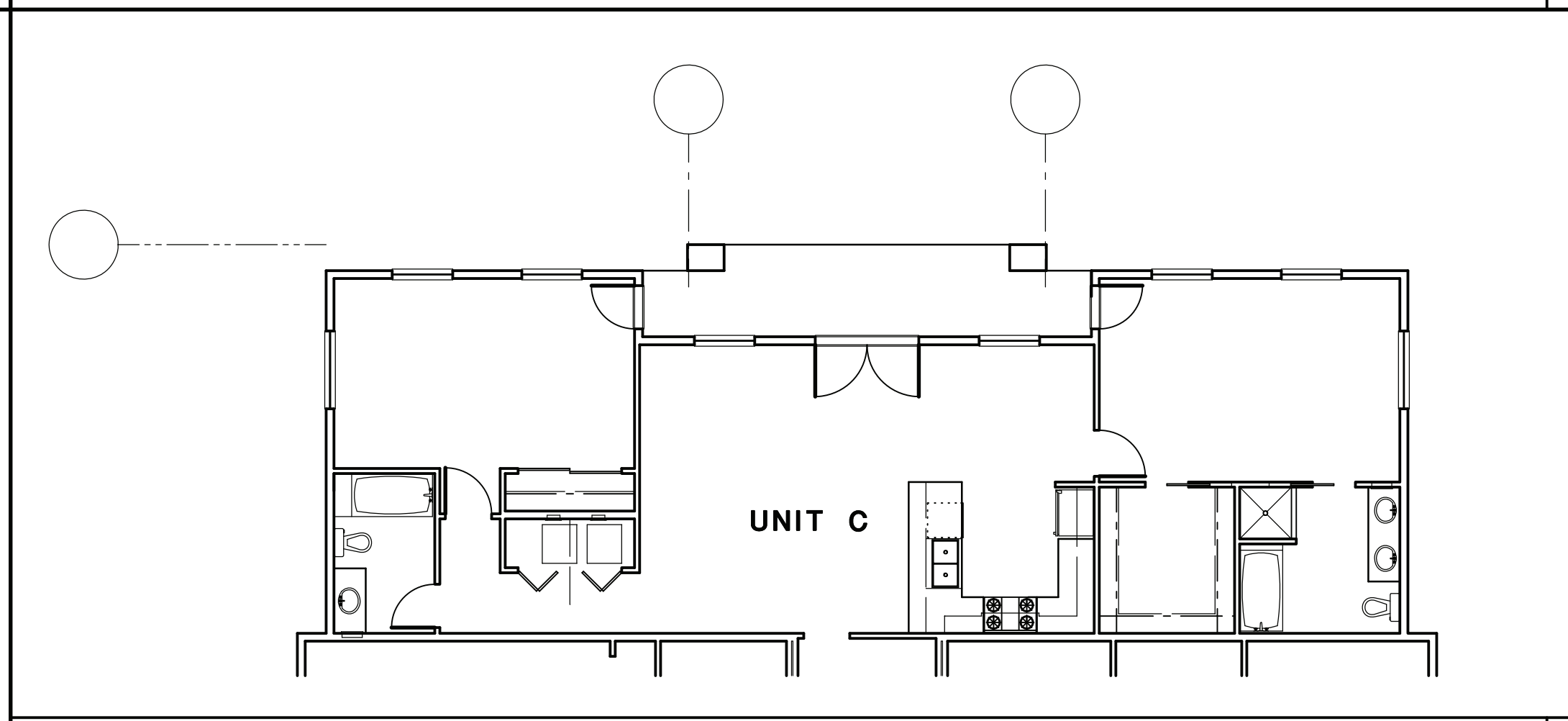
GROUND FLOOR PLAN (A) 1/8" A



PARTIAL GROUND FLOOR PLAN (B AND C) 1/8" C



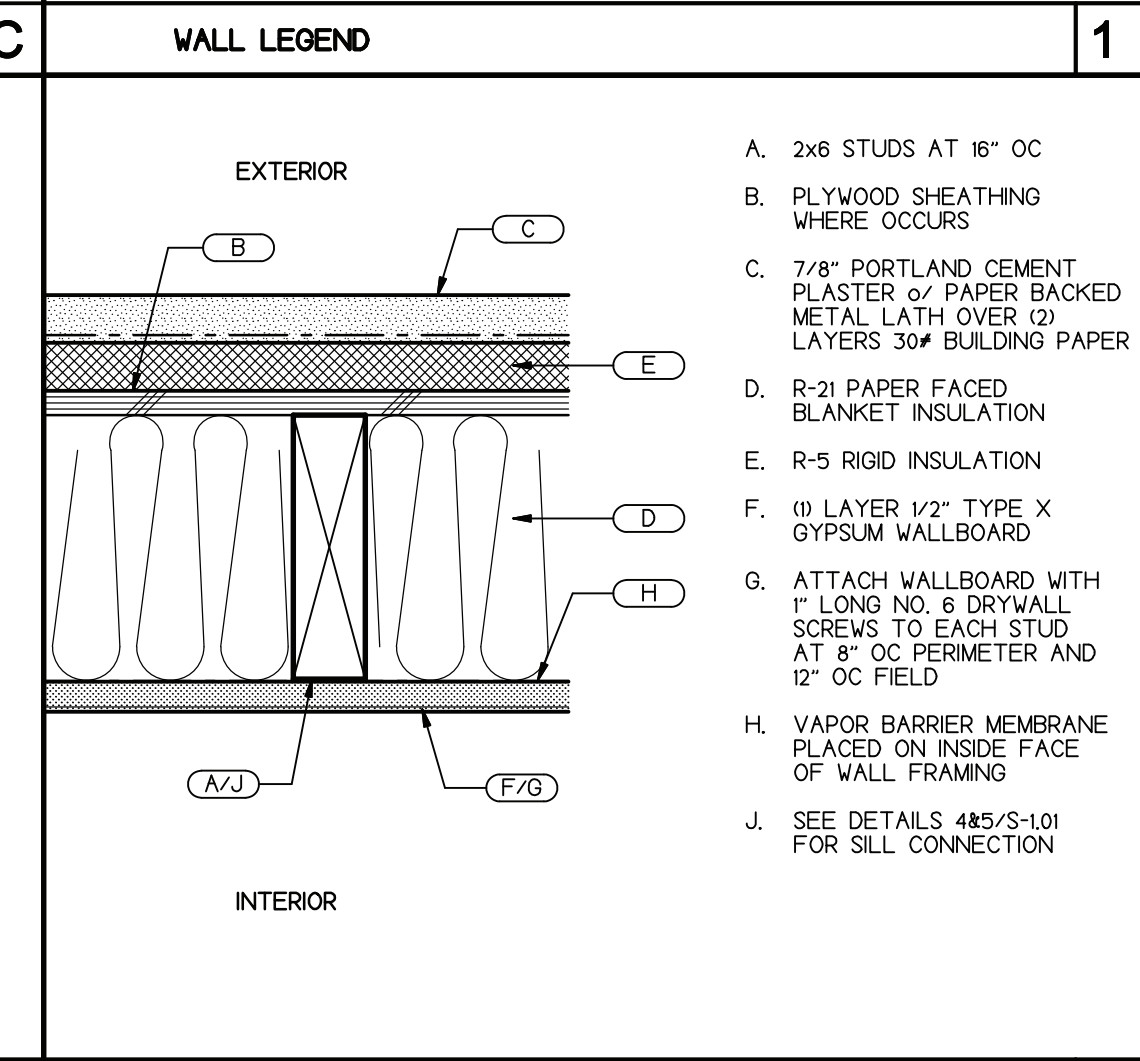
SECOND FLOOR PLAN (A) 1/8" B



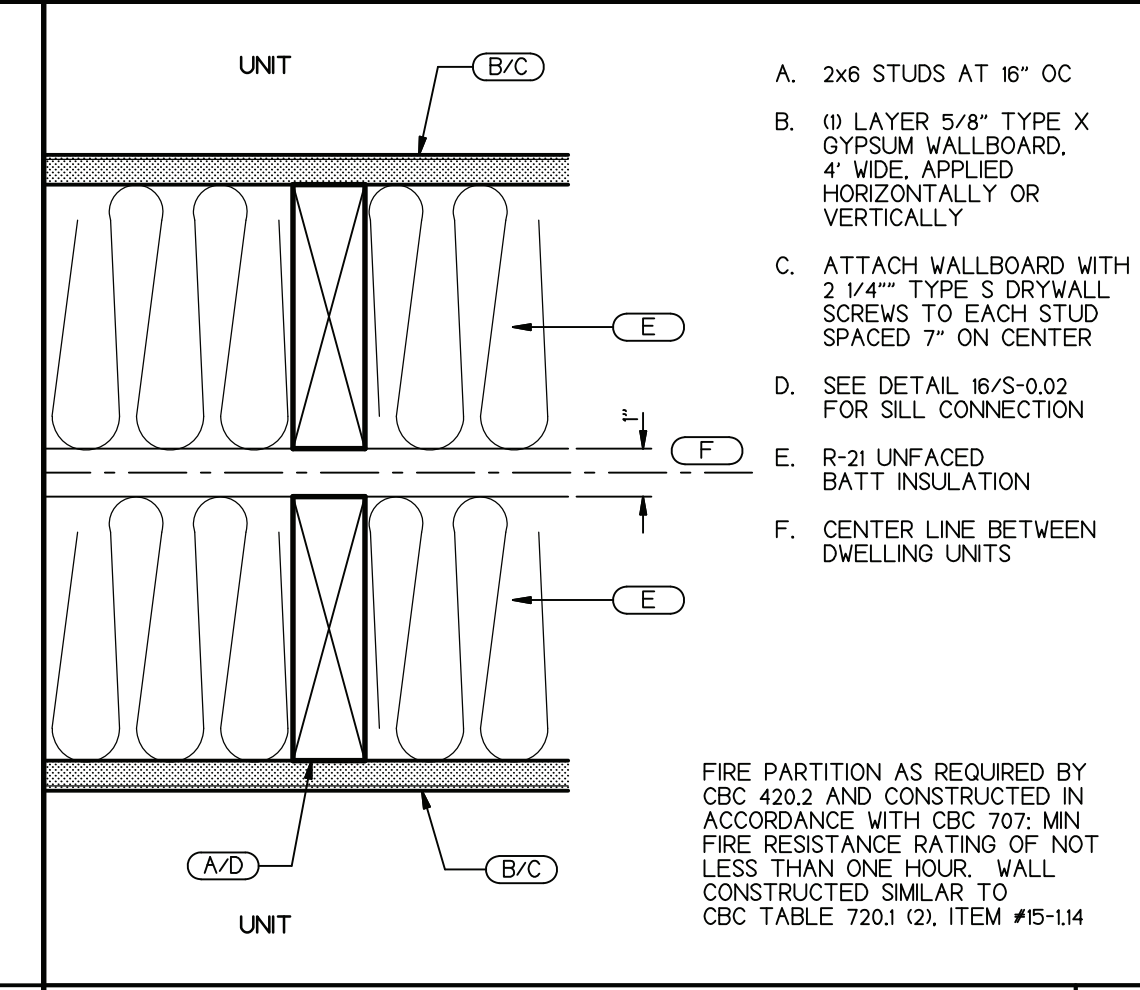
PARTIAL SECOND FLOOR PLAN (B AND C) 1/8" E

| TYPE | LOCATION | FIRE RESISTIVE CONSTRUCTION | SECTION |
|------|-----------------------------------|--|----------|
| 1 | EXTERIOR: | 2x4 STUDS AT 16" OC EXTERIOR: CEMENT PLASTER FINISH INTERIOR: 1/2" GYPSUM WALLBOARD PROVIDE R-5 BATT INSULATION IN WALL CAVITY. SEE PLAN FOR LOCATION OF PLYWOOD SHEAR WALL | 2/A-2.01 |
| 2 | INTERIOR: DEMISING FIRE PARTITION | DOUBLE 2x6 STUDS AT 16" OC ON SEPARATE SILL WITH 5/8" GYPSUM WALLBOARD INTERIOR SIDE AND R-5 BATT INSULATION IN WALL CAVITY | 3/A-2.01 |
| 3 | INTERIOR: | 2x4 STUDS AT 16" OC WITH 1/2" GYPSUM WALLBOARD EACH SIDE | 4/A-2.01 |

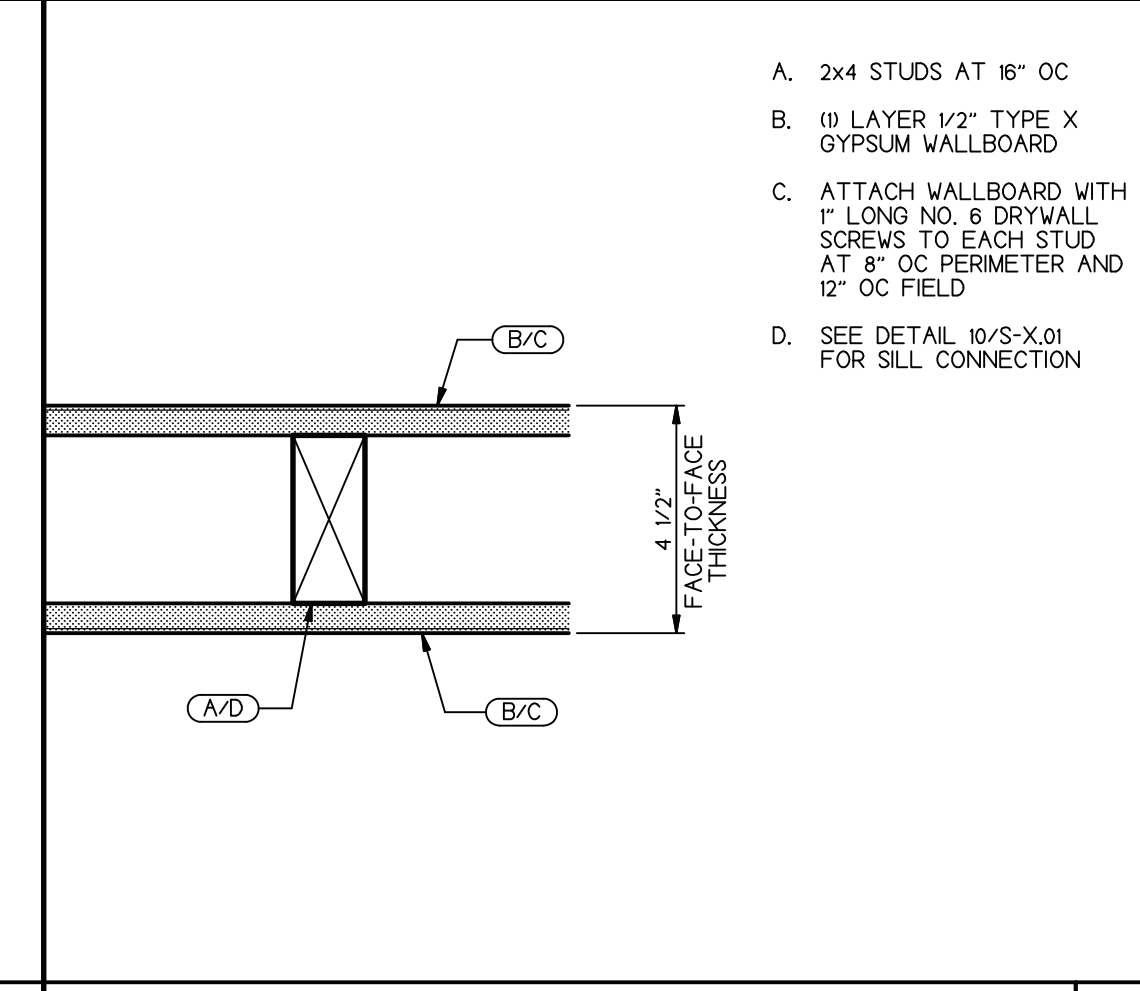
| TYPE | LOCATION | FIRE RESISTIVE CONSTRUCTION | SECTION |
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| 1 | EXTERIOR: | 2x4 STUDS AT 16" OC EXTERIOR: CEMENT PLASTER FINISH INTERIOR: 1/2" GYPSUM WALLBOARD PROVIDE R-5 BATT INSULATION IN WALL CAVITY. SEE PLAN FOR LOCATION OF PLYWOOD SHEAR WALL | 2/A-2.01 |
| 2 | INTERIOR: DEMISING FIRE PARTITION | DOUBLE 2x6 STUDS AT 16" OC ON SEPARATE SILL WITH 5/8" GYPSUM WALLBOARD INTERIOR SIDE AND R-5 BATT INSULATION IN WALL CAVITY | 3/A-2.01 |
| 3 | INTERIOR: | 2x4 STUDS AT 16" OC WITH 1/2" GYPSUM WALLBOARD EACH SIDE | 4/A-2.01 |



WALL TYPE 1: EXTERIOR WALL 2



WALL TYPE 2: DEMISING/FIRE PARTITION 3



WALL TYPE 3: INTERIOR 4

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ELEVATION A

PROJECT
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Parcel 1; Parcel Map 6507
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Tehachapi, California

TRI-PLEX

OVERALL FLOOR PLANS

AD & SPR 2022-11

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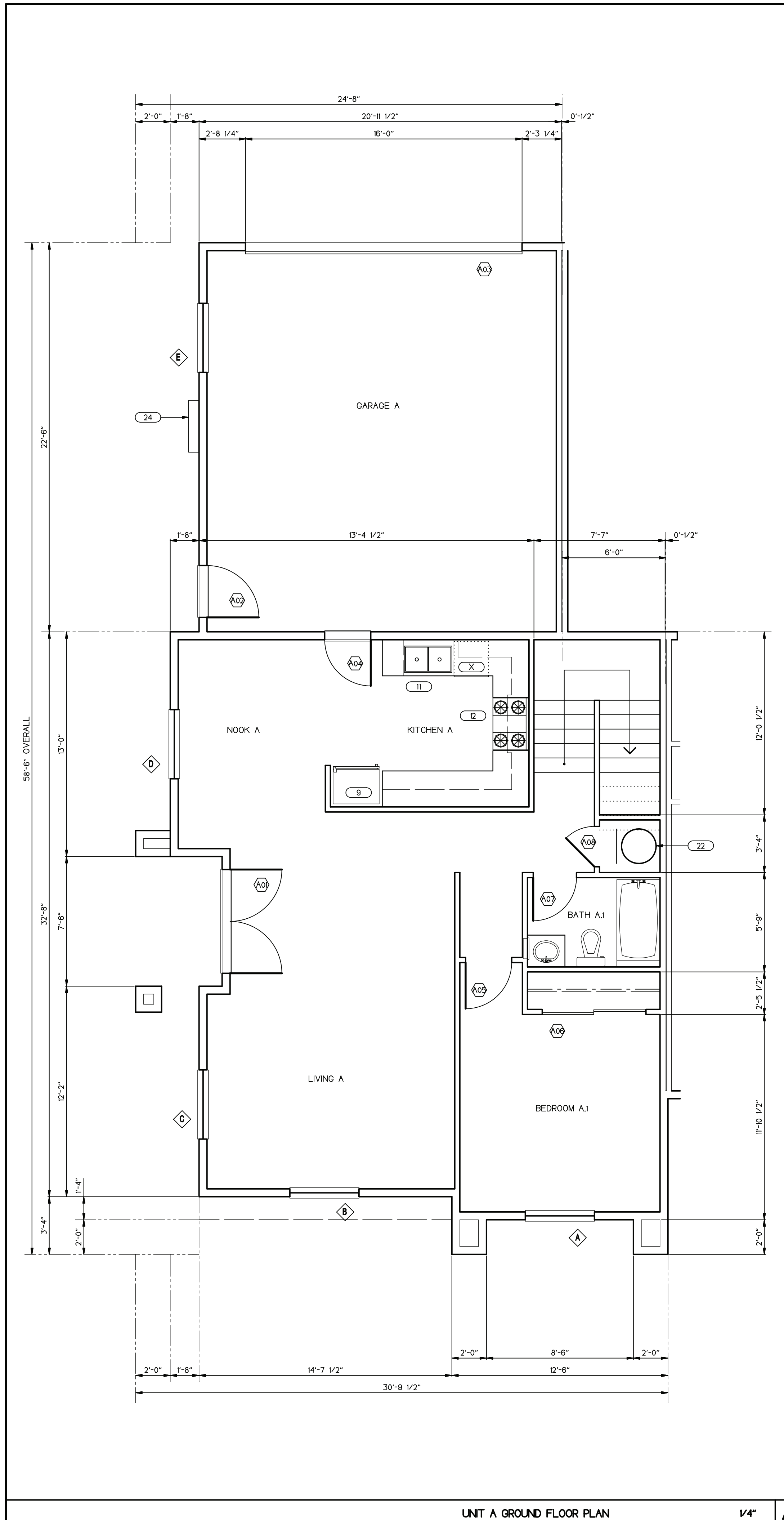
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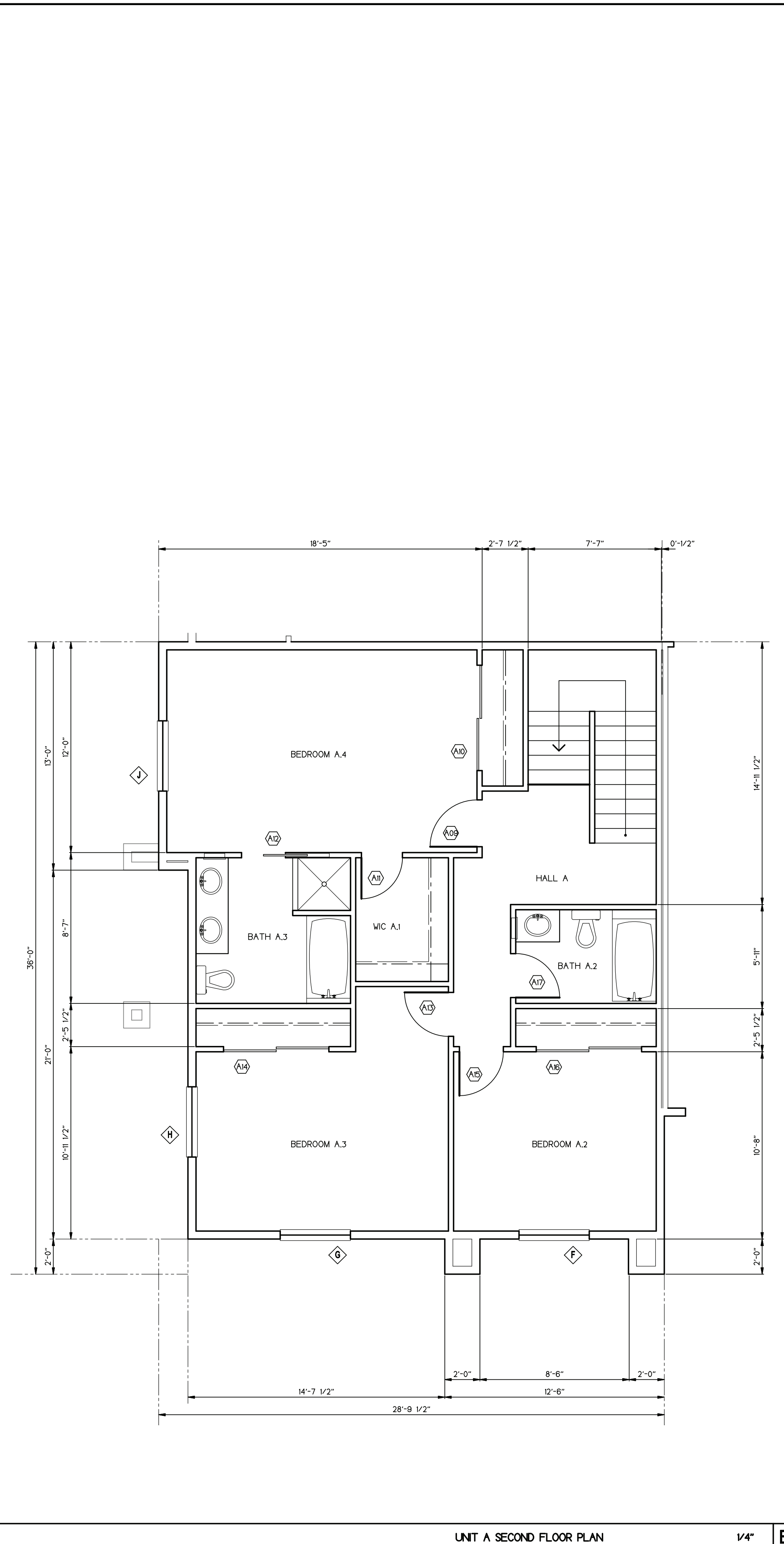
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ARCHITECTURAL



UNIT A GROUND FLOOR PLAN 1/4" A



UNIT A SECOND FLOOR PLAN 1/4" B

| | |
|-----|--|
| 1. | INTERIOR LOT LINE |
| 2. | STAIRWAY; SEE SHEET A-X.0X |
| 3. | GUARD; SEE DETAIL X/A-X.0X |
| 4. | LINE OF ROOF BELOW |
| 5. | |
| 6. | 18" DEEP x 24" LONG WIRE SHELF ON METAL BRACKET(S) |
| 7. | STACKED WASHER/DRYER SPACE AND VENT THRU ROOF |
| 8. | SOLID SURFACE COUNTER TOP |
| 9. | REFRIGERATOR SPACE |
| 10. | COOK TOP WITH OVEN BELOW/MICROWAVE ABOVE |
| 11. | SINK WITH DISPOSER |
| 12. | LINE OF UPPER CABINETS |
| 13. | LINE OF CASEWORK BELOW |
| 14. | PANTRY CASEWORK WITH ADJUSTABLE SHELVES |
| 15. | COMBINATION TUB/SHOWER |
| 16. | CERAMIC TILE SHOWER; PROVIDE GLASS MAT, GYPSUM BACKING PANEL (ASTM C178), FIBER-REINFORCED GYPSUM PANELS (ASTM C1278), NON-ASBESTOS FIBER-CEMENT BACKER BOARD (ASTM D288 OR ISO 8336, CATEGORY C) OR NON-ASBESTOS FIBER MAT REINFORCED CEMENTITIOUS BACKER UNITS (ASTM C1325) AS A BASE FOR WALL TILES IN TUB AND SHOWER AREAS |
| 17. | CERAMIC TILE SHOWER (SEE NOTE 16) WITH TEMPERED GLASS ENCLOSURE AND 24" WIDE TEMPERED GLASS DOOR |
| 18. | RECESSED MEDICINE CABINET |
| 19. | LINEN CASEWORK WITH ADJUSTABLE SHELVES |
| 20. | SHELF AND POLE |
| 21. | RESERVED |
| 22. | ELECTRIC WATER HEATER TANK |
| 23. | WATER METER TYP 3 |
| 24. | ELECTRICAL METER/PANEL |

PLAN NOTES X D

PROVISIONS FOR EMERGENCY ESCAPE AND RESCUE OPENINGS FOR SLEEPING ROOMS IN GROUP R OCCUPANCIES (IBC SECTION 1030.1)

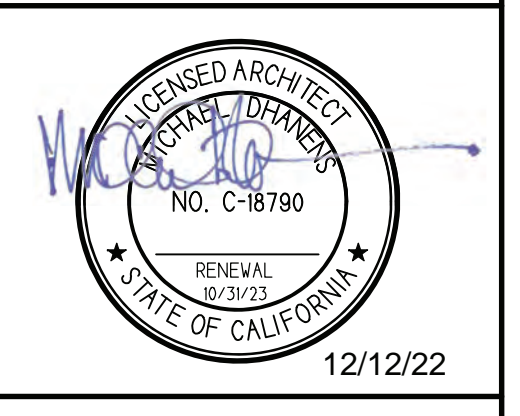
- MINIMUM NET CLEAR OPENING FOR GRADE-LEVEL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE 5 SQUARE FEET (IBC 1030.2; EXCEPTION)
- MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24 INCHES. MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20 INCHES (IBC 1030.2.1)
- BOTTOM OF THE CLEAR OPENING FOR EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE NO GREATER THAN 44 INCHES MEASURED FROM THE FLOOR (IBC 1030.3)

| NO | WIDTH | HEIGHT | | NO | WIDTH | HEIGHT | |
|----|-------|--------|----------------------|----|-------|--------|----------------------|
| A | 4'-0" | 5'-0" | SINGLE HUNG (EGRESS) | F | 4'-0" | 5'-0" | SINGLE HUNG (EGRESS) |
| B | 4'-0" | 5'-0" | SINGLE HUNG | G | 4'-0" | 5'-0" | SINGLE HUNG (EGRESS) |
| C | 4'-0" | 5'-0" | SINGLE HUNG | H | 4'-0" | 5'-0" | SINGLE HUNG (EGRESS) |
| D | 4'-0" | 5'-0" | SINGLE HUNG | J | 4'-0" | 5'-0" | SINGLE HUNG (EGRESS) |
| E | 4'-0" | 5'-0" | SINGLE HUNG | | | | |

| WINDOW SCHEDULE E | | | | | | |
|-------------------|------------------|--------|---------|-------|-----------------|--|
| NO | DOOR | | | FRAME | COMMENTS | |
| | SIZE | THICK | MATL | | | |
| A01 | 6'-0"x8'-8" | 1 3/4" | STEEL | WOOD | ENTRY | |
| A02 | 3'-0"x6'-8" | 1 3/4" | STEEL | WOOD | GARAGE | |
| A03 | 16'-0"x6'-8" | | STEEL | WOOD | GARAGE | |
| A04 | 2'-8"x6'-8" | 1 3/8" | SC WOOD | WOOD | 20 MIN RATED | |
| A05 | 2'-8"x6'-8" | 1 3/8" | HC WOOD | WOOD | | |
| A06 | PAIR 3'-0"x6'-8" | 1 3/8" | HC WOOD | --- | BI-PASS; CLOSET | |
| A07 | 2'-6"x6'-8" | 1 3/8" | HC WOOD | WOOD | PRIVACY LOCK | |
| A08 | 2'-4"x6'-8" | 1 3/8" | HC WOOD | WOOD | W/ LOUVER | |
| A09 | 2'-8"x6'-8" | 1 3/8" | HC WOOD | WOOD | | |
| A10 | PAIR 3'-0"x6'-8" | 1 3/8" | HC WOOD | --- | BI-PASS; CLOSET | |
| A11 | 2'-4"x6'-8" | 1 3/8" | HC WOOD | WOOD | | |
| A12 | 2'-6"x6'-8" | 1 3/8" | HC WOOD | --- | POCKET | |
| A13 | 2'-6"x6'-8" | 1 3/8" | HC WOOD | WOOD | | |
| A14 | PAIR 3'-0"x6'-8" | 1 3/8" | HC WOOD | --- | BI-PASS; CLOSET | |
| A15 | 2'-6"x6'-8" | 1 3/8" | HC WOOD | WOOD | | |
| A16 | PAIR 3'-0"x6'-8" | 1 3/8" | HC WOOD | --- | BI-PASS; CLOSET | |
| A17 | 2'-6"x6'-8" | 1 3/8" | HC WOOD | WOOD | PRIVACY LOCK | |

DOOR SCHEDULE F

MICHAEL DHANENS ARCHITECT
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 BAKERSFIELD, CALIFORNIA
 93308
 C-18790



ELEVATION A

PROJECT
 Piñon Townhome Estates
 NWC Piñon Street and Applewood Drive
 Parcel 1; Parcel Map 6507
 APN 416-500-01
 Tehachapi, California

TRI-PLEX

UNIT A PLANS

AD & SPR 2022-11

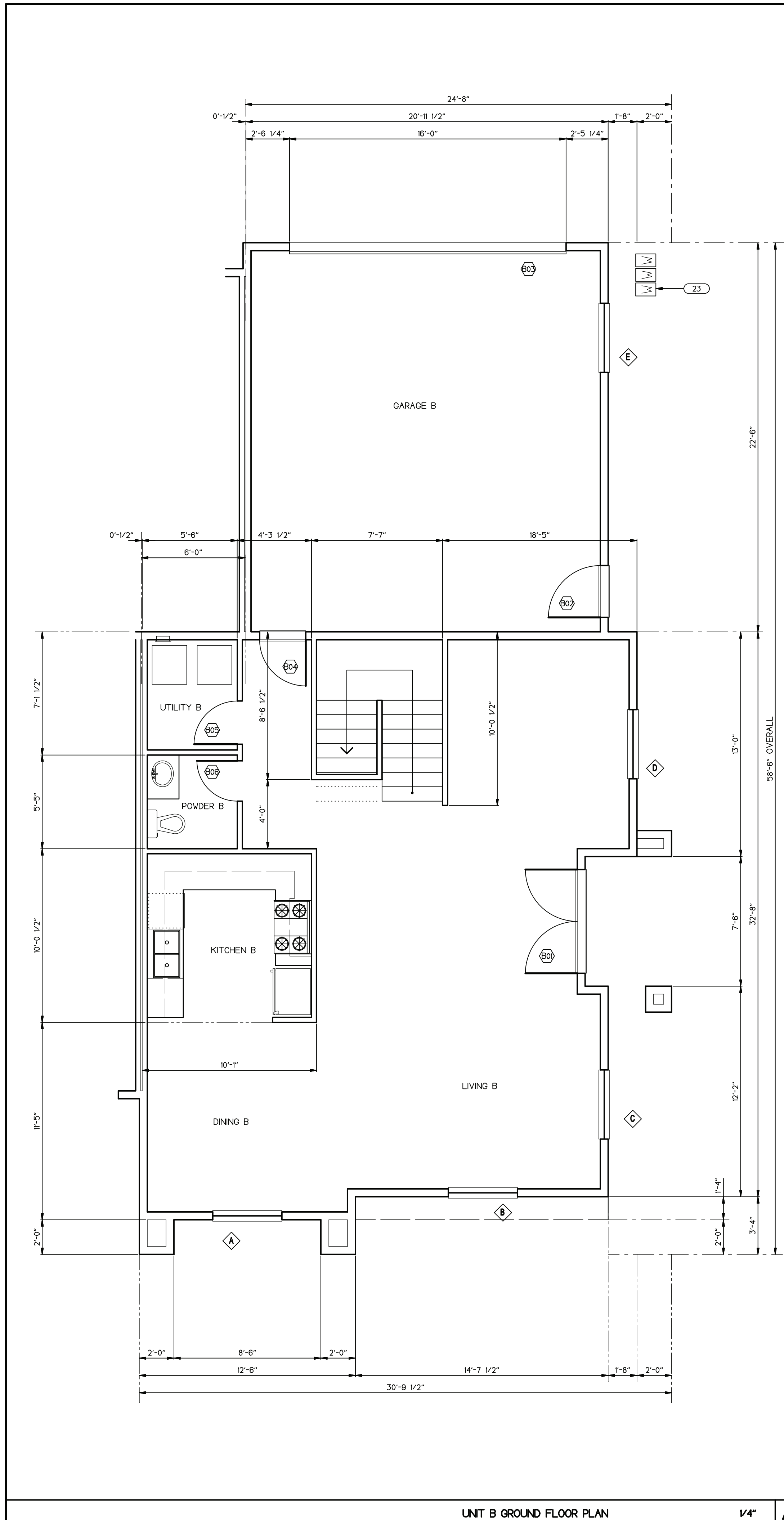
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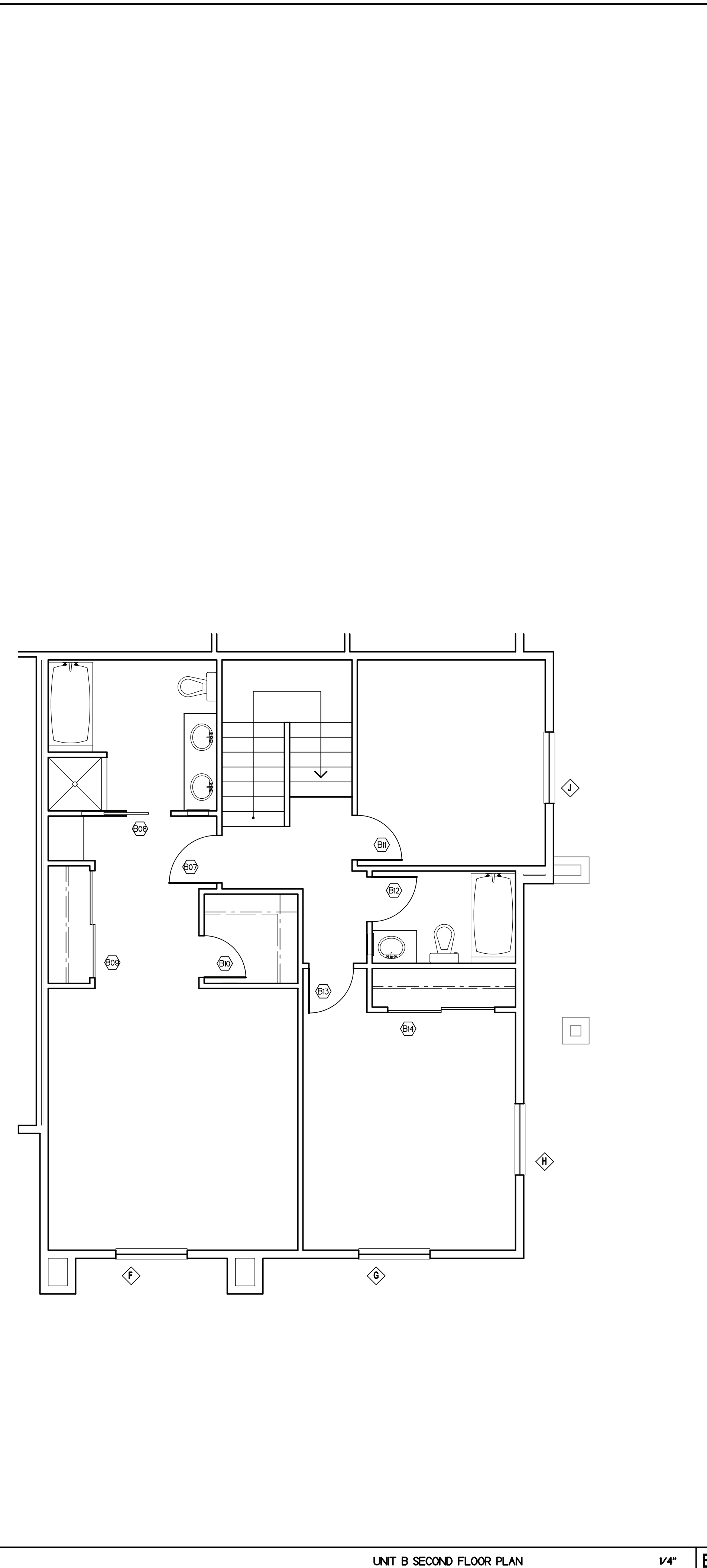
DATE 12/12/22 **SHEET**

DRAWN

PROJECT NUMBER 976.02 **A-3.01** **ARCHITECTURAL**



UNIT B GROUND FLOOR PLAN 1/4" A



UNIT B SECOND FLOOR PLAN 1/4" B

| | |
|-----|--|
| 1. | INTERIOR LOT LINE |
| 2. | STAIRWAY; SEE SHEET A-X.0X |
| 3. | GUARD; SEE DETAIL X/A-X.0X |
| 4. | LINE OF ROOF BELOW |
| 5. | WASHER SPACE |
| 6. | DRYER SPACE AND VENT THRU ROOF |
| 7. | STACKED WASHER/DRYER SPACE AND VENT THRU ROOF |
| 8. | SOLID SURFACE COUNTER TOP |
| 9. | REFRIGERATOR SPACE |
| 10. | COOK TOP WITH OVEN BELOW/MICROWAVE ABOVE |
| 11. | SINK WITH DISPOSER |
| 12. | LINE OF UPPER CABINETS |
| 13. | LINE OF CASEWORK BELOW |
| 14. | PANTRY CASEWORK WITH ADJUSTABLE SHELVES |
| 15. | COMBINATION TUB/SHOWER |
| 16. | CERAMIC TILE SHOWER; PROVIDE GLASS MAT, GYPSUM BACKING PANEL (ASTM C178), FIBER-REINFORCED GYPSUM PANELS (ASTM C1278), NON-ASBESTOS FIBER-CEMENT BACKER BOARD (ASTM D288 OR ISO 8336, CATEGORY C) OR NON-ASBESTOS FIBER MAT REINFORCED CEMENTITIOUS BACKER UNITS (ASTM C1325) AS A BASE FOR WALL TILES IN TUB AND SHOWER AREAS |
| 17. | CERAMIC TILE SHOWER (SEE NOTE 16) WITH TEMPERED GLASS ENCLOSURE AND 24" WIDE TEMPERED GLASS DOOR |
| 18. | RECESSED MEDICINE CABINET |
| 19. | LINEN CASEWORK WITH ADJUSTABLE SHELVES |
| 20. | SHELF AND POLE |
| 21. | RESERVED |
| 22. | TANKLESS WATER HEATER |
| 23. | WATER METER TYP 3 |
| 24. | ELECTRICAL METER/PANEL |

PLAN NOTES X D

PROVISIONS FOR EMERGENCY ESCAPE AND RESCUE OPENINGS FOR SLEEPING ROOMS IN GROUP R OCCUPANCIES (IBC SECTION 1030)

- MINIMUM NET CLEAR OPENING FOR GRADE-FLOOR EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE 5 SQUARE FEET (IBC 1030.2; EXCEPTION)
- MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24 INCHES. MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20 INCHES (IBC 1030.2.1)
- BOTTOM OF THE CLEAR OPENING FOR EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE NO GREATER THAN 44 INCHES MEASURED FROM THE FLOOR (IBC 1030.3)

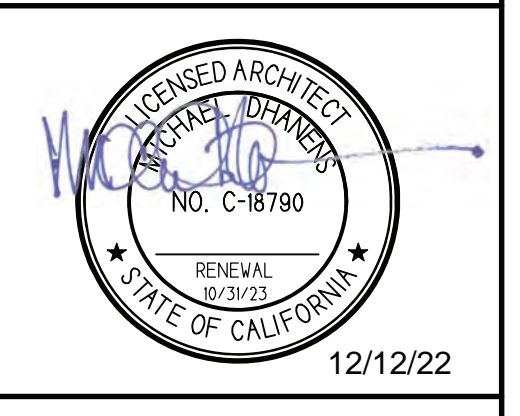
| NO | WIDTH | HEIGHT | | NO | WIDTH | HEIGHT | |
|----|-------|--------|----------------------|----|-------|--------|----------------------|
| A | 4'-0" | 5'-0" | SINGLE HUNG (EGRESS) | F | 4'-0" | 5'-0" | SINGLE HUNG (EGRESS) |
| B | 4'-0" | 5'-0" | SINGLE HUNG | G | 4'-0" | 5'-0" | SINGLE HUNG (EGRESS) |
| C | 4'-0" | 5'-0" | SINGLE HUNG | H | 4'-0" | 5'-0" | SINGLE HUNG (EGRESS) |
| D | 4'-0" | 5'-0" | SINGLE HUNG | J | 4'-0" | 5'-0" | SINGLE HUNG (EGRESS) |
| E | 4'-0" | 5'-0" | SINGLE HUNG | | | | |

WINDOW SCHEDULE E

| NO | DOOR | | | FRAME | COMMENTS |
|------------|---------------------|--------|---------|-------|-----------------|
| | SIZE | THICK | MAT'L | | |
| B01 | 6'-0"x8'-8" | 1 3/4" | STEEL | WOOD | ENTRY |
| B02 | 3'-0"x6'-8" | 1 3/4" | STEEL | WOOD | GARAGE |
| B03 | 16'-0"x6'-8" | | STEEL | WOOD | GARAGE |
| B04 | 2'-8"x6'-8" | 1 3/8" | SC WOOD | WOOD | 20 MIN RATED |
| B05 | 2'-6"x6'-8" | 1 3/8" | HC WOOD | WOOD | W/ LOUVER |
| B06 | 2'-4"x6'-8" | 1 3/8" | HC WOOD | WOOD | PRIVACY LOCK |
| B07 | 2'-8"x6'-8" | 1 3/8" | HC WOOD | WOOD | |
| B08 | 2'-6"x6'-8" | 1 3/8" | HC WOOD | --- | POCKET |
| B09 B14 | PAIR 3'-0"x6'-8" | 1 3/8" | HC WOOD | --- | BI-PASS; CLOSET |
| B10 | 2'-4"x6'-8" | 1 3/8" | HC WOOD | WOOD | |
| B11 | 2'-6"x6'-8" | 1 3/8" | HC WOOD | WOOD | |
| B12 | 2'-6"x6'-8" | 1 3/8" | HC WOOD | WOOD | PRIVACY LOCK |
| B13 | 2'-6"x6'-8" | 1 3/8" | HC WOOD | WOOD | |
| B15 | | | | | |

DOOR SCHEDULE F

MICHAEL DHANENS ARCHITECT
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 BAKERSFIELD, CALIFORNIA
 93308
 C-18790



ELEVATION A

PROJECT
 Piñon Townhome Estates
 NWC Piñon Street and Applewood Drive
 Parcel 1; Parcel Map 6507
 APN 416-500-01
 Tehachapi, California

TRI-PLEX

UNIT B PLANS

AD & SPR 2022-11
PERMIT B22-

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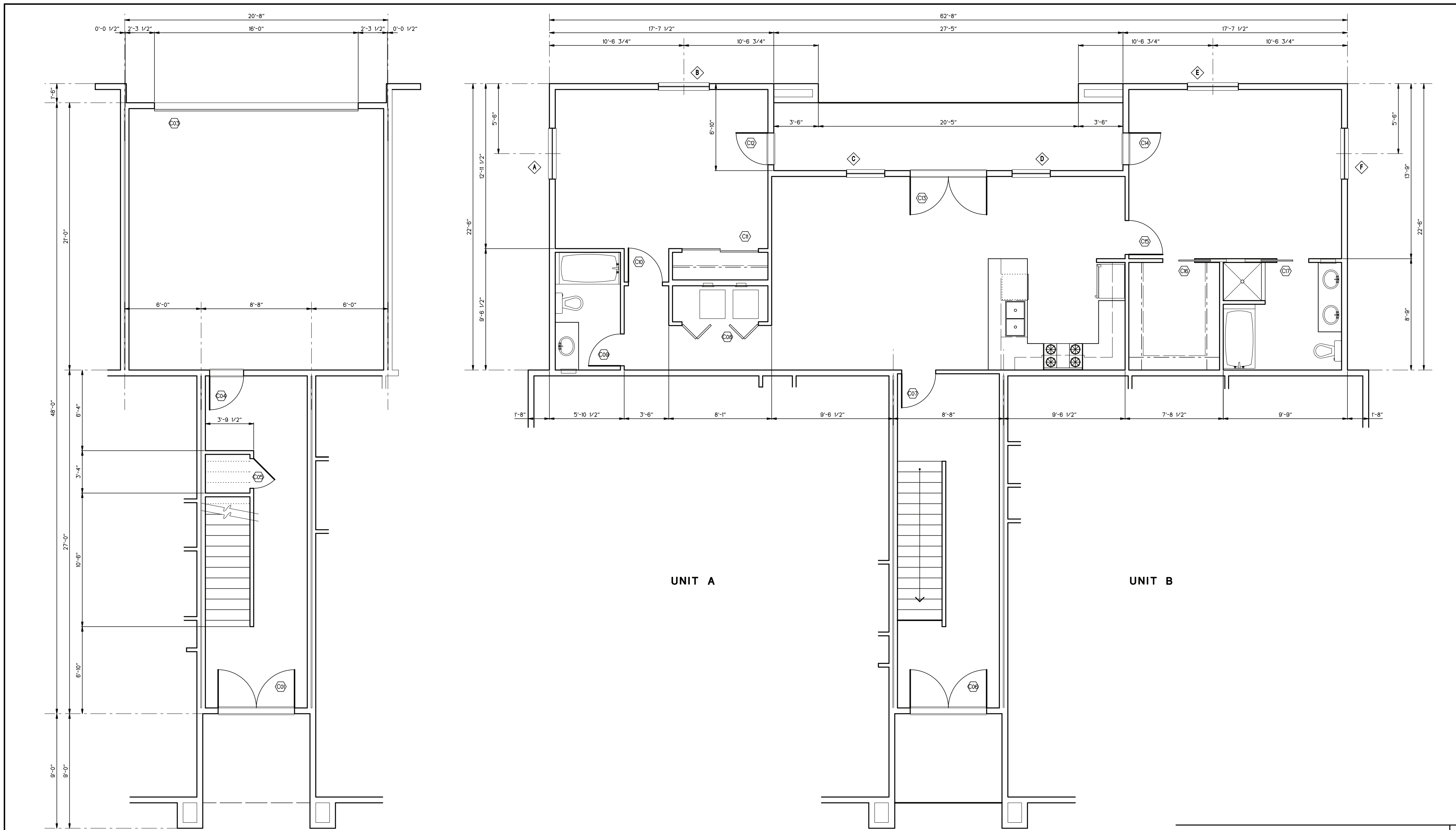
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DATE 12/12/22 **SHEET**

DRAWN

PROJECT NUMBER 976.02 **A-3.02**

ARCHITECTURAL



| | | | |
|-----|---|-----|---|
| 1. | INTERIOR LOT LINE | 16. | CERAMIC TILE SHOWER; PROVIDE GLASS MAT GYPSUM BACKING PANEL (ASTM C178); FIBER-REINFORCED GYPSUM PANELS (ASTM C1278); NON-ASBESTOS FIBER-CEMENT BACKER BOARD (ASTM D288 OR ISO 8336, CATEGORY C) OR NON-ASBESTOS FIBER MAT REINFORCED CEMENTITIOUS BACKER UNITS (ASTM C1325) AS A BASE FOR WALL TILES IN TUB AND SHOWER AREAS |
| 2. | STAIRWAY; SEE SHEET A-X.0X | 17. | CERAMIC TILE SHOWER (SEE NOTE 16) WITH TEMPERED GLASS ENCLOSURE AND 24" WIDE TEMPERED GLASS DOOR |
| 3. | GUARD; SEE DETAIL X/A-X.0X | 18. | RECESSED MEDICINE CABINET |
| 4. | LINE OF ROOF BELOW | 19. | LINEN CASEWORK WITH ADJUSTABLE SHELVES |
| 5. | WASHER SPACE | 20. | SHELF AND POLE |
| 6. | DRYER SPACE AND VENT THRU ROOF | 21. | RESERVED |
| 7. | STACKED WASHER/DRYER SPACE AND VENT THRU ROOF | 22. | TANKLESS WATER HEATER |
| 8. | SOLID SURFACE COUNTER TOP | 23. | CONDENSING UNIT |
| 9. | REFRIGERATOR SPACE | 24. | ELECTRICAL METER/PANEL |
| 10. | COOK TOP WITH OVEN BELOW/MICROWAVE ABOVE | | |
| 11. | SINK WITH DISPOSER | | |
| 12. | LINE OF UPPER CABINETS | | |
| 13. | LINE OF CASEWORK BELOW | | |
| 14. | PANTRY CASEWORK WITH ADJUSTABLE SHELVES | | |
| 15. | COMBINATION TUB/SHOWER | | |

| NO | WIDTH | HEIGHT | | NO | WIDTH | HEIGHT |
|----|-------|--------|-------------|----|-------|--------|
| A | 4'-0" | 5'-0" | SINGLE HUNG | | | |
| B | 4'-0" | 5'-0" | SINGLE HUNG | | | |
| C | 3'-0" | 6'-0" | SINGLE HUNG | | | |
| D | 3'-0" | 6'-0" | SINGLE HUNG | | | |
| E | 4'-0" | 5'-0" | SINGLE HUNG | | | |
| F | 4'-0" | 5'-0" | SINGLE HUNG | | | |

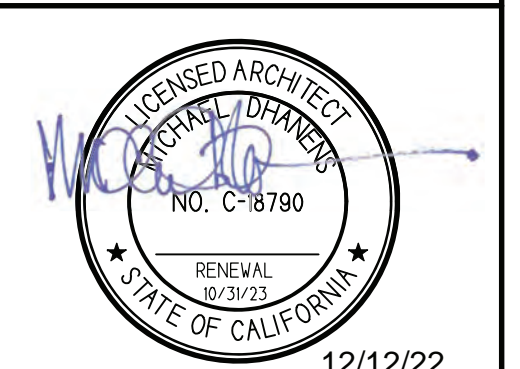
PROVISIONS FOR EMERGENCY ESCAPE AND RESCUE OPENINGS FOR SLEEPING ROOMS IN GROUP R OCCUPANCIES (CBC SECTION 1030)

- MINIMUM NET CLEAR OPENING FOR GRADE-FLOOR EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE 5 SQUARE FEET (CBC 1030.2; EXCEPTION)
- MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24 INCHES. MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20 INCHES (CBC 1030.2.D)
- BOTTOM OF THE CLEAR OPENING FOR EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE NO GREATER THAN 44 INCHES MEASURED FROM THE FLOOR (CBC 1030.3)

| NO | DOOR | | | FRAME | COMMENTS |
|-----|------------------|--------|---------|-------|-----------------|
| | SIZE | THICK | MATL | | |
| C01 | 6'-0"x8'-8" | 1 3/4" | STEEL | WOOD | ENTRY |
| C02 | NOT USED | | | | |
| C03 | 16'-0"x8'-8" | | STEEL | WOOD | GARAGE |
| C04 | 2'-8"x8'-8" | 1 3/8" | SC WOOD | WOOD | 20 MIN RATED |
| C05 | 2'-4"x8'-8" | 1 3/8" | HC WOOD | WOOD | W/ LOUVER |
| C06 | 6'-0"x8'-8" | 1 3/4" | STEEL | WOOD | BALCONY; FRENCH |
| C07 | 2'-8"x8'-8" | 1 3/8" | HC WOOD | WOOD | |
| C08 | | | | | |
| C09 | 2'-6"x8'-8" | 1 3/8" | HC WOOD | WOOD | PRIVACY LOCK |
| C10 | 2'-8"x8'-8" | 1 3/8" | HC WOOD | WOOD | |
| C11 | PAIR 3'-0"x8'-8" | 1 3/8" | HC WOOD | --- | BI-PASS; CLOSET |
| C12 | 3'-0"x8'-8" | 1 3/4" | STEEL | WOOD | BALCONY; FRENCH |
| C14 | 3'-0"x8'-8" | 1 3/4" | STEEL | WOOD | BALCONY FRENCH |
| C13 | 6'-0"x8'-8" | 1 3/4" | STEEL | WOOD | BALCONY FRENCH |
| C16 | 2'-6"x8'-8" | 1 3/8" | HC WOOD | --- | POCKET |
| C17 | | | | | |

| | | | |
|--------------------|-----------------|------|---------------|
| UNIT C FLOOR PLANS | | 1/4" | A |
| 2 | WINDOW SCHEDULE | 3 | DOOR SCHEDULE |
| 4 | | 5 | |

MICHAEL DHANENS ARCHITECT
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 93380
 C-18790



ELEVATION A

PROJECT
Piñon Townhome Estates
 NWC Pinon Street and Applewood Drive
 Parcel 1; Parcel Map 6507
 APN 416-500-01
 Tehachapi, California

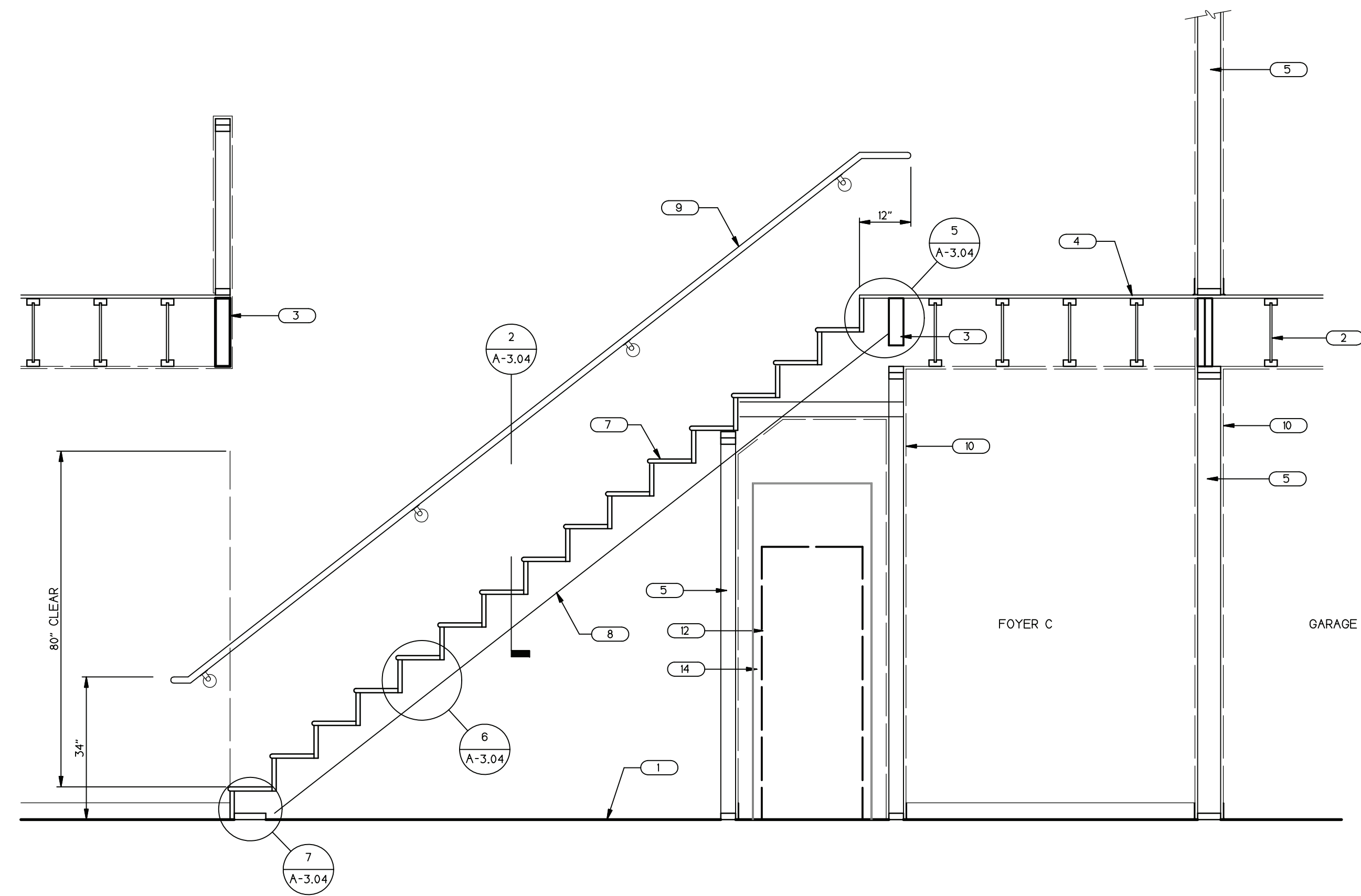
TRI-PLEX

UNIT C PLANS

AD & SPR 2022-11
PERMIT B22-

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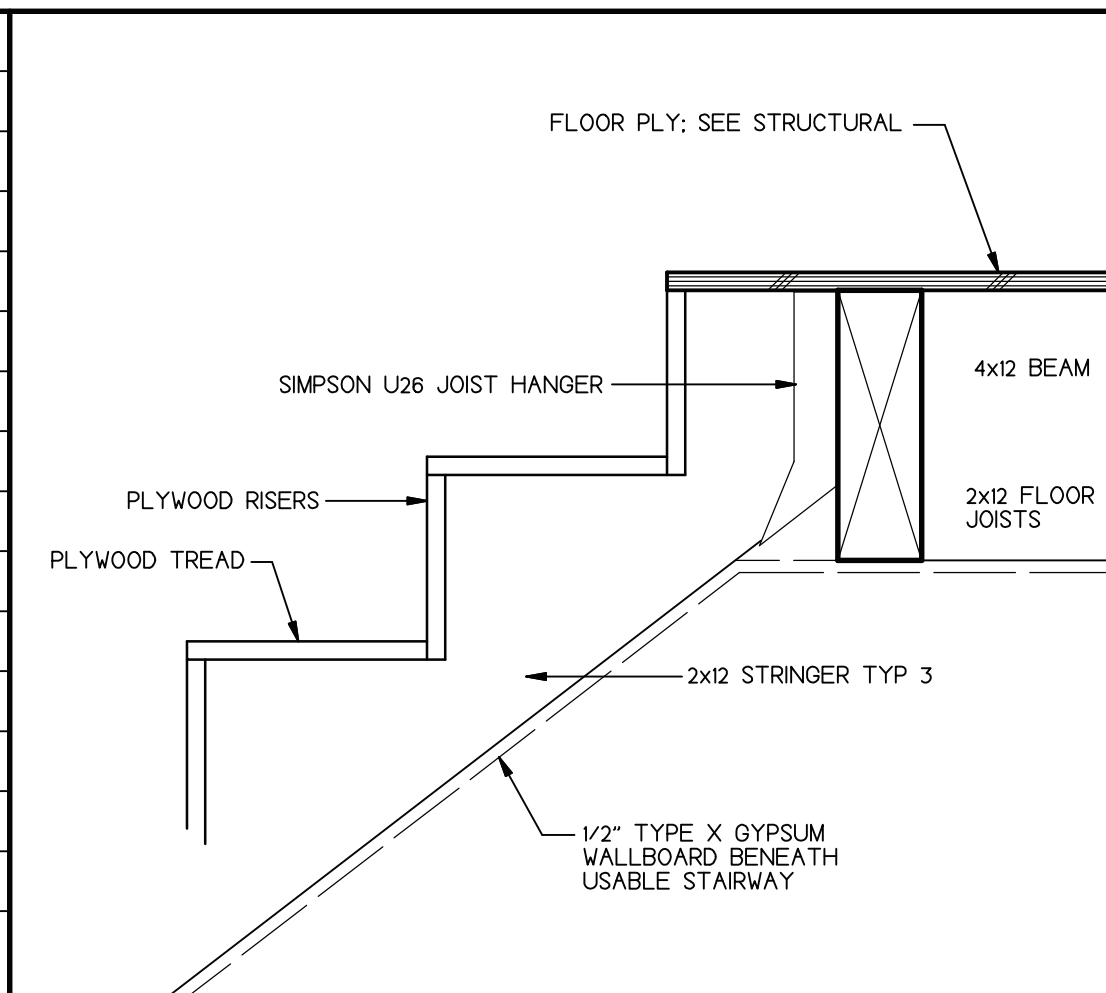
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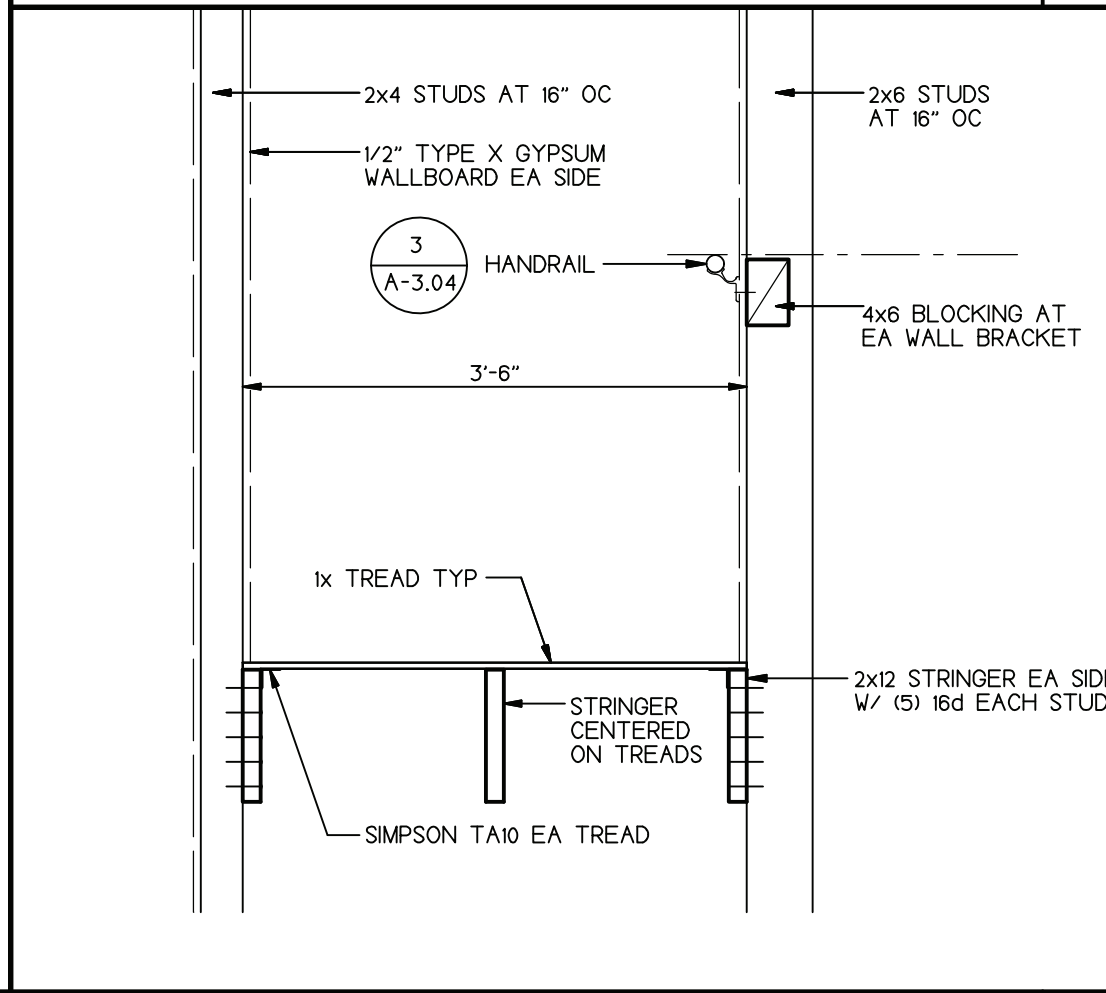
UNT C STAIR SECTION 1/2" A

| | |
|-----|--|
| 1. | FINISH FLOOR: CONCRETE SLAB |
| 2. | FLOOR JOIST |
| 3. | BEAM |
| 4. | PLYWOOD FLOOR DECK |
| 5. | 2x STUD - SEE WALL LEGEND |
| 6. | DOUBLE TOP PLATE |
| 7. | WOOD STAIR: TREADS AND RISERS |
| 8. | 2x12 STRINGER EACH SIDE AND AT MID-SPAN OF STAIR (TYP 3) |
| 9. | 1 1/2" Ø WOOD HANDRAIL-PAINT |
| 10. | 1/2" TYPE X GYPSUM WALLBOARD |
| 11. | LINE OF WALL BEYOND |
| 12. | LINE OF WATER HEATER |
| 13. | 4x10 BEAM |
| 14. | LINE OF DOOR |
| 15. | 2x8 AT 12" OC |
| 16. | 2x10 LEDGER |

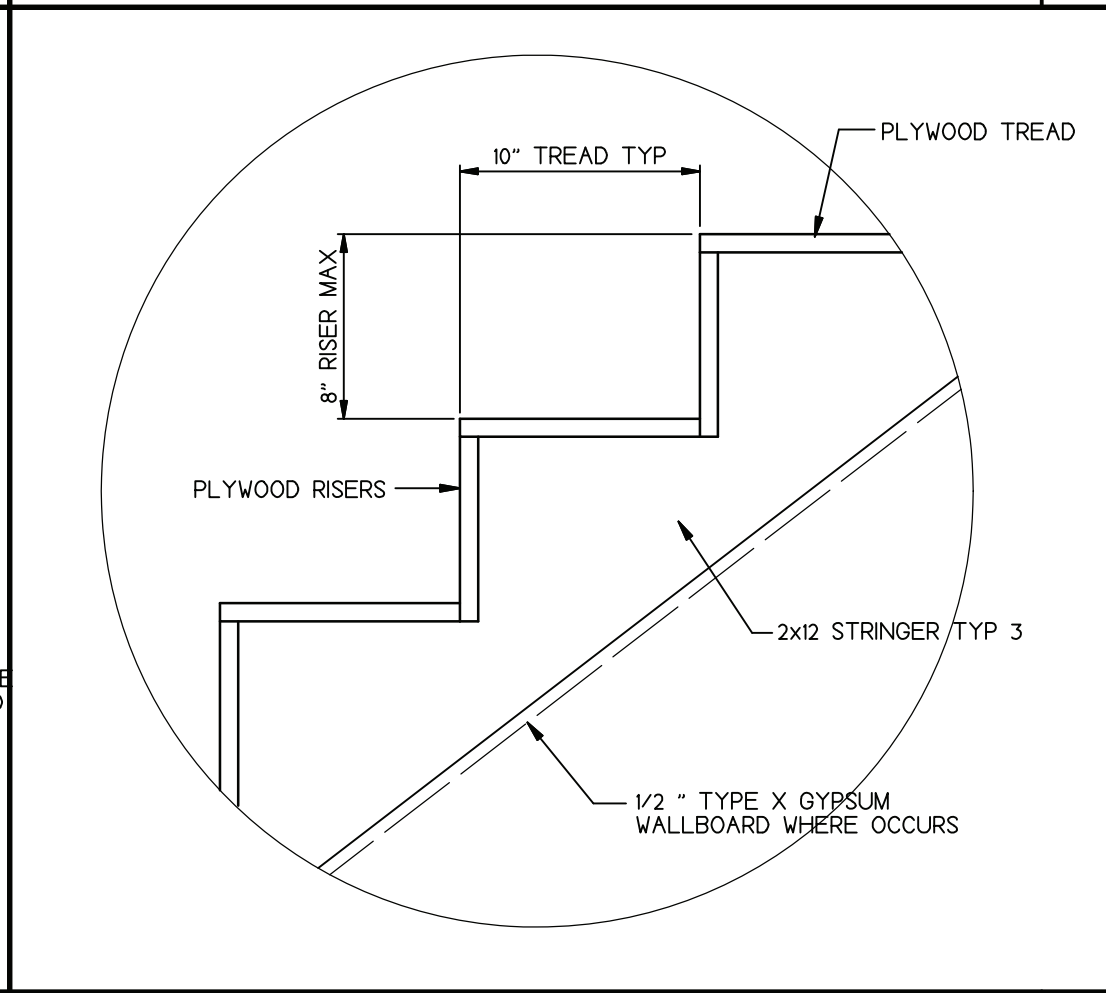
PLAN NOTES (X)



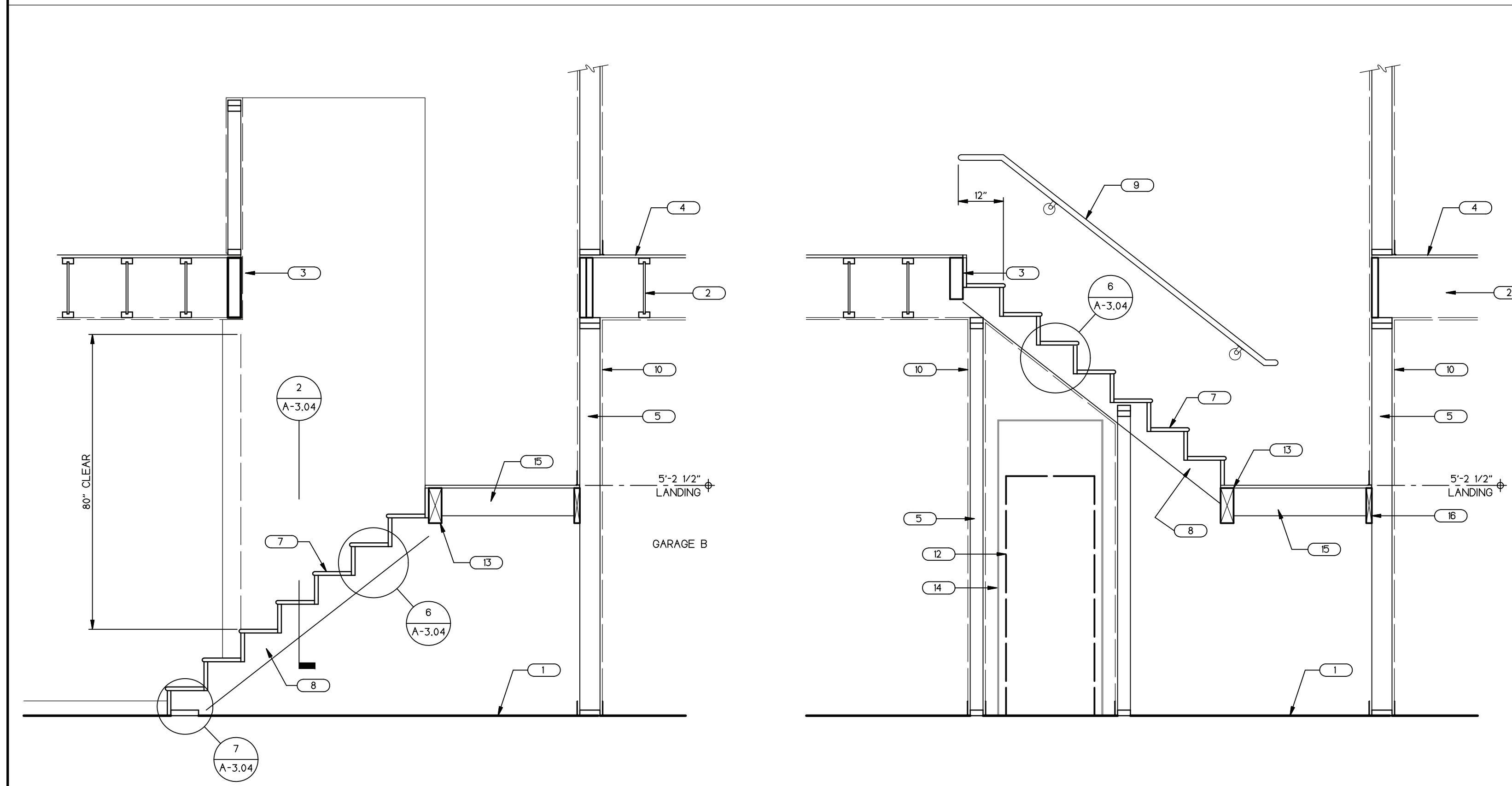
STAIR AT SECOND FLOOR 5



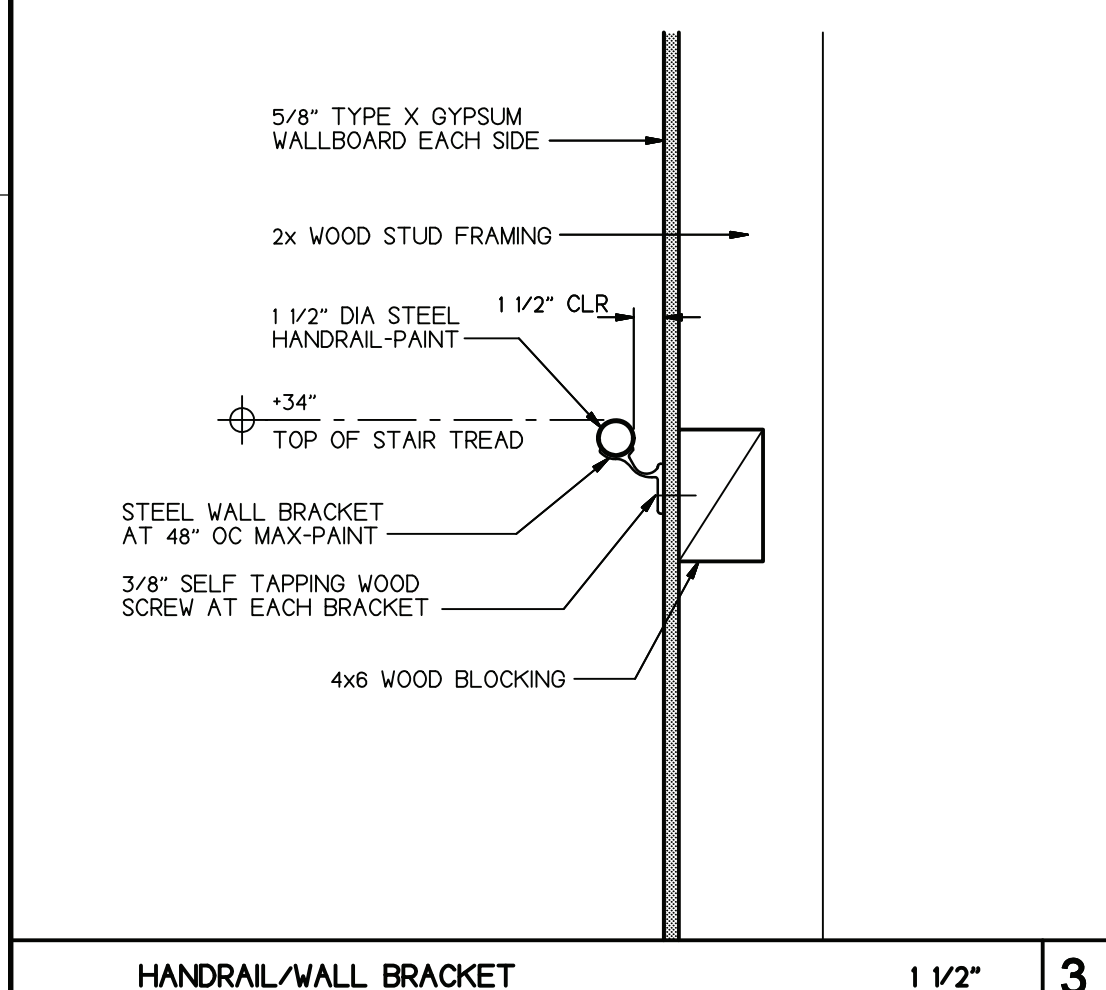
STAIR SECTION 3/4" 2



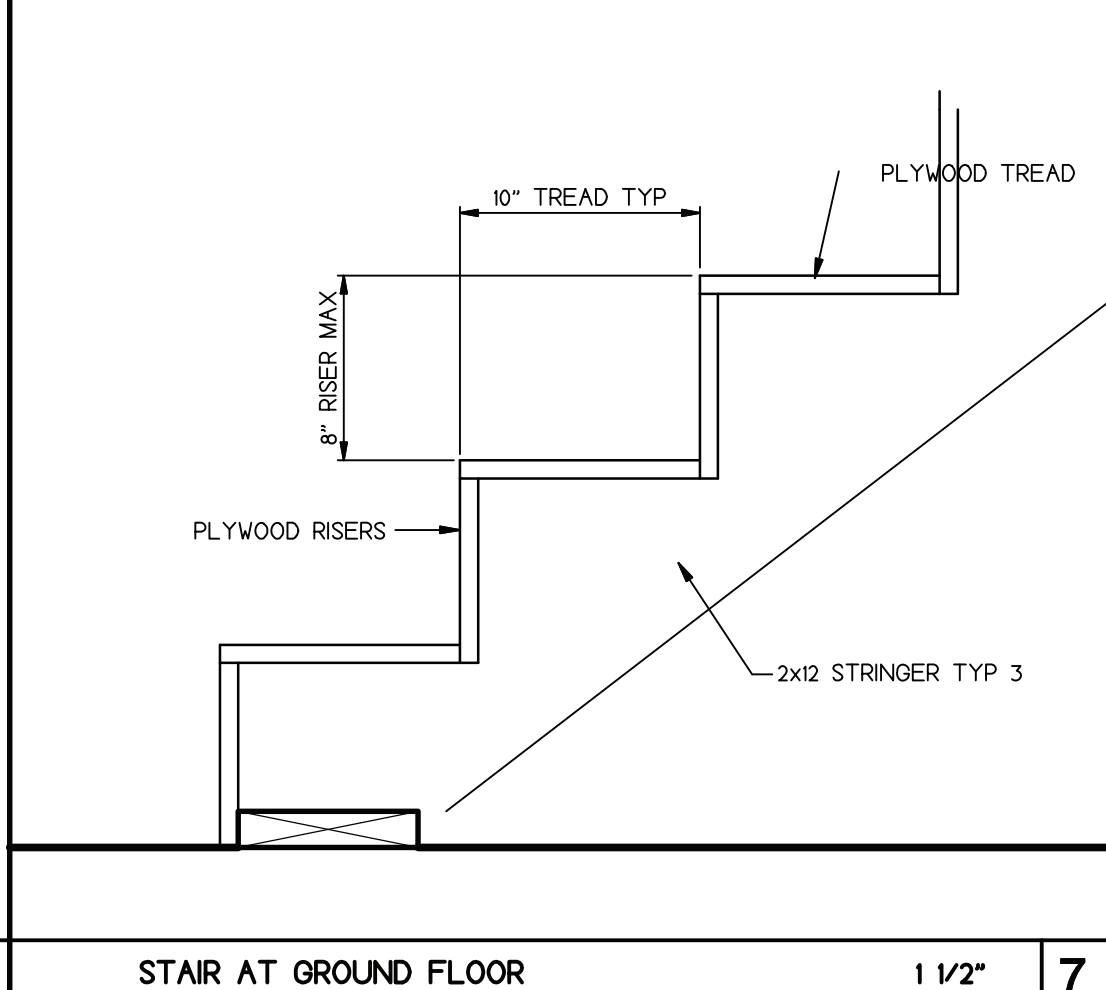
TREAD/RISER AT STAIR 1 1/2" 6



UNT B STAIR SECTION 1/4" B



HANDRAIL/WALL BRACKET 1 1/2" 3



STAIR AT GROUND FLOOR 1 1/2" 7

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| DATE | 12/12/22 |
| DRAWN | |
| PROJECT NUMBER | 976.02 |

8

MICHAEL DHANENS ARCHITECT
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 C-18790



ELEVATION A

PROJECT
Piñon Townhome Estates
 NWC Piñon Street and Applewood Drive
 Parcel 1; Parcel Map 6507
 APN 416-500-01
 Tehachapi, California

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STAIR PLAN/ SECTION/ DETAILS

AD & SPR 2022-11

PERMIT B22-

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| DATE | 12/12/22 |
| DRAWN | |
| PROJECT NUMBER | 976.02 |

A-3.04
 ARCHITECTURAL



FRONT ELEVATION 1/4" A

| | |
|-----|--|
| 1. | ARCHITECTURAL STANDING SEAM METAL ROOF |
| 2. | 2x12 FASCIA BOARD |
| 3. | CEMENT BOARD SIDING or 2 LAYERS BUILDING PAPER; HORIZONTAL |
| 4. | CEMENT BOARD WINDOW TRIM/LINTEL/SILL TO MATCH SIDING |
| 5. | CEMENT PLASTER WITH ACRYLIC FINISH |
| 6. | CEMENT PLASTER or 2x TRIM |
| 7. | STONE VENEER |
| 8. | WOOD SHUTTERS |
| 9. | WROUGHT IRON RAILING |
| 10. | 2x6 ROUGH SAWN |
| 11. | LOUVERED ATTIC VENT 1/4" WIRE MESH SCREEN |
| 12. | GALVANIZED WEEP SCREED |
| 13. | |
| 14. | |
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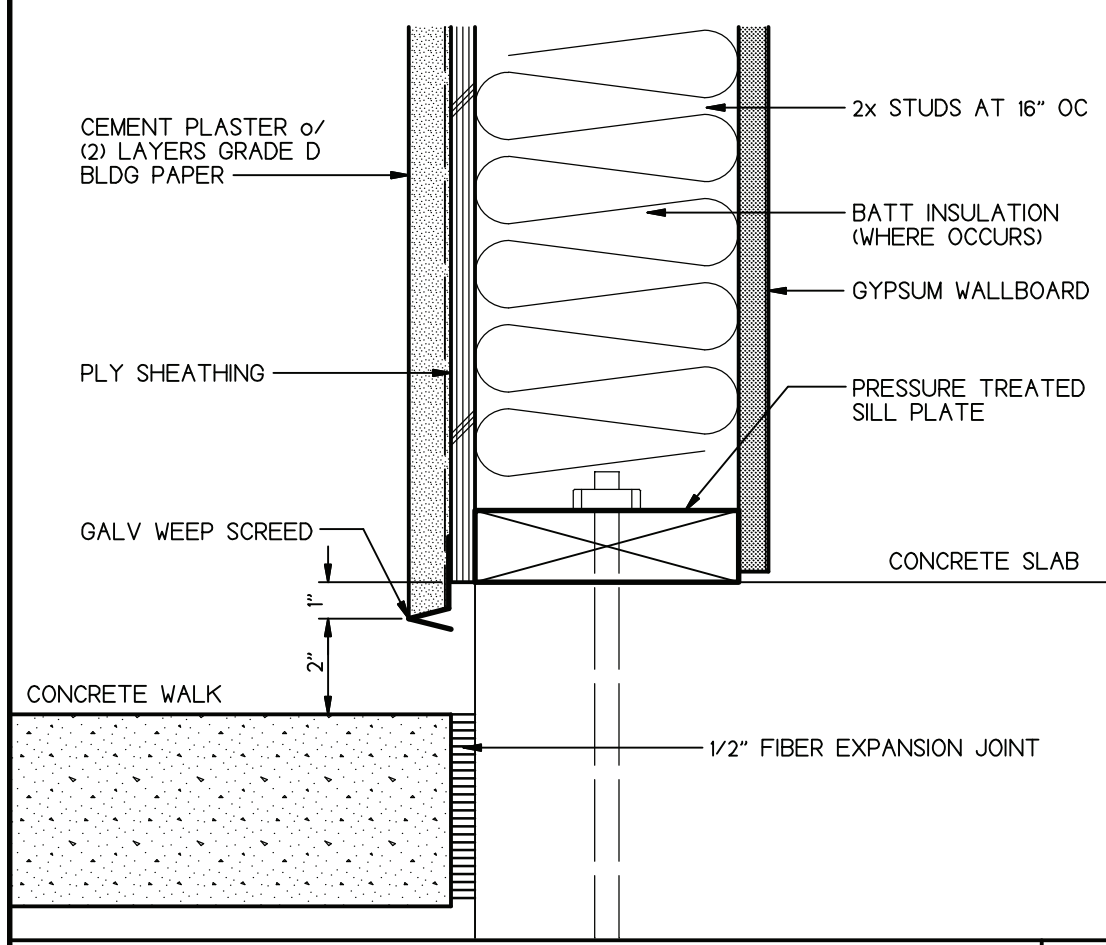
PLAN NOTES X 1

| | |
|----|---|
| A. | TYPICAL EXTERIOR FINISH TO BE 7/8" THREE COAT CEMENT PLASTER OVER EXPANDED METAL LATH WITH ACRYLIC FINISH. PROVIDE TWO (2) LAYERS GRADE "D" PAPER OVER PLYWOOD SHEATHING. |
| 2. | CORROSION-RESISTANT WEEP SCREED LOCATED NOT LESS THAN 1" BELOW THE JOINT FORMED BY THE FOUNDATION AND FRAMING. THE NOSE OF THE SCREED SHALL BE PLACED NOT LESS THAN 4 INCHES ABOVE RAW EARTH OR 2 INCHES ABOVE PAVED SURFACES. THE WEATHER RESISTIVE BARRIER AND LATH SHALL ENTIRELY COVER THE VERTICAL ATTACHMENT FLANGE AND TERMINATE AT THE TOP EDGE OF THE NOSE OR GROUND FLANGE. |
| 3. | ROOF COVERING: 20 YEAR CLASS A OR CLASS B FIRE COMPOSITION SELF-SEAL SHINGLES OVER SINGLE LAYER OF UNDERLAYMENT COMPLYING WITH ASTM D226 TYPE II, D2626 TYPE I OR D6380 FOR CLASS M MINERAL, - SURFACED ROLL ROOFING AND INSTALLED PER CRC TABLE R905.1(K2) |

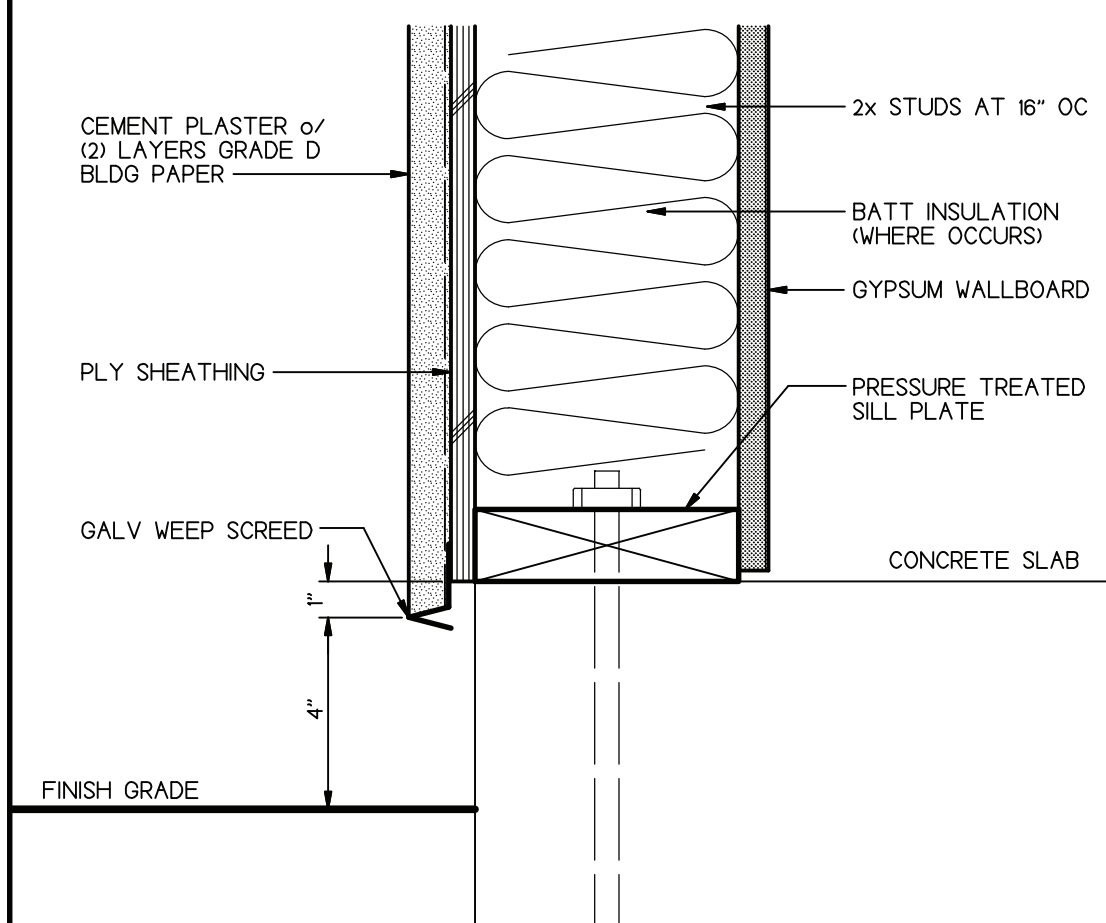
FINISH NOTES 2



RIGHT SIDE ELEVATION/LEFT REVERSED 1/4" B



EXTERIOR WALL SILL AT WALK/PAVING 3" 3



EXTERIOR WALL SILL AT FINISH GRADE 3" 4

MICHAEL DHANENS ARCHITECT
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 P.O. BOX 82155
 BAKERSFIELD, CALIFORNIA
 93380
 C-18790



ELEVATION A

PROJECT
Piñon Townhome Estates
 NWC Pinon Street and Applewood Drive
 Parcel 1; Parcel Map 6507
 APN 416-500-01
 Tehachapi, California

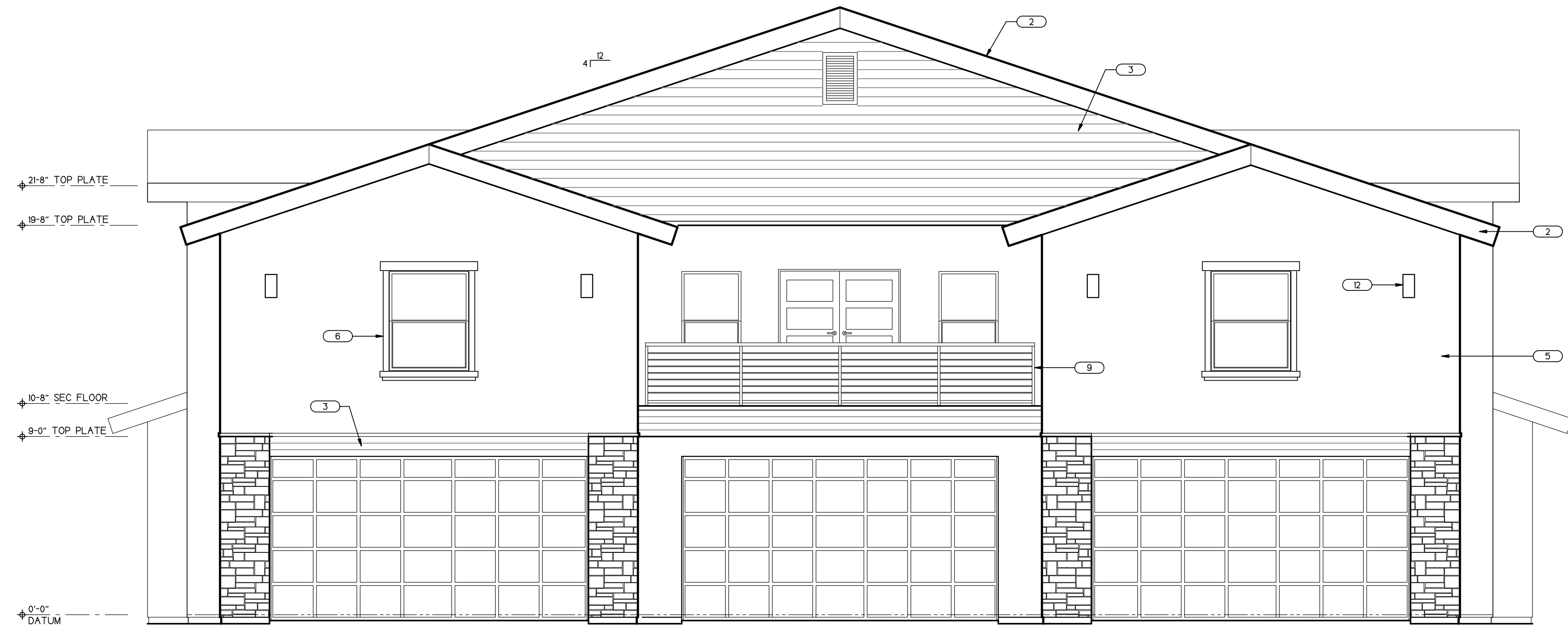
TRI-PLEX

EXTERIOR ELEVATIONS

AD & SPR 2022-11
 PERMIT 22-

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| PROJECT NUMBER | 976.02 | | |
| | | | A-4.01 |
| | | | ARCHITECTURAL |



REAR ELEVATION

1/4"

A

2

| | |
|-----|--|
| 1. | STANDING SEAM METAL ROOF |
| 2. | 2x8 FASCIA BOARD |
| 3. | CEMENT BOARD SIDING or 2 LAYERS BUILDING PAPER; HORIZONTAL |
| 4. | CEMENT BOARD WINDOW TRIM/LINTEL/SILL TO MATCH SIDING |
| 5. | CEMENT PLASTER WITH ACRYLIC FINISH |
| 6. | CEMENT PLASTER or 2x TRIM |
| 7. | STONE VENEER |
| 8. | WOOD SHUTTERS |
| 9. | WROUGHT IRON RAILING |
| 10. | 2x8 ROUGH SAWN |
| 11. | LOUVERED ATTIC VENT w/ WIRE MESH SCREEN |
| 12. | GALVANIZED WEEP SCREED |
| 13. | |
| 14. | |
| 15. | |
| 16. | |

PLAN NOTES

1

SIDE ELEVATION: CONCEPT A

1/4"

B

4

MICHAEL DHANENS ARCHITECT

661/324-4141
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BAKERSFIELD, CALIFORNIA
9 3 3 8 0
C-18790



12/12/22

ELEVATION A

PROJECT
Piñon Townhome Estates

NWC Pinon Street and Applewood Drive
Parcel 1; Parcel Map 6507
APN 416-500-01
Tehachapi, California

TRI-PLEX

EXTERIOR ELEVATIONS

AD & SPR 2022-11
PERMIT 22-

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| DATE | 12/12/22 | SHEET | |
| DRAWN | | | |
| PROJECT NUMBER | 976.02 | | |

A-4.02

ARCHITECTURAL



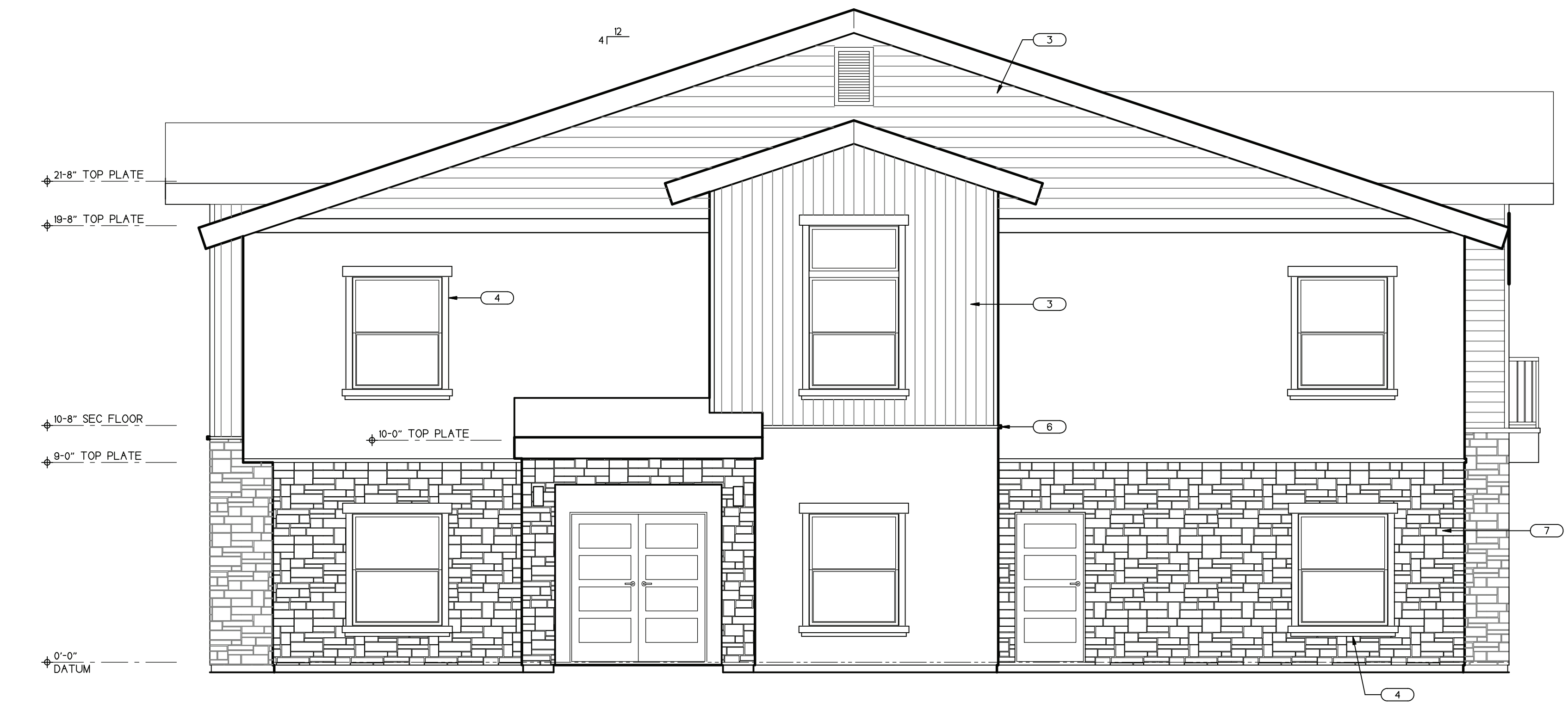
FRONT ELEVATION 1/4"

| | |
|-----|--|
| 1. | STANDING SEAM METAL ROOF |
| 2. | 2x8 FASCIA BOARD |
| 3. | CEMENT BOARD SIDING or 2 LAYERS BUILDING PAPER; HORIZONTAL |
| 4. | CEMENT BOARD WINDOW TRIM/LINTEL/SILL TO MATCH SIDING |
| 5. | CEMENT PLASTER WITH ACRYLIC FINISH |
| 6. | CEMENT PLASTER or 2x TRIM |
| 7. | STONE VENEER |
| 8. | WOOD SHUTTERS |
| 9. | WROUGHT IRON RAILING |
| 10. | 2x8 ROUGH SAWN |
| 11. | LOUVERED ATTIC VENT w/ WIRE MESH SCREEN |
| 12. | GALVANIZED WEEP SCREED |
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PLAN NOTES (X) 1

| | |
|----|---|
| A. | TYPICAL EXTERIOR FINISH TO BE 7/8" THREE COAT CEMENT PLASTER OVER EXPANDED METAL LATH WITH ACRYLIC FINISH. PROVIDE TWO (2) LAYERS GRADE "D" PAPER OVER PLYWOOD SHEATHING. |
| 2. | CORROSION-RESISTANT WEEP SCREED LOCATED NOT LESS THAN 1" BELOW THE JOINT FORMED BY THE FOUNDATION AND FRAMING. THE NOSE OF THE SCREED SHALL BE PLACED NOT LESS THAN 4 INCHES ABOVE RAW EARTH OR 2 INCHES ABOVE PAVED SURFACES. THE WEATHER RESISTIVE BARRIER AND LATH SHALL ENTIRELY COVER THE VERTICAL ATTACHMENT FLANGE AND TERMINATE AT THE TOP EDGE OF THE NOSE OR GROUND FLANGE. |
| 3. | ROOF COVERING: 20 YEAR CLASS A OR CLASS B FIRE COMPOSITION SELF-SEAL SHINGLES OVER SINGLE LAYER OF UNDERLAYMENT COMPLYING WITH ASTM D226 TYPE II, D2626 TYPE I OR D6380 FOR CLASS M MINERAL - SURFACED ROLL ROOFING AND INSTALLED PER CRC TABLE R905.1(K2) |

FINISH NOTES 2



RIGHT SIDE ELEVATION/LEFT REVERSED 1/4"

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| 3 | |
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EXTERIOR ELEVATIONS 3

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| PERMIT REVIEW (12/12/22) | |
| DATE 12/12/22 | SHEET |
| DRAWN | |
| PROJECT NUMBER | A-4.03 |
| 976.02 | ARCHITECTURAL |

MICHAEL DHANENS ARCHITECT
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 BAKERSFIELD, CALIFORNIA
 93380
 C-18790



ELEVATION B

PROJECT
Piñon Townhome Estates
 NWC Piñon Street and Applewood Drive
 Parcel 1; Parcel Map 6507
 APN 416-500-01
 Tehachapi, California

TRI-PLEX

EXTERIOR ELEVATIONS

AD & SPR 2022-11
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| PERMIT REVIEW (12/12/22) | |
| DATE 12/12/22 | SHEET |
| DRAWN | |
| PROJECT NUMBER | A-4.03 |
| 976.02 | ARCHITECTURAL |



FRONT ELEVATION

1/4"

A

FINISH NOTES

2

| | |
|-----|---|
| 1. | STANDING SEAM METAL ROOF |
| 2. | 2x8 FASCIA BOARD |
| 3. | CEMENT BOARD SIDING <i>or</i> 2 LAYERS BUILDING PAPER; HORIZONTAL |
| 4. | CEMENT BOARD WINDOW TRIM/LINTEL/SILL TO MATCH SIDING |
| 5. | CEMENT PLASTER WITH ACRYLIC FINISH |
| 6. | CEMENT PLASTER <i>or</i> 2x TRIM |
| 7. | STONE VENEER |
| 8. | WOOD SHUTTERS |
| 9. | WROUGHT IRON RAILING |
| 10. | 2x8 ROUGH SAWN |
| 11. | LOUVERED ATTIC VENT 1/4" WIRE MESH SCREEN |
| 12. | GALVANIZED WEEP SCREED |
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PLAN NOTES

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|----|---|
| 1 | |
| A. | TYPICAL EXTERIOR FINISH TO BE 7/8" THREE COAT CEMENT PLASTER OVER EXPANDED METAL LATH WITH ACRYLIC FINISH. PROVIDE TWO (2) LAYERS GRADE "D" PAPER OVER FLYWOOD SHEATHING. |
| 2. | CORROSION-RESISTANT WEEP SCREED LOCATED NOT LESS THAN 1" BELOW THE JOINT FORMED BY THE FOUNDATION AND FRAMING. THE NOSE OF THE SCREED SHALL BE PLACED NOT LESS THAN 4 INCHES ABOVE RAW EARTH OR 2 INCHES ABOVE PAVED SURFACES. THE WEATHER RESISTIVE BARRIER AND LATH SHALL ENTIRELY COVER THE VERTICAL ATTACHMENT FLANGE AND TERMINATE AT THE TOP EDGE OF THE NOSE OR GROUND FLANGE. |
| 3. | ROOF COVERING: 20 YEAR CLASS A OR CLASS B FIRE COMPOSITION SELF-SEAL SHINGLES OVER SINGLE LAYER OF UNDERLAYMENT COMPLYING WITH ASTM D226 TYPE II, D2626 TYPE I OR D6380 FOR CLASS M MINERAL - SURFACED ROLL ROOFING AND INSTALLED PER CRC TABLE R905.1K2) |



RIGHT SIDE ELEVATION/LEFT REVERSED

1/4"

B

FINISH NOTES

4

3

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 93380
 C-18790



ELEVATION C

PROJECT
Piñon Townhome Estates
 NWC Pinon Street and Applewood Drive
 Parcel 1; Parcel Map 6507
 APN 416-500-01
 Tehachapi, California

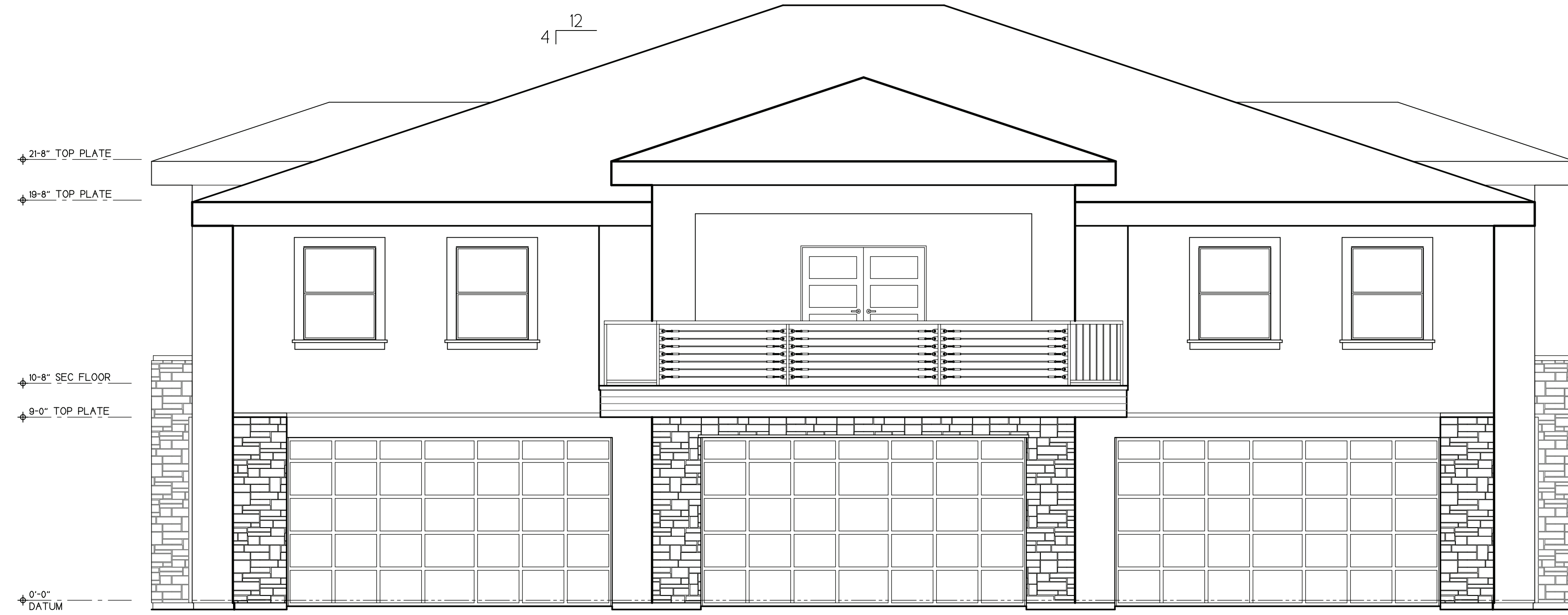
TRI-PLEX

EXTERIOR ELEVATIONS

AD & SPR 2022-11
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DATE 12/12/22 SHEET
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 PROJECT NUMBER 976.02
A-4.04
 ARCHITECTURAL

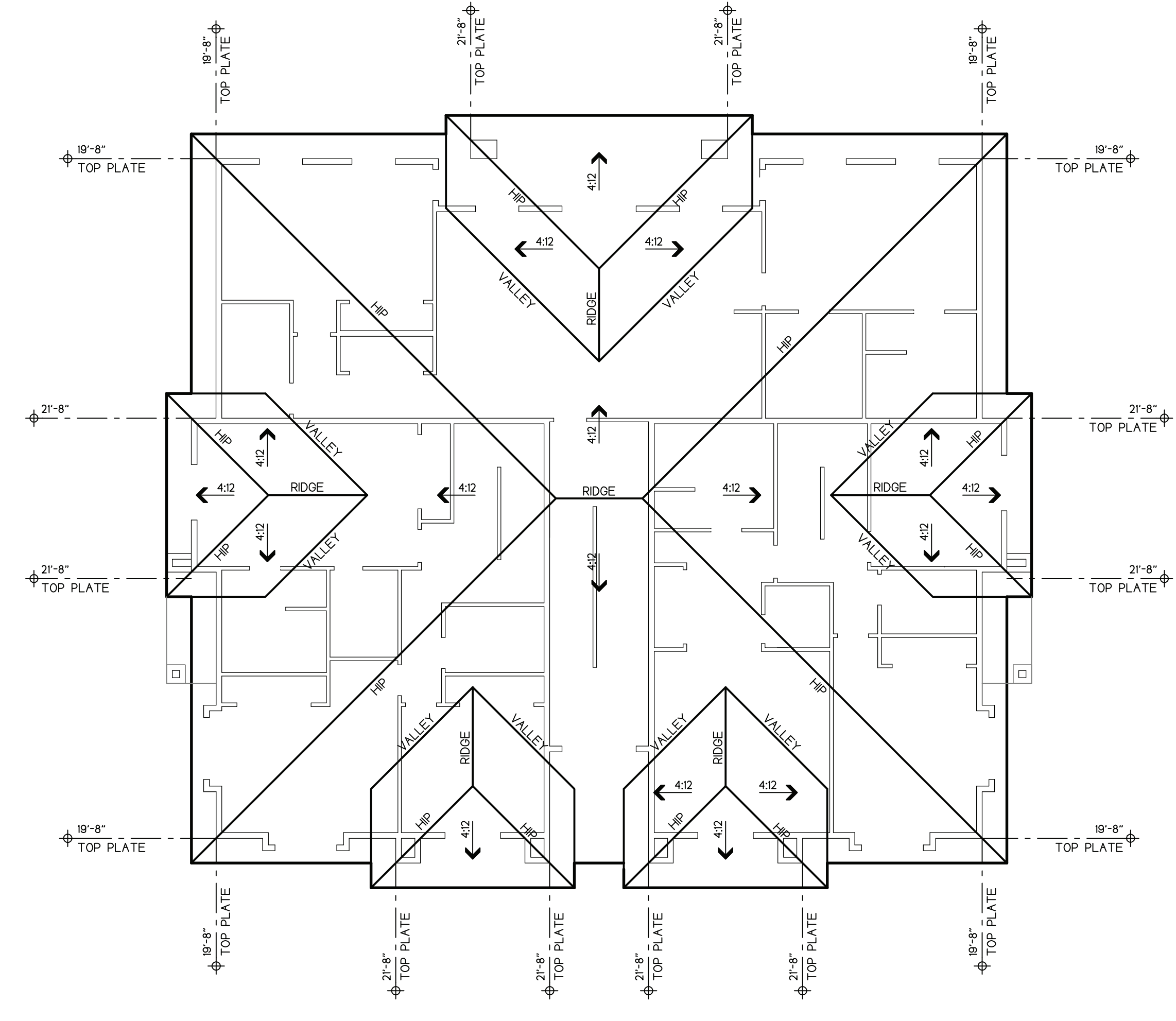


REAR ELEVATION

1/4"

A

2



SEE SHEET A-8.01; ROOF PLAN/ELEVATION A; DETAIL 2 FOR ATTIC VENTILATION SCHEDULE

UPPER LEVEL ROOF PLAN (C)

1/8"

SIDE ELEVATION: CONCEPT A

1/4"

B

4

| | |
|-----|--|
| 1. | ARCHITECTURAL STANDING SEAM METAL ROOF |
| 2. | 2x4 FASCIA BOARD |
| 3. | CEMENT BOARD SIDING or 2 LAYERS BUILDING PAPER; HORIZONTAL |
| 4. | CEMENT BOARD WINDOW TRIM/LINTEL/SILL TO MATCH SIDING |
| 5. | CEMENT PLASTER WITH ACRYLIC FINISH |
| 6. | CEMENT PLASTER or 2x TRIM |
| 7. | STONE VENEER |
| 8. | WOOD SHUTTERS |
| 9. | WROUGHT IRON RAILING |
| 10. | 2x6 ROUGH SAWS |
| 11. | LOUVERED ATTIC VENT w/ WIRE MESH SCREEN |
| 12. | GALVANIZED WEEP SCREED |
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PLAN NOTES

1

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 BAKERSFIELD, CALIFORNIA
 93308
 C-18790



12/12/22

ELEVATION C

PROJECT
Pinon Townhome Estates

NWC Pinon Street and Applewood Drive
 Parcel 1; Parcel Map 6507
 APN 416-500-01
 Tehachapi, California

TRI-PLEX

EXTERIOR ELEVATIONS/ ROOF PLAN

AD & SPR 2022-11

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PERMIT REVIEW (12/12/22)

DATE 12/12/22 SHEET

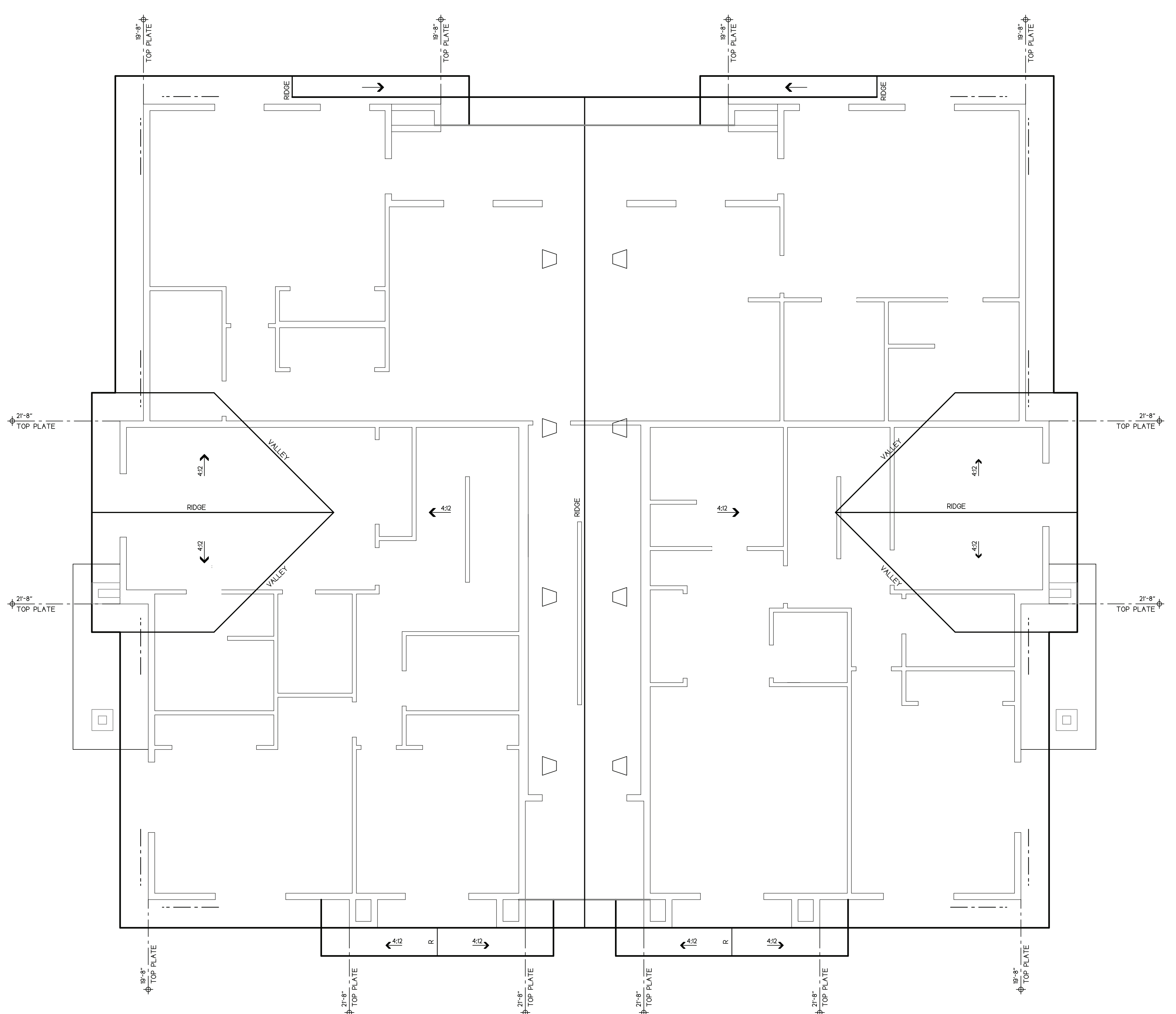
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PROJECT NUMBER

976.02

A-4.06

ARCHITECTURAL



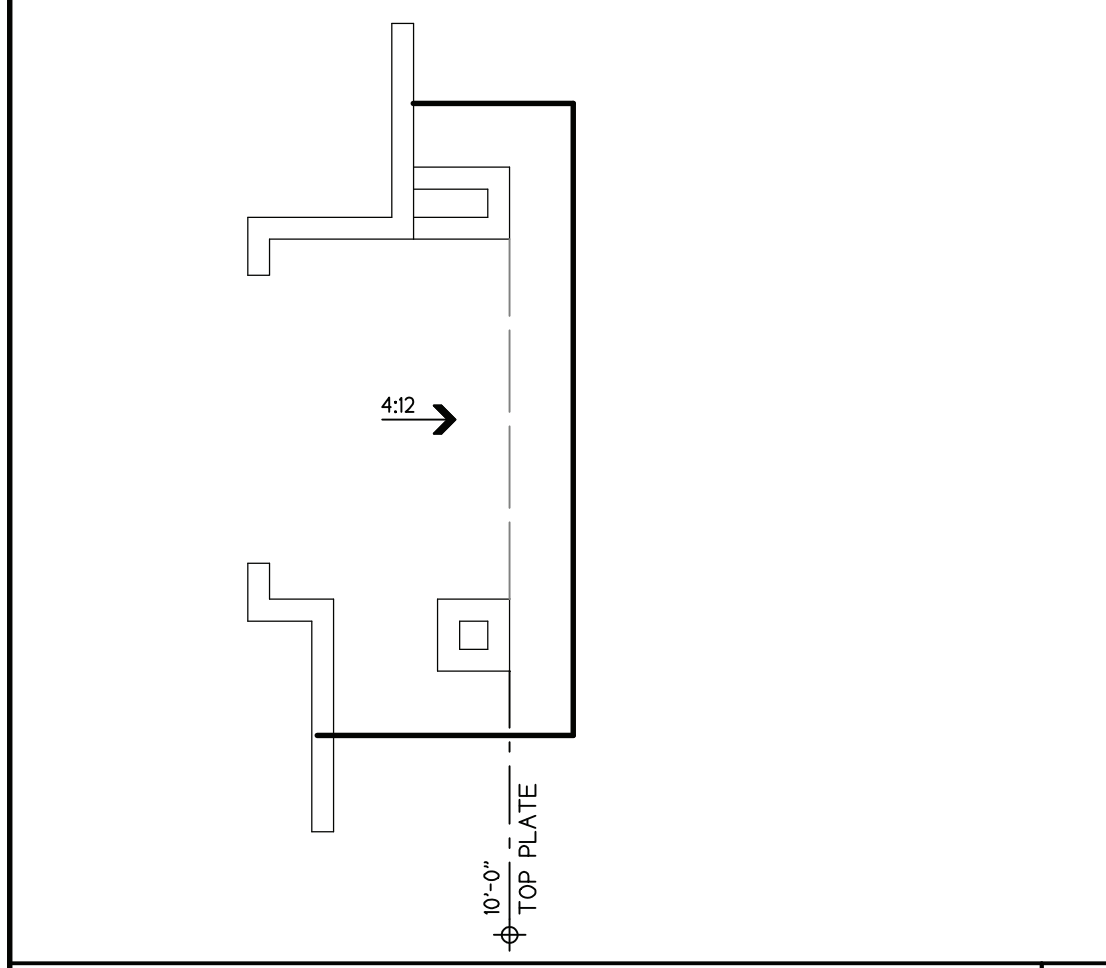
1. ROOF COVERING: CLASS A OR CLASS B ARCHITECTURAL STANDING SEAM METAL ROOF OVER SINGLE LAYER OF UNDERLAYMENT COMPLYING WITH ASTM D226 TYPE II, D2626 TYPE I OR D6380 FOR CLASS M MINERAL-SURFACED ROLL ROOFING AND INSTALLED PER CRC TABLE R905.1(1/2)
2. OVERHANG SHALL BE 24" TYPICAL UNO
3. FASCIA SHALL BE 2x12 ROUGH
4. VALLEY FLASHING SHALL BE 26 GA GALV SHEET METAL INSTALLED w/ MIN 36" WIDE UNDERLAYMENT OF ONE LAYER OF NO. 72 ASTM CAP SHEET
5. LINE OF WALL BELOW
6. PROVIDE ATTIC VENTILATION PER SCHEDULE (2/A-9.01)
7. LOCATION OF CONTINUOUS EAVE VENT PER SCHEDULE (2/A-9.01)
8. PROVIDE 7/8" CEMENT PLASTER AT ALL EAVES TYPICAL

ROOF PLAN NOTES 1

| | |
|---|---|
| ROOF AREA | 3,540 SF |
| REQUIRED VENTILATION HIGH/LOW CRC SEC | 3540/300 = 11.8 SQ FT (1,700 SQ IN) 1,700 SQ IN/2 = 850 SQ IN HIGH AND LOW |
| VENTILATION PROVIDED | 2,868 SQ IN > 1,700 SQ IN; OK |

| SYMBOL | TYPE | QTY | AREA |
|--------------|--|-------|--------------------------------|
| | DORMER VENT: 18"x24" GALV METAL PRODUCTS #DM30P 124 SQ IN | 8 | 992 SQ IN > 850 SQ IN; OK |
| | VENT NOTE: PROVIDE 1" AIR SPACE BETWEEN INSULATION AND ROOF SHEATHING AT ROOF VENTS (CRC 806.3) | | |
| | EAVE VENT: PROVIDE 3.5" WIDE CONTINUOUS 29.40 SQ IN/FT | 40 LF | 1,176 SQ IN > 850 SQ IN; OK |
| TOTAL | | | 2,868 SQ IN |

ATTIC VENTILATION 2



LOW ROOF (TYPICAL) 1/4" 3

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| AD & SPR 2022-11 | |
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| | PERMIT REVIEW (12/12/22) |
| DATE | 12/12/22 SHEET |
| DRAWN | |
| PROJECT NUMBER | A-9.01 |
| 976.02 | ARCHITECTURAL |

UPPER LEVEL ROOF PLAN: ELEVATION A 1/4" A 4

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 BAKERSFIELD, CALIFORNIA
 93380
 C-18790



ELEVATION A

PROJECT
Piñon Townhome Estates
 NWC Pinon Street and Applewood Drive
 Parcel 1; Parcel Map 6507
 APN 416-500-01
 Tehachapi, California

TRI-PLEX

**ROOF PLAN/
 ROOF FRAMING
 PLAN**

AD & SPR 2022-11

PERMIT 22

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| DATE | 12/12/22 SHEET |
| DRAWN | |
| PROJECT NUMBER | A-9.01 |
| 976.02 | ARCHITECTURAL |

THE 2019 CALIFORNIA BUILDING CODE (CBC) GOVERNS DESIGN AND CONSTRUCTION

THESE GENERAL NOTES SHALL APPLY TO ALL SHEETS IN THIS SET OF PLANS

SAFETY REGULATIONS, CALIFORNIA ADMIN CODE, TITLE 8, GENERAL SAFETY ORDERS (CAL OSHA) IS APPLICABLE TO THE CONSTRUCTION OF THIS PROJECT AND PROVISIONS THEREOF MUST BE FOLLOWED, ARCHITECT OR ENGINEER ARE NOT RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION, NOR FOR THE SAFETY ON THE JOB SITE. THESE RESPONSIBILITIES ARE INTENDED TO BE AND TO REMAIN SOLELY THOSE OF THE BUILDER

ALL DIMENSIONS WHICH ARE DEPENDENT ON EXISTING CONDITIONS SHALL BE FIELD VERIFIED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION

POWDER ACTUATED PINS IN INTERIOR WOOD SILLS SHALL BE HLTI X-U P8 (OR EQUAL) WITH 1 3/8" DIAMETER METAL WASHER. TWO PINS SHALL BE PLACED 6" AND 10" RESPECTIVELY FROM EACH END OF SILL PLATES. MAXIMUM SPACING BETWEEN PINS SHALL BE 18" OC. DO NOT INSTALL PINS UNTIL THE CONCRETE HAS CURED FOR AT LEAST 7 DAYS AND HAS A MINIMUM STRENGTH OF 2000 PSI. PINS ARE .057" (MIN) DIAMETER AND MUST PENETRATE THE CONCRETE AT LEAST 1 1/8"

FOUNDATION DESIGN IS BASED ON CBC TABLE NO 1808.2 CLASS 5 MATERIAL. BEARING FOUNDATIONS SHALL BE PALCED AT A DEPTH OF AT LEAST 12" INTO NATURAL UNDISTURBED SOIL OR COMPACTED (60% MIN) FILL.

CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 3000 PSI MINIMUM IN 28 DAYS. USE NO MORE THAN 6.6 GALLONS OF WATER PER SACK OF CEMENT. DESIGN IS BASED ON A COMPRESSIVE STRENGTH OF 2500 PSI IN 28 DAYS. THEREFORE, SPECIAL INSPECTION IS NOT REQUIRED.

CRACK CONTROL IN CONCRETE SLABS-SAW CUTS OR COLD JOINTS SHALL BE MADE IN A PATTERN NOT DEEPER THAN 10" X 10" (PREFERABLY CLOSER). THE SAW CUTS ARE TO BE 1" DEEP FROM THE TOP OF THE CONCRETE SLAB WITH SOFT-CUT SAW AND ARE TO BE MADE AS SOON AS PRACTICABLE. AT CONSTRUCTION JOINTS, USE 3/4" DIAMETER BY 2'-0" LONG GREASED DOWELS AT 2'-0" ON CENTER WITH CENTER OF DOWEL PLACED AT CENTER OF JOINT AND AT MID-DEPTH OF SLAB

ALL PLYWOOD SHEATHING SHALL BE SUPPORTED ON FRAMING MEMBERS 2" (NOM) OR WIDER, ADJOINING PANELS SUPPORTED ON THE SAME MEMBER SHALL BUTT AT ITS CENTER LINE. NAILS SHALL BE PLACED NOT LESS THAN 3/8" FROM THE PANEL EDGE. "SHINERS" WILL NOT BE PERMITTED. PLYWOOD ROOF PANELS ARE TO BE LAID WITH GRAIN PERPENDICULAR TO SUPPORTS. JOINTS STAGGERED. NAILS SHALL BE DRIVEN FLUSH BUT SHALL NOT FRACTURE THE SURFACE OF THE PLYWOOD.

PLYWOOD FLOOR SHEATHING SHALL BE 3/4" UNSAUNDED DOUGLAS FIR PLYWOOD APA RATED EXPOSURE 1, C-D INTERIOR WITH EXTERIOR GLUE, INDEX 48/24 UNBLOCKED, NAIL WITH 10d COMMON NAILS AT 6" OC AT SUPPORTED PANEL EDGES AND AT DIAPHRAGM BOUNDARIES AND 12" OC AT INTERMEDIATE SUPPORTS.

PLYWOOD ROOF SHEATHING SHALL BE 1/2" UNSAUNDED DOUGLAS FIR PLYWOOD APA RATED EXPOSURE 1, C-D INTERIOR WITH EXTERIOR GLUE, INDEX 32/16 OR 24/0, UNBLOCKED, NAIL WITH 8d COMMON NAILS AT 6" OC AT SUPPORTED PANEL EDGES AND AT DIAPHRAGM BOUNDARIES AND 12" OC AT INTERMEDIATE SUPPORTS.

PLYWOOD SHEAR WALLS SHALL BE 1/2" STRUCTURAL 1 UNSAUNDED DOUGLAS FIR PLYWOOD, EXPOSURE 1, C-D INTERIOR WITH EXTERIOR GLUE, ALL EDGE BLOCKED AND NAILED WITH 10d COM AT 6" OC AT ALL PANEL EDGES AND AT 12" OC INTERMEDIATE FOR SHEAR WALL TYPE 1 AND 10d COMMON AT 4" OC AT ALL PANEL EDGES AND AT 12" OC INTERMEDIATE FOR SHEAR WALL TYPE 2.

EXTERIOR STUCCO SHALL BE 7/8" THREE-COAT PORTLAND CEMENT PLASTER REINFORCED WITH 17 GA X 1 1/2" HEX WOVEN WIRE STUCCO FABRIC NAILED WITH 1 GA X 7/8" HEAD X 1 1/2" LONG NAILS AT 6" OC AT ALL STUDS, PLATES, SILLS AND BLOCKING. WIRE FABRIC SHALL BE WRAPPAKED AND FURRED AND PLASTER SHALL BE MIXED AND CURED ALL IN ACCORDANCE WITH SECTION 2507, CBC 2019. ATTACH SELF-FURRING WIRE FABRIC TO SUPPORTS AT THE FURRING DEVICE.

COMPOSITION SHINGLES SHALL BE TWENTY YEAR SELF-SEAL SHINGLES CLASS A OR B. COLOR TO BE SELECTED BY OWNER

EXTERIOR SIDING SHALL BE 5/8" APA 303 EXTERIOR SIDING PLYWOOD "REVERSE BOARD AND BATT" OVER 15 POUND FELT. ALL EDGES SHALL BE BLOCKED. PANELS SHALL BE NAILED WITH 10d GALVANIZED NAILS AT 6" OC AT PANEL EDGES AND 12" OC AT INTERMEDIATE BEARINGS

ALTERNATE EXTERIOR SIDING SHALL BE 5/8" APA 303 EXTERIOR SIDING PLYWOOD "H-H" OVER 15 POUND FELT. ALL EDGES SHALL BE BLOCKED. PANELS SHALL BE NAILED WITH 10d GALVANIZED NAILS AT 6" OC AT ALL PANEL EDGES AND 12" OC AT INTERMEDIATE BEARINGS

LUMBER: ALL WOOD BEAMS, HEADERS, POSTS AND FLOOR JOISTS SHALL BE #1 (OR BETTER) D.F. ALL OTHER WOOD FRAMING SHALL BE #2 (OR BETTER) D.F. ALL SILL PLATE SHALL BE PRESSURE TREATED D.F. SILL BOLTS SHALL BE SPACED SD SHOWN ON THE PLANS AND NO MORE THAN 12" FROM THE ENDS OF EACH SILL PIECE. NAILING OF FRAMING IS TO BE DONE IN ACCORDANCE WITH CBC TABLE 2304.01, BOLT HOLES SHALL BE 1/8" LARGER IN DIAMETER THAN THE BOLT. PLACE 3" SQUARE X 222P PLATE WASHER UNDER HEADS AND FEET BEARINGS ON WOOD. THE WASHER MAY BE SLOTTED DIAGONALLY IN CONFORMANCE WITH CBC SECTION 2305.31

REINFORCING STEEL #4 AND SMALLER BARS SHALL BE INTERMEDIATE GRADE DEFORMED BARS CONFORMING TO ASTM A605, GRADE 40 (FY=40,000 PSI MINIMUM), AND LARGER BARS SHALL BE DEFORMED BARS CONFORMING TO ASTM A605, GRADE 60 (FY=60,000 PSI MINIMUM)

WELDED WIRE FABRIC SHALL COMPLY WITH THE REQUIREMENTS OF ASTM A955. IT SHALL BE INSTALLED IN AS LONG LENGTHS AS PRACTICABLE AND MUST LAP AT LEAST ONE FULL MESH AT SIDES AND ENDS WHERE PIECES JOIN

1/2" OR 5/8" GYPSUM WALLBOARD SHALL BE APPLIED WITH THE 4" WIDE SHEET DIMENSION VERTICAL. END JOINTS ON STUDS AND BLOCKING PROVIDED AT ALL HORIZONTAL JOINTS. THE WALLBOARD SHALL BE ATTACHED WITH #6x3 SCREWS THAT SHALL BE COATED, DOUBLE LEAD THREAD DRYWALL SCREWS WITH CONTOUR HEAD AND DIAMOND POINT, SPACED AT 7" OC WITH 3/8" MINIMUM EDGE DISTANCE. IN ALL STUDS AT END JOINTS, IN BLOCKING AT SIDES OF PANELS IN BOTTOM TRACK AND TOP TRACK, SCREW SPACING TO ALL OTHER STUDS NOT AT PANEL EDGES SHALL BE 12" OC

GLU-LAMINATED BEAMS SHALL BE MANUFACTURED IN ACCORDANCE WITH ANSI STANDARD A1901-1992, AMERICAN NATIONAL STANDARD FOR STRUCTURAL GLU-LAMINATED TIMBER, MANUFACTURED FOR SIMPLE SPAN BENDING MEMBER (B), VISUALLY GRADED, INDUSTRIAL APPEARANCE USING WATERPROOF GLUE, COMBINATION NO. 24F-V4 A COAT OF END SEALER SHALL BE APPLIED WHEN THE BEAM IS FABRICATED AND THE ENDS SHALL BE SEALED AS SOON AS PRACTICAL AFTER END-TRAMMING IN THE FIELD. LOAD WRAP FOR PROTECTION IN TRANSIT.

PREFABRICATED WOOD TRUSSES SHALL BE DESIGNED AND ENGINEERED BY THE TRUSS SUPPLIER. TRUSS SHALL BE SPACED AT 24" OC AND DESIGNED TO CARRY ALL IMPOSED LOADS, DEAD AND LIVE, AS SHOWN ON THE PLANS AND AS REQUIRED BY APPLICABLE CODES. SPANS OVER HANDS, SUPERSTRUCTURES, ETC. SHALL BE AS SHOWN ON THE PLANS. TRUSSES SHALL BE ADDED AS NECESSARY TO AVOID OVER STRESSING TRUSS MEMBERS OR JOINTS. THE TRUSS DRAWINGS, COMPUTATIONS AND SPECIFICATIONS SHALL BE STAMPED AND SIGNED BY A CALIFORNIA LICENSED CIVIL ENGINEER. THE TRUSS MANUFACTURER SHALL SUPPLY NECESSARY RECOMMENDATIONS FOR BRACING TRUSSES DURING AND AFTER ERECTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL THE TRUSSES PLUMB AND PROPERLY ALIGNED AT THE PROPER SPACING AND WITH PROPER SUPPORT. THE TRUSSES ARE TO BE TRANSPORTED AND HANDLED IN SUCH A WAY THAT THE TRUSS CONNECTORS ARE NOT DISTORTED OR LOOSENED. IN THE EVENT OF TRUSS DAMAGE RESULTING FROM HANDLING, TRANSPORTING OR ANY OTHER CAUSE, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE TRUSS MANUFACTURER SO THAT CORRECTIVE PROCEDURES MAY BE PRESCRIBED BY THE MANUFACTURER'S ENGINEER.

ALL STRUCTURAL PLATES AND SHAPES SHALL CONFORM TO THE REQUIREMENTS OF ASTM A36 OR ASTM A572. STEEL SHALL CONFORM TO THE REQUIREMENTS OF ASTM A53 GRADE B. STRUCTURAL TUBING SHALL CONFORM TO THE REQUIREMENTS OF ASTM A500, GRADE B. BOLTS SHALL BE ASTM A307 UNLESS THE PLANS SHOW OTHERWISE. BOLT HOLES SHALL BE 1/8" LARGER IN DIAMETER THAN THE BOLT.

WELDING SHALL BE DONE BY A CERTIFIED WELDER USING THE SHIELDED ARC PROCESS AND E70 SERIES LOW HYDROGEN ELECTRODES. WELDS SHALL BE FULL SECTION, FLAT PENETRATION AND SHALL DEVELOP THE FULL STRENGTH OF THE SMALLER OF THE PARTS JOINED UNLESS THE PLANS SHOW OTHERWISE.

SPECIAL INSPECTION: PERIODIC INSPECTION SHALL BE REQUIRED FOR ALL PLYWOOD (ROOF OR WALL SHEATHING) EDGE NAILING SHOWN TO BE 4" ON CENTER OR LESS. CONTINUOUS INSPECTION SHALL BE REQUIRED FOR ALL POST-INSTALLED ANCHORS TO BE INSTALLED IN CONCRETE.

STATEMENT OF SPECIAL INSPECTIONS

THE SPECIAL INSPECTOR SHALL REFER TO THE APPROVED CONSTRUCTION DRAWINGS, CBC 2019 CHAPTER 17 AND THE DOCUMENTS REFERENCED THEREIN TO VERIFY THE FOLLOWING SELECTED ITEMS

FREQUENCY OF INSPECTION: CHECK ALL APPLICABLE CONDITIONS

| CONTINUOUS | PERIODIC | SOILS INSPECTION (SEE CBC 2019 TABLE 1704.7) |
|------------|----------|---|
| ■ | 1. | VERIFY MATERIALS BELOW FOOTINGS ARE ADEQUATE TO HAVE REACHED PROPER MATRISON |
| ■ | 2. | VERIFY EXCAVATIONS ARE EXTENDED TO PROPER DEPTH AND PERFORM CLASSIFICATION AND TESTING OF CONTROLLED FILL |
| ■ | 3. | VERIFY USE OF PROPER MATERIALS, DENSITIES AND LIFT THICKNESSES DURING PLACEMENT AND COMPACTED FILL |
| ■ | 4. | PRIOR TO PLACEMENT OF CONTROLLED FILL, OBSERVE SUB-GRADE AND VERIFY THAT SITE HAS BEEN PROPERLY PREPARED |

| CONCRETE CONSTRUCTION (SEE CBC 2019 TABLE 1704.4) | | |
|---|----|--|
| □ | 1. | INSPECTION OF REINFORCING STEEL AND PLACEMENT AND DURING PLACEMENT OF CONCRETE |
| □ | 2. | INSPECT BOLTS TO BE INSTALLED IN CONC PRIOR TO USE OF REQUIRED MIX DESIGN |
| □ | 3. | PERFORM SLUMP AND AIR CONTENT TEST AND DETERMINE TEMPERATURE OF CONCRETE USED FOR TEST SPECIMENS |
| □ | 4. | INSPECTION OF CONCRETE AND SHOTCRETE PLACEMENT INSPECTION FOR MAINTENANCE OF SPECIFIED CURING AND TEMPERATURE AND TECHNIQUES |
| □ | 5. | ERECTION OF PRECAST CONCRETE MEMBERS |
| □ | 6. | VERIFICATION OF IN-SITU CONCRETE STRENGTH PRIOR TO REMOVAL OF SHORES AND FORMS FROM BEAMS AND STRUCTURAL SLABS |
| □ | 7. | INSPECT FORMWORK FOR SHAPE, LOCATION AND DIMENSIONS OF THE CONCRETE MEMBER BEFORE FORMED |

| MASONRY CONSTRUCTION (SEE CBC 2019 TABLE 1704.5.1) | | |
|--|-----|--|
| □ | 1. | INITIAL INSPECTIONS |
| □ | 2. | PROPORTION OF SITE-PREPARED MORTAR |
| □ | 3. | CONSTRUCTION OF MORTAR JOINTS |
| □ | 4. | PREPARATION OF ANY REQUIRED GROUT OR MORTAR SPECIMENS AND/OR PRISMS SHALL BE OBSERVED |
| □ | 5. | DURING CONSTRUCTION |
| □ | 6. | SIZE AND LOCATION OF STRUCTURAL ELEMENTS |
| □ | 7. | TYPE, SIZE AND LOCATION OF ANCHORS, INCLUDING ANCHORAGE TO OTHER STRUCTURAL MEMBERS OR SYSTEMS |
| □ | 8. | VERIFY SIZE, SPACING, GRADE AND TYPE OF REINFORCEMENT |
| □ | 9. | PROTECTION OF MASONRY DURING HOT AND COLD WEATHER |
| □ | 10. | PRIOR TO GROUTING |
| □ | 11. | GROUT SPACE IS CLEAN |
| □ | 12. | PLACEMENT OF REINFORCEMENT, CONNECTIONS AND ANCHORS |
| □ | 13. | CONSTRUCTION OF MORTAR JOINTS |
| ■ | 14. | DURING AND AFTER GROUTING |
| □ | 15. | GROUT PLACEMENT SHALL BE VERIFIED TO ENSURE COMPLIANCE WITH CODE AND CONSTRUCTION DOCUMENT PROVISIONS |
| □ | 16. | VERIFY COMPLIANCE WITH REQUIRED INSPECTIONS PROVISIONS OF THE CONSTRUCTION DOCUMENTS AND APPROVED SUBMITTALS |

| STRUCTURAL WOOD (SEE CBC 2019 TABLE 1705.2.1) | | |
|---|----|---|
| □ | 1. | VERIFY SHEATHING PANEL, EDGE MEMBER THICKNESS AND LOCATION, NAIL SPACING AND SILL BOLTS AT ALL SHEAR WALLS WITH EDGE NAILS SPACED AT 4 INCHES ON CENTER OR LESS |
| □ | 2. | VERIFY SHEATHING PANEL, EDGE SUPPORT NUMBER OF FASTENER LINES AND NAIL SPACING AT ALL FLOOR AND/OR ROOF DIAPHRAGMS WITH EDGE NAILS SPACES 4 INCHES OC OR LESS |
| ■ | 3. | VERIFY THE LOCATION, SIZE AND PLACEMENT OF ANCHOR BOLTS USED IN CONJUNCTION WITH HOLD-DOWNS AT SHEAR WALLS. VERIFY ATTACHMENT OF THE HOLD-DOWN TO THE WOOD BOUNDARY MEMBER |
| ■ | 4. | VERIFY THE LOCATION, SIZE AND PLACEMENT OF CHORDS AND COLLECTORS USED IN CONJUNCTION WITH SHEAR WALLS AND DIAPHRAGMS. VERIFY CHORD AND COLLECTOR SPLICES AND ATTACHMENT OF THE CHORDS AND COLLECTORS TO OTHER STRUCTURAL ELEMENTS OF THE SEISMIC FORCE RESISTING SYSTEM |

| MISCELLANEOUS ITEMS | |
|---------------------|--|
| ■ | ENSURE PROPER INSTALLATION OF ALL POST-INSTALLED ANCHORS IN CONCRETE |

NOTES

COPIES OF ALL NECESSARY TEST AND INSPECTION RECORDS SHALL BE FILED WITH THE BUILDING OFFICIAL OVERSEEING THE PROJECT AS WELL AS THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE OF THE PROJECT, THE ENGINEER IN CHARGE OF STRUCTURAL DESIGN AND THE SOILS ENGINEER

ALL TEST SPECIMENS SHALL BE CONSISTENT WITH THE MATERIALS, WORKMANSHIP AND DETAILS TO BE USED THROUGHOUT THIS PROJECT.

THE CONTRACTOR RESPONSIBLE FOR OVERSEEING THE CONSTRUCTION OF THE MAIN LATERAL FORCE RESISTING SYSTEM ON THIS PROJECT SHALL SUBMIT A WRITTEN STATEMENT OF RESPONSIBILITY TO THE BUILDING OFFICIAL AND THE OWNER PRIOR TO THE COMMENCEMENT OF WORK ON THAT PARTICULAR SYSTEM THAT SHALL CONTAIN THE FOLLOWING PER CBC 2019 1709.1:

1. ACKNOWLEDGMENT THAT CONTROL WILL BE EXERCISED TO OBTAIN CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS APPROVED BY THE BUILDING OFFICIAL
2. PROCEDURES FOR EXERCISING CONTROL WITHIN THE CONTRACTOR'S ORGANIZATION, THE METHOD AND FREQUENCY OF REPORTING AND THE DISTRIBUTION OF REPORT
3. IDENTIFICATION AND QUALIFICATIONS OF THE PERSONS EXERCISING SUCH CONTROL AND THEIR POSITIONS IN THE ORGANIZATION

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO READ AND UNDERSTAND THE INSPECTION REQUIREMENTS CONTAIN HEREIN AND TO COORDINATE THE TESTING SCHEDULE WITH THE APPROPRIATE TESTING AGENCY.

| INSPECTION OF WELDING | QC | QA |
|--|----|----|
| AISC 360: TABLE N5.4-1 | | |
| INSPECTION TASKS PRIOR TO WELDING | | |
| WELDING PROCEDURE SPECIFICATIONS (WPS) AVAILABLE | P | P |
| MANUFACTURER CERTIFICATIONS FOR WELDING CONSUMABLES AVAILABLE | P | P |
| MATERIAL IDENTIFICATION (TYPE/GRADE) | O | O |
| WELDER IDENTIFICATION SYSTEM | O | O |
| FIT-UP OF GROOVE WELDS (INCLUDING JOINT GEOMETRY) JOINT PREPARATION DIMENSIONS (ALIGNMENT, ROOT OPENING, ROOT FACE, BEVEL) CLEANLINESS (CONDITION OF STEEL SURFACES) TACKING (TACK WELD QUALITY AND LOCATION) BACKING TYPE AND FIT (IF APPLICABLE) | O | O |
| CONFIGURATION AND FINISH OF ACCESS HOLES | O | O |
| FIT-UP OF FILLET WELDS DIMENSIONS (ALIGNMENT, GAPS AT ROOT) CLEANLINESS (CONDITION OF STEEL SURFACES) TACKING (TACK WELD QUALITY AND LOCATION) | O | O |
| CHECK WELDING EQUIPMENT | O | O |

1 THE FABRICATOR OR ERECTOR, AS APPLICABLE, SHALL MAINTAIN A SYSTEM BY WHICH A WELDER WHO HAS WELDED A JOINT OR MEMBER CAN BE IDENTIFIED. STAMPS, IF USED, SHALL BE THE LOW-STRESS TYPE.

| AISC 360: TABLE N5.4-2 | QC | QA |
|--|----|----|
| INSPECTION TASKS DURING WELDING | | |
| USE OF QUALIFIED WELDERS | O | O |
| CONTROL AND HANDLING OF WELDING CONSUMABLES PACKAGING EXPOSURE CONTROL | O | O |
| NO WELDING OVER CRACKED TACK WELDS | O | O |
| ENVIRONMENTAL CONDITIONS WIND SPEEDS WITH LIMITS PRECIPITATION AND TEMPERATURE | O | O |
| WPS FOLLOWED SETTINGS ON WELDING EQUIPMENT TRAVEL SPEED SELECTED WELDING MATERIALS SHIELDING GAS TYPE/FLOW RATE PREHEAT APPLIED INTERPASS TEMPERATURE MAINTAINED (MIN/MAX) PROPER POSITION (F, V, H, GH) | O | O |
| WELDING TECHNIQUES INTERPASS AND FINAL CLEANING EACH PASS WITHIN PROFILE LIMITATIONS EACH PASS MEETS QUALITY REQUIREMENTS | O | O |

| AISC TABLE N5.4-3 | QC | QA |
|---|----|----|
| INSPECTION TASKS AFTER WELDING | | |
| WELDS CLEANED | P | P |
| SIZE, LENGTH AND LOCATION OF WELDS | P | P |
| WELDS MEET VISUAL ACCEPTANCE CRITERIA CRACK PROHIBITION WELD/BASE-METAL FUSION CRATER CROSS SECTION WELD PROFILES WELD SIZE UNDERCUT POROSITY | O | O |
| ARC STROKES | P | P |
| K-AREA 1 | P | P |
| BACKING REMOVED AND WELD TABS REMOVED (IF REQUIRED) | P | P |
| REPAIR ACTIVITIES | P | P |
| DOCUMENT ACCEPTANCE OR REJECTION OF WELDED JOINT OR MEMBER | P | P |

1 WHEN WELDING OF DOUBLER PLATES, CONTINUITY PLATES OR STIFFENERS HAS BEEN PERFORMED IN THE K-AREA, VISUALLY INSPECT THE WEB K-AREA FOR CRACKS WITHIN 3 IN (75mm) OF THE WELD.

QUALITY CONTROL (QC) INSPECTION TASKS SHALL BE PERFORMED BY THE FABRICATORS OR ERECTOR'S QUALITY CONTROL INSPECTOR (QCI), AS APPLICABLE, IN ACCORDANCE WITH SECTIONS N5.6 AND N5.7. TASKS IN TABLES N5.4-1 THROUGH N5.4-3 AND TABLES N5.5-1 THROUGH N5.6-3 LISTED FOR QC ARE THOSE INSPECTIONS PERFORMED BY THE QCI TO ENSURE THAT THE WORK IS PERFORMED IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS. FOR QC INSPECTION THE APPLICABLE CONSTRUCTION DOCUMENTS ARE THE SHOP DRAWINGS AND THE ERECTION DRAWINGS AND THE APPLICABLE REFERENCED SPECIFICATIONS, CODES AND STANDARDS.

QUALITY ASSURANCE (QA) INSPECTION OF FABRICATED ITEMS SHALL BE MADE AT THE FABRICATOR'S PLANT. THE QUALITY ASSURANCE INSPECTOR (QAI) SHALL SCHEDULE HIS WORK TO MINIMIZE INTERRUPTION TO THE WORK OF THE FABRICATOR. QA INSPECTION OF THE ERECTED STEEL SYSTEM SHALL BE MADE AT THE PROJECT SITE. THE QAI SHALL SCHEDULE HIS WORK TO MINIMIZE INTERRUPTION OF THE WORK OF THE ERECTOR. THE QAI SHALL REVIEW THE MATERIAL TEST REPORTS AND CERTIFICATIONS AS LISTED IN SECTION N3.2 FOR COMPLIANCE WITH THE CONSTRUCTION DOCUMENTS. QA INSPECTION TASKS SHALL BE PERFORMED BY THE QAI IN ACCORDANCE WITH SECTIONS N5.4, N5.6 AND N5.7. TASKS IN TABLES N5.4-1 THROUGH N5.4-3 AND N5.6-1 THROUGH N5.6-3 LISTED FOR QA ARE THOSE INSPECTIONS PERFORMED BY THE QAI TO ENSURE THAT THE WORK IS PERFORMED IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS.

O - OBSERVE THESE ITEMS ON A RANDOM BASIS. OPERATIONS NEED NOT BE DELAYED PENDING THESE INSPECTIONS
P - PERFORM THESE TASKS FOR EACH WELDED JOINT OR MEMBER

| | |
|---|--|
| SITE SOIL CLASS | CLASS D |
| SOIL BEARING CAPACITY CONTINUOUS FOUNDATION ISOLATED FOUNDATION | 2000 PSF 1600 PSF |
| SEISMIC IMPORTANCE FACTOR | I, 1.00 |
| SITE GPS COORDINATES | 35.129°N 118.4519°W |
| SPECTRAL RESPONSE ACCELERATIONS | S _{0.1} 1.177g S _{0.2} 0.436g |
| SPECTRAL RESPONSE COEFFICIENT | S _{0.1} 0.942g S _{0.2} 0.542g |
| SITE COEFFICIENTS | F _p 1.200 F _v 1.884 |
| SEISMIC DESIGN CATEGORY | D |
| RISK CATEGORY | II |
| CONCRETE DESIGN STRENGTH | 2500 PSI |
| ROOF DEAD LOADS | 20.0 PSF |
| ROOF LIVE LOADS | 20.0 PSF |
| WIND SPEED | 95 mph |
| WIND EXPOSURE | C |
| ANALYSIS PROCEDURE | EQUIV LATERAL FORCE PROCEDURE |
| LATERAL FORCE RESISTING SYSTEM | PLYWOOD SHEAR WALL |

| STRUCTURAL LOAD INFORMATION | | D |
|-----------------------------|--|---|
| | | E |
| | | F |
| | | B |
| | | F |

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BAKERSFIELD, CALIFORNIA
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ELEVATION A

PROJECT
Piñon Townhome Estates
NWC Piñon Street and Applewood Drive
Parcel 1; Parcel Map 6507
APN 416-500-01
Tehachapi, California

TRI-PLEX

STRUCTURAL GENERAL NOTES

SPR 2021-18

PERMIT B22-

| NO. | REVISIONS |
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| PERMIT REVIEW (12/12/22) | |
| DATE | 12/12/22 |
| DRAWN | SHEET |
| PROJECT NUMBER | S-0.01 |
| 976.02 | |
| STRUCTURAL | |

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 93380
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ELEVATION A

PROJECT
Pinon Townhome Estates

NWC Pinon Street and Applewood Drive
 Parcel 1; Parcel Map 6507
 APN 416-500-01
 Tehachapi, California

TRI-PLEX

FOUNDATION PLAN

AD & SPR 2022-11

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NO. ISSUED FOR

PERMIT REVIEW (12/12/22)

DATE 12/12/22 SHEET

DRAWN

PROJECT NUMBER

976.02

S-1.01

STRUCTURAL

| MARK | SIZE | DEPTH | REINFORCING | DETAIL |
|------|---------------|-------|-----------------------|------------------|
| P.1 | 3'-6" x 3'-6" | 2'-0" | (4) #4 AT BOTTOM ONLY | 3/S-1.01 SIMILAR |
| P.2 | 2'-0" x 2'-0" | 1'-6" | (2) #4 AT BOTTOM ONLY | 3/S-1.01 SIMILAR |

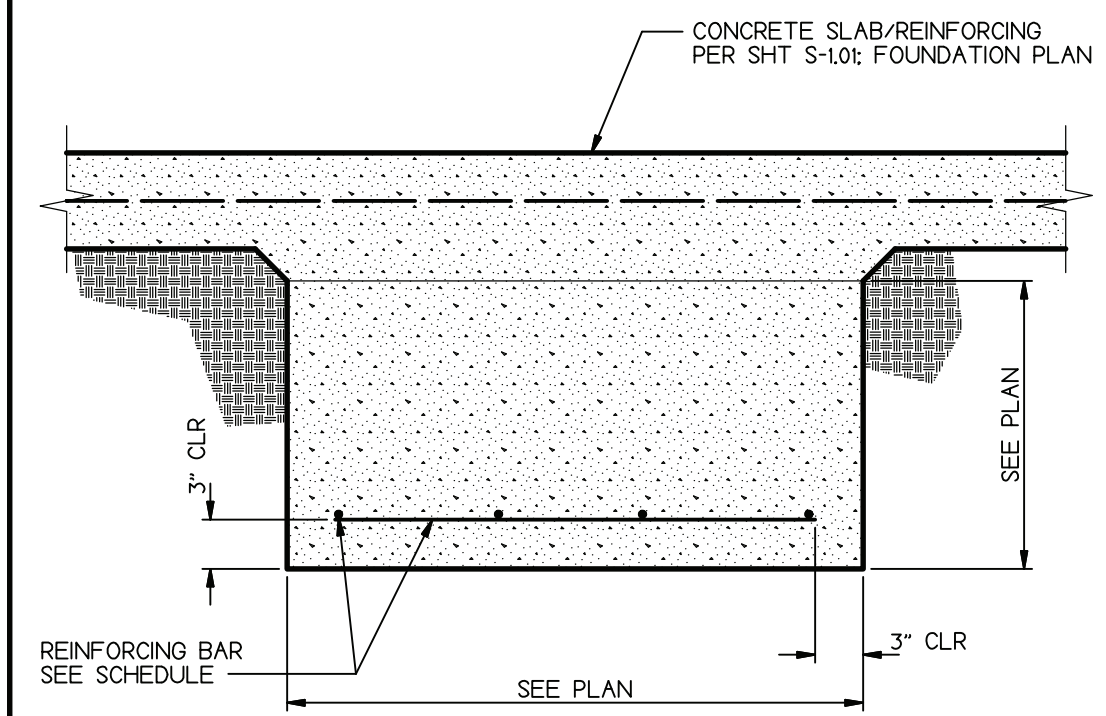
NOTES:
 1. PAD FOOTINGS ARE SAME DEPTH AS ADJOINING FOUNDATIONS UNO
 2. DEEPEN FOOTING AS REQUIRED FOR BOLT CLEARANCE

FOOTING SCHEDULE

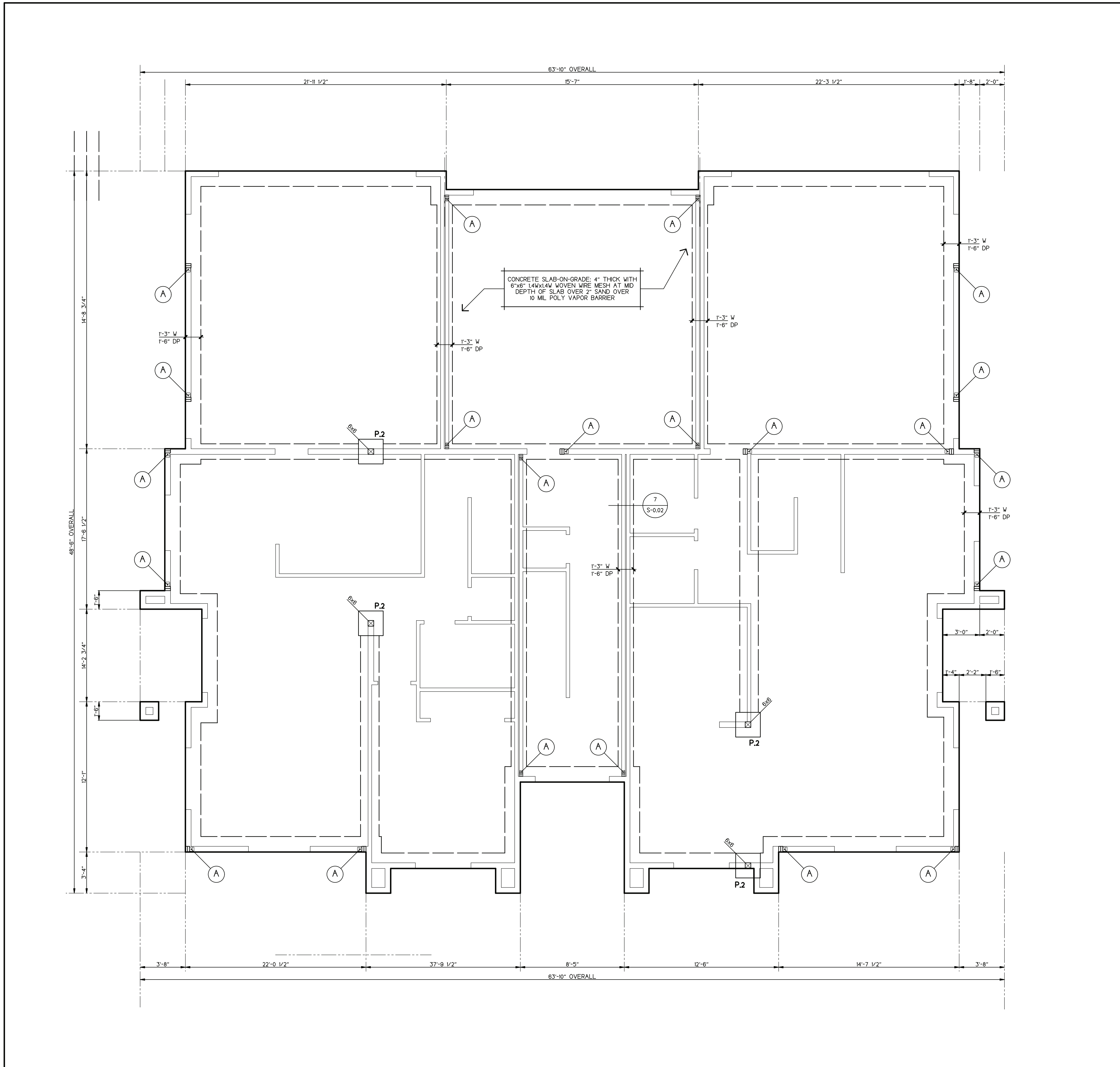
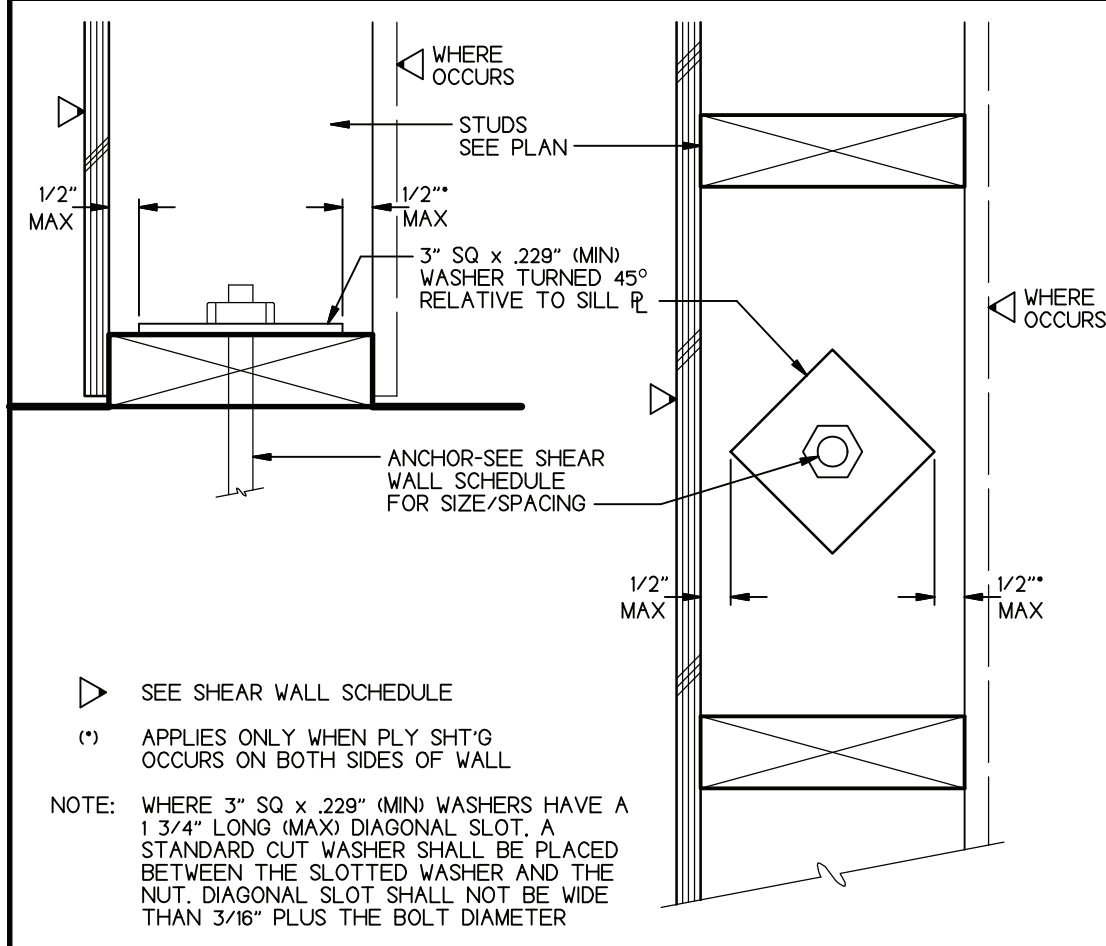
| HOLD DOWN | MODEL | ANCHOR | UPLIFT |
|-----------|-------------|--------|---------|
| (A) | HDU2-SDS2.5 | SSTB6 | < 3.0 k |
| (B) | HDU4-SDS2.5 | SSTB20 | < 4.5 k |

- HDU-TYPE HOLD DOWNS ARE THOSE MANUFACTURED BY SIMPSON STRONG TIE (ICC ESR-2330)
- SDS-TYPE SCREWS ARE THOSE MANUFACTURED BY SIMPSON STRONG-TIE (ICC-ESR-2239)
- THREADED ROD ANCHORS SHALL HAVE DOUBLE NUT AND $\frac{1}{2}$ " 2x1/4x0'-2" WASHER EMBEDDED IN CONCRETE
- SEE PLAN FOR MINIMUM FOUNDATION DEPTH INTO NATURAL GRADE. THICKEN FOUNDATION AS REQUIRED TO PROVIDE 3" MINIMUM CONCRETE COVER BELOW ANCHOR-SEE DETAIL
- "HILTI" NOTE: DRILL $\frac{3}{4}$ " HOLE. FILL WITH HILTI HIT-RE 500 V3 ADHESIVE PER HILTI SPECIFICATIONS. INSERT 5/8" ROD TO FULL DEPTH OF HOLE. EMBEDMENTS ARE TO BE MEASURED FROM TOP OF FINISHED CONCRETE.
- SPECIAL INSPECTION REQUIRED FOR POST-INSTALLED ANCHORS IN CURED CONCRETE.

HOLD DOWN SCHEDULE THIS SHEET; SEE DETAIL 4



CONCRETE FOOTING



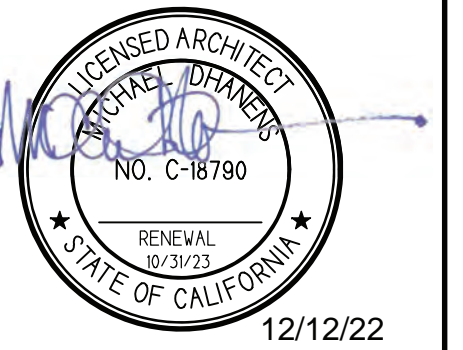
GROUND FLOOR PLAN (A)

1/8" A

ANCHOR BOLT DETAIL

3" 4

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TRI-PLEX

FLOOR FRAMING

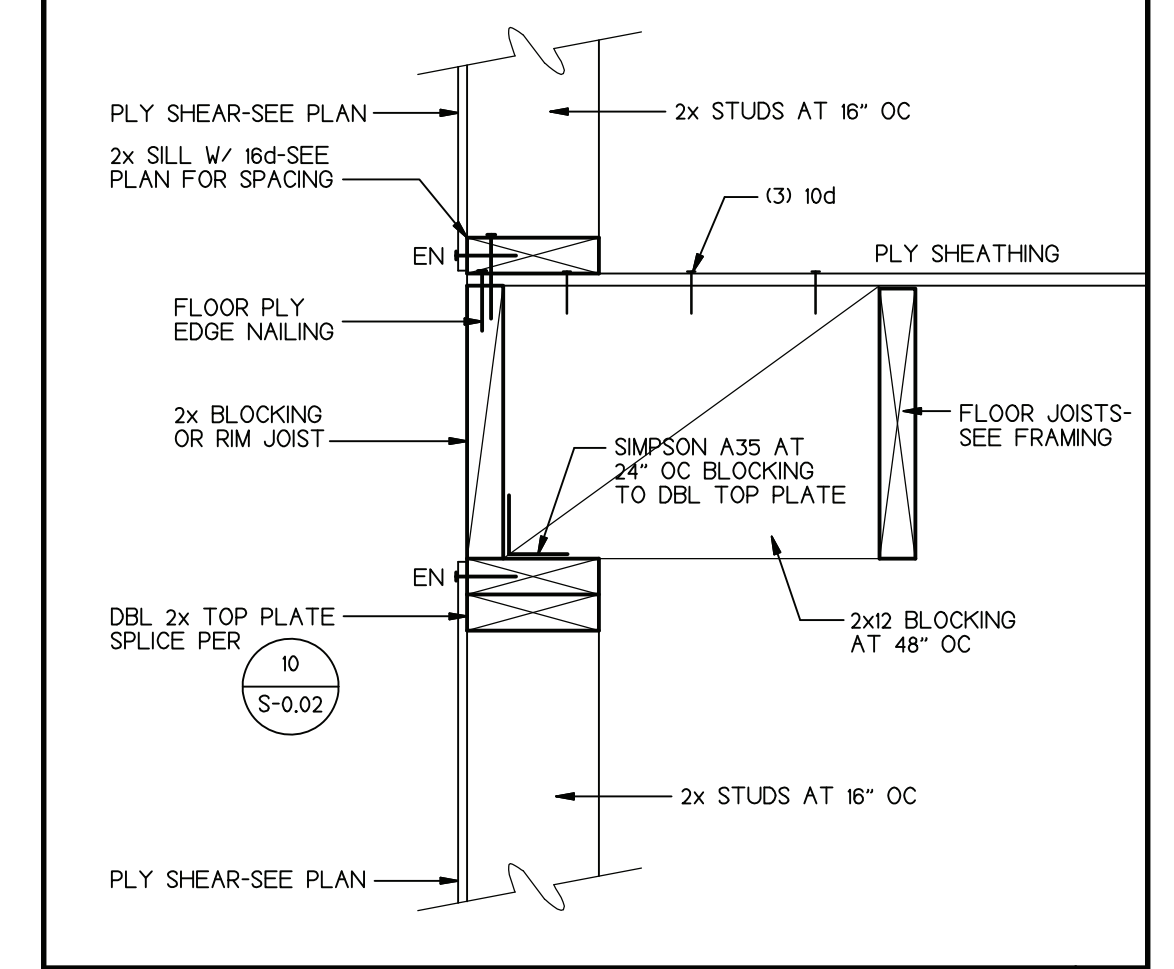
AD & SPR 2022-11

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| 10 | |

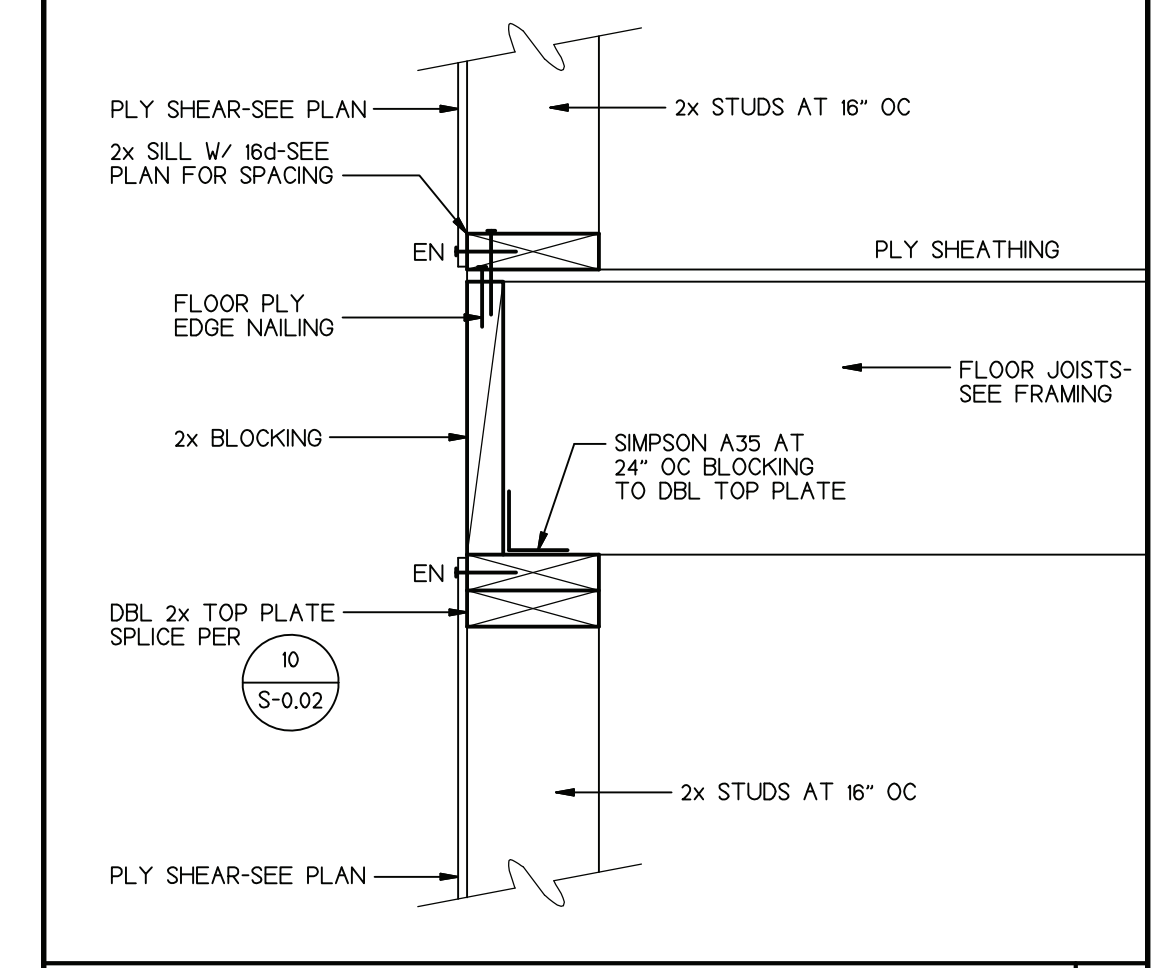
| | | | |
|----------------|----------|-------|---------------|
| DATE | 12/12/22 | SHEET | |
| DRAWN | | | |
| PROJECT NUMBER | 976.02 | | |
| | | | S-2.01 |
| | | | STRUCTURAL |

| MARK | SIZE/DESCRIPTION | | |
|------|--------------------------------------|-------|-------------|
| (FJ) | FLOOR JOIST: 2x12 #1 DF-L AT 16" OC | | |
| (FJ) | FLOOR JOIST: 2x12 #1 DF-L AT 16" OC | | |
| (B1) | 5 1/8x85 GLB (24F-V4) W/ 3/4" CAMBER | | |
| (B2) | 3 1/8x85 GLB (24F-V4) | | |
| (B3) | | | |
| (B4) | 6x10 HEADER #2 DF-LARCH | | |
| (H1) | 6x8 HEADER | (H10) | 4x4 HEADER |
| (H2) | 6x8 HEADER | (H8) | 4x6 HEADER |
| (H3) | 6x10 HEADER | (H7) | 4x8 HEADER |
| (H4) | 6x12 HEADER | (H6) | 4x10 HEADER |

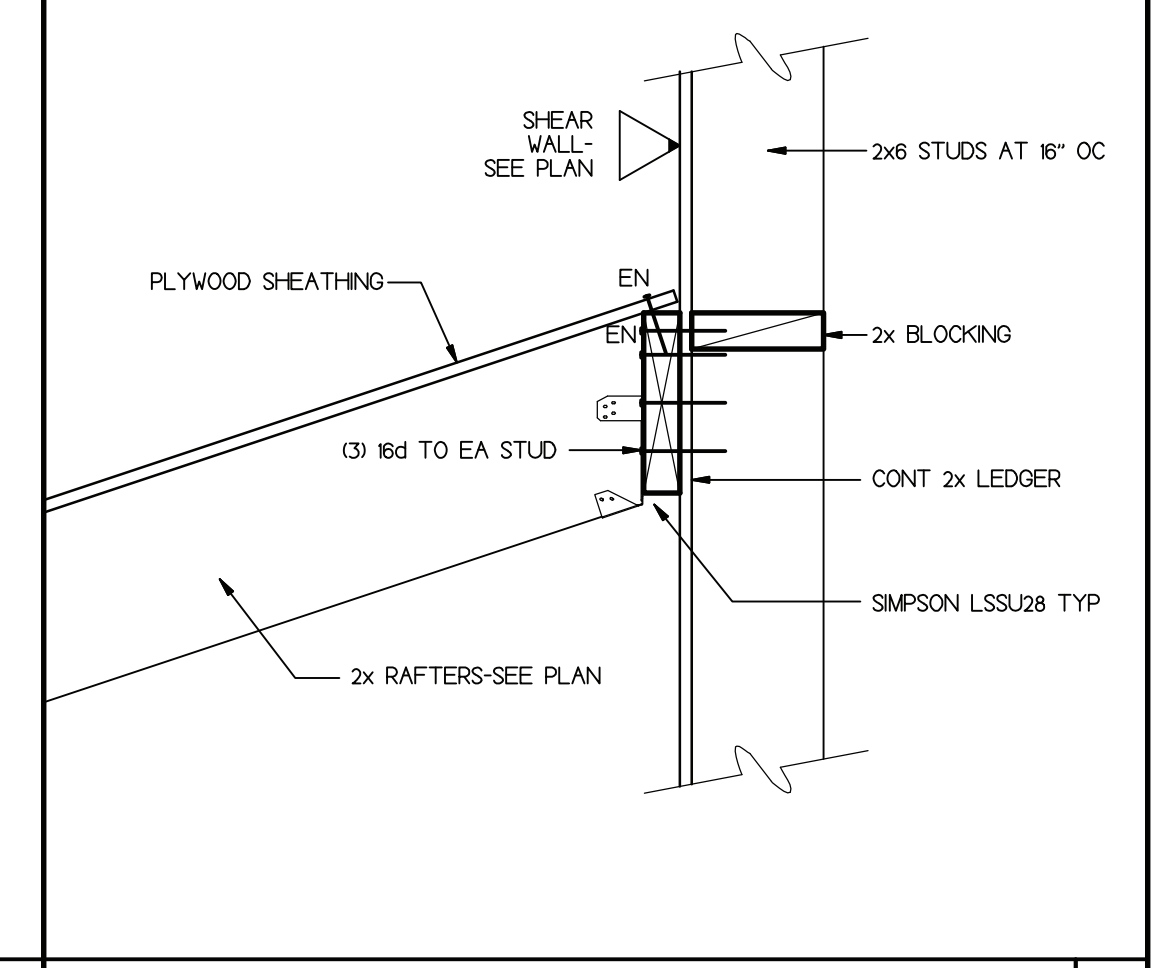
BEAM SCHEDULE 1



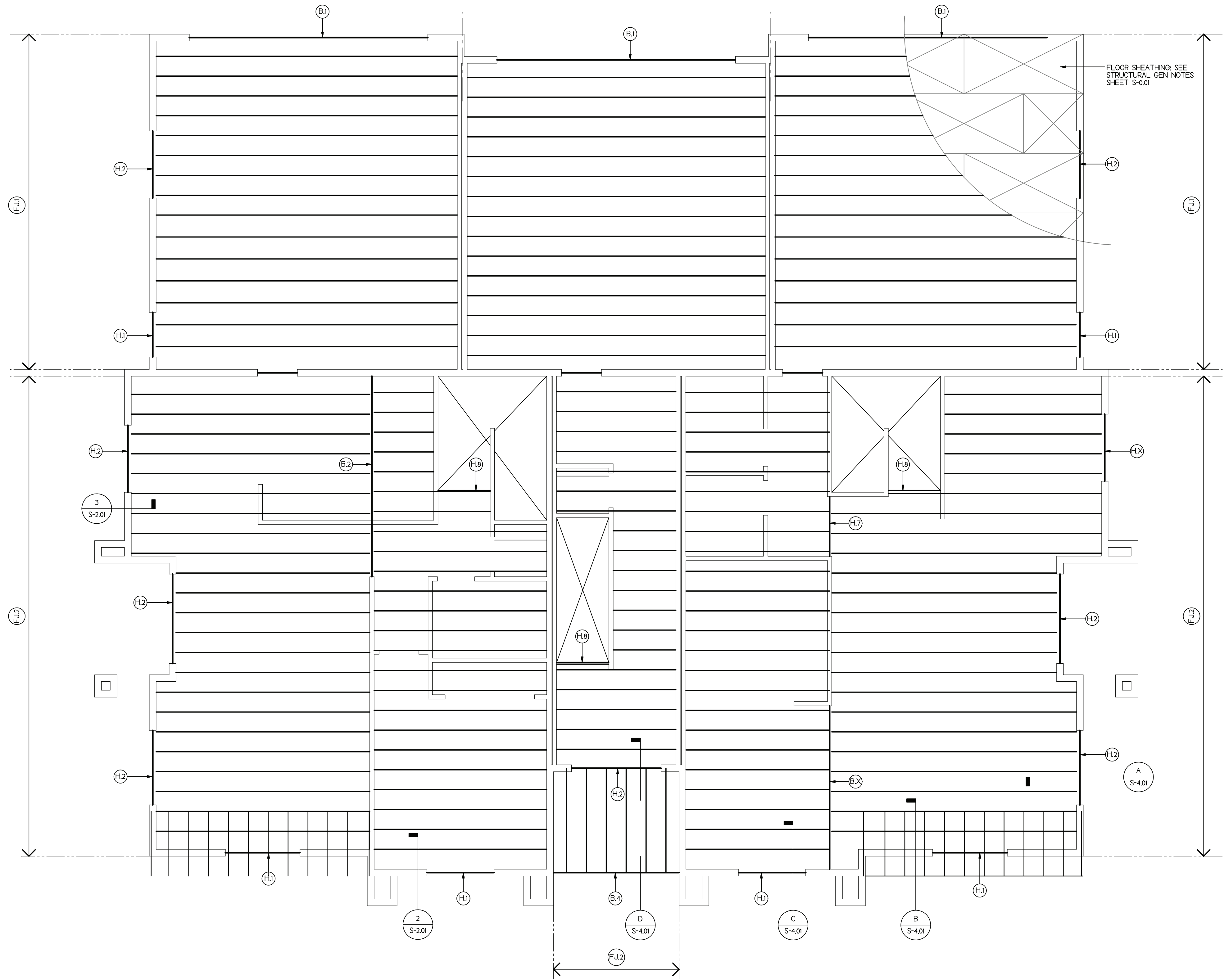
SHEAR TRANSFER AT FLOOR 1 1/2" 2



SHEAR TRANSFER: WALL PERPENDICULAR TO JOIST 1 1/2" 3



RAFTER TO LEDGER CONNECTION 1 1/2" 4

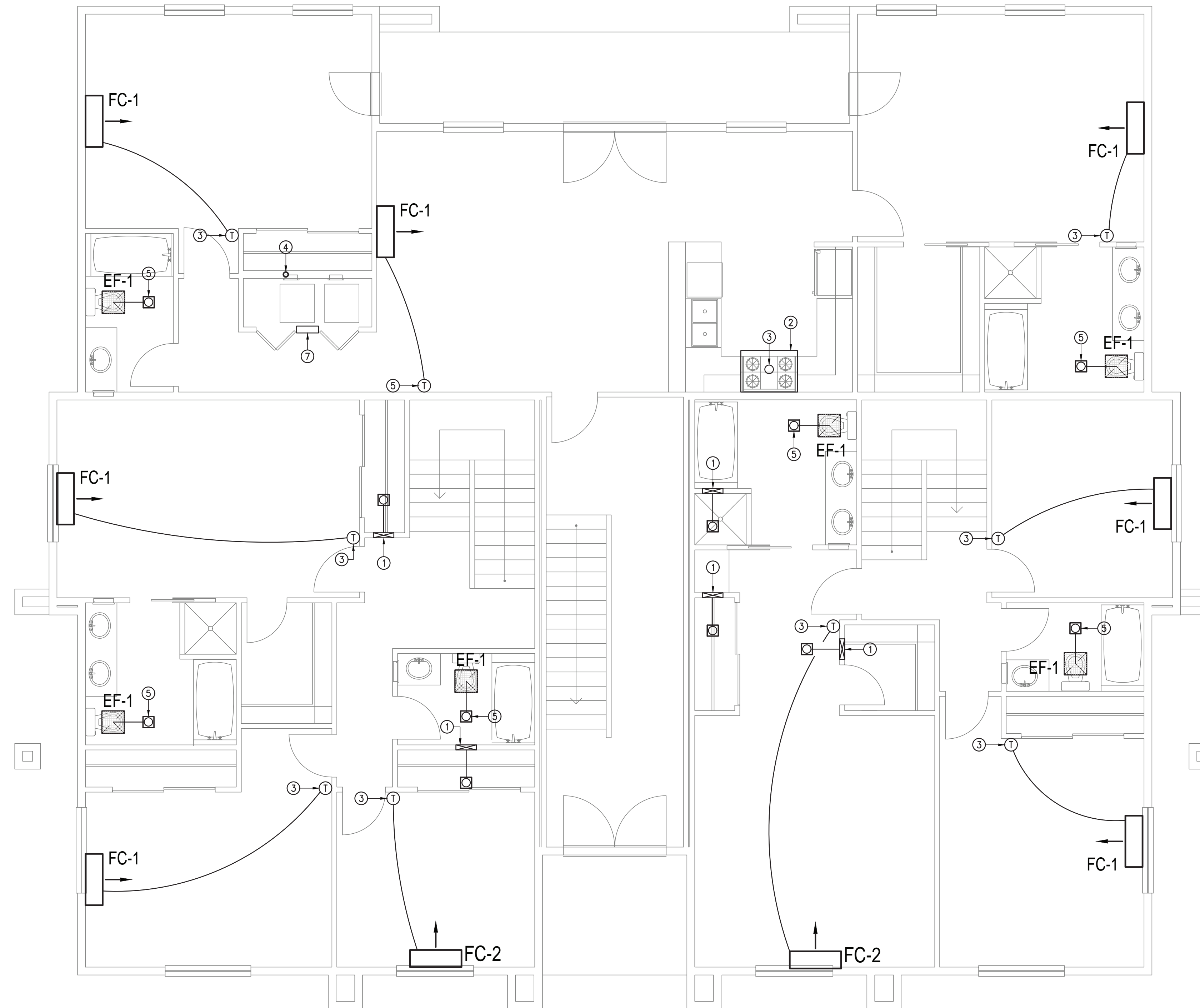


FLOOR FRAMING PLAN

1/8" A

KEYNOTES:

- ① DRYER VENT THRU WALL TO APPROVED WALL CAP w/ BALANCING BACKDRAFT DAMPER
 - ② RANGE HOOD - COORDINATE WITH GENERAL CONTRACTOR
 - ③ (7)DAY PROGRAMMABLE SET BACK STAT
 - ④ DRYER VENT RISER IN WALL FROM 12" AFF
 - ⑤ EXHAUST VENT THRU ROOF TO APPROVED WALL CAP w/ BALANCING BACKDRAFT DAMPER
 - ⑥ REFER PIPING SIZED AND INSTALLED PER MANUFACTURER INSTRUCTIONS
- FD = (1)HOUR FIRE DAMPER

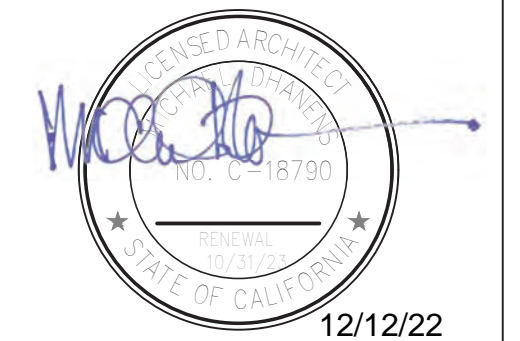


SECOND FLOOR MECHANICAL PLAN

1/4"

MICHAEL DHANENS ARCHITECT

661/324-4141
P.O. BOX 82155
BAKERSFIELD, CALIFORNIA
93380
C-18790



12/12/22

ELEVATION A

PROJECT
Piñon Townhome Estates

NWC Piñon Street and Applewood Drive
Parcel 1; Parcel Map 6507
APN 416-500-01
Tehachapi, California

TRI-PLEX

MECHANICAL

| NO. | REVISIONS | |
|----------------|---------------------------------|------------|
| ▲ | | |
| ▲ | | |
| ▲ | | |
| ▲ | | |
| ▲ | | |
| NO. | ISSUED FOR | |
| ▲ | | |
| ▲ | | |
| ▲ | | |
| ▲ | ARCHITECTURAL REVIEW (05/19/22) | |
| DATE | 06/14/22 | SHEET |
| DRAWN | | |
| PROJECT NUMBER | 976.02 | M-1.2 |
| | | MECHANICAL |

CERTIFICATE OF COMPLIANCE
 Project Name: Pinon St Townhome Unit A
 Calculation Date/Time: 2022-11-04T10:28:45-07:00
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| GENERAL INFORMATION | |
|---------------------|--|
| 01 | Project Name: Pinon St Townhome Unit A |
| 02 | Plan Title: Title 24 Analysis |
| 03 | Project Location: Parcel 1, Parcel Map 6507 |
| 04 | City: Tehachapi |
| 05 | Standards Version: 2019 |
| 06 | Zip Code: 93361 |
| 07 | Software Version: EnergyPlus 8.3 |
| 08 | Climate Zone: 16 |
| 09 | Front Orientation (deg / Cardinal): All Orientations |
| 10 | Building Type: Single Family |
| 11 | Number of Dwelling Units: 1 |
| 12 | Project Scope: New Construction |
| 13 | Number of Bedrooms: 4 |
| 14 | Number of Stories: 2 |
| 15 | Penetration Average U-factor: 0.3 |
| 16 | Existing Cond. Floor Area (ft²): n/a |
| 17 | Glazing Percentage (%): 8.58% |
| 18 | Total Cond. Floor Area (ft²): 1864 |
| 19 | ADU Conditioned Floor Area (ft²): n/a |
| 20 | ADU Bedroom Count: n/a |
| 21 | Is Natural Gas Available? Yes |

| COMPLIANCE RESULTS | |
|--------------------|---|
| 01 | Building Complies with Computer Performance |
| 02 | This building incorporates features that require field testing and/or verification by a certified HERS rater under the supervision of a CEC-approved HERS provider. |
| 03 | This building incorporates one or more Special Features shown below |

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 Registration Date/Time: 2022-11-04 12:49:22
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 HERS Provider: CalCERTS, Inc.
 Report Version: 2019.2.000
 Report Generated: 2022-11-04 10:30:01
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| REQUIRED PV SYSTEMS - SIMPLIFIED | | | | | | | | | | | |
|----------------------------------|-----------|-------------|------------|-------------------|------|---------------|------------|-------------------|----------------|-------------------|-------------------------|
| 01 | 02 | 03 | 04 | 05 | 06 | 07 | 08 | 09 | 10 | 11 | 12 |
| DC System Size (kWdc) | Exception | Module Type | Array Type | Power Electronics | CFI | Azimuth (deg) | Tilt Input | Array Angle (deg) | Tilt (x in 12) | Inverter Eff. (%) | Annual Solar Access (%) |
| 3 | NA | Standard | Fixed | none | true | 105-300 | n/a | n/a | <=7/12 | 96 | 100 |

REQUIRED SPECIAL FEATURES
 The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.
 • Floor has high level of insulation
 • Insulation below roof deck

HERS FEATURE SUMMARY
 The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building tables below. Registered CF1Rs and CF2Rs are required to be completed in the HERS Registry.
 Building-level Verifications:
 • Quality insulation installation (QII)
 • Indoor air quality ventilation
 • Kitchen range hood
 Cooling System Verifications:
 • Minimum Airflow
 • Verified EER
 • Verified SEER
 • Verified Refrigerant Charge
 • Fan Efficiency Metrics (FEM)
 Heating System Verifications:
 • None
 HVAC Distribution System Verifications:
 • Duct leakage testing
 Domestic Hot Water System Verifications:
 • None

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| FENESTRATION / GLAZING | | | | | | | | | | | | | |
|------------------------|--------|---------------------------|-------------|---------|------------|-------------|-------|------------|----------|------|---------------|------|------------------|
| 01 | 02 | 03 | 04 | 05 | 06 | 07 | 08 | 09 | 10 | 11 | 12 | 13 | 14 |
| Name | Type | Surface | Orientation | Azimuth | Width (ft) | Height (ft) | Mult. | Area (ft²) | U-factor | SHGC | SHGC Source | SHGC | Exterior Shading |
| Window - B | Window | Right Exterior Wall | Right | 270 | 1 | 20 | 0.3 | 60 | 0.3 | 0.45 | NFRC | 0.45 | Bug Screen |
| Window - H | Window | Front Exterior Wall 2nd F | Front | 0 | 1 | 20 | 0.3 | 60 | 0.3 | 0.45 | NFRC | 0.45 | Bug Screen |
| Window - J | Window | Front Exterior Wall 2nd F | Front | 0 | 1 | 20 | 0.3 | 60 | 0.3 | 0.45 | NFRC | 0.45 | Bug Screen |
| Window - F | Window | Right Exterior Wall 2nd F | Right | 270 | 1 | 20 | 0.3 | 60 | 0.3 | 0.45 | NFRC | 0.45 | Bug Screen |
| Window - G | Window | Right Exterior Wall 2nd F | Right | 270 | 1 | 20 | 0.3 | 60 | 0.3 | 0.45 | NFRC | 0.45 | Bug Screen |
| Window - E | Window | Front Exterior Wall - Gar | Front | 0 | 1 | 20 | 0.55 | 110.6 | 0.67 | 0.67 | Table 110.6-A | 0.67 | Bug Screen |

| OPAQUE DOORS | | | |
|--------------|---------------------------|------------|----------|
| 01 | 02 | 03 | 04 |
| Name | Side of Building | Area (ft²) | U-factor |
| Door A01 | Front Exterior Wall | 40 | 0.2 |
| Door A04 | Demising Wall Unit A | 17.8 | 0.2 |
| Door A02 | Front Exterior Wall - Gar | 20 | 0.5 |
| Door A03 | Left Exterior Wall - Gar | 106.7 | 1 |

| SLAB FLOORS | | | | | | | |
|-----------------|------------------|------------|----------------|-------------------------------|-------------------------------|-------------------|--------|
| 01 | 02 | 03 | 04 | 05 | 06 | 07 | 08 |
| Name | Zone | Area (ft²) | Perimeter (ft) | Edge Insul. R-value and Depth | Edge Insul. R-value and Depth | Carpeted Fraction | Heated |
| Slab-on-Grade | Unit A 1st Floor | 917 | 126.45 | none | 0 | 80% | No |
| Slab-on-Grade 2 | Garage | 428 | 86.83 | none | 0 | 0% | No |

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| ENERGY DESIGN RATINGS | | | | |
|-----------------------|-----------------------|--------------------------|------------------|--------------------------|
| | Energy Design Ratings | | | |
| | Efficiency (EDR) | Total ¹ (EDR) | Efficiency (EDR) | Total ¹ (EDR) |
| Standard Design | 51.3 | 29.1 | | |
| Proposed Design | | | | |
| North Facing | 51.3 | 29.1 | 0 | 0 |
| East Facing | 50.7 | 28.5 | 0.6 | 0.6 |
| South Facing | 48.1 | 25.9 | 3.2 | 3.2 |
| West Facing | 48.6 | 26.4 | 2.7 | 2.7 |

RESULT: **COMPLIES**
¹ Total EDR includes efficiency and demand response measures such as photovoltaic (PV) systems and batteries.
 Building complies when efficiency and total compliance margins are greater than or equal to zero.
 • Standard Design PV Capacity: 2.85 kWdc

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| BUILDING - FEATURES INFORMATION | | | | | | |
|---------------------------------|------------------------------|--------------------------|--------------------|-----------------|---------------------------------------|---------------------------------|
| 01 | 02 | 03 | 04 | 05 | 06 | 07 |
| Project Name | Conditioned Floor Area (ft²) | Number of Dwelling Units | Number of Bedrooms | Number of Zones | Number of Ventilation Cooling Systems | Number of Water Heating Systems |
| Pinon St Townhome Unit A | 1864 | 1 | 4 | 2 | 0 | 1 |

| ZONE INFORMATION | | | | | | |
|------------------|-------------|-------------------|-----------------------|---------------------|------------------------|------------------------|
| 01 | 02 | 03 | 04 | 05 | 06 | 07 |
| Zone Name | Zone Type | HVAC System Name | Zone Floor Area (ft²) | Avg. Ceiling Height | Water Heating System 1 | Water Heating System 2 |
| Unit A 1st Floor | Conditioned | New Split System1 | 917 | 9 | DHW Sys 1 | N/A |
| Unit A 2nd Floor | Conditioned | New Split System1 | 947 | 9 | DHW Sys 1 | N/A |

| OPAQUE SURFACES | | | | | | | |
|---------------------------|------------------|--------------------------|---------|-------------|------------------|----------------------------|------------|
| 01 | 02 | 03 | 04 | 05 | 06 | 07 | 08 |
| Name | Zone | Construction | Azimuth | Orientation | Gross Area (ft²) | Window and Door Area (ft²) | Tilt (deg) |
| Front Exterior Wall | Unit A 1st Floor | HP Wall w/RS ext | 0 | Front | 396 | 90 | 90 |
| Left Exterior Wall | Unit A 1st Floor | HP Wall w/RS ext | 90 | Left | 15 | 0 | 90 |
| Rear Exterior Wall | Unit A 1st Floor | HP Wall w/RS ext | 180 | Back | 63 | 0 | 90 |
| Right Exterior Wall | Unit A 1st Floor | HP Wall w/RS ext | 270 | Right | 276.75 | 40 | 90 |
| Front Exterior Wall 2nd F | Unit A 2nd Floor | R-15 Wall w/RS ext-Stucc | 0 | Front | 306 | 40 | 90 |
| Left Exterior Wall 2nd F | Unit A 2nd Floor | R-15 Wall w/RS ext-Stucc | 90 | Left | 15 | 0 | 90 |
| Rear Exterior Wall 2nd F | Unit A 2nd Floor | HP Wall w/RS ext | 180 | Back | 63 | 0 | 90 |
| Right Exterior Wall 2nd F | Unit A 2nd Floor | R-15 Wall w/RS ext-Stucc | 270 | Right | 259 | 40 | 90 |
| Demising to Unit C Vestib | Unit A 1st Floor | R-21 Wall | n/a | n/a | 238.5 | 0 | n/a |

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| OPAQUE SURFACE CONSTRUCTIONS | | | | | | | |
|------------------------------|------------------------|---------------------|--------------------|----------------------|--|----------|--|
| 01 | 02 | 03 | 04 | 05 | 06 | 07 | 08 |
| Construction Name | Surface Type | Construction Type | Framing | Total Cavity R-value | Interior / Exterior Continuous R-value | U-factor | Assembly Layers |
| R-0 Wall | Exterior Walls | Wood Framed Wall | 2x6 @ 16 in. O. C. | R-0 | None / None | 0.347 | Inside Finish: Gypsum Board Cavity / Frame: no Insul. / 2x6 Exterior Finish: 3 Coat Stucco |
| HP Wall w/RS ext | Exterior Walls | Wood Framed Wall | 2x6 @ 16 in. O. C. | R-21 | None / R-5 | 0.048 | Inside Finish: Gypsum Board Cavity / Frame: R-21 / 2x6 Sheathing / Insulation: R-5 Sheathing Exterior Finish: All Other Siding |
| R-15 Wall w/RS ext-Stucc | Exterior Walls | Wood Framed Wall | 2x4 @ 16 in. O. C. | R-15 | None / R-5 | 0.06 | Inside Finish: Gypsum Board Cavity / Frame: R-15 / 2x4 Sheathing / Insulation: R-5 Sheathing Exterior Finish: 3 Coat Stucco |
| R-0 Wall | Interior Walls | Wood Framed Wall | 2x6 @ 16 in. O. C. | R-0 | None / None | 0.266 | Inside Finish: Gypsum Board Cavity / Frame: no Insul. / 2x6 Other Side Finish: Gypsum Board |
| R-21 Wall | Interior Walls | Wood Framed Wall | 2x6 @ 16 in. O. C. | R-21 | None / None | 0.064 | Inside Finish: Gypsum Board Cavity / Frame: R-21 / 2x6 Other Side Finish: Gypsum Board |
| Attic Roof/Unit A 2nd Floor | Attic Roofs | Wood Framed Ceiling | 2x4 @ 24 in. O. C. | R-19 | None / None | 0.059 | Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/Sheathing/Decking Cavity / Frame: R-19 / 2x4 Around Roof Joists: R-6.0 Insul. |
| R-38 HP Attic | Ceilings (Below Attic) | Wood Framed Ceiling | 2x4 @ 24 in. O. C. | R-38 | None / None | 0.025 | Over Ceiling Joists: R-38, 9 Insul. Cavity / Frame: R-31 / 2x4 Inside Finish: Gypsum Board |

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| ENERGY USE SUMMARY | | | | |
|--------------------------------------|-----------------|-----------------|-------------------|---------------------|
| Energy Use (kWh/ft²-yr) | Standard Design | Proposed Design | Compliance Margin | Percent Improvement |
| Space Heating | 34.2 | 36.32 | -2.12 | -6.2 |
| Space Cooling | 4.8 | 4.66 | 0.14 | 2.9 |
| IAQ Ventilation | 4.12 | 4.12 | 0 | 0 |
| Water Heating | 16.82 | 14.75 | 2.07 | 12.3 |
| Self Utilization Credit | n/a | 0 | 0 | n/a |
| North Facing Compliance Total | 59.94 | 59.85 | 0.09 | 0.2 |
| Space Heating | 34.2 | 34.94 | -0.74 | -2.2 |
| Space Cooling | 4.8 | 4.42 | 0.38 | 7.9 |
| IAQ Ventilation | 4.12 | 4.12 | 0 | 0 |
| Water Heating | 16.82 | 14.75 | 2.07 | 12.3 |
| Self Utilization Credit | n/a | 0 | 0 | n/a |
| East Facing Compliance Total | 59.94 | 58.23 | 1.71 | 2.9 |
| Space Heating | 34.2 | 26.97 | 7.23 | 21.1 |
| Space Cooling | 4.8 | 5.77 | -0.97 | -20.2 |
| IAQ Ventilation | 4.12 | 4.12 | 0 | 0 |
| Water Heating | 16.82 | 14.75 | 2.07 | 12.3 |
| Self Utilization Credit | n/a | 0 | 0 | n/a |
| South Facing Compliance Total | 59.94 | 51.61 | 8.33 | 13.9 |
| Space Heating | 34.2 | 28.27 | 5.93 | 17.3 |
| Space Cooling | 4.8 | 6.02 | -1.22 | -25.4 |
| IAQ Ventilation | 4.12 | 4.12 | 0 | 0 |
| Water Heating | 16.82 | 14.75 | 2.07 | 12.3 |
| Self Utilization Credit | n/a | 0 | 0 | n/a |
| West Facing Compliance Total | 59.94 | 53.16 | 6.78 | 11.3 |

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| OPAQUE SURFACES | | | | | | | |
|-----------------------------|------------------|--------------------------|---------|-------------|------------------|----------------------------|------------|
| 01 | 02 | 03 | 04 | 05 | 06 | 07 | 08 |
| Name | Zone | Construction | Azimuth | Orientation | Gross Area (ft²) | Window and Door Area (ft²) | Tilt (deg) |
| Demising Wall Unit A | Unit A 1st Floor | R-21 Wall | n/a | n/a | 306 | 17.8 | n/a |
| Demising to Unit C Vestib 2 | Unit A 2nd Floor | R-21 Wall | n/a | n/a | 238.5 | 0 | n/a |
| Demising Wall Unit C | Unit A 2nd Floor | R-21 Wall | n/a | n/a | 243 | 0 | n/a |
| Demising Wall Unit C Gar | Garage | R-0 Wall | n/a | n/a | 202.5 | 0 | n/a |
| Roof | Unit A 2nd Floor | R-38 HP Attic | n/a | n/a | 347 | n/a | n/a |
| Raised Floor | Unit A 2nd Floor | R-30 Floor No Crawlspace | n/a | n/a | 39 | n/a | n/a |
| Floor/Ceiling Attic | Unit A 1st Floor | R-10 Roof No Attic | n/a | n/a | 917 | n/a | n/a |
| Floor/Ceiling Unit C | Garage | R-30 Roof No Attic | n/a | n/a | 428 | n/a | n/a |
| Front Exterior Wall - Gar | Garage | R-0 Wall | 0 | Front | 202.5 | 40 | 90 |
| Left Exterior Wall - Gar | Garage | R-0 Wall | 90 | Left | 188.25 | 106.7 | 90 |

| ATTIC | | | | | | | |
|------------------------|-----------------------------|------------|---------------------|------------------|----------------|-----------------|-----------|
| 01 | 02 | 03 | 04 | 05 | 06 | 07 | 08 |
| Name | Construction | Type | Roof Rise (x in 12) | Roof Reflectance | Roof Emittance | Radiant Barrier | Cool Roof |
| Attic Unit A 2nd Floor | Attic Roof/Unit A 2nd Floor | Ventilated | 4 | 0.1 | 0.85 | No | No |

| 01 | 02 | 03 | 04 | 05 | 06 | 07 | 08 | 09 | 10 | 11 | 12 |
|--------------|----------------------|------------------------|------------|-----------------|-----------------------------|-----------------------|-----------------------------------|------------------------------|-----------------------------|------------------------------|------------------------------------|
| Name | Heating Element Type | Tank Type | # of Units | Tank Vol. (Gal) | Energy Factor or Efficiency | Input Rating or Pilot | Tank Insulation R-value (Int/Ext) | Standby Loss or Recovery Eff | 1st Ht. Rating or Flow Rate | NEA Heat Pump Brand or Model | Tank Location or Ambient Condition |
| DHW Heater 1 | Gas | Consumer Instantaneous | 1 | 0 | 0.95 UEF | <= 200 kBtu/hr | 0 | n/a | n/a | n/a | n/a |

| 01 | 02 | 03 | 04 | 05 | 06 | 07 | 08 |
|----------------|-----------------|-----------------|----------------------|---------------------------|-----------------------|--------------------------|----------------------------------|
| Name | Pipe Insulation | Parallel Piping | Compact Distribution | Compact Distribution Type | Recirculation Control | Central DHW Distribution | Shower Drain Water Heat Recovery |
| DHW Sys 1 - J1 | Not Required | Not Required | Not Required | None | Not Required | Not Required | Not Required |

| 01 | 02 | 03 | 04 | 05 | 06 | 07 | 08 | 09 | 10 | 11 |
|-------------------|----------------------------------|---------------------|---------------------|------------|---------------------------|--------------------------|--------|-----------------------------|-------------------------|-------------------------|
| Name | System Type | Heating Unit Name | Cooling Unit Name | Fan Name | Distribution Name | Required Thermostat Type | Status | Verified Existing Condition | Heating Equipment Count | Cooling Equipment Count |
| New Split System1 | Heating and cooling system other | Heating Component 1 | Cooling Component 1 | HVAC Fan 1 | Air Distribution System 1 | Setback | New | NA | 1 | 1 |

| 01 | 02 | 03 | 04 |
|---------------------|---------------------|-----------------|--------------------|
| Name | System Type | Number of Units | Heating Efficiency |
| Heating Component 1 | Central gas furnace | 1 | AFLUE-64 |

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| 01 | 02 | 03 | 04 | 05 | 06 | 07 | 08 |
|---------------------|-------------------|-----------------|---------------------|-----------------|--------------------|------------------------|------------------------------|
| Name | System Type | Number of Units | Efficiency EER/CEER | Efficiency SEER | Zonally Controlled | Multi-speed Compressor | HERS Verification |
| Cooling Component 1 | Central split A/C | 1 | 12.5 | 15 | Not Zonal | Single Speed | Cooling Component 1-hrs-cool |

| 01 | 02 | 03 | 04 | 05 | 06 |
|------------------------------|------------------|----------------|--------------|---------------|-----------------------------|
| Name | Verified Airflow | Airflow Target | Verified EER | Verified SEER | Verified Refrigerant Charge |
| Cooling Component 1-hrs-cool | Required | 350 | Required | Required | Required |

| 01 | 02 | 03 | 04 | 05 | 06 | 07 | 08 | 09 | 10 | 11 | 12 |
|---------------------------|---------------------|--------------|--------------------------|--------------------------|----------------------|----------------------|--------------|-------------|----------------|-------------------|------------------------------------|
| Name | Type | Design Type | Supply Duct Ins. R-value | Return Duct Ins. R-value | Supply Duct Location | Return Duct Location | Surface Area | Bypass Duct | Duct Leakage | HERS Verification | |
| Air Distribution System 1 | Unconditioned attic | Non-Verified | R-8 | R-8 | ABC | ABC | n/a | n/a | No Bypass Duct | Sealed and Tested | Air Distribution System 1-hrs-dist |

| 01 | 02 | 03 | 04 | 05 | 06 | 07 | 08 | 09 |
|------------------------------------|---------------------------|-------------------------|------------------------|----------------------|--------------|---------------------|-------------------------|---|
| Name | Duct Leakage Verification | Duct Leakage Target (%) | Verified Duct Location | Verified Duct Design | Buried Ducts | Deeply Buried Ducts | Low-leakage Air Handler | Low Leakage Ducts Entirely in Conditioned Space |
| Air Distribution System 1-hrs-dist | Yes | 5.0 | Not Required | Not Required | Not Required | Credit not taken | Not Required | No |

Registration Number: 222-P010216667A-000-000-0000000-0000
 CA Building Energy Efficiency Standards - 2019 Residential Compliance
 Registration Date/Time: 2022-11-04 12:49:22
 Report Version: 2019.2.000
 Schema Version: rev 20200901
 HERS Provider: CalCERTS Inc.
 Report Generated: 2022-11-04 10:30:01

| 01 | 02 | 03 | 04 |
|------------|----------|-----------------------|--------------------|
| Name | Type | Fan Power (Watts/CFM) | Name |
| HVAC Fan 1 | HVAC Fan | 0.45 | HVAC Fan 1-hrs-fan |

| 01 | 02 | 03 |
|--------------------|------------------------|-----------------------------------|
| Name | Verified Fan Watt Draw | Required Fan Efficacy (Watts/CFM) |
| HVAC Fan 1-hrs-fan | Required | 0.45 |

| 01 | 02 | 03 | 04 | 05 | 06 | 07 |
|------------------|---------|---------------|--------------|----------------------------------|-----------------------------------|-------------------|
| Dwelling Unit | IAQ CFM | IAQ Watts/CFM | IAQ Fan Type | IAQ Recovery Effectiveness - SRE | IAQ Recovery Effectiveness - ASRE | HERS Verification |
| SpFan IAQVentRpt | 90 | 0.35 | Exhaust | n/a | n/a | Yes |

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DOCUMENTATION AUTHOR'S DECLARATION STATEMENT

I certify that this Certificate of Compliance documentation is accurate and complete.

| | |
|--|--|
| Documentation Author Name: Robert (Bob) Storar | Documentation Author Signature: |
| Company: Building Energy Services & Technology Consultants DBA B.E.S.T. Consultants | Signature Date: 2022-11-04 10:42:59 |
| Address: 8020 Dotie Ct Bakersfield, CA 93308 | CEA/HERS Certification Identification (if applicable): R19-16-30015 |
| | Phone: 861-587-3125 |

RESPONSIBLE PERSON'S DECLARATION STATEMENT

I certify the following under penalty of perjury, under the laws of the State of California:

- I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design identified on this Certificate of Compliance.
- I certify that the energy features and performance specifications identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.
- The building design features or systems design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.

| | |
|---|-------------------------------------|
| Responsible Designer Name: Michael Dhanens | Responsible Designer Signature: |
| Company: Michael Dhanens Architect | Date Signed: 2022-11-04 12:49:22 |
| Address: 1200 Truxtun Avenue, Ste 170 Bakersfield, CA 93301 | License: C18790 |
| | Phone: 961-324-4141 |

Digitally signed by CalCERTS. This digital signature is provided in order to secure the content of this registered document, and it in no way implies Registration Provider responsibility for the accuracy of the information.



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 Report Generated: 2022-11-04 10:30:01

MICHAEL DHANENS ARCHITECT
 661/324-4141
 P.O. BOX 82155
 BAKERSFIELD, CALIFORNIA
 93380
 C-18790



PROJECT
Pinon Townhome Estates
 NWC Pinon Street and Applewood Drive
 Parcel 1; Parcel Map 6507
 APN 416-500-01
 Tehachapi, California

TRI-PLEX
ENERGY FORMS
UNIT A

AD & SPR 2022-11
PERMIT B22-

| NO. | REVISIONS |
|----------------|---------------|
| 1 | |
| 2 | |
| 3 | |
| 4 | |
| 5 | |
| NO. | ISSUED FOR |
| 1 | |
| 2 | |
| 3 | |
| 4 | |
| 5 | |
| DATE | SHEET |
| 12/12/22 | |
| PROJECT NUMBER | SHEET |
| 976.02 | T-24.2 |
| | ENERGY |

| GENERAL INFORMATION | |
|---------------------|--|
| 01 | Project Name: Pinon St Townhome Unit B |
| 02 | Plan Title: Title 24 Analysis |
| 03 | Project Location: Parcel 1, Parcel Map 6507 |
| 04 | City: Tehachapi |
| 05 | Standards Version: 2019 |
| 06 | Zip Code: 93361 |
| 07 | Software Version: EnergyPlus 8.3 |
| 08 | Climate Zone: 16 |
| 09 | Front Orientation (deg / Cardinal): All Orientations |
| 10 | Building Type: Single Family |
| 11 | Number of Dwelling Units: 4 |
| 12 | Project Scope: New Construction |
| 13 | Number of Bedrooms: 4 |
| 14 | Addition Cond. Floor Area (ft²): 0 |
| 15 | Number of Stories: 2 |
| 16 | Existing Cond. Floor Area (ft²): n/a |
| 17 | Penetration Average U-factor: 0.3 |
| 18 | Total Cond. Floor Area (ft²): 1866 |
| 19 | Glazing Percentage (%): 8.57% |
| 20 | ADU Bedroom Count: n/a |
| 21 | ADU Conditioned Floor Area: n/a |
| 22 | Is Natural Gas Available?: Yes |

| COMPLIANCE RESULTS | |
|--------------------|--|
| 01 | This building complies with Computer Performance |
| 02 | This building incorporates features that require field testing and/or verification by a certified HERS rater under the supervision of a CE-Approved HERS provider. |
| 03 | This building incorporates one or more Special Features shown below |

| ENERGY DESIGN RATING | Energy Design Ratings | | | |
|-------------------------|-----------------------|--------------------------|------------------|--------------------------|
| | Efficiency (EDR) | Total ¹ (EDR) | Efficiency (EDR) | Total ¹ (EDR) |
| Standard Design | 51.3 | 29.1 | | |
| Proposed Designs | | | | |
| North Facing | 51 | 28.8 | 0.3 | 0.3 |
| East Facing | 48.4 | 26.2 | 2.9 | 2.9 |
| South Facing | 48.2 | 26.1 | 3.1 | 3 |
| West Facing | 51 | 28.8 | 0.3 | 0.3 |
| RESULT: COMPLIES | | | | |

¹Efficiency EDR includes improvements to the building envelope and more efficient equipment.
²Total EDR includes efficiency and demand response measures such as programmable thermostats (PT) systems and batteries.
 Building complies when efficiency and total compliance margins are greater than or equal to zero.
 • Standard Design PV Capacity: 2.85 kWdc

| ENERGY USE SUMMARY | ENERGY USE SUMMARY | | | |
|--------------------------------------|-------------------------|-----------------|-----------------|-------------------|
| | Energy Use (kWh/ft²-yr) | Standard Design | Proposed Design | Compliance Margin |
| Space Heating | 34.23 | 36.98 | -1.83 | -5.3 |
| Space Cooling | 4.8 | 4.26 | 0.54 | 11.3 |
| IAQ Ventilation | 4.12 | 4.12 | 0 | 0 |
| Water Heating | 16.81 | 14.73 | 2.08 | 12.4 |
| Self Utilization Credit | n/a | 0 | 0 | n/a |
| North Facing Compliance Total | 59.96 | 59.17 | 0.79 | 1.3 |
| Space Heating | 34.23 | 27.97 | 6.26 | 18.3 |
| Space Cooling | 4.8 | 5.82 | -1.02 | -21.3 |
| IAQ Ventilation | 4.12 | 4.12 | 0 | 0 |
| Water Heating | 16.81 | 14.73 | 2.08 | 12.4 |
| Self Utilization Credit | n/a | 0 | 0 | n/a |
| East Facing Compliance Total | 59.96 | 52.64 | 7.32 | 12.2 |
| Space Heating | 34.23 | 22.28 | 6.95 | 20.3 |
| Space Cooling | 4.8 | 5.96 | -1.16 | -24.2 |
| IAQ Ventilation | 4.12 | 4.12 | 0 | 0 |
| Water Heating | 16.81 | 14.73 | 2.08 | 12.4 |
| Self Utilization Credit | n/a | 0 | 0 | n/a |
| South Facing Compliance Total | 59.96 | 52.09 | 7.87 | 13.1 |
| Space Heating | 34.23 | 35.41 | -1.18 | -3.4 |
| Space Cooling | 4.8 | 4.82 | -0.02 | -0.4 |
| IAQ Ventilation | 4.12 | 4.12 | 0 | 0 |
| Water Heating | 16.81 | 14.73 | 2.08 | 12.4 |
| Self Utilization Credit | n/a | 0 | 0 | n/a |
| West Facing Compliance Total | 59.96 | 58.08 | 0.88 | 1.5 |

| REQUIRED PV SYSTEMS - SIMPLIFIED | | | | | | | | | | | | |
|----------------------------------|-----------|-------------|------------|-------------------|------|---------------|------------|-------------------|----------------|-------------------|-------------------------|--|
| DC System Size (kWdc) | Exception | Module Type | Array Type | Power Electronics | CFI | Azimuth (deg) | Tilt Input | Array Angle (deg) | Tilt (x in 12) | Inverter Eff. (%) | Annual Solar Access (%) | |
| 3 | NA | Standard | Fixed | none | true | 105-300 | n/a | n/a | <=7/12 | 98 | 100 | |

REQUIRED SPECIAL FEATURES
 The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.
 • Floor has high level of insulation
 • Insulation below roof deck

HERS FEATURE SUMMARY
 The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building tables below. Registered CF1Rs and CF2Rs are required to be completed in the HERS Registry.
 Building-level Verifications:
 • Quality insulation installation (QII)
 • Indoor air quality ventilation
 • Kitchen range hood
 Cooling System Verifications:
 • Minimum Airflow
 • Verified EER
 • Verified SEER
 • Verified Refrigerant Charge
 • Fan Efficiency (Watts/CFM)
 Heating System Verifications:
 • None
 HVAC distribution System Verifications:
 • Duct leakage testing
 Domestic Hot Water System Verifications:
 • None

| BUILDING - FEATURES INFORMATION | | | | | | |
|---------------------------------|------------------------------|--------------------------|--------------------|-----------------|---------------------------------------|---------------------------------|
| Project Name | Conditioned Floor Area (ft²) | Number of Dwelling Units | Number of Bedrooms | Number of Zones | Number of Ventilation Cooling Systems | Number of Water Heating Systems |
| Pinon St Townhome Unit B | 1866 | 1 | 4 | 2 | 0 | 1 |

| ZONE INFORMATION | | | | | | |
|------------------|-------------|-------------------|-----------------------|---------------------|------------------------|------------------------|
| Zone Name | Zone Type | HVAC System Name | Zone Floor Area (ft²) | Avg. Ceiling Height | Water Heating System 1 | Water Heating System 2 |
| Unit B 1st Floor | Conditioned | New Split System1 | 917 | 9 | DHW Sys 1 | N/A |
| Unit B 2nd Floor | Conditioned | New Split System1 | 949 | 9 | DHW Sys 1 | N/A |

| OPAQUE SURFACES | | | | | | | |
|---------------------------|------------------|---------------------------|---------|-------------|------------------|----------------------------|------------|
| Name | Zone | Construction | Azimuth | Orientation | Gross Area (ft²) | Window and Door Area (ft²) | Tilt (deg) |
| Front Exterior Wall | Unit B 1st Floor | HP Wall w/RS ext | 0 | Front | 306 | 80 | 90 |
| Left Exterior Wall | Unit B 1st Floor | HP Wall w/RS ext | 90 | Left | 276.75 | 40 | 90 |
| Rear Exterior Wall | Unit B 1st Floor | HP Wall w/RS ext | 180 | Back | 63 | 0 | 90 |
| Right Exterior Wall | Unit B 1st Floor | HP Wall w/RS ext | 270 | Right | 15 | 0 | 90 |
| Front Exterior Wall 2nd F | Unit B 2nd Floor | R-15 Wall w/RS ext-Stucco | 0 | Front | 306 | 40 | 90 |
| Left Exterior Wall 2nd F | Unit B 2nd Floor | R-15 Wall w/RS ext-Stucco | 90 | Left | 261 | 40 | 90 |
| Rear Exterior Wall 2nd F | Unit B 2nd Floor | HP Wall w/RS ext | 180 | Back | 63 | 0 | 90 |
| Right Exterior Wall 2nd F | Unit B 2nd Floor | R-15 Wall w/RS ext-Stucco | 270 | Right | 15 | 0 | 90 |
| Demising to Unit C Vestib | Unit B 1st Floor | R-21 Wall | n/a | n/a | 238.5 | 0 | n/a |

| OPAQUE SURFACES | | | | | | | |
|-----------------------------|------------------|--------------------------|---------|-------------|------------------|----------------------------|------------|
| Name | Zone | Construction | Azimuth | Orientation | Gross Area (ft²) | Window and Door Area (ft²) | Tilt (deg) |
| Demising Wall Unit B | Unit B 1st Floor | R-21 Wall | n/a | n/a | 306 | 17.8 | n/a |
| Demising to Unit C Vestib 2 | Unit B 2nd Floor | R-21 Wall | n/a | n/a | 238.5 | 0 | n/a |
| Demising Wall Unit C | Unit B 2nd Floor | R-21 Wall | n/a | n/a | 243 | 0 | n/a |
| Demising Wall Unit C Gar | Garage | R-0 Wall | n/a | n/a | 202.5 | 0 | n/a |
| Roof | Unit B 2nd Floor | R-38 HP Attic | n/a | n/a | 949 | n/a | n/a |
| Raised Floor | Unit B 2nd Floor | R-30 Floor No Crawlspace | n/a | n/a | 39 | n/a | n/a |
| Floor/Ceiling Ass. | Unit B 1st Floor | R-13 Roof No Attic | n/a | n/a | 917 | n/a | n/a |
| Floor/Ceiling Unit C | Garage | R-30 Roof No Attic | n/a | n/a | 428 | n/a | n/a |
| Front Exterior Wall- Gar | Garage | R-0 Wall | 0 | Front | 202.5 | 40 | 90 |
| Right Exterior Wall- Gar | Garage | R-0 Wall | 270 | Right | 188.25 | 106.7 | 90 |

| ATTIC | | | | | | | |
|------------------------|-----------------------------|------------|---------------------|------------------|----------------|-----------------|-----------|
| Name | Construction | Type | Roof Rise (x in 12) | Roof Reflectance | Roof Emittance | Radiant Barrier | Cool Roof |
| Attic Unit B 2nd Floor | Attic Roof/Unit B 2nd Floor | Ventilated | 4 | 0.1 | 0.85 | No | No |

| PENETRATION / GLAZING | | | | | | | | | | | | | |
|-----------------------|--------|---------------------|-------------|---------|------------|-------------|-------|------------|----------|-----------------|------|-------------|------------------|
| Name | Type | Surface | Orientation | Azimuth | Width (ft) | Height (ft) | Mult. | Area (ft²) | U-factor | U-factor Source | SHGC | SHGC Source | Exterior Shading |
| Window #B-C | Window | Front Exterior Wall | Front | 0 | | | 1 | 20 | 0.3 | NFRC | 0.45 | NFRC | Bug Screen |
| Window #B-D | Window | Front Exterior Wall | Front | 0 | | | 1 | 20 | 0.3 | NFRC | 0.45 | NFRC | Bug Screen |
| Window #B-E | Window | Left Exterior Wall | Left | 90 | | | 1 | 20 | 0.3 | NFRC | 0.45 | NFRC | Bug Screen |

| PENETRATION / GLAZING | | | | | | | | | | | | | |
|-----------------------|--------|---------------------------|-------------|---------|------------|-------------|-------|------------|----------|-----------------|------|-------------|------------------|
| Name | Type | Surface | Orientation | Azimuth | Width (ft) | Height (ft) | Mult. | Area (ft²) | U-factor | U-factor Source | SHGC | SHGC Source | Exterior Shading |
| Window #B-A | Window | Left Exterior Wall | Left | 90 | | | 1 | 20 | 0.3 | NFRC | 0.45 | NFRC | Bug Screen |
| Window #B-H | Window | Front Exterior Wall 2nd F | Front | 0 | | | 1 | 20 | 0.3 | NFRC | 0.45 | NFRC | Bug Screen |
| Window #B-I | Window | Front Exterior Wall 2nd F | Front | 0 | | | 1 | 20 | 0.3 | NFRC | 0.45 | NFRC | Bug Screen |
| Window #B-J | Window | Front Exterior Wall 2nd F | Front | 0 | | | 1 | 20 | 0.3 | NFRC | 0.45 | NFRC | Bug Screen |
| Window #B-G | Window | Left Exterior Wall 2nd F | Left | 90 | | | 1 | 20 | 0.3 | NFRC | 0.45 | NFRC | Bug Screen |
| Window #B-F | Window | Left Exterior Wall 2nd F | Left | 90 | | | 1 | 20 | 0.3 | NFRC | 0.45 | NFRC | Bug Screen |
| Window #B-E | Window | Front Exterior Wall- Gar | Front | 0 | | | 1 | 20 | 0.55 | Table 110.6-A | 0.67 | B | Bug Screen |

| OPAQUE DOORS | | | |
|--------------|--------------------------|------------|----------|
| Name | Side of Building | Area (ft²) | U-factor |
| Door B01 | Front Exterior Wall | 40 | 0.2 |
| Door B04 | Demising Wall Unit B | 17.8 | 0.2 |
| Door B02 | Front Exterior Wall- Gar | 20 | 0.5 |
| Door B03 | Right Exterior Wall- Gar | 106.7 | 1 |

| SLAB FLOORS | | | | | | | |
|-----------------|------------------|------------|----------------|-------------------------------|-------------------------------|-------------------|--------|
| Name | Zone | Area (ft²) | Perimeter (ft) | Edge Insul. R-value and Depth | Edge Insul. R-value and Depth | Carpeted Fraction | Heated |
| Slab-on-Grade | Unit B 1st Floor | 917 | 130 | none | 0 | 80% | No |
| Slab-on-Grade 2 | Garage | 428 | 86.83 | none | 0 | 0% | No |

| OPAQUE SURFACE CONSTRUCTIONS | | | | | | | |
|------------------------------|------------------------|---------------------|--------------------|----------------------|--|----------|--|
| Construction Name | Surface Type | Construction Type | Framing | Total Cavity R-value | Interior / Exterior Continuous R-value | U-factor | Assembly Layers |
| R-0 Wall | Exterior Walls | Wood Framed Wall | 2x6 @ 16 in. O. C. | R-0 | None / None | 0.347 | Inside Finish: Gypsum Board Cavity / Frame: no Insul. / 2x6 Exterior Finish: 3 Coat Stucco |
| HP Wall w/RS ext | Exterior Walls | Wood Framed Wall | 2x6 @ 16 in. O. C. | R-21 | None / R-5 | 0.048 | Inside Finish: Gypsum Board Cavity / Frame: R-21 / 2x6 Sheathing / Insulation: R-5 Sheathing Exterior Finish: All Other Siding |
| R-15 Wall w/RS ext-Stucco | Exterior Walls | Wood Framed Wall | 2x4 @ 16 in. O. C. | R-15 | None / R-5 | 0.06 | Inside Finish: Gypsum Board Cavity / Frame: R-15 / 2x4 Sheathing / Insulation: R-5 Sheathing Exterior Finish: 3 Coat Stucco |
| R-0 Wall | Interior Walls | Wood Framed Wall | 2x6 @ 16 in. O. C. | R-0 | None / None | 0.266 | Inside Finish: Gypsum Board Cavity / Frame: R-0 / 2x6 Other Side Finish: Gypsum Board |
| R-21 Wall | Interior Walls | Wood Framed Wall | 2x6 @ 16 in. O. C. | R-21 | None / None | 0.064 | Inside Finish: Gypsum Board Cavity / Frame: R-21 / 2x6 Other Side Finish: Gypsum Board |
| Attic Roof/Unit B 2nd Floor | Attic Roofs | Wood Framed Ceiling | 2x4 @ 24 in. O. C. | R-19 | None / None | 0.059 | Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/Sheathing/Decking Cavity / Frame: R-13.0 / 2x4 Around Roof Joists: R-6.0 Insul. |
| R-38 HP Attic | Ceilings (below attic) | Wood Framed Ceiling | 2x4 @ 24 in. O. C. | R-38 | None / None | 0.025 | Over Ceiling Joists: R-38.9 Insul. Cavity / Frame: R-31 / 2x4 Inside Finish: Gypsum Board |

CERTIFICATE OF COMPLIANCE
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 Calculation Description: Title 24 Analysis
 Input File Name: Pinon Townhomes Unit B.rbd19x
 CF1R-PRF-01E (Page 10 of 13)

| 01 | 02 | 03 | 04 | 05 | 06 | 07 | 08 | 09 | 10 | 11 | 12 |
|--------------|----------------------|------------------------|------------|-----------------|-----------------------------|-----------------------|-----------------------------------|------------------------------|-----------------------------|-------------------------------|------------------------------------|
| Name | Heating Element Type | Tank Type | # of Units | Tank Vol. (gal) | Energy Factor or Efficiency | Input Rating or Pilot | Tank Insulation R-value (Int/Ext) | Standby Loss or Recovery Eff | 1st Ht. Rating or Flow Rate | NEEA Heat Pump Brand or Model | Tank Location or Ambient Condition |
| DHW Heater 1 | Gas | Consumer Instantaneous | 1 | 0 | 0.95 UEF | <= 200 kBtu/hr | 0 | n/a | n/a | n/a | n/a |

| 01 | 02 | 03 | 04 | 05 | 06 | 07 | 08 |
|----------------|-----------------|-----------------|----------------------|---------------------------|-----------------------|--------------------------|----------------------------------|
| Name | Pipe Insulation | Parallel Piping | Compact Distribution | Compact Distribution Type | Recirculation Control | Central DHW Distribution | Shower Drain Water Heat Recovery |
| DHW Sys 1 - J2 | Not Required | Not Required | Not Required | None | Not Required | Not Required | Not Required |

| 01 | 02 | 03 | 04 | 05 | 06 | 07 | 08 | 09 | 10 | 11 | 12 | |
|--------------------|----------------------------------|---------------------|---------------------|------------|---------------------------|--------------------------|--------|-----------------------------|-------------------------|-------------------------|----|--|
| Name | System Type | Heating Unit Name | Cooling Unit Name | Fan Name | Distribution Name | Required Thermostat Type | Status | Verified Existing Condition | Heating Equipment Count | Cooling Equipment Count | | |
| New Split System 1 | Heating and cooling system other | Heating Component 1 | Cooling Component 1 | HVAC Fan 1 | Air Distribution System 1 | Setback | New | NA | 1 | 1 | | |

| 01 | 02 | 03 | 04 |
|---------------------|---------------------|-----------------|--------------------|
| Name | System Type | Number of Units | Heating Efficiency |
| Heating Component 1 | Central gas furnace | 1 | AFLUE-64 |

Registration Number: 222-P0102166684-000-000-000000-0000
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| 01 | 02 | 03 | 04 | 05 | 06 | 07 | 08 |
|---------------------|------------------|-----------------|---------------------|-----------------|--------------------|------------------------|------------------------------|
| Name | System Type | Number of Units | Efficiency EER/CEER | Efficiency SEER | Zonally Controlled | Multi-speed Compressor | HERS Verification |
| Cooling Component 1 | Central split AC | 1 | 12.5 | 15 | Not Zonal | Single Speed | Cooling Component 1-hrs-cool |

| 01 | 02 | 03 | 04 | 05 | 06 |
|------------------------------|------------------|----------------|--------------|---------------|-----------------------------|
| Name | Verified Airflow | Airflow Target | Verified EER | Verified SEER | Verified Refrigerant Charge |
| Cooling Component 1-hrs-cool | Required | 350 | Required | Required | Required |

| 01 | 02 | 03 | 04 | 05 | 06 | 07 | 08 | 09 | 10 | 11 | 12 |
|---------------------------|---------------------|--------------|--------------------------|--------------------------|----------------------|----------------------|---------------------|---------------------|----------------|-------------------|------------------------------------|
| Name | Type | Design Type | Supply Duct Ins. R-value | Return Duct Ins. R-value | Supply Duct Location | Return Duct Location | Supply Surface Area | Return Surface Area | Bypass Duct | Duct Leakage | HERS Verification |
| Air Distribution System 1 | Unconditioned attic | Non-Verified | R-8 | R-8 | Attic | Attic | n/a | n/a | No Bypass Duct | Sealed and Tested | Air Distribution System 1-hrs-dist |

| 01 | 02 | 03 | 04 | 05 | 06 | 07 | 08 | 09 |
|------------------------------------|---------------------------|-------------------------|------------------------|----------------------|--------------|---------------------|-------------------------|---|
| Name | Duct Leakage Verification | Duct Leakage Target (%) | Verified Duct Location | Verified Duct Design | Buried Ducts | Deeply Buried Ducts | Low-leakage Air Handler | Low Leakage Ducts Entirely in Conditioned Space |
| Air Distribution System 1-hrs-dist | Yes | 5.0 | Not Required | Not Required | Not Required | Credit not taken | Not Required | No |

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| 01 | 02 | 03 | 04 |
|------------|----------|-----------------------|--------------------|
| Name | Type | Fan Power (Watts/CFM) | Name |
| HVAC Fan 1 | HVAC Fan | 0.45 | HVAC Fan 1-hrs-fan |

| 01 | 02 | 03 |
|--------------------|------------------------|-----------------------------------|
| Name | Verified Fan Watt Draw | Required Fan Efficacy (Watts/CFM) |
| HVAC Fan 1-hrs-fan | Required | 0.45 |

| 01 | 02 | 03 | 04 | 05 | 06 | 07 |
|------------------|---------|---------------|--------------|----------------------------------|-----------------------------------|-------------------|
| Dwelling Unit | IAQ CFM | IAQ Watts/CFM | IAQ Fan Type | IAQ Recovery Effectiveness - SRE | IAQ Recovery Effectiveness - ASRE | HERS Verification |
| SpFan IAQVentRpt | 90 | 0.35 | Exhaust | n/a | n/a | Yes |

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 CF1R-PRF-01E (Page 13 of 13)

DOCUMENTATION AUTHOR'S DECLARATION STATEMENT
 I certify that this Certificate of Compliance documentation is accurate and complete.

Documentation Author Name: Robert (Bob) Storar
 Signature Date: 2022-11-04 10:44:04
 Company: Building Energy Services & Technology Consultants DBA B.E.S.T. Consultants
 Address: 8020 Dotie Ct, Bakersfield, CA 93308
 City/State/Zip: Bakersfield, CA 93308
 Phone: 861-587-3125

RESPONSIBLE PERSON'S DECLARATION STATEMENT
 I certify the following under penalty of perjury, under the laws of the State of California:
 1. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design identified on this Certificate of Compliance.
 2. I certify that the energy features and performance specifications identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.
 3. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.

Responsible Designer Name: Michael Dhanens
 Signature Date: 2022-11-04 12:42:43
 Company: Michael Dhanens Architect
 Address: 1200 Truxtun Avenue, Ste 170, Bakersfield, CA 93301
 City/State/Zip: Bakersfield, CA 93301
 Phone: 661-324-4141

Digitally signed by CalCERTS. This digital signature is provided in order to secure the content of this registered document, and it in no way implies Registration Provider responsibility for the accuracy of the information.

Registration Number: 222-P0102166684-000-000-000000-0000
 CA Building Energy Efficiency Standards - 2019 Residential Compliance
 Registration Date/Time: 2022-11-04 12:42:43
 Report Version: 2019.2.000
 Schema Version: rev 20200901
 HERS Provider: CalCERTS Inc
 Report Generated: 2022-11-04 10:35:02

CERTIFICATE OF COMPLIANCE
 Project Name: Pinon St Townhome Unit B
 Calculation Date/Time: 2022-11-04T10:33:52:07:00
 Calculation Description: Title 24 Analysis
 Input File Name: Pinon Townhomes Unit B.rbd19x
 CF1R-PRF-01E (Page 13 of 13)

CERTIFICATE OF COMPLIANCE
 Project Name: Pinon St Townhome Unit B
 Calculation Date/Time: 2022-11-04T10:33:52:07:00
 Calculation Description: Title 24 Analysis
 Input File Name: Pinon Townhomes Unit B.rbd19x
 CF1R-PRF-01E (Page 13 of 13)

MICHAEL DHANENS ARCHITECT
 661/324-4141
 P.O. BOX 82155
 BAKERSFIELD, CALIFORNIA
 93380
 C-18790



12/12/22

PROJECT
Pinon Townhome Estates
 NWC Pinon Street and Applewood Drive
 Parcel 1; Parcel Map 6507
 APN 416-500-01
 Tehachapi, California

| TRI-PLEX | |
|---|---------------|
| ENERGY FORMS UNIT B | |
| AD & SPR 2022-11 PERMIT B22- | |
| NO. | REVISIONS |
| 1 | |
| 2 | |
| 3 | |
| 4 | |
| 5 | |
| NO. | ISSUED FOR |
| 1 | |
| 2 | |
| 3 | |
| 4 | |
| 5 | |
| PERMIT REVIEW (12/12/22) | |
| DATE | SHEET |
| 12/12/22 | |
| DRAWN | |
| PROJECT NUMBER | T-24.4 |
| 976.02 | ENERGY |

CERTIFICATE OF COMPLIANCE
Project Name: Pinion Townhomes Unit C
Calculation Date/Time: 2022-11-04T10:36:16-07:00
Input File Name: Pinion Townhomes Unit C.rbd19x
GENERAL INFORMATION
01 Project Name Pinion Townhomes Unit C
02 Run Title Title 24 Analysis
03 Project Location Parcel 1, Parcel Map 6507
04 City Tehachapi
05 Standards Version 2019
06 Software Version EnergyPro 8.3
07 Front Orientation (deg/ Cardinal) All Orientations
08 Climate Zone 16
09 Number of Dwelling Units 1
10 Number of Bedrooms 2
11 Number of Stories 2
12 Addition Cond. Floor Area (ft²) 0
13 Existing Cond. Floor Area (ft²) n/a
14 Total Cond. Floor Area (ft²) 1734
15 Fenestration Average U-factor 0.3
16 Glazing Percentage (%) 16.10%
17 ADU Bedroom Count n/a
18 ADU Conditioned Floor Area n/a
19 Is Natural Gas Available? Yes
COMPLIANCE RESULTS
01 Building Complies with Computer Performance
02 This building incorporates features that require field testing and/or verification by a certified HERS rater under the supervision of a CE-Approved HERS Provider.
03 This building incorporates one or more Special Features shown below

CERTIFICATE OF COMPLIANCE
Project Name: Pinion Townhomes Unit C
Calculation Date/Time: 2022-11-04T10:36:16-07:00
Input File Name: Pinion Townhomes Unit C.rbd19x
ENERGY DESIGN RATINGS
Energy Design Ratings
Efficiency (EDR) Total² (EDR) Efficiency (EDR) Total² (EDR)
Standard Design 49.8 30
Proposed Design
North Facing 45.9 26 3.9 4
East Facing 47.3 27.3 2.5 2.7
South Facing 46.1 26.2 3.7 3.8
West Facing 47.1 27.1 2.7 2.9
RESULT: COMPLEX
¹ Efficiency EDR includes improvements to the building envelope and more efficient equipment.
² Total EDR includes efficiency and demand response measures such as programmable (P) systems and batteries.
Building complies when efficiency and total compliance ratings are greater than or equal to zero.
• Standard Design PV Capacity: 2.26 kWdc

CERTIFICATE OF COMPLIANCE
Project Name: Pinion Townhomes Unit C
Calculation Date/Time: 2022-11-04T10:36:16-07:00
Input File Name: Pinion Townhomes Unit C.rbd19x
ENERGY USE SUMMARY
Energy Use (kWh/ft²-yr) Standard Design Proposed Design Compliance Margin Percent Improvement
Space Heating 37.99 28.78 9.21 25.6
Space Cooling 6.36 8.45 -2.09 -32.0
IAQ Ventilation 3.5 3.5 0 0
Water Heating 14.7 12.96 1.74 11.8
Self Utilization Credit n/a 0 0 n/a
North Facing Compliance Total 62.55 59.19 3.36 5.4
Space Heating 37.99 30.15 7.84 20.6
Space Cooling 6.36 9.85 -3.49 -54.9
IAQ Ventilation 3.5 3.5 0 0
Water Heating 14.7 12.96 1.74 11.8
Self Utilization Credit n/a 0 0 n/a
East Facing Compliance Total 62.55 56.46 6.09 9.7
Space Heating 37.99 31.17 6.82 18.1
Space Cooling 6.36 8.13 1.77 27.8
IAQ Ventilation 3.5 3.5 0 0
Water Heating 14.7 12.96 1.74 11.8
Self Utilization Credit n/a 0 0 n/a
South Facing Compliance Total 62.55 53.7 8.85 14.1
Space Heating 37.99 30 7.99 21
Space Cooling 6.36 9.56 -3.2 -50.3
IAQ Ventilation 3.5 3.5 0 0
Water Heating 14.7 12.96 1.74 11.8
Self Utilization Credit n/a 0 0 n/a
West Facing Compliance Total 62.55 56.02 6.53 10.4

Registration Number: 222-P0102166734-000-0000000-0000
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CA Building Energy Efficiency Standards - 2019 Residential Compliance
Report Version: 2019.2.000
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CERTIFICATE OF COMPLIANCE
Project Name: Pinion Townhomes Unit C
Calculation Date/Time: 2022-11-04T10:36:16-07:00
Input File Name: Pinion Townhomes Unit C.rbd19x
REQUIRED PV SYSTEMS - SIMPLIFIED
DC System Size (kWdc) Exception Module Type Array Type Power Electronics CP Azimuth (deg) Tilt Input Array Angle (deg) Tilt (x in 12) Inverter Eff (%) Annual Solar Access (%)
2.4 NA Standard Fixed none true 195-300 n/a n/a <+7/12 98 100
REQUIRED SPECIAL FEATURES
The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.
• Insulation below roof deck.
HERS FEATURE SUMMARY
The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building tables below. Registered CFRs and CEFRs are required to be completed in the HERS Registry.
Building-level Verifications:
• Quality insulation installation (QII)
• Indoor air quality ventilation
• Kitchen range hood
Cooling System Verifications:
• Minimum Airflow
• Verified EER
• Verified SEER
• Verified Refrigerant Charge
• Fan Efficiency Watts/CFM
Heating System Verifications:
• None
HVAC Distribution System Verifications:
• Duct leakage testing
Domestic Hot Water System Verifications:
• None

CERTIFICATE OF COMPLIANCE
Project Name: Pinion Townhomes Unit C
Calculation Date/Time: 2022-11-04T10:36:16-07:00
Input File Name: Pinion Townhomes Unit C.rbd19x
BUILDING - FEATURES INFORMATION
Project Name Conditioned Floor Area (ft²) Number of Dwelling Units Number of Bedrooms Number of Zones Number of Ventilation Cooling Systems Number of Water Heating Systems
Pinion Townhomes Unit C 1734 1 2 2 0 1
ZONE INFORMATION
Zone Name Zone Type HVAC System Name Zone Floor Area (ft²) Avg. Ceiling Height Water Heating System 1 Water Heating System 2
First Floor Entry Unit C Conditioned New Split System1 231 9 DHW Sys 1 N/A
Second Floor Unit C Conditioned New Split System1 1483 9 DHW Sys 1 N/A
OPAQUE SURFACES
Name Zone Construction Admittance Orientation Gross Area (ft²) Window and Door Area (ft²) Tilt (deg)
Front Exterior Wall First Floor Entry Unit C HP Wall w/RS ext 0 Front 72 40 90
Front Exterior Wall 2 Second Floor Unit C HP Wall w/RS ext 0 Front 72 40 90
Left Exterior Wall Second Floor Unit C HP Wall w/RS ext 90 Left 264 40 90
Rear Exterior Wall Second Floor Unit C HP Wall w/RS ext 180 Back 540 116 90
Right Exterior Wall Second Floor Unit C HP Wall w/RS ext 270 Right 264 40 90
Demising to Unit A First Floor Entry Unit C R-21 Wall n/a n/a 234 0 n/a
Demising to Unit B First Floor Entry Unit C R-21 Wall n/a n/a 234 0 n/a
Demising Gar C/ Unit A First Floor Entry Unit C R-21 Wall n/a n/a 54 0 n/a
Demising Gar C/ Unit B First Floor Entry Unit C R-21 Wall n/a n/a 54 0 n/a
Demising to Garage C First Floor Entry Unit C R-21 Wall n/a n/a 54 17.7 n/a
Demising Unit C to Unit A Second Floor Unit C R-21 Wall n/a n/a 486 0 n/a

CERTIFICATE OF COMPLIANCE
Project Name: Pinion Townhomes Unit C
Calculation Date/Time: 2022-11-04T10:36:16-07:00
Input File Name: Pinion Townhomes Unit C.rbd19x
OPAQUE SURFACES
Name Zone Construction Admittance Orientation Gross Area (ft²) Window and Door Area (ft²) Tilt (deg)
Demising Unit C to Unit B Second Floor Unit C R-21 Wall n/a n/a 486 0 n/a
Demising Gar A/C _Garage_ R-0 Wall1 n/a n/a 189 0 n/a
Demising Gar B/C _Garage_ R-0 Wall1 n/a n/a 189 0 n/a
Roof Second Floor Unit C R-19 HP Attic n/a n/a 1483 n/a n/a
Raised Floor Second Floor Unit C R-19 Floor Crawlspace n/a n/a 1401 n/a n/a
Floor Above Garage C Second Floor Unit C R-19 Floor No Crawlspace n/a n/a 442 n/a n/a
Ceiling 1st Floor Entry Second Floor Unit C R-19 Floor No Crawlspace n/a n/a 231 n/a n/a
Exterior Wall _Garage_ R-0 Wall 0 Front 186 106.67 90
ATTIC
Name Construction Type Roof Rise (x in 12) Roof Reflectance Roof Emittance Radiant Barrier Cool Roof
Attic Second Floor Unit C Attic Roof/Second Floor Unit C Ventilated 4 0.1 0.85 No No
PENETRATION / GLAZING
Name Type Surface Orientation Azimuth Width (ft) Height (ft) Area (ft²) U-factor U-factor SHGC SHGC Source Exterior Shading
Door #C01 Window Front Exterior Wall Front 0 1 40 0.3 NFRC 0.45 NFRC Bug Screen
Door #C06 Window Front Exterior Wall 2 Front 0 1 40 0.3 NFRC 0.45 NFRC Bug Screen
Window #C-A Window Left Exterior Wall Left 90 1 20 0.3 NFRC 0.45 NFRC Bug Screen
Door #C14 Window Left Exterior Wall Left 90 1 20 0.3 NFRC 0.45 NFRC Bug Screen
Window #C-B Window Rear Exterior Wall Back 180 1 20 0.3 NFRC 0.45 NFRC Bug Screen
Window #C-C Window Rear Exterior Wall Back 180 1 18 0.3 NFRC 0.45 NFRC Bug Screen

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CERTIFICATE OF COMPLIANCE
Project Name: Pinion Townhomes Unit C
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Input File Name: Pinion Townhomes Unit C.rbd19x
PENETRATION / GLAZING
Name Type Surface Orientation Azimuth Width (ft) Height (ft) Area (ft²) U-factor U-factor SHGC SHGC Source Exterior Shading
Door #C13 Window Rear Exterior Wall Back 180 1 40 0.3 NFRC 0.45 NFRC Bug Screen
Window #C-D Window Rear Exterior Wall Back 180 1 18 0.3 NFRC 0.45 NFRC Bug Screen
Window #C-E Window Rear Exterior Wall Back 180 1 20 0.3 NFRC 0.45 NFRC Bug Screen
Door #C12 Window Right Exterior Wall Right 270 1 20 0.3 NFRC 0.45 NFRC Bug Screen
Window #C-F Window Right Exterior Wall Right 270 1 20 0.3 NFRC 0.45 NFRC Bug Screen
OPAQUE DOORS
Name Side of Building Area (ft²) U-factor
Door #C07 Demising to Garage C 17.7 0.2
Door #C03 Exterior Wall 106.67 1
SLAB FLOORS
Name Zone Area (ft²) Perimeter (ft) Edge Insul. R-value and Depth Edge Insul. R-value and Depth Carpeted Fraction Heated
Slab-on-Grade First Floor Entry Unit C 231 64 none 0 80% No
Slab-on-Grade 2 _Garage_ 442 83 none 0 0% No

CERTIFICATE OF COMPLIANCE
Project Name: Pinion Townhomes Unit C
Calculation Date/Time: 2022-11-04T10:36:16-07:00
Input File Name: Pinion Townhomes Unit C.rbd19x
OPAQUE SURFACE CONSTRUCTIONS
Construction Name Surface Type Construction Type Framing Total Cavity R-value Interior / Exterior Continuous R-value U-factor Assembly Layers
R-0 Wall Exterior Walls Wood Framed Wall 2x4 @ 16 in. O. C. R-0 None / None 0.361 Inside Finish: Gypsum Board Cavity / Frame: no insul. / 2x4 Exterior Finish: 3 Coat Stucco
HP Wall w/RS ext Exterior Walls Wood Framed Wall 2x6 @ 16 in. O. C. R-21 None / R-5 0.048 Inside Finish: Gypsum Board Cavity / Frame: R-21 / 2x6 Sheathing / Insulation: R-5 Sheathing Exterior Finish: Synthetic Stucco
R-0 Wall1 Interior Walls Wood Framed Wall 2x4 @ 16 in. O. C. R-0 None / None 0.277 Inside Finish: Gypsum Board Cavity / Frame: no insul. / 2x4 Other Side Finish: Gypsum Board
R-21 Wall Interior Walls Wood Framed Wall 2x6 @ 16 in. O. C. R-21 None / None 0.064 Inside Finish: Gypsum Board Cavity / Frame: R-21 / 2x6 Other Side Finish: Gypsum Board
Attic Roof/Second Floor Unit C Attic Roofs Wood Framed Ceiling 2x4 @ 24 in. O. C. R-19 None / None 0.059 Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/Sheathing/Decking Cavity / Frame: R-13.0 / 2x4 Around Roof Joists: R-6.0 insul.
R-19 Floor Crawlspace Floors Over Crawlspace Wood Framed Floor 2x10 @ 16 in. O. C. R-19 None / None 0.046 Floor Surface: Carpeted Floor Deck: Wood Siding/Sheathing/Decking Cavity / Frame: R-13 / 2x10
R-38 HP Attic Ceilings (below attic) Wood Framed Ceiling 2x4 @ 24 in. O. C. R-38 None / None 0.025 Over Ceiling Joists: R-28.9 insul. Cavity / Frame: R-3.1 / 2x4 Inside Finish: Gypsum Board

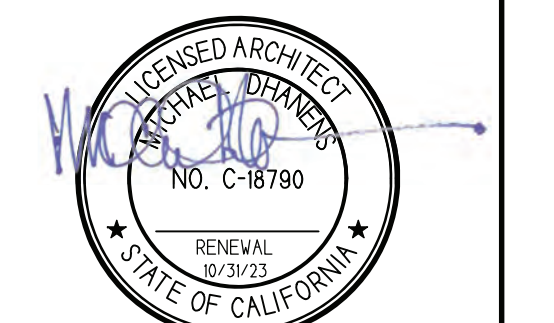
CERTIFICATE OF COMPLIANCE
Project Name: Pinion Townhomes Unit C
Calculation Date/Time: 2022-11-04T10:36:16-07:00
Input File Name: Pinion Townhomes Unit C.rbd19x
BUILDING ENVELOPE - HERS VERIFICATION
Quality Insulation Installation (QII) High R-value Spray Foam Insulation Building Envelope Air Leakage CFM50
Required Not Required Not Required n/a
WATER HEATING SYSTEMS
Name System Type Distribution Type Water Heater Name (ft) Solar Heating System Compact Distribution HERS Verification
DHW Sys 1 Domestic Hot Water (DHW) Standard Distribution System DHW Heater 1 (1) n/a None n/a
WATER HEATERS
Name Heating Element Type Tank Type # of Units Tank Vol. (gal) Energy Factor or Efficiency Input Rating or Pilot Tank Insulation R-value (In/Ext) Standby Lost or Recovery Eff 1st Hs. Rating or Flow Rate NECA Heat Pump Brand or Model Tank Location or Ambient Condition
DHW Heater 1 Gas Consumer Instantaneous 1 0 0.95-UEF <= 200 kBtu/hr 0 n/a n/a n/a n/a

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MICHAEL DHANENS ARCHITECT
661/324-4141
P.O. BOX 82155
BAKERSFIELD, CALIFORNIA
9 3 3 8 0
C-18790



12/12/22
PROJECT
Piñon Townhome Estates
NWC Piñon Street and Applewood Drive
Parcel 1; Parcel Map 6507
APN 416-500-01
Tehachapi, California

TRI-PLEX
ENERGY FORMS UNIT C
AD & SPR 2022-11
PERMIT B22-
NO. REVISIONS
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DATE 12/12/22 SHEET
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ENERGY

CERTIFICATE OF COMPLIANCE
 Project Name: Pinion Townhomes Unit C
 Calculation Description: Title 24 Analysis
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| 01 | 02 | 03 | 04 | 05 | 06 | 07 | 08 |
|-----------------|-----------------|-----------------|----------------------|---------------------------|-----------------------|--------------------------|----------------------------------|
| Name | Pipe Insulation | Parallel Piping | Compact Distribution | Compact Distribution Type | Recirculation Control | Central DHW Distribution | Shower Drain Water Heat Recovery |
| DHW Sys 1 - 1/3 | Not Required | Not Required | Not Required | None | Not Required | Not Required | Not Required |

| 01 | 02 | 03 | 04 | 05 | 06 | 07 | 08 | 09 | 10 | 11 |
|-------------------|----------------------------------|---------------------|---------------------|------------|---------------------------|--------------------------|--------|-----------------------------|-------------------------|-------------------------|
| Name | System Type | Heating Unit Name | Cooling Unit Name | Fan Name | Distribution Name | Required Thermostat Type | Status | Verified Existing Condition | Heating Equipment Count | Cooling Equipment Count |
| New Split System1 | Heating and cooling system other | Heating Component 1 | Cooling Component 1 | HVAC Fan 1 | Air Distribution System 1 | Setback | New | NA | 1 | 1 |

| 01 | 02 | 03 | 04 |
|---------------------|---------------------|-----------------|--------------------|
| Name | System Type | Number of Units | Heating Efficiency |
| Heating Component 1 | Central gas furnace | 1 | AFUE:84 |

| 01 | 02 | 03 | 04 | 05 | 06 | 07 | 08 |
|--------------------|------------------|-----------------|---------------------|-----------------|--------------------|------------------------|-------------------------------|
| Name | System Type | Number of Units | Efficiency EER/CEER | Efficiency SEER | Zonally Controlled | Multi-speed Compressor | HERS Verification |
| Cooling Component1 | Central split AC | 1 | 12.5 | 15 | Not Zonal | Single Speed | Cooling Component 1-hers-cool |

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| 01 | 02 | 03 | 04 | 05 | 06 |
|-------------------------------|------------------|----------------|--------------|---------------|-----------------------------|
| Name | Verified Airflow | Airflow Target | Verified EER | Verified SEER | Verified Refrigerant Charge |
| Cooling Component 1-hers-cool | Required | 350 | Required | Required | Required |

| 01 | 02 | 03 | 04 | 05 | 06 | 07 | 08 | 09 | 10 | 11 | 12 |
|---------------------------|---------------------|--------------|--------|--------|--------|--------|--------|--------|----------------|-------------------|------------------------------------|
| Name | Type | Design Type | Supply | Return | Supply | Return | Supply | Return | Bypass Duct | Duct Leakage | HERS Verification |
| Air Distribution System 1 | Unconditioned attic | Non-Verified | R-8 | R-8 | Attic | Attic | n/a | n/a | No Bypass Duct | Sealed and Tested | Air Distribution System 1-hers-dit |

| 01 | 02 | 03 | 04 | 05 | 06 | 07 | 08 | 09 |
|------------------------------------|---------------------------|-------------------------|------------------------|----------------------|--------------|---------------------|-------------------------|---|
| Name | Duct Leakage Verification | Duct Leakage Target (%) | Verified Duct Location | Verified Duct Design | Buried Ducts | Deeply Buried Ducts | Low-leakage Air Handler | Low Leakage Ducts Entirely in Conditioned Space |
| Air Distribution System 1-hers-dit | Yes | 5.0 | Not Required | Not Required | Not Required | Credit not taken | Not Required | No |

| 01 | 02 | 03 | 04 |
|------------|----------|-----------------------|---------------------|
| Name | Type | Fan Power (Watts/CFM) | Name |
| HVAC Fan 1 | HVAC Fan | 0.45 | HVAC Fan 1-hers-fan |

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| 01 | 02 | 03 |
|---------------------|------------------------|-----------------------------------|
| Name | Verified Fan Watt Draw | Required Fan Efficacy (Watts/CFM) |
| HVAC Fan 1-hers-fan | Required | 0.45 |

| 01 | 02 | 03 | 04 | 05 | 06 | 07 |
|-----------------|---------|---------------|--------------|----------------------------------|-----------------------------------|-------------------|
| Dwelling Unit | IAQ CFM | IAQ Watts/CFM | IAQ Fan Type | IAQ Recovery Effectiveness - SRE | IAQ Recovery Effectiveness - ASRE | HERS Verification |
| SFan IAQVentRpt | 70 | 0.35 | Exhaust | n/a | n/a | Yes |

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 CF1R-PRF-01E (Page 13 of 13)

DOCUMENTATION AUTHOR'S DECLARATION STATEMENT
 I certify that this Certificate of Compliance documentation is accurate and complete.

| | |
|--|--|
| Documentation Author Name: Robert (Bob) Storar | Documentation Author Signature: |
| Company: Building Energy Services & Technology Consultants DBA B.E.S.T. Consultants | Signature Date: 2022-11-04 10:41:33 |
| Address: 8020 Dotie Ct Bakersfield, CA 93308 | CEA/HERS Certification Identification (if applicable): R19-16-30015 |
| City/State/Zip: Bakersfield, CA 93308 | Phone: 861-587-3125 |

RESPONSIBLE PERSON'S DECLARATION STATEMENT
 I certify the following under penalty of perjury, under the laws of the State of California:
 1. I am eligible under Division 9 of the Business and Professions Code to accept responsibility for the building design identified on this Certificate of Compliance.
 2. I certify that the energy features and performance specifications identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.
 3. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.

| | |
|---|-------------------------------------|
| Responsible Designer Name: Michael Dhanens | Responsible Designer Signature: |
| Company: Michael Dhanens Architect | Date Signed: 2022-11-04 12:51:11 |
| Address: 1200 Truxtun Avenue, Ste 170 Bakersfield, CA 93301 | License: C18790 |
| City/State/Zip: Bakersfield, CA 93301 | Phone: 961-324-4141 |

Digitally signed by CalCERTS. This digital signature is provided in order to secure the content of this registered document, and it in no way implies Registration Provider responsibility for the accuracy of the information.

Registration Number: 222-P0102166734-000-000-000000-0000
 CA Building Energy Efficiency Standards - 2019 Residential Compliance
 Registration Date/Time: 2022-11-04 12:51:11
 Report Version: 2019.2.000
 Schema Version: rev 20200901
 HERS Provider: CalCERTS Inc.
 Report Generated: 2022-11-04 10:37:36

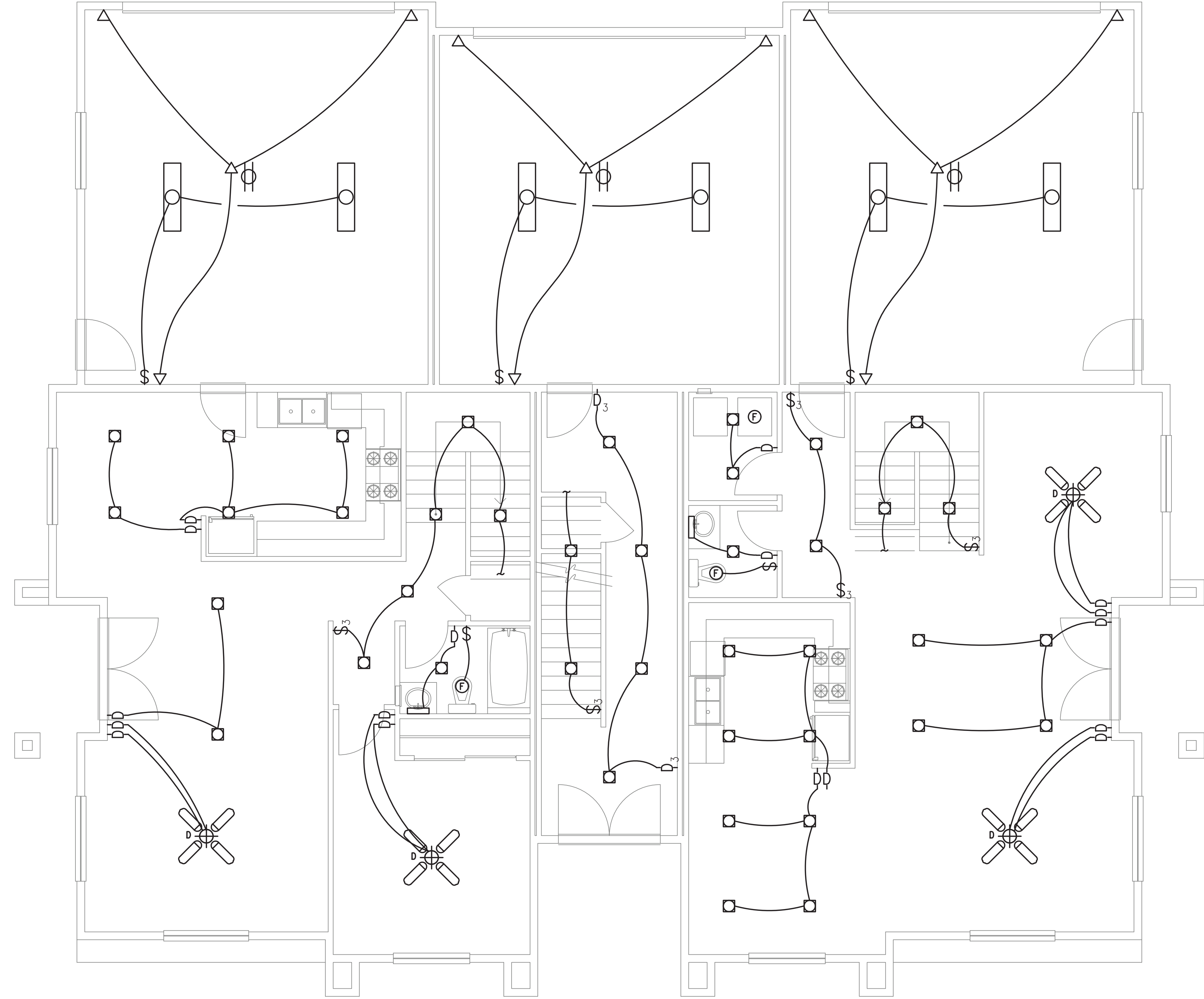


MICHAEL DHANENS ARCHITECT
 661/324-4141
 P.O. BOX 82155
 BAKERSFIELD, CALIFORNIA
 93380
 C-18790



PROJECT
Pinon Townhome Estates
 NWC Pinon Street and Applewood Drive
 Parcel 1; Parcel Map 6507
 APN 416-500-01
 Tehachapi, California

| TRI-PLEX | |
|---|----------------|
| ENERGY FORMS UNIT C | |
| AD & SPR 2022-11 PERMIT B22- | |
| NO. | REVISIONS |
| 1 | |
| 2 | |
| 3 | |
| 4 | |
| 5 | |
| NO. | ISSUED FOR |
| 1 | |
| 2 | |
| 3 | |
| 4 | |
| 5 | |
| PERMIT REVIEW (12/12/22) | |
| DATE | 12/12/22 SHEET |
| DRAWN | |
| PROJECT NUMBER | T-24.6 |
| 976.02 | ENERGY |



GROUND FLOOR LIGHTING PLAN

1/4"

MICHAEL DHANENS ARCHITECT
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ELEVATION A

PROJECT
Piñon Townhome Estates
 NWC Piñon Street and Applewood Drive
 Parcel 1; Parcel Map 6507
 APN 416-500-01
 Tehachapi, California

TRI-PLEX

ELECTRICAL

| NO. | REVISIONS | |
|----------------|---------------------------------|--------------|
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| NO. | ISSUED FOR | |
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| ▲ | ARCHITECTURAL REVIEW (05/19/22) | |
| DATE | 06/14/22 | SHEET |
| DRAWN | | E-2.2 |
| PROJECT NUMBER | 976.02 | |
| | | ELECTRICAL |

