

--RTI-- Development in Rosemead on Valley Blvd

APPROVED PLANS TO REBUILD

OFFERING MEMORANDUM

9358 Valley Boulevard
Rosemead, CA 91770



Vic Felekian
VFCRE
Broker CCIM
(310) 999-0333
VF@CCIM.NET
1937692

George Koshkaryan
VFCRE
Real Estate Agent
(310) 999-0333
939ggk@gmail.com
2185736



--RTI-- Development in Rosemead on Valley Blvd

CONTENTS

- 01 **Executive Summary**
Investment Summary
- 02 **Location**
Location Summary
Local Business Map
Aerial View Map
- 03 **Property Description**
- 04 **Financial Analysis**
Multi-Year Cash Flow Assumptions
- 05 **Demographics**
General Demographics
- 06 **Company Profile**
Advisor Profile

Exclusively Marketed by:



Vic Felekian

VFCRE
Broker CCIM
(310) 999-0333
VF@CCIM.NET
1937692



George Koshkaryan

VFCRE
Real Estate Agent
(310) 999-0333
939ggk@gmail.com
2185736



Brokerage License No.: 01937692
<https://vfcre.com/>



01

Executive Summary

Investment Summary

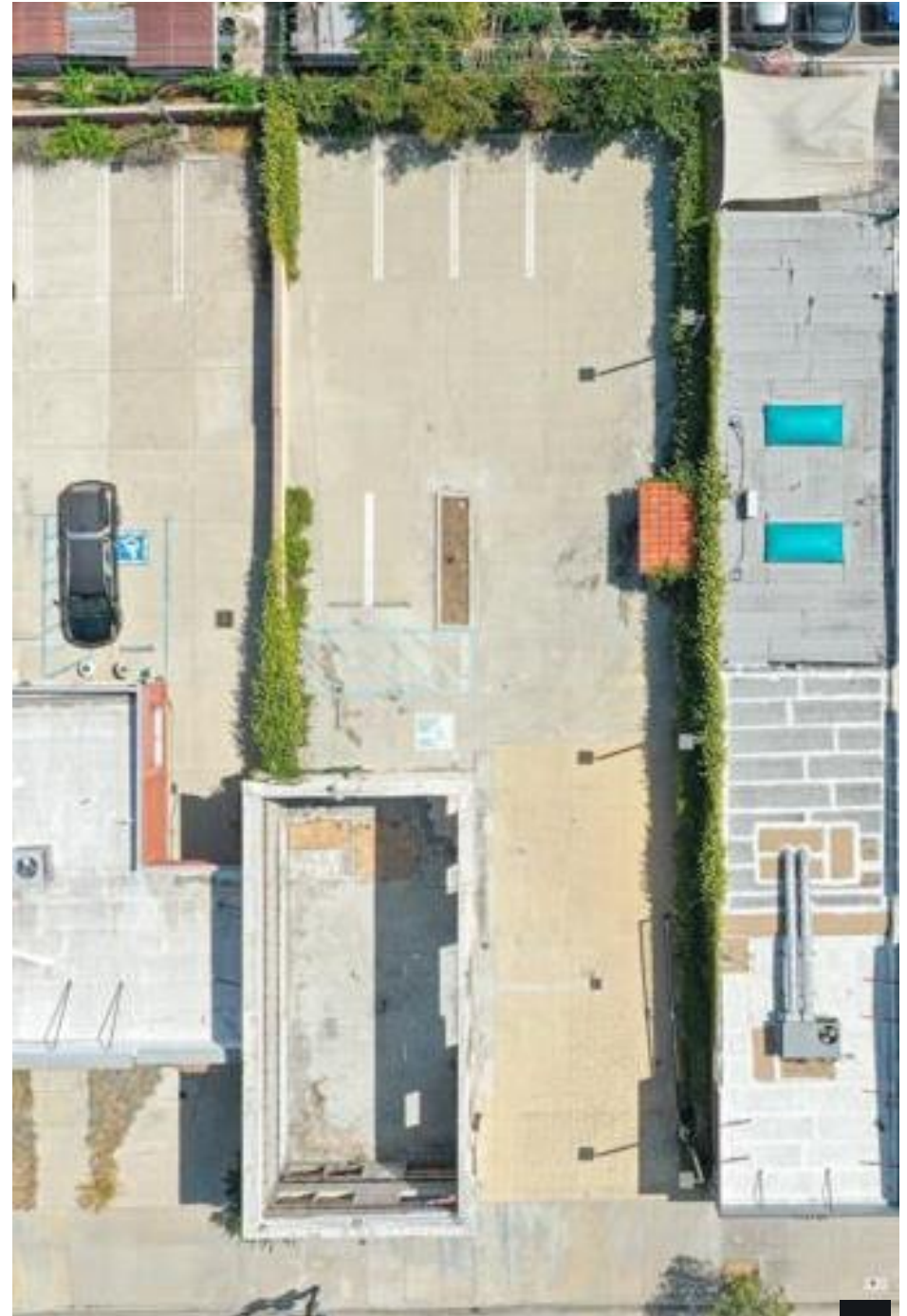
OFFERING SUMMARY

ADDRESS	9358 Valley Boulevard Rosemead CA 91770
COUNTY	LA
APN	8594-005-007
OWNERSHIP TYPE	Fee Simple

FINANCIAL SUMMARY

PRICE	\$1,150,000
-------	-------------

DEMOGRAPHICS	1 MILE	3 MILE	5 MILE
2026 Population	24,787	246,982	559,033
2026 Median HH Income	\$81,608	\$84,396	\$94,870
2026 Average HH Income	\$111,299	\$117,576	\$131,625



Vic Felekian
Broker CCIM
(310) 999-0333
VF@CCIM.NET
1937692

George Koshkaryan
Real Estate Agent
(310) 999-0333
939ggk@gmail.com
2185736



02

Location

- Location Summary
- Local Business Map
- Aerial View Map



High Traffic / Major Intersection

- ❖ Valley Blvd is a major arterial road in the area with solid traffic volume supporting commercial/office uses.

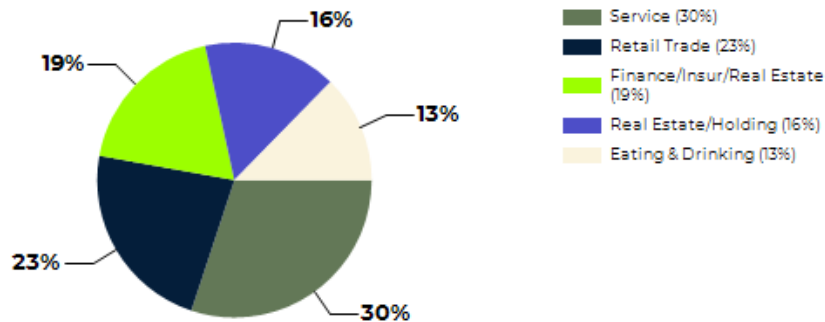
Walkscore

- ❖ 77/100.
Very Walkable

C3 zoning

- ❖ The property remains a commercial site in the C-3/D-O (Medium Commercial with Design Overlay) zone. Rebuilding appears approved at the planning level, with the focus on updating the exterior style while restoring the original size and use.

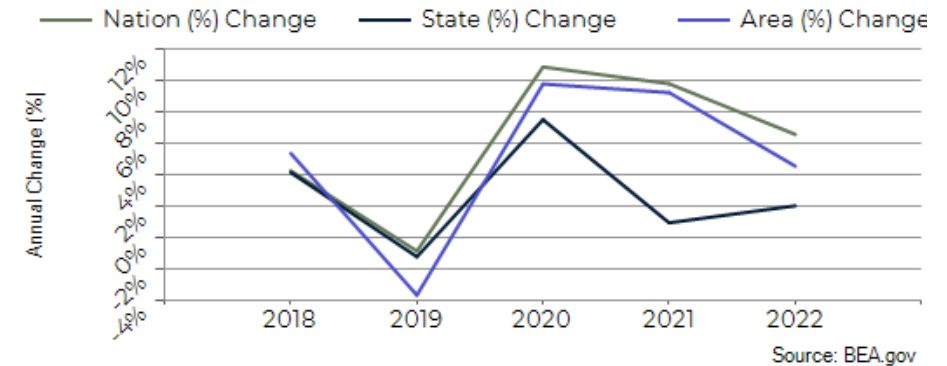
Major Industries by Employee Count



Largest Employers

Edison International (Southern California Edison)	7,672
City of Hope	7,535
ABM Industries Inc.	7,400
Garvey School District	881
Panda Restaurant Group	647
Wal-Mart	597
Rosemead School District	329
Target	200

Los Angeles County GDP Trend

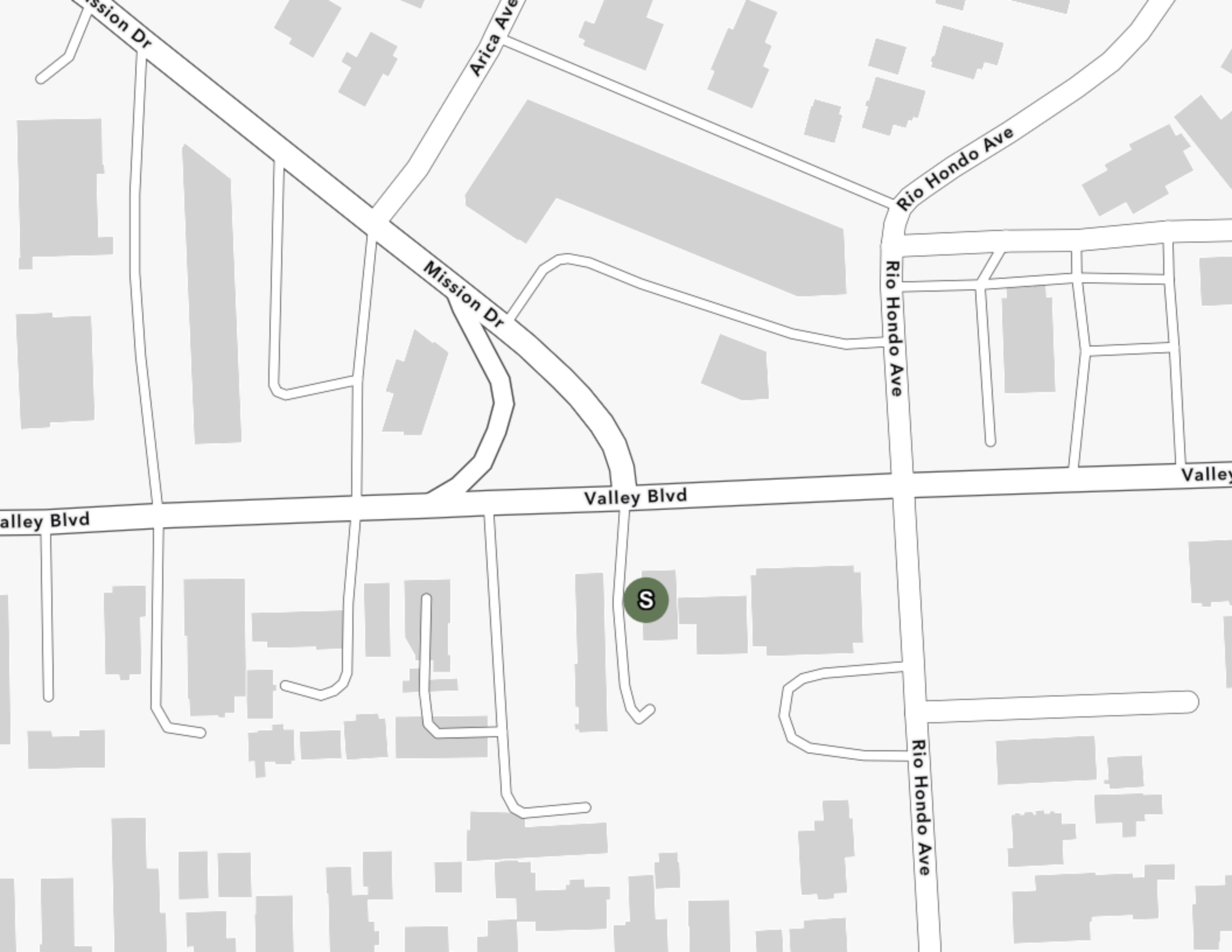


Vic Felekian
Broker CCIM
(310) 999-0333
VF@CCIM.NET
1937692

George Koshkaryan
Real Estate Agent
(310) 999-0333
939ggk@gmail.com
2185736

VFCRE

530 South Lake Ave #936, Pasadena, CA 91101



Mission Dr

Arica Ave

Rio Hondo Ave

Mission Dr

Rio Hondo Ave

Valley

Valley Blvd

Valley Blvd

S

Rio Hondo Ave



03 Property Description

9358

REPAIR FIRE DAMAGED BUILDING

9358 VALLEY BLVD
ROSEMEAD, CA 91770

INDEX OF SHEETS

ARCHITECT	GENERAL NOTES
CS-1.0 COVER SHEET	1. ALL ENTRANCES AND ALL EXTERIOR GROUND-LEVEL EXIT DOORS TO BUILDINGS AND FACILITIES SHALL BE MADE ACCESSIBLE TO PERSONS WITH DISABILITIES.
SP-1.0 SITE PLAN	2. IN BUILDINGS AND FACILITIES, FLOORS OF A GIVEN STORY SHALL BE A COMMON LEVEL THROUGHOUT, OR SHALL BE CONNECTED BY PEDESTRIAN RAMPS, PASSENGER ELEVATORS, OR SPECIAL ACCESS LIFTS.
A-1.0 PROPOSED FLOOR PLANS	3. COPIES OF NOTIFICATION TO AQMD SHALL BE PROVIDED TO BUILDING AND SAFETY PRIOR TO THE REMOVAL OF ANY ASBESTOS CONTAINING MATERIAL, PER AQMD RULE 1403.
A-1.1 REFLECTED CEILING PLANS	
A-1.2 PROPOSED EGRESS PLANS	
A-1.3 FINISH FLOOR PLANS	
A-2.0 PROPOSED ELEVATIONS	
A-2.1 PROPOSED SECTION	
A-3.0 PROPOSED ROOF PLANS	
AD-1.0 DETAILS	
AD-1.1 DETAILS	
AD-1.2 DETAILS	
AD-1.3 DETAILS	
AD-1.4 DETAILS	
AD-1.5 DETAILS	

GENERAL NOTES

1. ALL ENTRANCES AND ALL EXTERIOR GROUND-LEVEL EXIT DOORS TO BUILDINGS AND FACILITIES SHALL BE MADE ACCESSIBLE TO PERSONS WITH DISABILITIES.

2. IN BUILDINGS AND FACILITIES, FLOORS OF A GIVEN STORY SHALL BE A COMMON LEVEL THROUGHOUT, OR SHALL BE CONNECTED BY PEDESTRIAN RAMPS, PASSENGER ELEVATORS, OR SPECIAL ACCESS LIFTS.

3. COPIES OF NOTIFICATION TO AQMD SHALL BE PROVIDED TO BUILDING AND SAFETY PRIOR TO THE REMOVAL OF ANY ASBESTOS CONTAINING MATERIAL, PER AQMD RULE 1403.

BUILDING DATA

GOVERNING AUTHORITY	CITY OF ROSEMEAD, CA
GOVERNING CODE	2022 C.B.C. 2022 C.P.C. 2022 C.E.C. 2022 C.M.C. 2022 CA ENERGY CODE 2022 C.G.B.S.C.
OCCUPANCY GROUP	B
NUMBER OF STORES	1 STORY
CONSTRUCTION TYPE	V-B
FIRE SPRINKLER	NO
PROJECT DATA:	
BUILDING FLOOR AREA:	2,000 S.F.
ZONING:	C-3/D-0
GENERAL PLAN DESIGNATION:	COMMERCIAL
LOT SIZE:	6,506 S.F.
(PER THE LOS ANGELES COUNTY OFFICE OF THE ASSESSOR)	
BUILDING SIZE:	2,000 SQUARE FEET.
BUILDING HEIGHT:	27.92 FEET
LEGAL DESCRIPTION	

DIRECTORY

OWNER: CARDIFF PRESTIGE PROPERTY, INC. 9358 VALLEY BLVD ROSEMEAD, CA 91770	ENGINEERING: BDP ENGINEERING, INC. 800 PHAM, P.E. 16541 GOTHARD ST., SUITE 108 HUNTINGTON BEACH, CA 92647 PHONE: (909) 538-7067 E-MAIL: bao@bdpeng.com
---	--

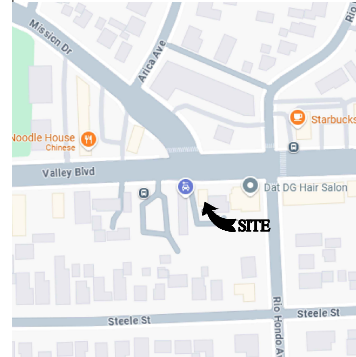
SCOPE OF WORK

1. REPAIR FIRE DAMAGE BUILDING

OCCUPANCY LOAD

FIXTURE COUNT

VICINITY MAP



BDP Engineering, Inc.
16541 GOTHARD ST., SUITE 108,
HUNTINGTON BEACH, CA 92647
Phone: (909) 538-7067
Email: bao@bdpeng.com



ISSUED DATE: 01/21/2026

GENERAL CONTRACTOR

Repair Fire Damaged Building

9358 Valley Blvd
Rosemead, CA 91770

PROJECT NO.: 2024-348
DATE: JANUARY 2, 2025

#	Date	Description

Drawing title

COVER SHEET

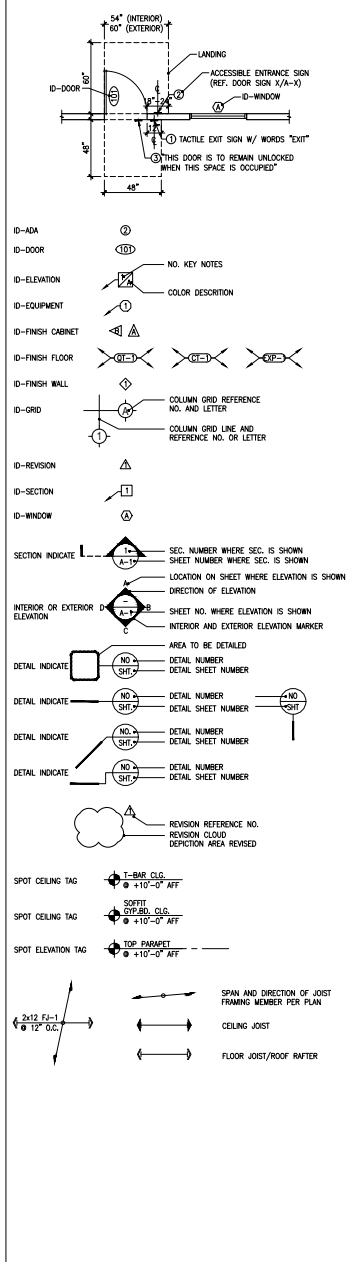
Drawing no.

CS-1.0

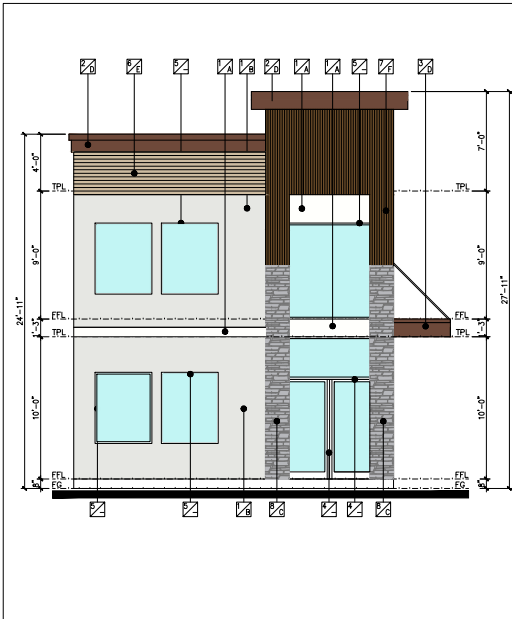
ABBREVIATIONS

A	ANCHOR BOLT	N	NORTH
AB	ABOVE FINISH FLOOR	N	NORTH
A/C	AIR CONDITIONING	NC	NOT IN CONTRACT
ADD	ADDITION	NIT	NITROGEN
ARCH	ARCHITECT	NO	NUMBER
AL	ALUMINUM	NTS	NOT TO SCALE
AR	AIR COMPRESSOR		
B		O	ON CENTER
BSNG	BSARING	OPNG	OPENING
BD	BOARD	ORD	OVERFLOW ROOF DRAIN
BLOG	BUILDING	OVL	OVERFLOW
BLOG	BLOODING	OXY	OXYGEN
BOT	BOTTOM		
C		P	PARAPET
CAB	CABINET	PART	PARTITION
CAP	CAPACITY	PLYWD	PLYWOOD
CER	CERAMIC	PNL	PANEL
CJ	CEILING JOIST	PLUM	PLUMBING
L	CENTER LINE	PL	PROPERTY LINE
CLG	CEILING	PTN	PARTITION
CLR	CLEAR		
CO	CLEANOUT	QT	QUARRY TILE
CONC	CONCRETE	QTY	QUANTITY
CONN	CONNECTION		
COOL	COLUMN	R	RA
CP	CARPET	RA	RETURN AIR
CT	CERAMIC TILE	RAG	RETURN AIR GRILL
CM	COLD WATER	RSP	REFLECTED CEILING PLAN
		RD	ROOF DRAIN
DL	DOUBLE	RECPT	RECEPTACLE
DEPT	DEPARTMENT	REFR	REFRIGERATOR
DET	DETAIL	REFR	REFRIGERATOR
DF	DRINK FOUNTAIN	REV	REVISION
DN	DIMETER	RF	ROOF
DM	DIMENSION	RM	ROOM
DSP	DISPENSER	RR	ROOM RAFTER
DN	DOWN	S	SOUTH
DR	DOOR	SA	SETBACK AIR
		SB	SETBACK
E	EAST	SF	SQUARE FEET
EA	EACH	SPEC	SPECIFICATION
ELEC	ELECTRICAL	SQ	SQUARE
ENTR	ENTRANCE	SST	STAINLESS STEEL
ELEV	ELEVATION	STD	STANDARD
EQ	EQUAL	STL	STEEL
EQUIP	EQUIPMENT	STRFR	STOREFRONT
EXH	EXHAUST	STRUCT	STRUCTURAL
EXIS	EXISTING	SYS	SYSTEM
EXP	EXPOSED		
EXT	EXTERIOR	T	TELEPHONE
		TEL	THICK
F	FLOOR CLEAN OUT	THK	THICK
FD	FLOOR DRAIN	TOW	TOP OF WALL
FE	FIRE EXTINGUISHER	TLT	TOILET
FHC	FIRE HOSE AND CANNET	TRAF	TRAFFIC
FIN	FINISH	TYP	TYPICAL
FJ	FLOOR JOIST	TXT	TEXT
FLR	FLOOR		
FRAC	FIREPLACE	UTL	UTILITY
FRAM	FRAMING	UR	URNAL
FURN	FURNITURE	UP	UP
FS	FLOOR SINK		
FT	FEET	V	VACUUM
FIG	FOOTING	VAC	VACUUM
FXTR	FIXTURE	VEH	VEHICLE
		VERT	VERTICAL
		VF	VERIFY IN FIELD
G	GLASS	W	WEST
GR	GRADE	W	WEST
GYP	GYPSPUM	W/C	WALL CLEAN OUT
H	HOSE BIBB	W/O	WITHOUT
HD	HEADER	WC	WATER CLOSET
HDWD	HARDWOOD	WD	WOOD
HOME	HARDWARE	WIN	WINDOW
HORIZ	HORIZONTAL	WHT	HEIGHT
HP	HORSE POWER	WTRPRF	WATERPROOFING
HR	HOUR		
HVAC	HEATING, VENT, AND AIR CONDITIONING		
HW	HOT WATER		
I	INCHES		
IN	INFORMATION		
INSUL	INSULATION		
INT	INTERIOR		
J	JUNCTION BOX		
JAN	JANITOR		
K	KITCHEN		
KIT	KITCHEN		
LAV	LAVATORY		
LB	POUND		
LT	LIGHT		
LVT	LOWER		
M			
MAX	MAXIMUM		
MECH	MECHANICAL		
MET	METAL		
MEZZ	MEZZANINE		
MFR	MANUFACTURE		
MIN	MINIMUM		
MILWBK	MILWAUKEE		
MUA	MAKE-UP AIR		

GENERAL SYMBOLS

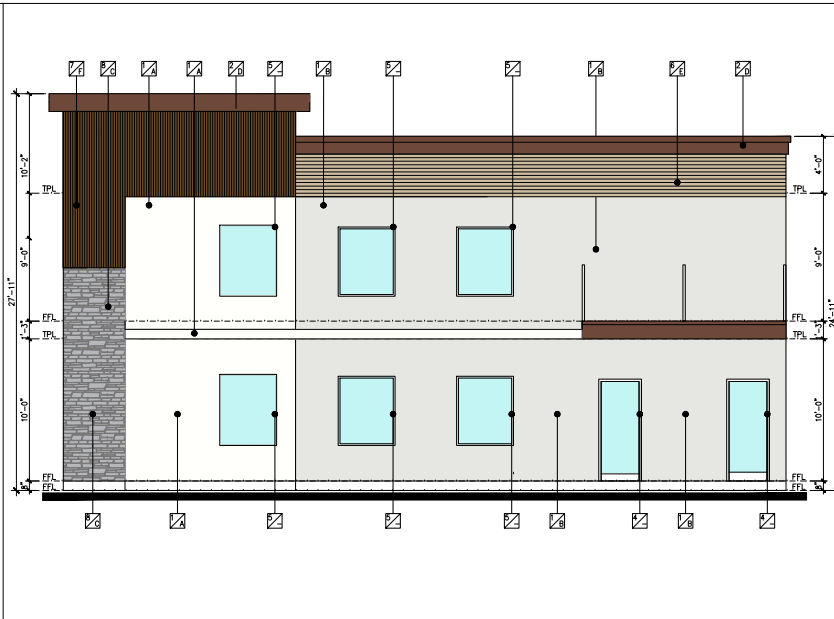


C:\Users\Owner\Desktop\W_Group\Arch_The_Arch_MEP\2024\2024-348_9358_Valley_Bldg_Rosemead_CA_91770\CAD\Arch_Plan_Sch.dwg Jun 21, 2026 2:25 pm



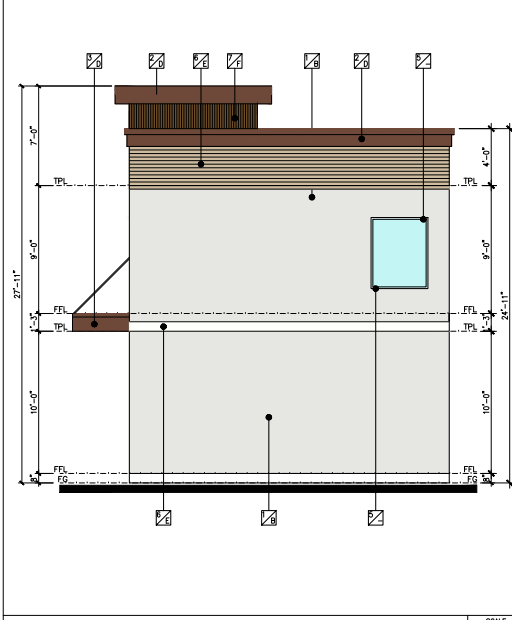
PROPOSED NORTH ELEVATION (FRONT)

SCALE
1/4"=1'-0" 1



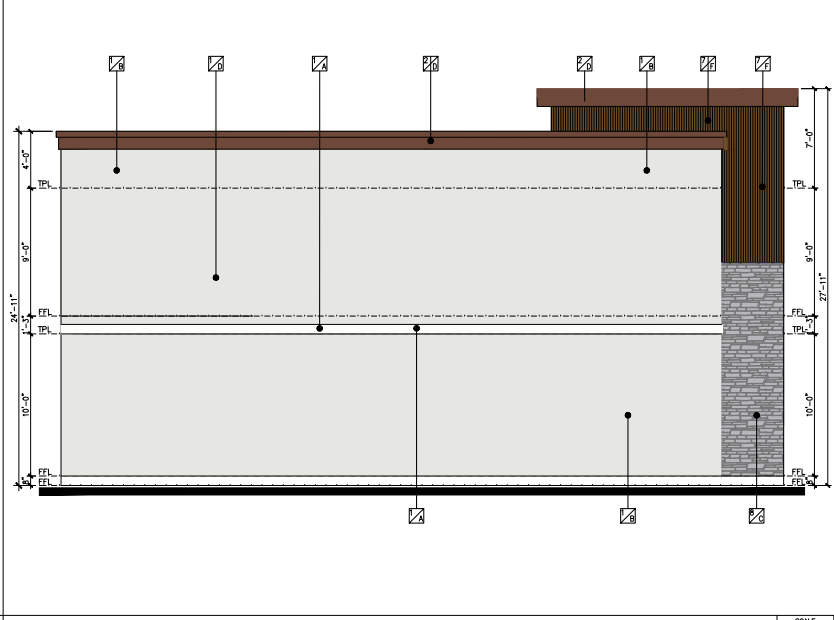
PROPOSED WEST ELEVATION

SCALE
1/4"=1'-0" 2



PROPOSED SOUTH ELEVATION

SCALE
1/4"=1'-0" 3



PROPOSED EAST ELEVATION

SCALE
1/4"=1'-0" 4

ELEVATION KEY NOTES:

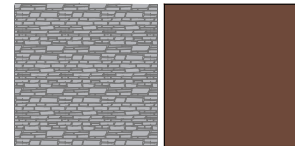
- INDICATES 3-COAT STUCCO FINISH OVER SHEATHING. PROVIDE EXPANSION JOINTS WHERE SHOWN AND G.S.M. WEEP SCREED AT BASE. TYP. PROVIDE PAPER-BACKED WIRE MESH AND AN ADDITIONAL LAYER OF TYPE "D" PAPER OVER SHEATHING. FINISH PER COLOR/MATERIAL SCHEDULE.
- INDICATES G.S.M. PARAPET CAP. REFER TO DETAILS FOR ADDITIONAL INFORMATION. FINISH PER COLOR/MATERIAL SCHEDULE.
- INDICATES ALUMINUM CANOPY
- INDICATES ALUMINUM STOREFRONT DOOR WITH TRANSOM SYSTEM
- INDICATES ALUMINUM STOREFRONT WINDOW SYSTEM
- INDICATES EXTERIOR WOOD PLANK CLADDING FINISH
- INDICATES EXTERIOR WOOD PLANK SIDING FINISH
- INDICATES EXTERIOR STONE VENEER FINISH

COLOR DESCRIPTION

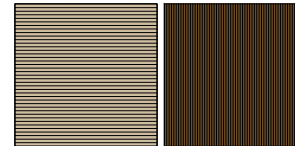
- LA HABRA STUCCO COLOR: 50 CRYSTAL WHITE (79) BASE 100
- LA HABRA STUCCO COLOR: 16 SILVER GREY (57) BASE 200
- CORONADO STONE VENEER COLOR: VISTA PONTE/ROMANT GREY 6" SPLIT LIMESTONE
- BENJAMIN MOORE PAINTS "BROWN 2099-10"
- LIGHT OAK WOOD CLADDING
- LIGHT BROWN WOOD PLANK SIDING



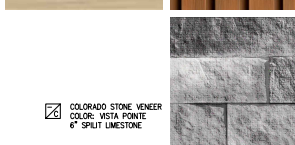
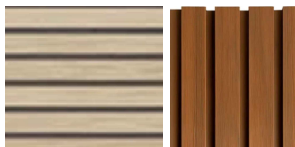
- LA HABRA STUCCO COLOR: 50 CRYSTAL WHITE (79) BASE 100
- LA HABRA STUCCO COLOR: 16 SILVER GREY (57) BASE 200



- CORONADO STONE VENEER COLOR: VISTA PONTE/ROMANT GREY 6" SPLIT LIMESTONE
- BENJAMIN MOORE PAINTS "BROWN 2099-10"



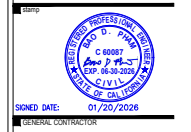
- LIGHT OAK WOOD PLANK CLADDING
- LIGHT BROWN WOOD PLANK SIDING



- CORONADO STONE VENEER COLOR: VISTA PONTE/ROMANT GREY 6" SPLIT LIMESTONE

GLAZING NOTES:

ALL GLAZING WITHIN 24" OF A DOORWAY (AS A MINIMUM) AND LESS THAN 60" ABOVE A WALKWAY SHALL BE TEMPERED SAFETY GLASS PER CBC 2406.4



SIGNED DATE: 01/20/2026
GENERAL CONTRACTOR

Repair Fire Damaged Building
9358 Valley Blvd
Rosemead, CA 91770

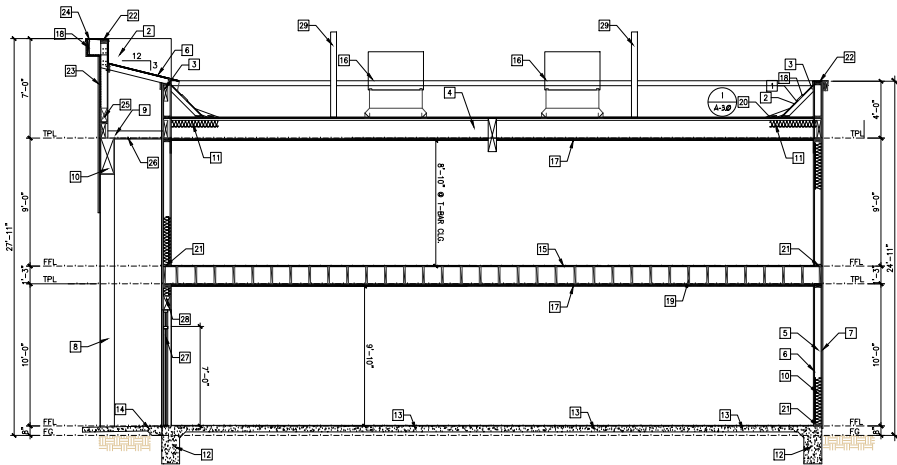
PROJECT NO: 2024-348
DATE: JANUARY 2, 2025

#	Date	Description

PROPOSED ELEVATIONS

A-2.0

C:\Users\juser\OneDrive\AN_Group\Arch The Arch MEP\2024\2024-348 9358 Valley Blvd, Rosemead, CA 91770\CAD\Arch Plans.dwg Jan 20, 2026 3:01 pm



PROPOSED SECTION

SCALE
1/4"=1'-0" 1

PROPOSED SECTION

SCALE
1/4"=1'-0" 2

SECTION KEY NOTES

- | | |
|---|---|
| <ul style="list-style-type: none"> 1 (N) CLASS A ROOFING, "CAF MATERIALS CORPORATION" (CC ESR-1274) MODIFIED BITUMEN ROOFING MEMBRANE OVER PLYWOOD DECKING, TYP. 2 (N) ROOF SHEATHING 3 (N) 2X CRICKET BRACING 4 (N) ROOF FRAMING 5 (N) 2x6 STUD WALL 6 (N) 2x6 ROOF RAFTER @ 16" O.C. 7 (N) 7/8" THK. (3) COAT STUCCO SYSTEM TYP. O/ MET. LATH AND BUILDING PAPER O/WALL SHEATHING 8 (N) 6x POST 9 (N) 2x CEILING JOIST 10 (N) WOOD BEAM 11 (N) R-30 ROOF INSULATION 12 (E) CONCRETE FOOTING 13 (E) CONCRETE SLAB 14 (E) 4" FLATWORK | <ul style="list-style-type: none"> 15 (N) FLOOR SHEATHING 16 (N) ROOF TOP UNIT 17 (N) T-BAR CEILING 18 (N) 2X10 FACADE 19 (N) FLOOR JOIST 20 (N) 2X CRICKET FRAMING 21 (N) 2X P.T.D.F. SILL PLATE 22 (N) 2x6 ROOF RAFTER @ 16" O.C. 23 (N) GSM PARAPET CAP FLASHING 24 (N) GALVANIZED SHEET METAL CAP 25 (N) 2x6 STUD @ 16" O.C. 26 (N) CONTINUOUS SOFFIT VENT BY AIR VENT INC. (MODEL: #SV202 9FT NFA) 27 (N) STOREFRONT DOOR AND WINDOW 28 (N) 6x HEADER 29 (N) SCREEN |
|---|---|



BDP Engineering, Inc.
16541 GOTHARD ST., SUITE 108,
HUNTINGTON BEACH, CA 92647
Phone: (909) 538-7007
Email: bao@bdpeng.com



SIGNED DATE: 01/20/2026

GENERAL CONTRACTOR

Repair Fire Damaged Building

9358 Valley Blvd
Rosemead, CA 91770

PROJECT NO.: 2024-348
DATE: JANUARY 2, 2025

#	Date	Description

Drawing title

PROPOSED SECTION

Drawing no.

A-2.1

C:\Users\juser\OneDrive\Documents\Group\Arch\The Arch, MPA\2024\2024-348 9358 Valley Blvd, Rosemead, CA 91770\CAD\Arch Plans.dwg Jan 20, 2026 3:01 PM

GLOBAL

Price **\$1,150,000**

Disclaimer: These numbers are provided as assumptions and are not guaranteed. Broker and/or Seller shall bear no responsibility if actual outcomes vary.



Vic Felekian
Broker CCIM
(310) 999-0333
VF@CCIM.NET
1937692

George Koshkaryan
Real Estate Agent
(310) 999-0333
939ggk@gmail.com
2185736



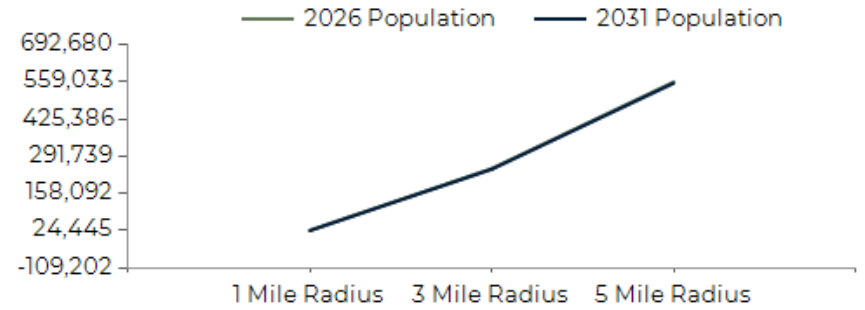
05

Demographics

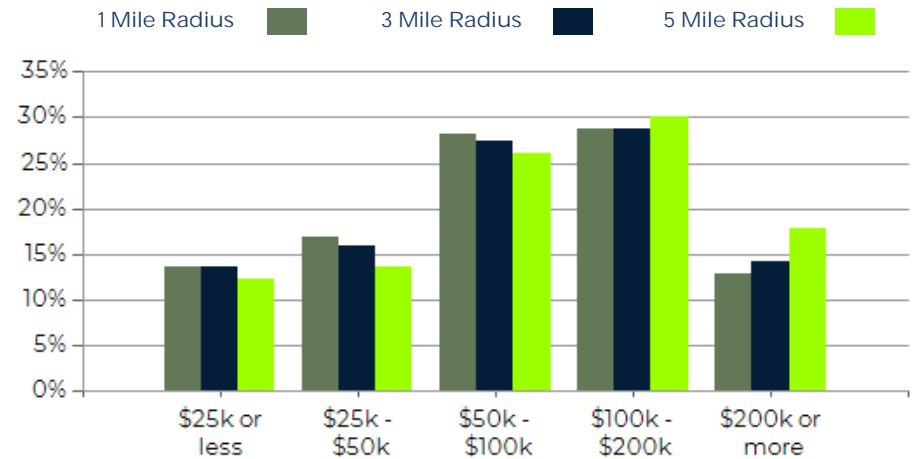
General Demographics

POPULATION	1 MILE	3 MILE	5 MILE
2000 Population	25,697	259,578	579,342
2010 Population	26,198	260,600	581,707
2026 Population	24,787	246,982	559,033
2031 Population	24,445	245,508	555,393
2026 African American	205	2,043	6,769
2026 American Indian	344	3,403	7,476
2026 Asian	13,163	128,757	265,982
2026 Hispanic	10,048	98,627	229,221
2026 Other Race	5,469	56,256	123,033
2026 White	2,757	28,928	82,977
2026 Multiracial	2,831	27,445	72,350
2026-2031: Population: Growth Rate	-1.40%	-0.60%	-0.65%

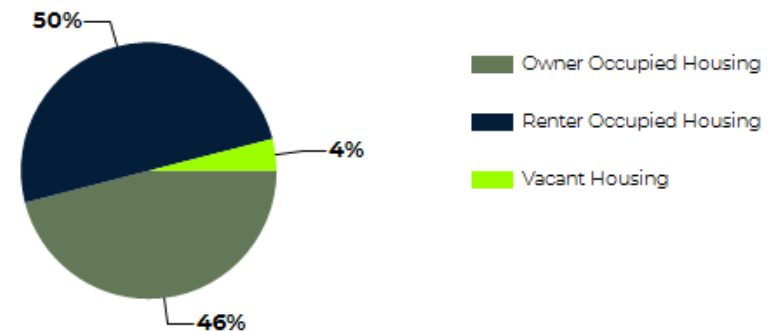
2026 HOUSEHOLD INCOME	1 MILE	3 MILE	5 MILE
less than \$15,000	472	5,825	12,887
\$15,000-\$24,999	530	4,585	9,495
\$25,000-\$34,999	457	4,914	9,692
\$35,000-\$49,999	785	7,262	15,119
\$50,000-\$74,999	1,156	11,524	26,121
\$75,000-\$99,999	923	9,509	21,425
\$100,000-\$149,999	1,305	13,636	33,955
\$150,000-\$199,999	817	8,422	20,948
\$200,000 or greater	948	10,930	32,677
Median HH Income	\$81,608	\$84,396	\$94,870
Average HH Income	\$111,299	\$117,576	\$131,625



2026 Household Income



2026 Own vs. Rent - 1 Mile Radius



Vic Felekian
Broker CCIM
(310) 999-0333
VF@CCIM.NET
1937692

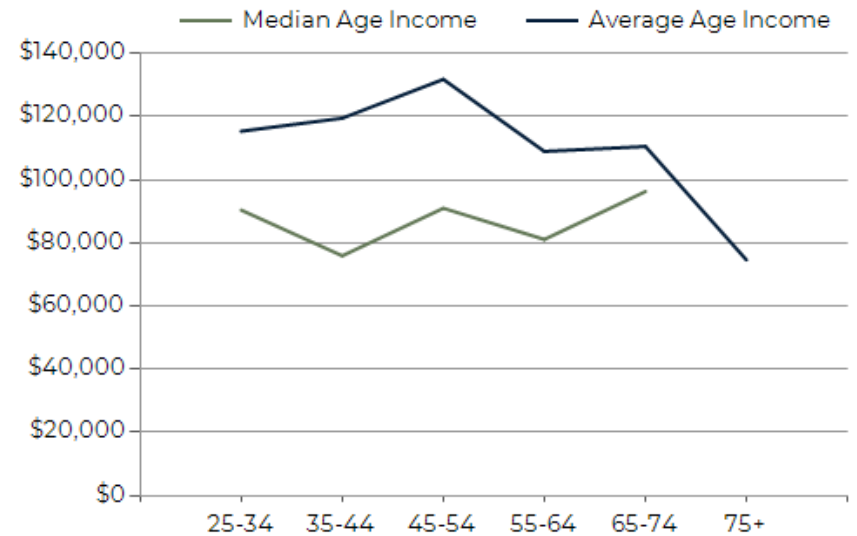
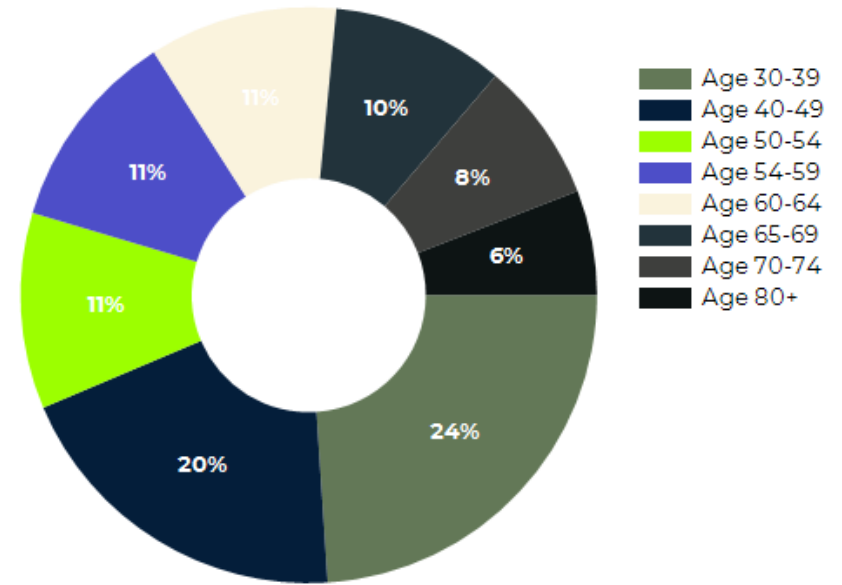
George Koshkaryan
Real Estate Agent
(310) 999-0333
939ggk@gmail.com
2185736

Source: csi

2026 POPULATION BY AGE	1 MILE	3 MILE	5 MILE
2026 Population Age 30-34	2,003	19,206	43,201
2026 Population Age 35-39	1,611	17,043	39,946
2026 Population Age 40-44	1,515	15,018	35,694
2026 Population Age 45-49	1,450	14,851	34,283
2026 Population Age 50-54	1,660	17,076	38,145
2026 Population Age 55-59	1,713	16,598	36,733
2026 Population Age 60-64	1,592	15,834	35,524
2026 Population Age 65-69	1,462	14,249	31,985
2026 Population Age 70-74	1,190	12,625	28,464
2026 Population Age 75-79	888	9,324	21,525
2026 Population Age 80-84	524	5,395	12,931
2026 Population Age 85+	627	5,968	14,353
2026 Population Age 18+	20,303	202,175	457,888
2026 Median Age	41	41	41
2031 Median Age	42	42	43

2026 INCOME BY AGE	1 MILE	3 MILE	5 MILE
Median Household Income 25-34	\$90,357	\$93,101	\$103,751
Average Household Income 25-34	\$115,325	\$116,376	\$127,547
Median Household Income 35-44	\$75,887	\$87,992	\$102,684
Average Household Income 35-44	\$119,457	\$126,382	\$143,529
Median Household Income 45-54	\$90,950	\$104,677	\$115,445
Average Household Income 45-54	\$131,766	\$143,305	\$156,424
Median Household Income 55-64	\$81,053	\$89,929	\$100,937
Average Household Income 55-64	\$108,930	\$120,288	\$137,734
Median Household Income 65-74	\$96,231	\$75,788	\$83,450
Average Household Income 65-74	\$110,507	\$114,109	\$127,514
Average Household Income 75+	\$74,574	\$75,864	\$89,823

Population By Age



Vic Felekian
 Broker CCIM
 (310) 999-0333
 VF@CCIM.NET
 1937692

George Koshkaryan
 Real Estate Agent
 (310) 999-0333
 939ggk@gmail.com
 2185736



Vic Felekian
Broker CCIM

Vic Felekian, CCIM, is a dedicated commercial real estate broker with extensive experience serving the Greater Los Angeles and Southern California markets. As founder of VF Commercial Real Estate (VFCRE.com) in 2018, he specializes in commercial portfolio management, investment sales, leasing, and advisory services for industrial warehouses, retail spaces, office properties, flexible buildings, and hospitality assets.

With a deep understanding of market dynamics and a proven track record of optimizing net operating income (NOI), maximizing portfolio value, and delivering strong investor returns, Vic provides tailored, client-centric strategies that align with each investor's unique objectives. His expertise includes comprehensive property evaluations, vacancy optimization, expense management, acquisition and disposition guidance, and full-service transaction support.

Vic leads a dedicated team at VFCRE, working selectively with a sophisticated group of investors to deliver exceptional results through personalized management, investment advice, and seamless execution. Whether clients seek to acquire, sell, lease, reposition, or enhance their commercial holdings, Vic is committed to exceeding expectations with integrity, market insight, and unparalleled service.



Vic Felekian
Broker CCIM
(310) 999-0333
VF@CCIM.NET
1937692

George Koshkaryan
Real Estate Agent
(310) 999-0333
939ggk@gmail.com
2185736

VFCRE
530 South Lake Ave #936, Pasadena, CA 91101

Advisor Profile | --RTI-- Development in Rosemead on Valley Blvd

--RTI-- Development in Rosemead on Valley Blvd

CONFIDENTIALITY and DISCLAIMER

The information contained in the following offering memorandum is proprietary and strictly confidential. It is intended to be reviewed only by the party receiving it from VFCRE and it should not be made available to any other person or entity without the written consent of VFCRE.

By taking possession of and reviewing the information contained herein the recipient agrees to hold and treat all such information in the strictest confidence. The recipient further agrees that recipient will not photocopy or duplicate any part of the offering memorandum. If you have no interest in the subject property, please promptly return this offering memorandum to VFCRE. This offering memorandum has been prepared to provide summary, unverified financial and physical information to prospective purchasers, and to establish only a preliminary level of interest in the subject property.

The information contained herein is not a substitute for a thorough due diligence investigation. VFCRE has not made any investigation, and makes no warranty or representation with respect to the income or expenses for the subject property, the future projected financial performance of the property, the size and square footage of the property and improvements, the presence or absence of contaminating substances, PCBs or asbestos, the compliance with local, state and federal regulations, the physical condition of the improvements thereon, or financial condition or business prospects of any tenant, or any tenant's plans or intentions to continue its occupancy of the subject property.

The information contained in this offering memorandum has been obtained from sources we believe reliable; however, VFCRE has not verified, and will not verify, any of the information contained herein, nor has VFCRE conducted any investigation regarding these matters and makes no warranty or representation whatsoever regarding the accuracy or completeness of the information provided. All potential buyers must take appropriate measures to verify all of the information set forth herein. Prospective buyers shall be responsible for their costs and expenses of investigating the subject property.

Exclusively Marketed by:



Vic Felekian

VFCRE
Broker CCIM
(310) 999-0333
VF@CCIM.NET
1937692



George Koshkaryan

VFCRE
Real Estate Agent
(310) 999-0333
939gk@gmail.com
2185736



Brokerage License No.: 01937692
<https://vfcre.com/>