

Property Address 288 Hounsell Ave
Gilford NH 03249



NH CIBOR

Mandatory New Hampshire Real Estate Disclosure & Notification Form



1) NOTIFICATION RADON, ARSSENIC AND LEAD PAINT: Pursuant to RSA 477: 4-a, the SELLER hereby advises the BUYER of the following:

- RADON :** Radon, the product of decay of radioactive materials in rock, may be found in some areas of New Hampshire. Radon gas may pass into a structure through the ground or through water from a deep well. Testing of the air by a professional certified in radon testing and testing of the water by an accredited laboratory can establish radon's presence and equipment is available to remove it from the air or water.
- ARSENIC:** Arsenic is a common groundwater contaminant in New Hampshire that occurs at unhealthy levels in well water in many areas of the state. Tests are available to determine whether arsenic is present at unsafe levels, and equipment is available to remove it from water. The buyer is encouraged to consult the New Hampshire department of environmental services private well testing recommendations (www.des.nh.gov) to ensure a safe water supply if the subject property is served by a private well.
- LEAD PAINT:** Before 1977, paint containing lead may have been used in structures. The presence of flaking lead paint can present a serious health hazard, especially to young children and pregnant women. Tests are available to determine whether lead is present.

2) DISCLOSURE FOR WATER SUPPLY AND SEWAGE DISPOSAL: Pursuant to RSA 477:4-c & d, the SELLER hereby provides the BUYER with information relating to the water and sewage systems:

WATER SUPPLY SYSTEM

Type: Town
Location: 288 Hounsell Ave. Gilford, NH 03249
Malfunctions: N/A
Date of Installation: April 2026
Date of most recent water test: N/A
Problems with system: N/A
N/A

SEWERAGE DISPOSAL SYSTEM

Size of Tank: N/A
Type of system: Town Sewer
Location: 288 Hounsell Ave. Gilford, NH 03249
Malfunctions: N/A
Age of system: N/A
Date most recently serviced: N/A
Name of Contractor who services system: Lyman Construction

Property Address 288 Hounsell Ave
Gilford NH 03249

3) INSULATION: Is the Property currently used or proposed to be used for a 1 to 4 family dwelling?
Yes ☐ No ☒

If yes, the SELLER hereby provides the BUYER with information relating to insulation:

Location(s): _____

Type: _____

4) LEAD PAINT: Was the property construction prior to 1978 and is the Property or any part of the Property used for residential dwelling(s) or special uses that would require the Disclosure of Information on Lead-Based Paint and/or Lead-Based Paint Hazards form under federal law?

Yes ☐ No ☒

If yes, has the Federal Lead Addendum been attached? And has the Federal pamphlet been delivered.

Yes ☐ No ☐

5) METHAMPHETAMINE PRODUCTION: Do you have knowledge of methamphetamine production ever occurring on the property? (Per RSA 477:4-g)

Yes ☐ No ☒

If Yes, please explain: _____

6) SITE ASSESSMENT ON WATERFRONT PROPERTY:

Does the Property use a septic disposal system?

Yes ☐ No ☒

If yes, is a Site Assessment Study for "Developed Waterfront" required pursuant to RSAs 485-A:2 and 485-A:39?

Yes ☐ No ☐

If yes, has the SELLER engaged a permitted subsurface sewer or waste disposal system designer to perform a site assessment study to determine if the site meets the current standards for septic disposal systems established by the Department of Environmental Services?

Yes ☐ No ☐

7) CONDOMINIUM: Pursuant to RSA 477:4-f, is the property a condominium?

Yes ☒ No ☐

If the property is a condominium, BUYER has the right to obtain the information in RSA 356 - B58 I from the condominium unit owners' association. Such information shall include a copy of the condominium declaration, by-laws, any formal rules of the association, a statement of the amount of monthly and annual fees, and any special assessments made within the last 3 years.

Property Address 288 Hounsell Ave
Gilford NH 03249

8) RENEWABLE ENERGY IMPROVEMENTS

Is this property subject to a Public Utility Tariff Pursuant to RSA 374:61?

Yes ☐ No ☐ Unknown ☒

If yes than SELLER shall disclose, if known:

Remaining Term: _____

Amount of Charges: _____

Any Estimates or Documentation of the Gross or Net Energy or Fuel Savings _____

9) SELLER LICENSEE

Pursuant to RSA 331 A:26 XXII, is the Seller (or any owner, direct or indirect) of this property a real estate licensee in the state of New Hampshire:

Yes No

10) ASBESTOS DISPOSAL: Does Property include an asbestos disposal site?

Yes ☐ No ☒ Unknown ☐

If yes, then disclosure is required pursuant to RSA 141-E:23.

11) PROPERTY ADDRESS:

Address: 288 Hounsell Ave

Unit Number (if applicable): _____

Town: Gilford

Robert Callahan, Member

dotloop verified
04/09/26 9:05 AM EDT
QUWU-KSJN-VETL-DB6U

SELLER

04/01/2026

Date

Robert Callahan, Member

dotloop verified
04/09/26 9:05 AM EDT
4FBA-UUMG-XT7G-D2XO

SELLER

04/01/2026

Date

The BUYER(S) hereby acknowledge receipt of a copy of this disclosure prior to the execution of the Purchase and Sale Agreement to which this is appended.

BUYER

Date

BUYER

Date

PROPERTY DISCLOSURE RIDER
CONDOMINIUM, CO-OP, PUD AND OTHER HOMEOWNER ORGANIZATIONS
(To be used in conjunction with Property Disclosure - Residential)
New Hampshire Association of REALTORS® Standard Form



In compliance with the requirements of RSA 477:4-f, the following information is provided to BUYER relative to the purchase of a condominium unit.

RIGHT TO INFORMATION: In accordance with RSA 356-B:58, a party interested in purchasing a condominium unit has the right to obtain from the Condominium Unit Owner's Association the following information: a copy of the condominium declaration, by-laws, any formal rules of the association, a statement of monthly and annual fees and any special assessments made within the last 3 years.

1. Seller and Property Address: Robert Callahan, Member
288 Hounsell Avenue, Gilford, NH 03249
 2. Association Name (if applicable): Granite Ridge
 3. Property Manager/Agent: _____ Phone: _____
 4. **GENERAL AND LEGAL**
 - a. Are there any Association or Corporation approvals required for transfer of Ownership? ☐ Yes ☐ No ☐ Unknown
 - b. Is there a time share operation existing at Property? ☐ Yes ☐ No ☐ Unknown
 - c. Is there a vacation rental operation or other organized rental program at Property? ☐ Yes ☐ No ☐ Unknown
 - d. Are you aware of any rental, use or age restrictions? ☐ Yes ☐ No ☐ Unknown
 - e. Number of allocated parking spaces available for this unit: _____
 - f. Are you aware of any pending or existing litigation? ☐ Yes ☐ No If Yes, please explain: _____
 - g. Are the minutes of the Condominium Association annual meeting available? ☐ Yes ☐ No ☐ Unknown
 - h. Are there any pet policies? Restrictions: ☐ Yes ☐ No Dogs/Cats Allowed: ☐ Yes ☐ No
 5. **MASTER INSURANCE POLICY**
 - a. Name of Company: _____
 - b. Name of Agent: _____ Phone: _____
 6. **FINANCIAL**
 - a. Monthly maintenance fee(s): \$ _____
 - b. What do the monthly fees include?

☐ Air Conditioning	☐ Hot Water	☐ Road Maintenance
☐ Cable TV Signal	☐ Landscaping	☐ Sewer
☐ Electricity	☐ Lot Rent	☐ Snow Removal
☐ Garage/Parking	☐ Real Property Tax	☐ Trash Removal
☐ Gas	☐ Recreation/Community Association Dues	☐ Water
☐ Other: _____		
 - c. Are there any additional fees? If so, please specify: _____
 - d. Are you aware of any special assessments or loans in effect at this time? ☐ Yes ☐ No
If Yes, explain: _____
- Additional Comments: _____

7. ACKNOWLEDGEMENTS:
SELLER ACKNOWLEDGES THAT HE/SHE HAS PROVIDED THE ABOVE INFORMATION AND THAT SUCH INFORMATION IS ACCURATE, TRUE AND COMPLETE TO THE BEST OF HIS/HER KNOWLEDGE. SELLER AUTHORIZES THE LISTING BROKER TO DISCLOSE THE INFORMATION CONTAINED HEREIN TO OTHER BROKERS AND PROSPECTIVE PURCHASERS.

Robert Callahan, Member

dotloop verified
04/09/26 9:05 AM EDT
A1W4-QY2V-180Z-VE01

SELLER

DATE

SELLER

DATE

BUYER ACKNOWLEDGES RECEIPT OF THIS PROPERTY DISCLOSURE RIDER AND HEREBY UNDERSTANDS THE PRECEDING INFORMATION WAS PROVIDED BY SELLER AND IS NOT GUARANTEED BY BROKER/AGENT. THIS DISCLOSURE STATEMENT IS NOT A REPRESENTATION, WARRANTY OR GUARANTY AS TO THE CONDITION OF THE PROPERTY BY EITHER SELLER OR BROKER. BUYER IS ENCOURAGED TO UNDERTAKE HIS/HER OWN INSPECTIONS AND INVESTIGATIONS VIA LEGAL COUNSEL, HOME, STRUCTURAL AND OTHER ADVISORS.

BUYER

DATE

BUYER

DATE



NOTIFICATION TO OWNERS, BUYERS, AND TENANTS REGARDING ENVIRONMENTAL MATTERS



It is essential that all parties to real estate transactions be aware of the health, liability, and economic impact of environmental factors on real estate. Broker does not conduct investigations or analyses of environmental matters and, accordingly, urges its clients and/or customers to retain qualified environmental professionals to determine whether hazardous or toxic wastes or substances (such as asbestos, PCBs, and other contaminants or petrochemical products stored in underground tanks), or other undesirable materials or conditions are present at the property and, if so, whether any health danger or other liability exists. Such substances may have been used in the construction or operation of buildings or may be present as a result of previous activities at the property or other properties.

Various laws and regulations have been enacted at the federal, state, and local levels dealing with the use, storage, handling, removal, transport, and disposal of toxic or hazardous wastes and substances. Depending upon past, current, and proposed uses of the property, it may be prudent to retain an environmental expert to conduct a site investigation and/or building inspection. If hazardous or toxic substances exist or are contemplated to be used at the property, special governmental approvals or permits may be required. In addition, the cost of removal and disposal of such materials may be substantial. Consequently, legal counsel and technical experts should be consulted where these substances are or may be present.

RECEIVED BY:

Robert Callahan, Member
dotloop verified
04/09/26 8:58 AM EDT
SOXZ-JXOM-NVNH-VO4P

04/01/2026

NAME

DATE

NAME

DATE



Laconia

HOUNSELL AVENUE

1
0.466 Ac

3
0.466
Ac

2.3
0.037 Ac

2.2
0.392 Ac

2.1
0.15 Ac

1.2
0.15 Ac

1.1
0.147 Ac

3.14
3.03 Ac

3.15
5.04 Ac

204-3.17
2.37 Ac

204-3.18
3.58 Ac

204-3.19
2.68 Ac

312

302

288

282

295

29

277

270

15

16

17

18

19

24

25

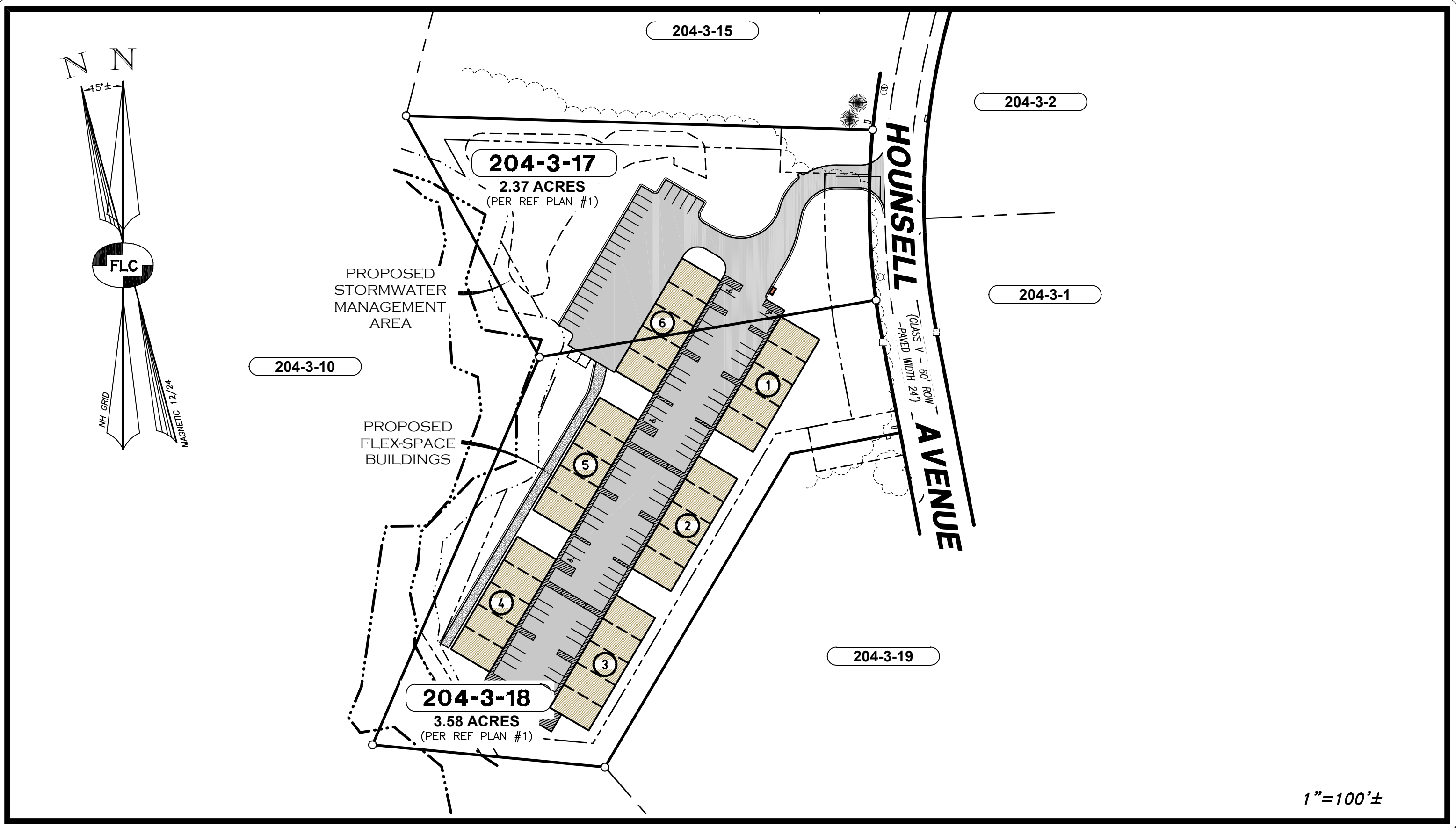
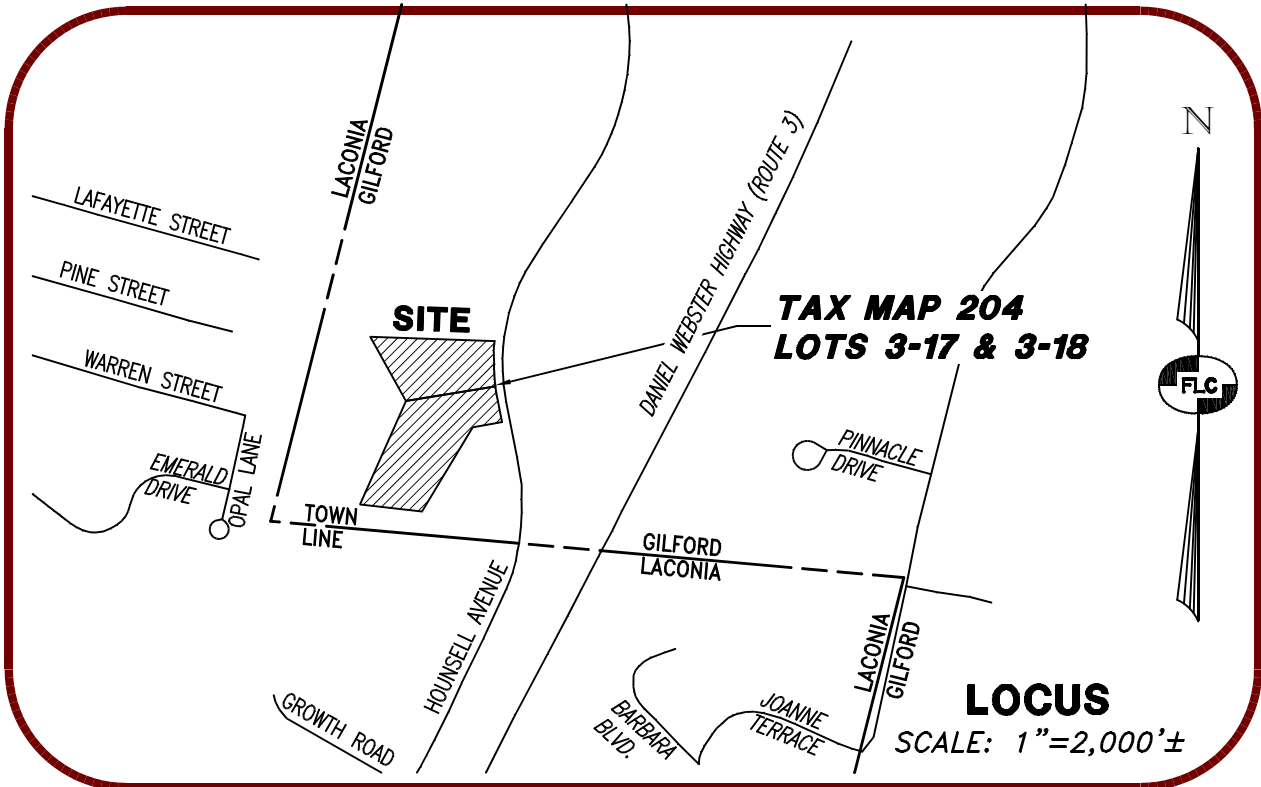
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SITE DEVELOPMENT PLANS
- TAX MAP 204, LOTS 3-17 & 3-18 -
GRANITE RIDGE FLEX SPACE

PROPOSED CONTRACTOR BAYS
(282 & 288 HOUNSELL AVENUE)
GILFORD, NH

DATE: FEBRUARY 20, 2025
LAST REVISED: SEPTEMBER 16, 2025



PREPARED FOR & LAND OF:

MKON LLC
265 WEIRS ROAD
GILFORD, NH 03249

SHEET INDEX

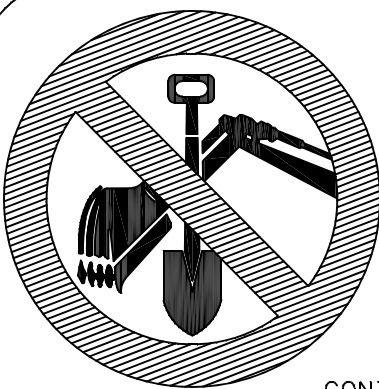
PAGE	SHEET	TITLE
1	CV-1	COVER SHEET
2	SP-1	SITE PLAN
3	EX-1	EXISTING CONDITIONS PLAN
4	GR-1	GRADING & DRAINAGE PLAN
5	UT-1	UTILITY PLAN
6	LS-1	LANDSCAPE & LIGHTING PLAN
7	PP-1	DRIVEWAY PLAN & PROFILE
8	DT-1	EROSION CONTROL DETAILS
9	DT-2	CONSTRUCTION DETAILS
10	DT-3	CONSTRUCTION DETAILS
11	DT-4	STORMWATER MANAGEMENT DETAILS
12	DT-5	SEWER DETAILS
13	DT-6	SEWER PUMP STATION DETAILS

WILDLIFE PROTECTION NOTES

- ALL OBSERVATIONS OF THREATENED OR ENDANGERED SPECIES SHALL BE REPORTED IMMEDIATELY TO NEW HAMPSHIRE FISH AND GAME DEPARTMENT AND ENDANGERED WILDLIFE ENVIRONMENTAL REVIEW PROGRAM BY PHONE AT 603-271-2461 AND BY EMAIL AT NHFGreview@wildlife.nh.gov. EMAIL SUBJECT LINE NHB25-1547, GRANITE RIDGE FLEX SPACE, WILDLIFE SPECIES OBSERVATION.
- PHOTOGRAPHS OF THE OBSERVED SPECIES AND NEARBY ELEMENTS OF HABITAT OR AREAS OF LAND DISTURBANCE SHALL BE PROVIDED TO NHF&G IN DIGITAL FORMAT AT THE ABOVE EMAIL ADDRESS FOR VERIFICATION AS FEASIBLE.
- IN THE EVENT A THREATENED OR ENDANGERED SPECIES IS OBSERVED ON THE PROJECT SITE DURING THE TERM OF THE AOT PERMIT, THE SPECIES SHALL NOT BE DISTURBED, HANDLED, OR HARMED IN ANY WAY PRIOR TO THE CONSULTATION WITH NHF&G AND IMPLEMENTATION OF CORRECTIVE ACTIONS RECOMMENDED BY NHF&G, IF ANY, TO ASSURE THE PROJECT DOES NOT APPRECIABLY JEOPARDIZE THE CONTINUED EXISTENCE OF THREATENED OR ENDANGERED SPECIES AS DEFINED IN FIS 1002.04
- THE NHF&G, INCLUDING ITS EMPLOYEES AND AUTHORIZED AGENTS, SHALL HAVE ACCESS TO THE PROPERTY DURING THE TERM OF THE PERMIT.

PLANNING BOARD APPROVAL BLOCK:

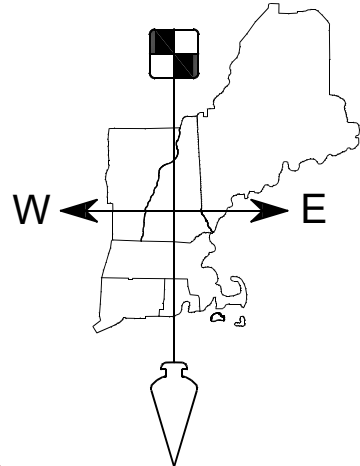
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- THE LOCATION OF THE UTILITIES SHOWN ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE AND PRESERVE ALL UTILITY SERVICES.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING AND COORDINATING WITH ALL UTILITY COMPANIES AND JURISDICTIONAL AGENCIES PRIOR TO AND DURING CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND PROPOSED WORK PRIOR TO CONSTRUCTION.

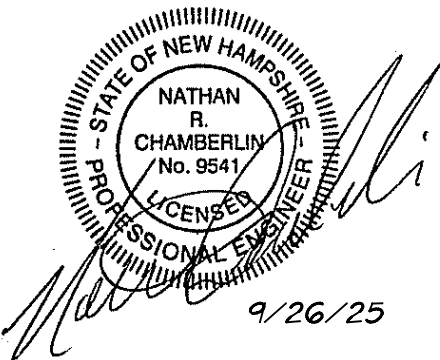
CONTACT DIG SAFE 72 HOURS
PRIOR TO CONSTRUCTION AT
DIGSAFE.COM or 811

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs



FIELDSTONE
LAND CONSULTANTS, PLLC

206 Elm Street, Milford, NH 03055
45 Roxbury Street, Keene, NH 03431
Phone: (603)-672-5456 Fax: (603)-413-5456
www.FieldstoneLandConsultants.com



K	9/26/25	ADD PB SIGNATURE BLOCK TO CV-1 & SP-1	NRC	CEB
J	9/15/25	ADD "DUCK BILL" CHECK VALVE VALVE PIT DETAIL ON DT-6	NRC	CEB
I	9/4/25	ADDRESS NHDES WWEB 9/3/25 EMAIL REVIEW COMMENTS	NRC	CEB
H	8/28/25	BUILDING 2 WATER SERVICE LAYOUT	NRC	CEB
G	8/25/25	OWNER ADDRESS, WATER SERVICE SIZE	NRC	CEB
F	8/8/25	PROPERTY OWNER	NRC	CEB
E	8/5/25	ADDRESS 7/31/25 AOT RFMI, REVISE UTILITIES PER CLIENT	NRC	CEB
D	7/25/25	PUMP STATION DETAILS AND GENERATOR	NRC	CEB
C	7/21/25	BUILDINGS 1 & 6, SITE UTILITIES	NRC	CEB
B	6/6/25	SITE ENTRANCE, SW MANAGEMENT AREA	NRC	CEB
A	4/22/25	ADDRESS CONTRATOR INQUIRIES	NRC	CEB
REV.	DATE	DESCRIPTION	C/O	DR CK

LEGEND:

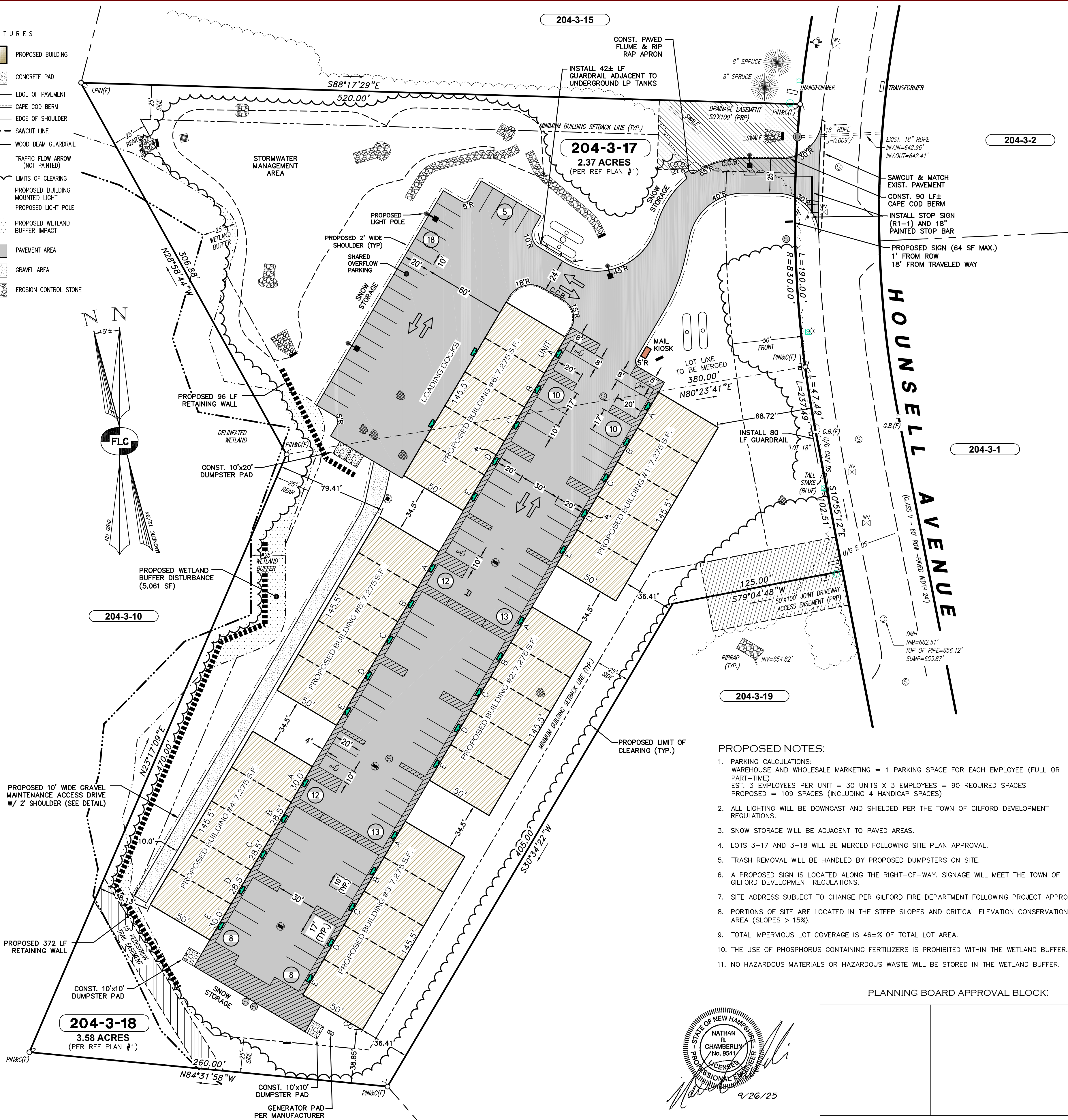
EXISTING FEATURES

- RIGHT-OF-WAY LINE
- BOUNDARY LINE
- ABUTTING LOT LINE
- BUILDING SETBACK LINE
- EDGE OF PAVEMENT
- EDGE OF GRAVEL
- EXISTING EASEMENT LINE
- EDGE OF TREE LINE
- EDGE OF WETLANDS (PRP #2)
- WETLANDS BUFFER LINE (PER GZO 15.3)
- 10' CONTOUR INTERVAL
- 2' CONTOUR INTERVAL
- DS G DISSAFE GAS LINE
- W WATER LINE
- S SEWER LINE
- U/G E DS UNDERGROUND ELECTRIC DISSAFE
- U/G CATV DS UNDERGROUND CATV DISSAFE

- 204-3-18 TAX MAP & LOT NUMBER
- G.B.(F) GRANITE BOUND FOUND
- LPIN(F) IRON PIN FOUND
- LPPE(F) IRON PIPE FOUND
- PRP PER REFERENCE PLAN
- DRAIN MAN-HOLE
- SEWER MAN-HOLE
- WATER HYDRANT
- WATER VALVE
- WATER SHUT-OFF
- WELL
- CABLE PEDESTAL
- ELECTRIC PEDESTAL
- TELEPHONE PEDESTAL
- TELEPHONE MAN-HOLE
- ROCK / BOULDER
- EXISTING BUILDING

PROPOSED FEATURES

- PROPOSED BUILDING
- CONCRETE PAD
- EDGE OF PAVEMENT
- CAPE COD BERM
- EDGE OF SHOULDER
- SAWCUT LINE
- WOOD BEAM GUARDRAIL
- TRAFFIC FLOW ARROW (NOT PAINTED)
- LIMITS OF CLEARING
- PROPOSED BUILDING MOUNTED LIGHT
- PROPOSED LIGHT POLE
- PROPOSED WETLAND BUFFER IMPACT
- PAVEMENT AREA
- GRAVEL AREA
- EROSION CONTROL STONE

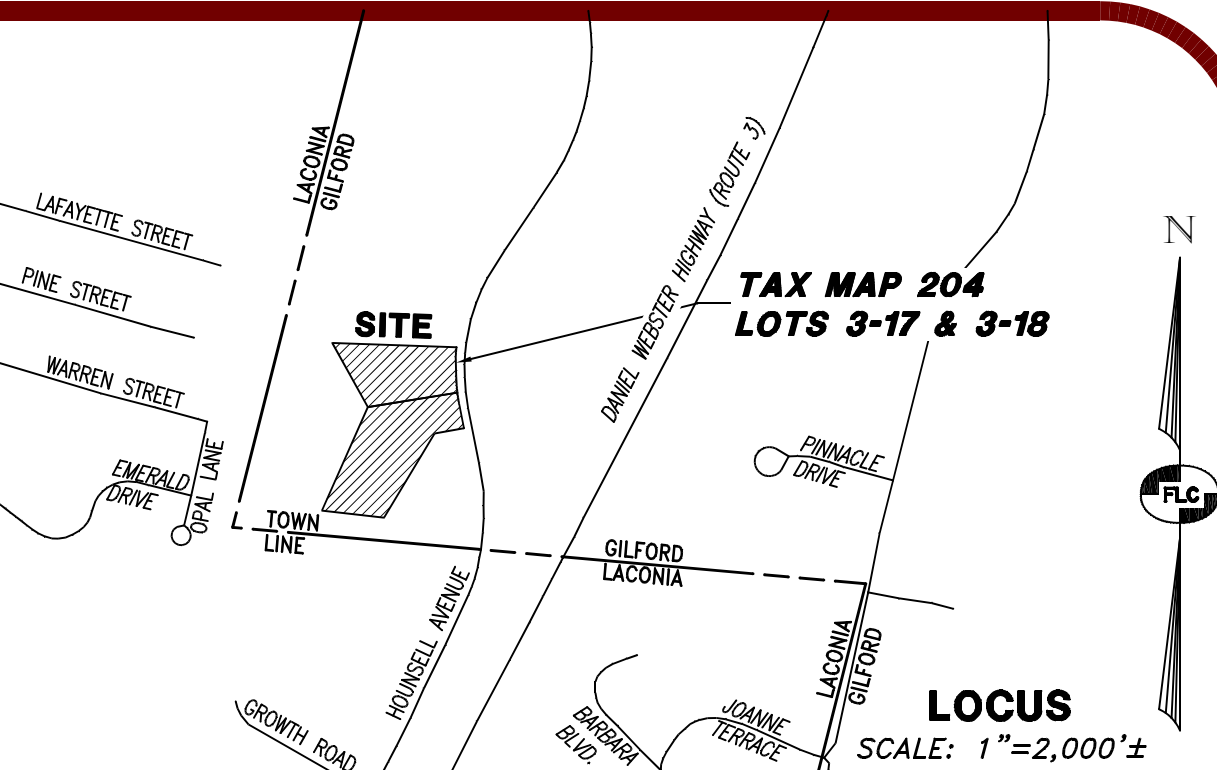
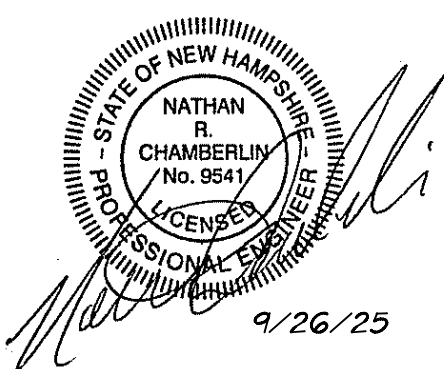


PROPOSED NOTES:

- PARKING CALCULATIONS: WAREHOUSE AND WHOLESALE MARKETING = 1 PARKING SPACE FOR EACH EMPLOYEE (FULL OR PART-TIME) EST. 3 EMPLOYEES PER UNIT = 30 UNITS X 3 EMPLOYEES = 90 REQUIRED SPACES PROPOSED = 109 SPACES (INCLUDING 4 HANDICAP SPACES)
- ALL LIGHTING WILL BE DOWNCAST AND SHIELDED PER THE TOWN OF GILFORD DEVELOPMENT REGULATIONS.
- SNOW STORAGE WILL BE ADJACENT TO PAVED AREAS.
- LOTS 3-17 AND 3-18 WILL BE MERGED FOLLOWING SITE PLAN APPROVAL.
- TRASH REMOVAL WILL BE HANDLED BY PROPOSED DUMPSTERS ON SITE.
- A PROPOSED SIGN IS LOCATED ALONG THE RIGHT-OF-WAY. SIGNAGE WILL MEET THE TOWN OF GILFORD DEVELOPMENT REGULATIONS.
- SITE ADDRESS SUBJECT TO CHANGE PER GILFORD FIRE DEPARTMENT FOLLOWING PROJECT APPROVAL.
- PORTIONS OF SITE ARE LOCATED IN THE STEEP SLOPES AND CRITICAL ELEVATION CONSERVATION AREA (SLOPES > 15%).
- TOTAL IMPERVIOUS LOT COVERAGE IS 46±% OF TOTAL LOT AREA.
- THE USE OF PHOSPHORUS CONTAINING FERTILIZERS IS PROHIBITED WITHIN THE WETLAND BUFFER.
- NO HAZARDOUS MATERIALS OR HAZARDOUS WASTE WILL BE STORED IN THE WETLAND BUFFER.

PLANNING BOARD APPROVAL BLOCK:

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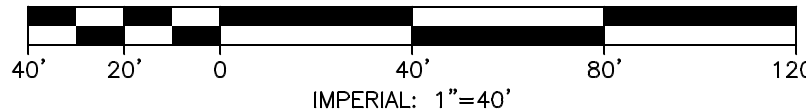
REFERENCE PLAN:

- "SUBDIVISION PLAN OF LAND - LAKES BUSINESS PARK - PHASE II - FOR CITY OF LACONIA & TOWN OF GILFORD - HOUNSELL AVENUE & GILFORD AVENUE, N.H. ROUTE 11 - GILFORD, BELKNAP COUNTY, NEW HAMPSHIRE" SCALE: 1"=100' BY STEVEN J. SMITH & ASSOCIATES, INC. DATED FEBRUARY 6, 2002 AND APPROVED BY THE LACONIA PLANNING BOARD ON AUGUST 23, 2004, AND RECORDED ON AUGUST 26, 2003 IN PLAN DRAWER L49, PLAN NUMBER 033 AT B.C.R.D.
- "CONCEPT PLAN - 282 & 288 - HOUNSELL AVE. - GILFORD, NH 03249 SHEET C-0". SCALE: 1"= 30' PREPARED BY: DUBOIS & KING INC. DATED JUNE, 2024. NOT RECORDED.

NOTES:

- THE OWNER OF RECORD FOR TAX MAP 204 LOTS 3-17 & 3-18 IS MKON LLC, 265 WEIRS ROAD, GILFORD, NH 03249. THE DEED REFERENCE TO PARCEL 204-3-17 IS BK.3615 PG.395 DATED MARCH 28, 2024. PARCEL 204-3-18 IS BK.3636 PG.984 DATED AUGUST 14, 2024 IN THE B.C.R.D.
- THE PURPOSE OF THIS PLAN IS TO DEPICT A PROPOSED FLEX SPACE DEVELOPMENT AND ASSOCIATED SITE IMPROVEMENTS ON TAX MAP 204 LOT 3-17 & 3-18, AS SHOWN.
- ZONING FOR THE PARCEL IS INDUSTRIAL DISTRICT (I). BUILDING SETBACKS ARE 50 FT FRONT, 25 FT SIDE AND 25 FT REAR.
- SURFACE FEATURES SHOWN ARE THE RESULT OF AN ON THE GROUND FIELD SURVEY CONDUCTED BY THIS OFFICE IN THE MONTH OF DECEMBER, 2024. HORIZONTAL ORIENTATION IS N.H. STATE PLANE AND VERTICAL DATUM IS NAVD83 PER GPS FIELD OBSERVATIONS THAT WERE UPLOADED TO & CALCULATED BY THE NOAA ONLINE POSITIONING USER SERVICE.
- THE BOUNDARY INFORMATION SHOWN WAS DEVELOPED FROM THE REFERENCE PLANS CITED HEREON TOGETHER WITH A PRECISE ON THE GROUND FIELD SURVEY PERFORMED BY THIS OFFICE DURING THE MONTH OF DECEMBER, 2024.
- SUBJECT PARCEL LIES OUTSIDE OF THE 100 YEAR FLOOD HAZARD AREA PER FEMA FLOOD INSURANCE RATE MAP NO. 3300040010B, EFFECTIVE DATE 6/19/1989.
- WETLANDS WERE DELINEATED BY OTHERS PER REFERENCE PLAN #2. THE WETLANDS WERE RE-LOCATED BY THIS OFFICE AND VERIFIED BY CHRISTOPHER A. GUIDA, C.W.S. IN DECEMBER OF 2024.
- CONTOUR DATA SHOWN HEREON IS THE RESULT OF A FIELD SURVEY PERFORMED BY THIS OFFICE IN DECEMBER, 2024.
- PARCELS ARE SUBJECT TO PROVISIONS OF CERTAIN "DECLARATION OF COVENANTS AND RESTRICTIONS FOR LAKES BUSINESS PARK, PHASE II" DATED APRIL 7, 2005 AND RECORDED IN BOOK 2166, PAGE 364 AT THE B.C.R.D., SAID DECLARATION AS AMENDED IN BK. 2520, PG. 93 AND AS AMENDED IN BK. 2554, PG. 484.
- PARCELS ARE SUBJECT TO NHDES WETLANDS AND NON-SITE SPECIFIC PERMIT 2002-00822 DATED 3/25/2003 AND RECORDED IN BK. 1882, PG. 658 IN B.C.R.D. INCLUDING BUT NOT LIMITED TO CONDITIONS #5, 6 AND 7 REGARDING (1) NO FURTHER ALTERATION OF WETLANDS AND (2) AN EASEMENT FOR FUTURE CONSTRUCTION OF A PEDESTRIAN TRAIL SHOWN HEREON.

GRAPHIC SCALE



J	9/26/25	ADD PB SIGNATURE BLOCK TO CV-1 & SP-1		NRC	CEB
I	9/4/25	ADDRESS NHDES WEBB 9/3/25 EMAIL REVIEW COMMENTS		NRC	CEB
H	8/28/25	BUILDING 2 WATER SERVICE LAYOUT		NRC	CEB
G	8/25/25	OWNER'S ADDRESS, WATER SERVICE SIZE		NRC	CEB
F	8/8/25	PROPERTY OWNER		NRC	CEB
E	8/5/25	ADDRESS 7/31/25 AOT RFMI, REVISE UTILITIES PER CLIENT		NRC	CEB
D	7/25/25	ADD GENERATOR		NRC	CEB
C	7/21/25	BUILDINGS 1 & 6, SEWER LAYOUT		NRC	CEB
REV.	DATE	DESCRIPTION	C/O	DR	CK

SITE PLAN

TAX MAP 204 LOTS 3-17 & 3-18

(282 & 288 HOUNSELL AVENUE)

GILFORD, NEW HAMPSHIRE

PREPARED FOR & LAND OF:

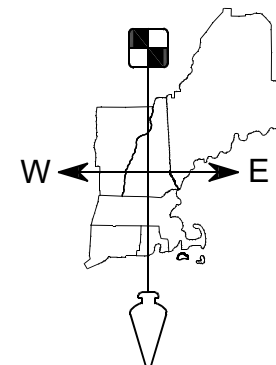
MKON LLC

265 WEIRS ROAD, GILFORD, NH 03249

SCALE: 1" = 40'

JANUARY 31, 2025

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs



FIELDSTONE
LAND CONSULTANTS, PLLC

206 Elm Street, Milford, NH 03055
45 Roxbury Street, Keene, NH 03431
Phone: (603) 672-5456 Fax: (603) 413-5456
www.FieldstoneLandConsultants.com

FILE: 4024SP00J.dwg

PROJ. NO. 4024.00

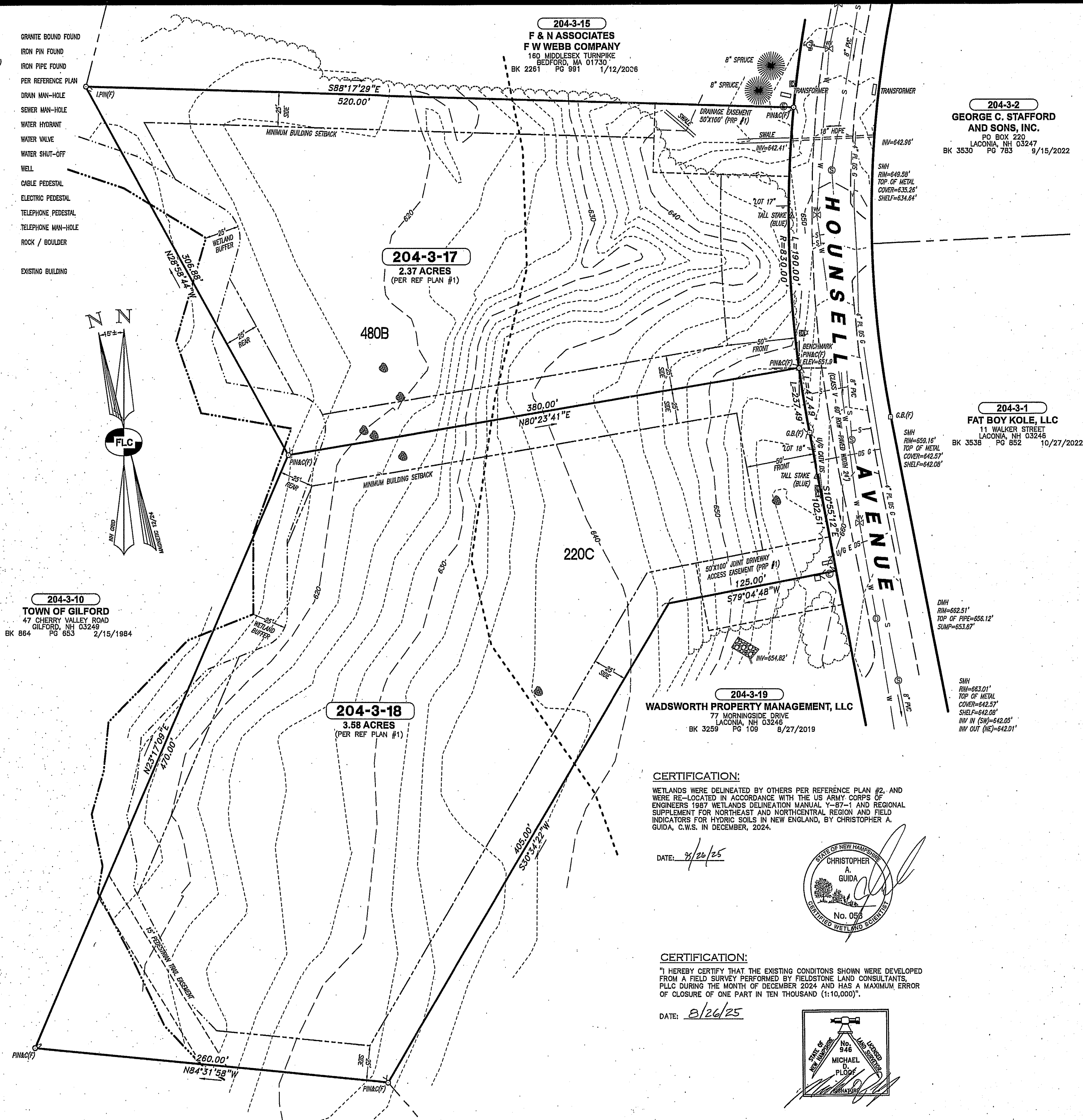
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PAGE NO. 2 OF 13

LEGEND:

- RIGHT-OF-WAY LINE
 BOUNDARY LINE
 ABUTTING LOT LINE
 BUILDING SETBACK LINE
 EDGE OF PAVEMENT
 EDGE OF GRAVEL
 EXISTING EASEMENT LINE
 EDGE OF TREE LINE
 EDGE OF WETLANDS (PRP #2)
 WETLANDS BUFFER LINE (PER 620.15.5)
 10' CONTOUR INTERVAL
 2' CONTOUR INTERVAL
 DS G DISSAFE GAS LINE
 W WATER LINE
 S SEWER LINE
 U/G E DS UNDERGROUND ELECTRIC DISSAFE
 U/G CATV DS UNDERGROUND CATV DISSAFE
 204-3-18 TAX MAP & LOT NUMBER

- GRANITE BOUND FOUND
 IRON PIN FOUND
 IRON PIPE FOUND
 PER REFERENCE PLAN
 DRAIN MAN-HOLE
 SEWER MAN-HOLE
 WATER HYDRANT
 WATER VALVE
 WATER SHUT-OFF
 WELL
 CABLE PEDESTAL
 ELECTRIC PEDESTAL
 TELEPHONE PEDESTAL
 TELEPHONE MAN-HOLE
 ROCK / BOULDER
 EXISTING BUILDING



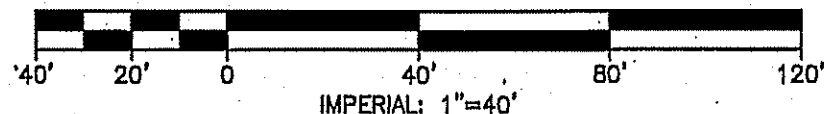
REFERENCE PLAN:

- "SUBDIVISION PLAN OF LAND - LAKES BUSINESS PARK - PHASE II - FOR CITY OF LAACONIA & TOWN OF GILFORD - HOUNSELL AVENUE & GILFORD AVENUE, N.H. ROUTE 11 - GILFORD, BELKNAP COUNTY, NEW HAMPSHIRE" SCALE: 1"=100' BY STEVEN J. SMITH & ASSOCIATES, INC. DATED FEBRUARY 6, 2002 AND APPROVED BY THE LAACONIA PLANNING BOARD ON AUGUST 23, 2004, AND RECORDED ON AUGUST 26, 2003 IN PLAN DRAWER L49, PLAN NUMBER 033 AT B.C.R.D.
- "CONCEPT PLAN - 282 & 288 - HOUNSELL AVE. - GILFORD, NH 03249 SHEET C-0". SCALE: 1"= 30" PREPARED BY: DUBOIS & KING INC. DATED JUNE, 2024. NOT RECORDED.

NOTES:

- THE OWNER OF RECORD FOR TAX MAP 204 LOTS 3-17 & 3-18 IS MKON LLC, 265 WEIRS ROAD, GILFORD, NH 03249. THE DEED REFERENCE TO THE PARCELS IS BK.3696 PG.177 DATED AUGUST 7, 2025 IN THE B.C.R.D.
- THE PURPOSE OF THIS PLAN IS TO DEPICT THE EXISTING CONDITIONS FOR TAX MAP 204 LOT 3-17 & 3-18, AS SHOWN.
- ZONING FOR THE PARCEL IS INDUSTRIAL DISTRICT (I). BUILDING SETBACKS ARE 50 FT FRONT, 25 FT SIDE AND 25 FT REAR.
- SURFACE FEATURES SHOWN ARE THE RESULT OF AN ON THE GROUND FIELD SURVEY CONDUCTED BY THIS OFFICE IN THE MONTH OF DECEMBER, 2024. HORIZONTAL ORIENTATION IS N.H. STATE PLANE AND VERTICAL DATUM IS NAVD83 PER GPS FIELD OBSERVATIONS THAT WERE UPLOADED TO & CALCULATED BY THE NOAA ONLINE POSITIONING USER SERVICE.
- THE BOUNDARY INFORMATION SHOWN WAS DEVELOPED FROM THE REFERENCE PLANS CITED HEREON TOGETHER WITH A PRECISE ON THE GROUND FIELD SURVEY PERFORMED BY THIS OFFICE DURING THE MONTH OF DECEMBER, 2024.
- SUBJECT PARCEL LIES OUTSIDE OF THE 100 YEAR FLOOD HAZARD AREA PER FEMA FLOOD INSURANCE RATE MAP NO. 3300040010B, EFFECTIVE DATE 6/19/1989.
- WETLANDS WERE DELINEATED BY OTHERS PER REFERENCE PLAN #2. THE WETLANDS WERE RE-LOCATED BY THIS OFFICE AND VERIFIED BY CHRISTOPHER A. GUIDA, C.W.S. IN DECEMBER OF 2024.
- CONTOUR DATA SHOWN HEREON IS THE RESULT OF A FIELD SURVEY PERFORMED BY THIS OFFICE IN DECEMBER, 2024.
- PARCELS ARE SUBJECT TO PROVISIONS OF CERTAIN "DECLARATION OF COVENANTS AND RESTRICTIONS FOR LAKES BUSINESS PARK, PHASE II" DATED APRIL 7, 2005 AND RECORDED IN BOOK 2166, PAGE 364 AT THE B.C.R.D., SAID DECLARATION AS AMENDED IN BK. 2520, PG. 93 AND AS AMENDED IN BK. 2554, PG. 484.
- PARCELS ARE SUBJECT TO NHDES WETLANDS AND NON-SITE SPECIFIC PERMIT 2002-00822 DATED 3/25/2003 AND RECORDED IN BK. 1882, PG. 658 IN B.C.R.D. INCLUDING BUT NOT LIMITED TO CONDITIONS #5, 6 AND 7 REGARDING (1) NO FURTHER ALTERATION OF WETLANDS AND (2) AN EASEMENT FOR FUTURE CONSTRUCTION OF A PEDESTRIAN TRAIL SHOWN HEREON.

GRAPHIC SCALE



B	08/26/25	REVISE MKON ADDRESS	TJB	MDP
A	08/08/25	PROPERTY OWNER	JGL	MDP
REV.	DATE	DESCRIPTION	C/O	DR
			CK	

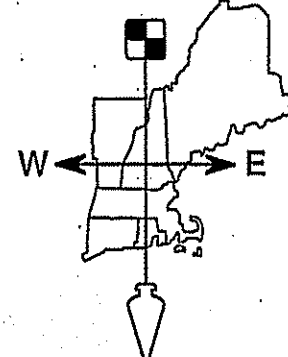
EXISTING CONDITIONS PLAN
TAX MAP 204 LOTS 3-17 & 3-18
(282 & 288 HOUNSELL AVENUE)
GILFORD, NEW HAMPSHIRE

PREPARED FOR & LAND OF:
MKON LLC
 265 WEIRS ROAD, GILFORD, NH 03249

SCALE: 1" = 40'

JANUARY 31, 2025

Surveying + Engineering + Land Planning + Permitting + Septic Designs



FIELDSTONE
 LAND CONSULTANTS, PLLC

206 Elm Street, Milford, NH 03055
 45 Roxbury Street, Keene, NH 03431
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FILE: 4024EX00.dwg PROJ. NO. 4024.00 SHEET: EX-1 PAGE NO. 3 OF 13

NRCS SOILS LEGEND:

SOURCE: USDA NRCS WEB SOIL SURVEY

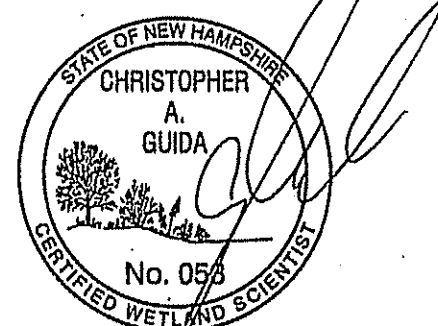
- SOIL BOUNDARY
 BOSCAWEN FINE SANDY LOAM, 8 TO 15% SLOPES
 MILLSITE-WOODSTOCK-HENNIKER COMPLEX 3 TO 8% SLOPES, VERY STONY

220C
 480B

CERTIFICATION:

WETLANDS WERE DELINEATED BY OTHERS PER REFERENCE PLAN #2, AND WERE RE-LOCATED IN ACCORDANCE WITH THE US ARMY CORPS OF ENGINEERS 1987 WETLANDS DELINEATION MANUAL Y-87-1 AND REGIONAL SUPPLEMENT FOR NORTHEAST AND NORTH-CENTRAL REGION AND FIELD INDICATORS FOR HYDRIC SOILS IN NEW ENGLAND, BY CHRISTOPHER A. GUIDA, C.W.S. IN DECEMBER, 2024.

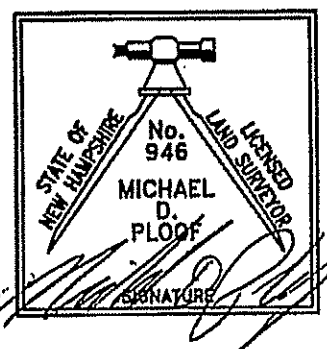
DATE: 8/26/25



CERTIFICATION:

"I HEREBY CERTIFY THAT THE EXISTING CONDITIONS SHOWN WERE DEVELOPED FROM A FIELD SURVEY PERFORMED BY FIELDSTONE LAND CONSULTANTS, PLLC DURING THE MONTH OF DECEMBER 2024 AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN TEN THOUSAND (1:10,000)".

DATE: 8/26/25



LEGEND:

EXISTING FEATURES

- RIGHT-OF-WAY LINE
- BOUNDARY LINE
- ABUTTING LOT LINE
- BUILDING SETBACK LINE
- EDGE OF PAVEMENT
- EDGE OF GRAVEL
- CURB LINE
- STONE WALL
- EDGE OF TREE LINE
- EDGE OF WETLANDS
- WETLANDS BUFFER LINE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- 10' CONTOUR INTERVAL
- 2' CONTOUR INTERVAL
- CHAIN-LINK FENCE
- CULVERT
- OVERHEAD UTILITY LINE
- UNDERGROUND UTILITY LINE
- GAS LINE
- WATER LINE
- SEWER LINE
- TAX MAP & LOT NUMBER
- DRILL HOLE FOUND
- IRON PIN FOUND
- IRON PIPE FOUND
- UTILITY POLE, GUY & LIGHT
- CATCH BASIN (SQUARE)
- SEWER MAN-HOLE
- SEWER CLEAN-OUT
- WATER HYDRANT
- WATER VALVE
- WATER SHUT-OFF
- WELL
- EXISTING BUILDING

PROPOSED FEATURES

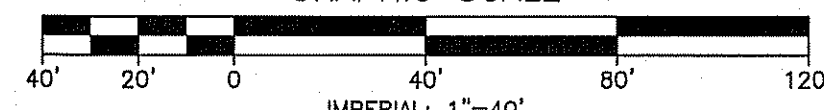
- EDGE OF PAVEMENT
- EDGE OF SHOULDER
- CAPE COO BERM
- SAWCUT LINE
- GUARDRAIL
- SITE PAVEMENT AREA
- CONCRETE PAVEMENT
- 10 FT. CONTOUR
- 2 FT. CONTOUR
- SPOT ELEVATION
- SPOT ELEVATION AT CURB
- EXISTING SPOT GRADE
- PROPOSED BUILDING
- CB1
- STORM WATER DRAINAGE
- STONE CHECK DAM
- INLET PROTECTION
- TO BE REMOVED
- LIMITS OF CLEARING
- SWALE/GUTTER LINE
- TOP OF BERM
- DRAINAGE FLOW ARROW
- TEMPORARY SILT FENCE
- EROSION CONTROL STONE
- GRAVEL CONSTRUCTION EXIT
- GRAVEL AREA
- PROPOSED BUILDING MOUNTED LIGHT
- PROPOSED LIGHT POLE



CONSTRUCTION NOTES:

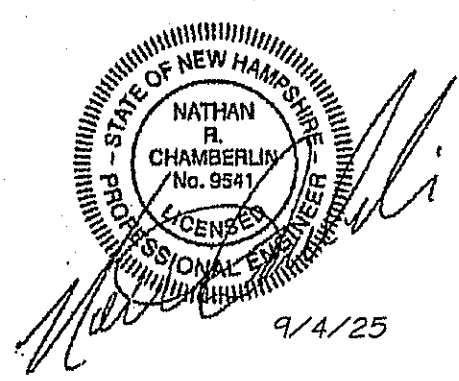
- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF GILFORD AND SHALL BE BUILT IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE TOWN OF GILFORD DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS FOR ROAD CONSTRUCTION AND SEWERS AND DRAINS AND THE NHDOT STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION APPROVED AND ADOPTED 2010 ARE HEREBY INCORPORATED BY REFERENCE.
- ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS AND THE SPECIFICATIONS NOTED ABOVE. ANY ALTERATION OF THIS DESIGN OR CHANGE DURING CONSTRUCTION MAY REQUIRE APPROVAL OF VARIOUS TOWN/CITY BOARDS OR AGENCIES AND SHALL BE DISCUSSED WITH THE OWNER AND ENGINEER PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS AND SHALL VERIFY THAT ALL THE INFORMATION SHOWN HEREON IS CONSISTENT, COMPLETE, ACCURATE, AND CAN BE CONSTRUCTED PRIOR TO AND/OR DURING CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES, ERRORS, OMISSIONS, OR EXISTING UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION SO THAT REMEDIAL ACTION MAY BE TAKEN BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACT "DIGSAFE" AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION (811).
- THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE MUNICIPAL DEPARTMENTS PRIOR TO CONSTRUCTION TO ARRANGE FOR NECESSARY INSPECTIONS.
- BLASTING, IF REQUIRED, SHALL BE PERFORMED IN ACCORDANCE WITH THE TOWN OF GILFORD FIRE DEPARTMENT REGULATIONS.
- ALL DISTURBED NON-PAVED AREAS SHALL BE LOAMED AND SEEDED IMMEDIATELY UPON BEING CONSTRUCTED.
- ALL TRAFFIC SIGNS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION.
- EXISTING PAVEMENT SHALL BE SAW-CUT AS NECESSARY. THE CONTRACTOR SHALL ENSURE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW PAVEMENT.
- ALL POWER WORK SHALL CONFORM TO LOCAL PROVIDER STANDARDS.
- ALL TELEPHONE WORK SHALL CONFORM TO LOCAL PROVIDER SPECIFICATIONS.
- STREET RESTORATION, IF ANY, SHALL BE IN ACCORDANCE WITH TOWN OF GILFORD SPECIFICATIONS.

GRAPHIC SCALE



CONSTRUCTION SEQUENCE:

- INSTALL SILTATION CONTROL FENCES IN LOCATIONS SHOWN HEREON. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATION.
- INSTALL STABILIZED CONSTRUCTION EXIT(S).
- CUT AND CLEAR TREES; DISPOSE OF DEBRIS. STUMPS ARE TO BE GROUND AND THE GRINDINGS STOCK-PILED ON SITE. STUMP TAILINGS SHALL BE USED FOR EROSION CONTROL. EXCESS TAILINGS SHALL BE COMPACTED WITH SUITABLE MATERIAL IN NON STRUCTURAL FILL SLOPES. COVER WITH 4" OF LOAM AND SEED PER THE EROSION CONTROL NOTES.
- REMOVE TOPSOIL AND STOCKPILE AWAY FROM ANY WETLAND. STABILIZE STOCKPILE IMMEDIATELY BY SEEDING. PLACE SILT FENCE AROUND THE DOWN SLOPE SIDE OF EARTH STOCKPILES.
- ROUGH GRADE SITE - CONSTRUCT DRAINAGE BASINS AND DRAINAGE SWALES DURING INITIAL PORTION OF CONSTRUCTION. STABILIZE IMMEDIATELY PER THE CONSTRUCTION AND EROSION CONTROL DETAILS. DO NOT DIRECT STORM WATER RUNOFF TO THESE STRUCTURES UNTIL A HEALTHY VEGETATIVE COVER IS ESTABLISHED.
- BEGIN BUILDING CONSTRUCTION.
- CONSTRUCT DRIVEWAY AND PARKING AREAS. INSTALL UTILITIES AND STRUCTURES. ALL CUT AND FILL SLOPES SHALL BE STABILIZED UPON COMPLETION OF ROUGH GRADING PER THE EROSION CONTROL NOTES.
- INSPECT AND MAINTAIN EROSION CONTROL MEASURES ON A WEEKLY BASIS AND AFTER EVERY 0.25" OR GREATER RAINFALL.
- DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, CULVERTS, DITCHES, SILTATION FENCES, SEDIMENT TRAPS, ETC. MULCH AND SEED AS REQUIRED.
- FINISH GRADING TO PREPARE FOR PAVING AND LOAMING. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 72 HOURS AFTER FINAL GRADING.
- FINISH PAVING. PERMANENT SEEDING SHALL BE PERFORMED UPON COMPLETION OF DRIVE AND PARKING AREA PAVING (SEE EROSION CONTROL NOTES).
- COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED.
- ALL STRUCTURES SHALL BE CLEANED OF SEDIMENTS ONCE CONSTRUCTION IS COMPLETE.



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TO CONSTRUCTION
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GRADING & DRAINAGE PLAN
TAX MAP 204 LOTS 3-17 & 3-18
(282 & 288 HOUNSELL AVENUE)
GILFORD, NEW HAMPSHIRE
PREPARED FOR & LAND OF:
MKON LLC
265 WEIRS ROAD, GILFORD, NH 03249

SCALE: 1" = 40' JANUARY 31, 2025

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

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LEGEND:

EXISTING FEATURES

- RIGHT-OF-WAY LINE
- BOUNDARY LINE
- ABUTTING LOT LINE
- BUILDING SETBACK LINE
- EDGE OF PAVEMENT
- EDGE OF GRAVEL
- CURB LINE
- STONE WALL
- EDGE OF TREE LINE
- EDGE OF WETLANDS
- WETLANDS BUFFER LINE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- 10' CONTOUR INTERVAL
- 2' CONTOUR INTERVAL
- CHAIN-LINK FENCE
- CULVERT
- OVERHEAD UTILITY LINE
- UNDERGROUND UTILITY LINE
- GAS LINE
- WATER LINE
- SEWER LINE

PROPOSED FEATURES

- PROPOSED BUILDING
- CONCRETE PAVEMENT
- SITE PAVEMENT AREA
- EDGE OF PAVEMENT
- EDGE OF SHOULDER
- CAPE COD BERM
- SAWCUT LINE
- GUARDRAIL
- LIMITS OF CLEARING
- PROPOSED BUILDING MOUNTED LIGHT
- PROPOSED LIGHT POLE
- UNDERGROUND ELECTRIC
- WATER LINE
- DRAINAGE LINE
- SEWER LINE
- EARTHEN BERM

204-3-18 TAX MAP & LOT NUMBER

- DRILL HOLE FOUND
- IRON PIN FOUND
- IRON PIPE FOUND
- UTILITY POLE, GUY & LIGHT
- CATCH BASIN (SQUARE)
- SEWER MAN-HOLE
- SEWER CLEAN-OUT
- WATER HYDRANT
- WATER VALVE
- WATER SHUT-OFF
- WELL
- EXISTING BUILDING

SEWER SERVICE INVERT SCHEDULE:

UNIT NUMBER	6" PVC* INVERT	LENGTH (FEET)	SLOPE** (FT/FT)	4" PVC*** INVERT	SLAB ELEV.
1A	625.36	28	0.116	628.70	635.0
1B	625.32	28	0.117	628.70	635.0
1C	624.79	28	0.136	628.70	635.0
1D	624.75	28	0.138	628.70	635.0
1E	624.47	28	0.148	628.70	635.0
2A	623.56	28	0.109	626.70	633.0
2B	623.52	28	0.110	626.70	633.0
2C	622.99	28	0.068	625.00	633.0
2D	622.95	28	0.070	625.00	633.0
2E	622.67	28	0.083	625.10	633.0
3A	621.70	28	0.111	624.90	631.2
3B	621.66	28	0.112	624.90	631.2
3C	621.13	28	0.131	624.90	631.2
3D	621.09	28	0.133	624.90	631.2
3E	620.71	28	0.146	624.90	631.2
4A	621.71	40	0.020	622.61	631.2
4B	621.67	40	0.020	622.61	631.2
4C	621.14	40	0.020	622.61	631.2
4D	621.10	40	0.020	622.61	631.2
4E	620.82	40	0.020	622.61	631.2
5A	624.04	18	0.142	626.70	633.0
5B	623.99	18	0.145	626.70	633.0
5C	623.30	18	0.144	626.00	633.0
5D	623.25	18	0.147	626.00	633.0
5E	622.88	18	0.140	625.50	633.0
6A	625.37	40	0.020	626.27	635.0
6B	625.33	40	0.020	626.23	635.0
6C	624.80	40	0.020	625.70	635.0
6D	624.76	40	0.020	625.66	635.0
6E	624.47	40	0.020	625.37	635.0

* INVERT OF 6" PVC LATERAL AT SERVICE CONNECTION
 ** ASSUMES 0.1 FT. BETWEEN 6" INV. & 4" INV. AT LATERAL
 *** INVERT OF 4" PVC SERVICE AT BUILDING

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204-3-18
 3.58 ACRES
 (PER REF PLAN #1)

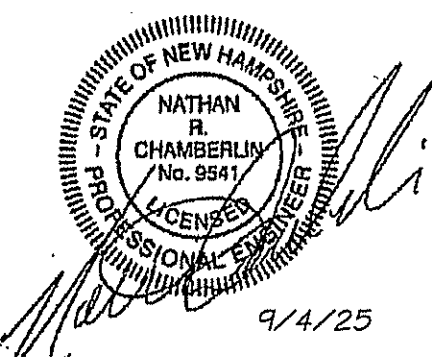
PROPOSED DUPLEX
 PUMP STATION (PS1)
 5" DIA. RIM=630.2
 INV.IN=620.3
 INV.OUT=621.5

4" DIA VALVE PIT
 RIM=630.2
 INV.IN/OUT=621.5

2, 45" & 11.25"
 HEAT FUSED 2"
 HOPE BENDS

GENERAC GUARDIAN
 16KW STANDBY
 GENERATOR (OR EQUAL)

CONST. 690 LF, 2" SDR11,
 4710 HEAT FUSED HOPE
 FORCE MAIN



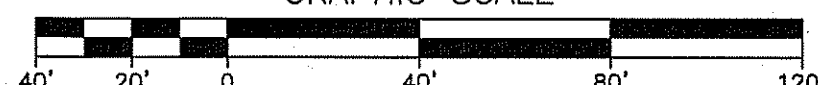
SEWER CONSTRUCTION NOTES:

- GRAVITY SEWER PIPE SHALL BE TESTED IN ACCORDANCE WITH ENV WQ 704.06:
 A. ALL NEW GRAVITY SEWERS SHALL BE TESTED FOR WATER TIGHTNESS BY THE USE OF LOW-PRESSURE AIR TESTING.
 B. LOW-PRESSURE AIR TESTING SHALL BE IN CONFORMANCE WITH THE FOLLOWING TESTING STANDARDS IN EFFECT AT THE TIME THE TEST IS CONDUCTED:
 • ASTM F1417 "STANDARD TEST METHOD FOR INSTALLATION ACCEPTANCE OF PLASTIC GRAVITY SEWER LINES USING LOW-PRESSURE AIR", AVAILABLE AS NOTED IN APPENDIX B; OR
 • UN-BELL PVC PIPE ASSOCIATION UN-B-6, "LOW-PRESSURE AIR TESTING OF INSTALLED SEWER PIPE", AVAILABLE AS NOTED IN APPENDIX D.
- ALL NEW GRAVITY SEWERS SHALL BE:
 A. CLEANED AND VISUALLY INSPECTED USING A LAMP TEST AND BY INTRODUCING WATER TO DETERMINE THAT THERE IS NO STANDING WATER IN THE SEWER; AND
 B. TRUE TO LINE AND GRADE FOLLOWING INSTALLATION AND PRIOR TO USE.
- ALL PLASTIC SEWER PIPE SHALL BE VISUALLY INSPECTED AND DEFLECTION TESTED NOT LESS THAN 30 DAYS NOR MORE THAN 90 DAYS FOLLOWING INSTALLATION.
- THE MAXIMUM ALLOWABLE DEFLECTION OF FLEXIBLE SEWER PIPE SHALL BE 5% PERCENT OF AVERAGE INSIDE DIAMETER. A RIGID BALL OR MANDREL WITH A DIAMETER OF AT LEAST 95% OF THE AVERAGE INSIDE PIPE DIAMETER SHALL BE USED FOR TESTING PIPE DEFLECTION. THE DEFLECTION TEST SHALL BE CONDUCTED WITHOUT MECHANICAL PULLING DEVICES.
- FORCE MAIN PIPE SHALL BE TESTED IN ACCORDANCE WITH ENV WQ 704.09:
 A. FORCE MAINS AND PRESSURE SEWERS SHALL BE TESTED IN ACCORDANCE WITH SECTION 5 OF THE AWWA C600, "INSTALLATION OF CAST IRON WATER MAINS AND THEIR APPURTENANCES" STANDARD IN EFFECT WHEN THE TEST IS CONDUCTED AT A PRESSURE EQUAL TO THE GREATER OF 150 PERCENT OF THE DESIGN OPERATING TOTAL DYNAMIC HEAD OR AT LEAST 100 PSI.
- MANHOLE TESTING SHALL BE DONE IN ACCORDANCE WITH ENV WQ 704.14:
 A. MANHOLES SHALL BE TESTED FOR LEAKAGE USING A VACUUM TEST IN ACCORDANCE WITH ASTM C1244. THE MANHOLE VACUUM TEST SHALL CONFORM TO THE FOLLOWING:
 1. THE INITIAL VACUUM GAUGE TEST PRESSURE SHALL BE 10 INCHES HG; AND
 2. THE MINIMUM ACCEPTABLE TEST HOLD TIME FOR A 1-INCH HG PRESSURE DROP TO 9 INCHES HG SHALL BE:
 a. NOT LESS THAN 2 MINUTES FOR MANHOLES LESS THAN 10 FEET DEEP IN DEPTH;
 b. NOT LESS THAN 2.5 MINUTES FOR MANHOLES 10 TO 15 FEET DEEP; AND
 c. NOT LESS THAN 3 MINUTES FOR MANHOLES MORE THAN 15 FEET DEEP;
 B. THE MANHOLE SHALL BE REPAIRED AND RETESTED IF THE TEST HOLD TIMES FAIL TO ACHIEVE THE ACCEPTANCE LIMITS SPECIFIED.
- THE OWNER SHALL PROVIDE NHDES WASTEWATER ENGINEERING BUREAU WITH A PUMP STATION OPERATION AND MAINTENANCE MANUAL WITHIN 60 DAYS OF THE COMPLETION OF THE PUMP STATION.

CONSTRUCTION NOTES:

- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF GILFORD AND SHALL BE BUILT IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE TOWN OF GILFORD DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS FOR ROAD CONSTRUCTION AND SEWERS AND DRAINS AND THE NHDOT STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION APPROVED AND ADOPTED 2016 ARE HEREBY INCORPORATED BY REFERENCE.
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- THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE MUNICIPAL DEPARTMENTS PRIOR TO CONSTRUCTION TO ARRANGE FOR NECESSARY INSPECTIONS.
- BLASTING, IF REQUIRED, SHALL BE PERFORMED IN ACCORDANCE WITH THE TOWN OF GILFORD FIRE DEPARTMENT REGULATIONS.
- ALL DISTURBED NON-PAVED AREAS SHALL BE LOAMED AND SEEDED IMMEDIATELY UPON BEING CONSTRUCTED.
- ALL TRAFFIC SIGNS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION.
- EXISTING PAVEMENT SHALL BE SAW-CUT AS NECESSARY. THE CONTRACTOR SHALL ENSURE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW PAVEMENT.
- ALL POWER WORK SHALL CONFORM TO LOCAL PROVIDER STANDARDS.
- ALL TELEPHONE WORK SHALL CONFORM TO LOCAL PROVIDER SPECIFICATIONS.
- STREET RESTORATION, IF ANY, SHALL BE IN ACCORDANCE WITH TOWN OF GILFORD SPECIFICATIONS.
- GRAVITY SEWER PIPE SHALL BE SDR35 PVC. WATER SERVICES SHALL BE CTS HOPE.
- WATER LINE CONSTRUCTION AND INSPECTION SHALL BE COORDINATED WITH THE CITY OF LACONIA WATER DEPARTMENT 603-524-0901. THE OWNER WILL TAKE RESPONSIBILITY FOR THE EXISTING 6" DIP WATER SERVICE TO LOT 204-3-18.
- THE PROPOSED SEWER LAYOUT WITHIN BUILDING IS APPROXIMATE AND IS DEPENDENT ON FINAL ARCHITECTURAL PLANS. THE MINIMUM SLOPE OF 1.0% (1/8 IN./FT.) SHALL BE MAINTAINED FOR THE WASTEWATER COLLECTION SYSTEM.
- THE PROPOSED STANDBY GENERATOR IS FOR THE PUMP STATION ONLY.

GRAPHIC SCALE



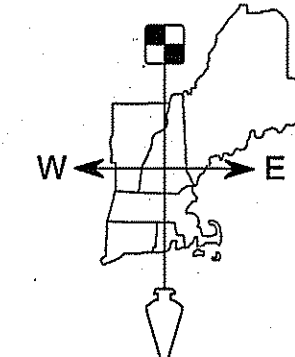
REV.	DATE	DESCRIPTION	C/O	DR	CK
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H	8/28/25	BUILDING 2 WATER SERVICE LAYOUT		NRC	CEB
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F	8/6/25	PROPERTY OWNER		NRC	CEB
E	8/5/25	ADDRESS 7/31/25 AOT RTM, REVISE UTILITIES PER CLIENT		NRC	CEB
D	7/25/25	ADD GENERATOR		NRC	CEB
C	7/21/25	BUILDINGS 1 & 6, SEWER LAYOUT		NRC	CEB
B	6/8/25	SITE ENTRANCE, SW MANAGEMENT AREA		NRC	CEB

UTILITY PLAN
TAX MAP 204 LOTS 3-17 & 3-18
(282 & 288 HOUNSELL AVENUE)
GILFORD, NEW HAMPSHIRE
PREPARED FOR & LAND OF:
MKON LLC
265 WEIRS ROAD, GILFORD, NH 03249

SCALE: 1" = 40'

JANUARY 31, 2025

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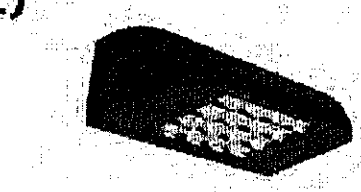
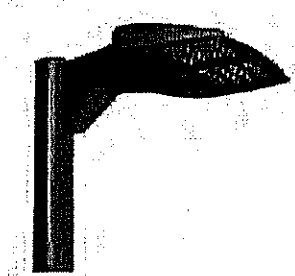
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 45 Roxbury Street, Keene, NH 03431
 Phone: (603) 672-5456 Fax: (603) 413-5456
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Sep 04, 2025 - 1:47pm
C:\Users\FLC-24\AppData\Roaming\Carlson Software\Carlson2025\CAD12_1_X64\USER\

LEGEND:
EXISTING FEATURES
RIGHT-OF-WAY LINE
BOUNDARY LINE
ABUTTING LOT LINE
BUILDING SETBACK LINE
EDGE OF PAVEMENT
EDGE OF GRAVEL
CURB LINE
STONE WALL
EDGE OF TREE LINE
EDGE OF WETLANDS
WETLANDS BUFFER LINE
EXISTING EASEMENT LINE
PROPOSED EASEMENT LINE

PROPOSED FEATURES
PROPOSED BUILDING
CONCRETE PAD
EDGE OF PAVEMENT
TRAFFIC FLOW ARROW (NOT PAINTED)
LIMITS OF CLEARING
PROPOSED LIGHTING
UG- UNDERGROUND ELECTRIC
W- WATER LINE
D- DRAINAGE LINE
S- SEWER LINE
E- EARTHEN BERM

V-Locity Small (VALS)
Outdoor LED Area Light (OR EQUAL)



OVERVIEW	
Lumen Package	E-000 - 27000
Wattage Range (W)	35 - 175
Emergency Range (E-W)	100 - 175
Weight (lb)	25 (5)
Control Options	PHOT, ALB, ALS, 2-Wire, P.C.I.

OVERVIEW	
Lumen Package (lm)	1000 - 1500
Wattage Range (W)	10 - 15
Emergency Range (E-W)	10 - 15
Weight (lb)	9 (4.5)
Control Options	PHOT, ALB, ALS, P.C.I.

QUICK LINKS
Ordering Guide | Performance | Photometrics | Dimensions

BROMO
OUTDOOR LED LIGHT

Architectural Full Cut-Off Wall Pack | Power & CCT Switchable
The Bromo outdoor light features a durable, aluminum construction with heat dissipating fins, CCT switchable (2700K/5000K), and power switchable (120V/277V). Available in black, white, and bronze. It includes a photocell, emergency battery backup, and a pre-installed ballast for a smooth start. Protected against rain, color, and impact for long-lasting outdoor use.
Applications: Garage, Street, Building, and more. 1700mm Body

eralux
(OR EQUAL)

DATE	REV	TYPE
11/25/24		

PROJECT: AE-WP-BR-ADW-CA

NOTES:

DYNAMIC MENU

Order Information	Spec 2
Dimensions	Spec 2
Accessories	Spec 3
Photometric Data	Spec 4

Install Instruction Link

SPECIFICATIONS

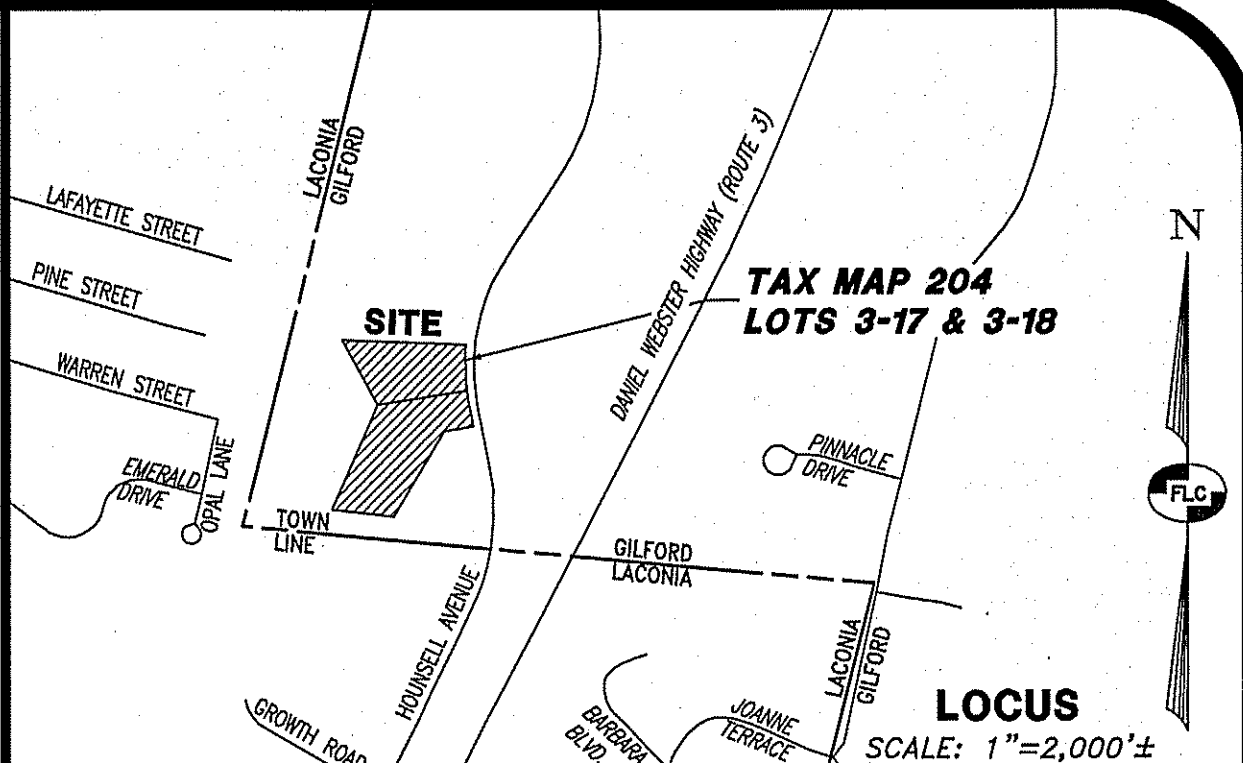
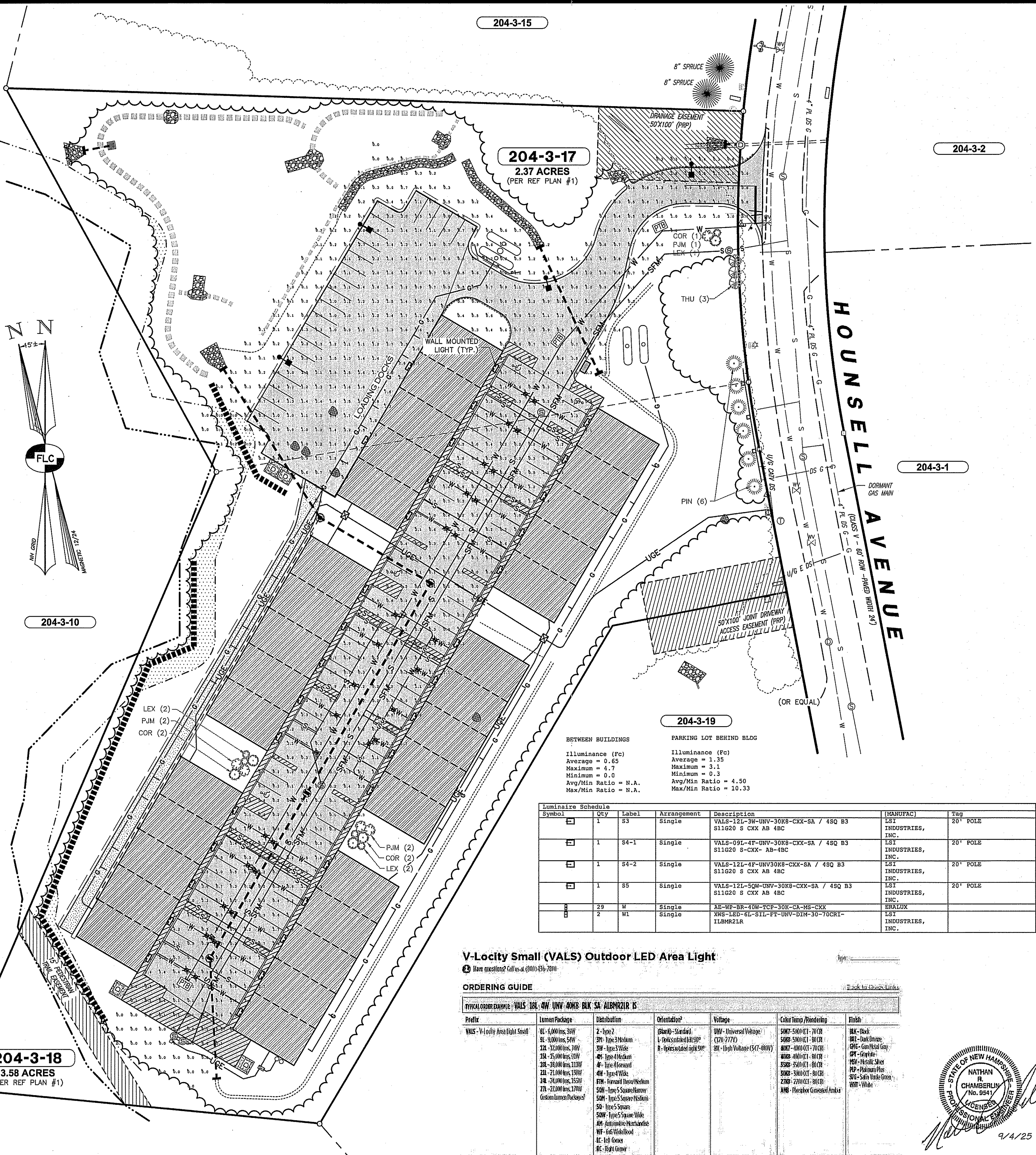
Input Voltage	120-240V
Power Factor	>0.9
Total Harmonic Distortion	<20%
Dimming	0-10V dimming
CU	80 CU
CCT	3000K, 4000K, 5000K
Efficiency	110lm/W
Power (W)	40/24/15W
Ambient Temperature Range	-40°C to 50°C
Mounting Options	Wall Mount
Finish	Black White Bronze
Controls	Integrated Photocell Emergency Battery Backup Motion Sensor
Protection	IP65 water and dust resistance NEMA Impact Resistance
Surge Protector	SPD
Leak	Polycarbonate Lens
Distribution	SPD

PRODUCT FEATURES



PRODUCT CERTIFICATIONS


BUILDING MOUNTED LIGHTS (ERALUX)
NOT TO SCALE (OR EQUAL)



PLANT SYMBOLS	PLANT LIST	QTY. & SIZE
PJM	RHOD. 'P.J.M.' COMP. CLONE (COMPACT RHODODENDRON) (OR EQUAL)	(5) 18"-24"
COR	CORNUS SANGUEA (WINTER FLAME DOGWOOD) (OR EQUAL)	(5) 3 GAL. 2'-3'
THU	THUJA PLICATA 'ATROVIRENS' (ARBORVITAE) (OR EQUAL)	(3) 4'-5' B&B
LEX	ILEX MESURVEAE 'BLUE PRINCE' (MALE HOLLY) (OR EQUAL)	(5) 2.5'-3'
PIN	PINUS STROBUS (WHITE PINE) (OR EQUAL)	(6) 5'-6'

LANDSCAPING CALCULATIONS:
LANDSCAPING SHALL BE PROVIDED THROUGHOUT SITE WHERE PRACTICAL. A MINIMUM OF ONE SHRUB FOR EVERY 300 SQ. FT. OF NON-IMPERVIOUS DISTURBED AREA SHALL BE PROVIDED.
PROPOSED LANDSCAPING CALCULATIONS:
ALL NON-IMPERVIOUS DISTURBED AREA=93,228 SQ.FT.±
87,700± SQ.FT. / 300 SQ.FT. = 292.3 (292) TREES/SHRUBS
EXISTING TREES AND SHRUBS TO REMAIN = 45,000± SF (LIMIT OF CLEARING)
ADDITIONAL PROPOSED TREES/SHRUBS = 24
LIGHTING NOTES:
1. LIGHTING SHALL BE INSTALLED AND ARRANGED SO AS NOT TO REFLECT OR CAUSE GLARE UPON ABUTTING LAND, HIGHWAYS AND ROADS.
2. ALL FIXTURES ARE FULL CUTOFF, LED FIXTURES. FLOOD LIGHTING AND UP-LIGHTING ARE PROHIBITED.
3. LIGHTING IS PROVIDED VIA BUILDING MOUNTED LIGHTS.
4. LIGHT FIXTURES ARE AVAILABLE THROUGH EXPOSURE 2 LIGHTING. ANY CHANGE IN FIXTURE MUST BE APPROVED BY THE OWNER AND DESIGN ENGINEER.

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GRAPHIC SCALE

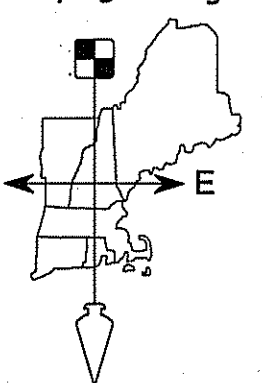

40' 20' 0' 40' 60' 120'
IMPERIAL: 1"=40'

I	9/4/25	ADDRESS NHDES WNEB 9/3/25 EMAIL REVIEW COMMENTS	NRC	CEB
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REV.	DATE	DESCRIPTION	C/O	DR CK

LANDSCAPE & LIGHTING PLAN
TAX MAP 204 LOTS 3-17 & 3-18
(282 & 288 HOUNSELL AVENUE)
GILFORD, NEW HAMPSHIRE
PREPARED FOR & LAND OF:
MKON LLC
285 WEIRS ROAD, GILFORD, NH 03249

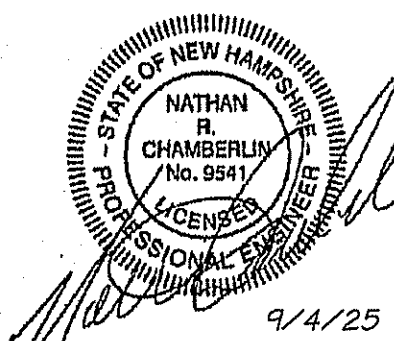
SCALE: 1" = 40' JANUARY 31, 2025

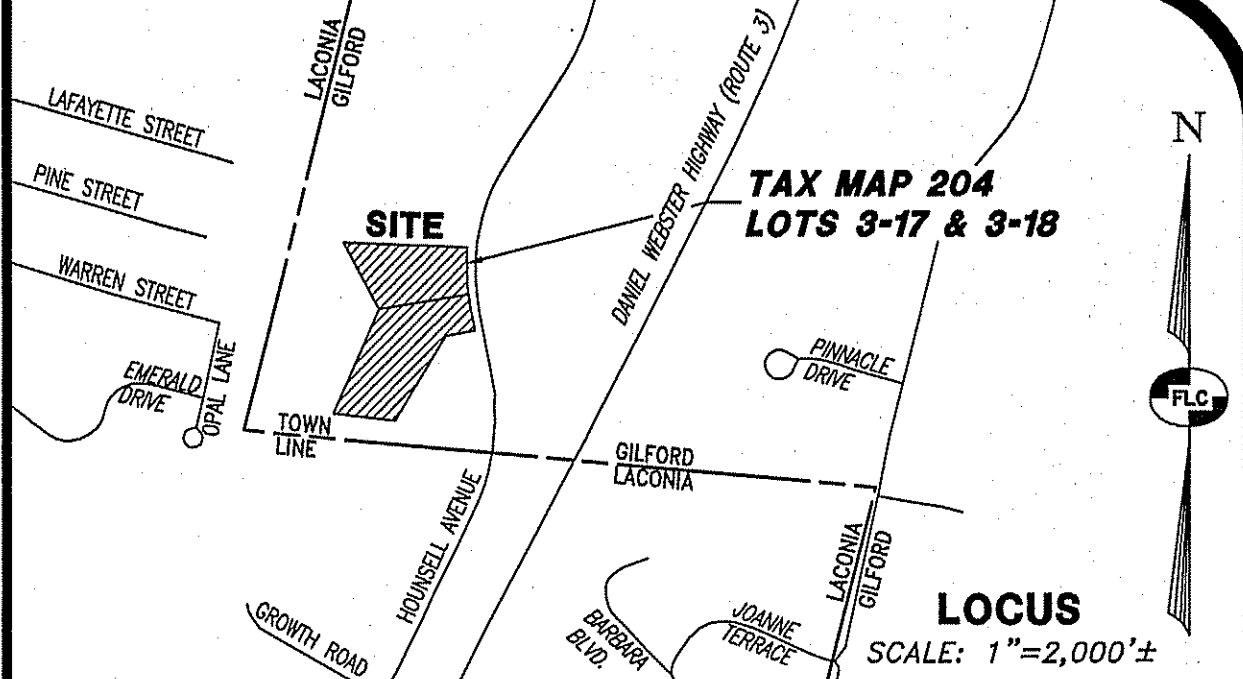
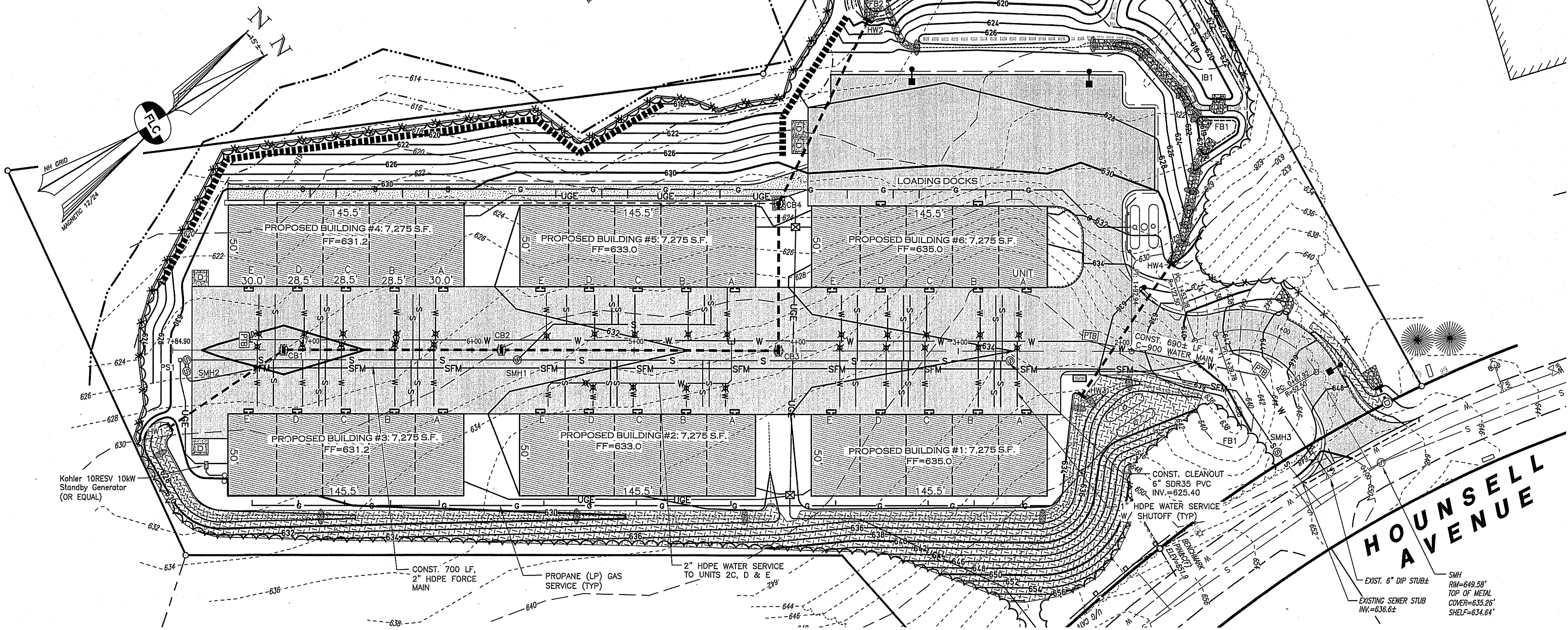
Surveying + Engineering + Land Planning + Permitting + Septic Designs



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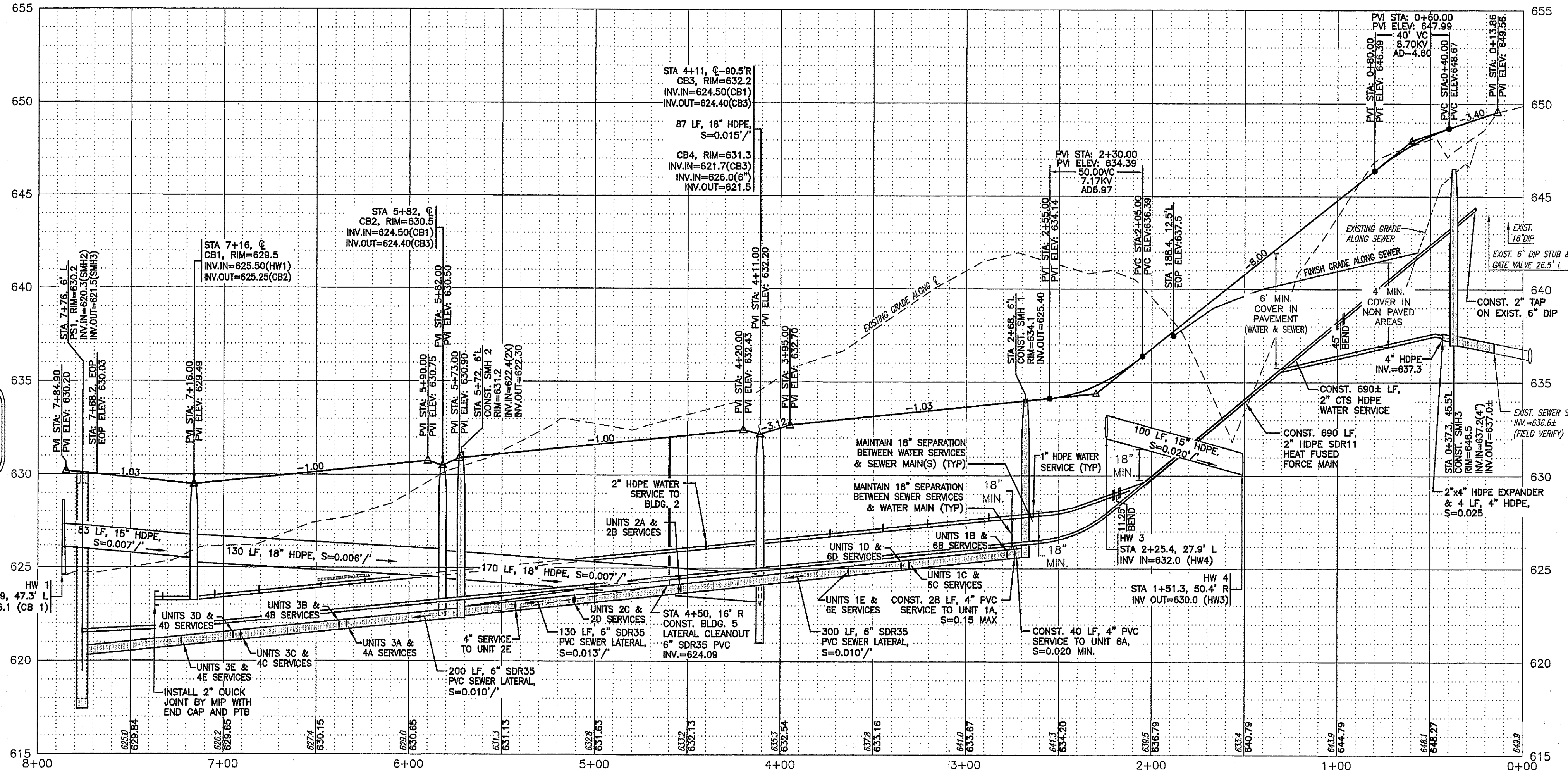
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www.FieldstoneLandConsultants.com


NATHAN R. CHAMBERLAIN
No. 9541
LICENSED PROFESSIONAL ENGINEER
9/4/25



- CONSTRUCTION NOTES:**
1. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF GILFORD AND SHALL BE BUILT IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE TOWN OF GILFORD DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS FOR ROAD CONSTRUCTION AND SEWERS AND DRAINS AND THE NHDOT STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION APPROVED AND ADOPTED 2016 ARE HEREBY INCORPORATED BY REFERENCE.
 2. ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS AND THE SPECIFICATIONS NOTED ABOVE. ANY ALTERATION OF THIS DESIGN OR CHANGE DURING CONSTRUCTION MAY REQUIRE APPROVAL OF VARIOUS TOWN/CITY BOARDS OR AGENCIES AND SHALL BE DISCUSSED WITH THE OWNER AND ENGINEER PRIOR TO CONSTRUCTION.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS AND SHALL VERIFY THAT ALL THE INFORMATION SHOWN HEREON IS CONSISTENT, COMPLETE, ACCURATE, AND CAN BE CONSTRUCTED PRIOR TO AND/OR DURING CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES, ERRORS, OMISSIONS, OR EXISTING UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION SO THAT REMEDIAL ACTION MAY BE TAKEN BEFORE PROCEEDING WITH THE WORK.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACT "DIGSAFE" AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION (811).
 5. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE MUNICIPAL DEPARTMENTS PRIOR TO CONSTRUCTION TO ARRANGE FOR NECESSARY INSPECTIONS.
 6. BLASTING, IF REQUIRED, SHALL BE PERFORMED IN ACCORDANCE WITH THE TOWN OF GILFORD FIRE DEPARTMENT REGULATIONS.
 7. ALL DISTURBED NON-PAVED AREAS SHALL BE LOAMED AND SEEDED IMMEDIATELY UPON BEING CONSTRUCTED.
 8. ALL TRAFFIC SIGNS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION.
 9. EXISTING PAVEMENT SHALL BE SAW-CUT AS NECESSARY. THE CONTRACTOR SHALL ENSURE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW PAVEMENT.
 10. ALL POWER WORK SHALL CONFORM TO LOCAL PROVIDER STANDARDS.
 11. ALL TELEPHONE WORK SHALL CONFORM TO LOCAL PROVIDER SPECIFICATIONS.
 12. STREET RESTORATION, IF ANY, SHALL BE IN ACCORDANCE WITH TOWN OF GILFORD SPECIFICATIONS.
 13. GRAVITY SEWER PIPE SHALL BE SDR35 PVC. WATER SERVICES SHALL BE CTS HDPE.
 14. WATER LINE CONSTRUCTION AND INSPECTION SHALL BE COORDINATED WITH THE CITY OF LACONIA WATER DEPARTMENT 603-524-0901. THE OWNER WILL TAKE RESPONSIBILITY FOR THE EXISTING 6" DIP WATER SERVICE TO LOT 204-3-18.
 15. THE PROPOSED SEWER LAYOUT WITHIN BUILDING IS APPROXIMATE AND IS DEPENDENT ON FINAL ARCHITECTURAL PLANS. THE MINIMUM SLOPE OF 1.0% (1/8 IN./FT.) SHALL BE MAINTAINED FOR THE WASTEWATER COLLECTION SYSTEM.
 16. THE PROPOSED STANDBY GENERATOR IS FOR THE PUMP STATION ONLY.

- PROPOSED FEATURES**
- PROPOSED BUILDING
 - CONCRETE PAVEMENT
 - SITE PAVEMENT AREA
 - EDGE OF PAVEMENT
 - EDGE OF SHOULDER
 - CAPE C&D BERM
 - SAWCUT LINE
 - GUARDRAIL
 - LIMITS OF CLEARING
 - PROPOSED BUILDING MOUNTED LIGHT
 - PROPOSED LIGHT POLE
 - UGS UNDERGROUND ELECTRIC
 - W WATER LINE
 - S SEWER LINE
 - EARTHEN BERM
 - 10 FT. CONTOUR
 - 2 FT. CONTOUR

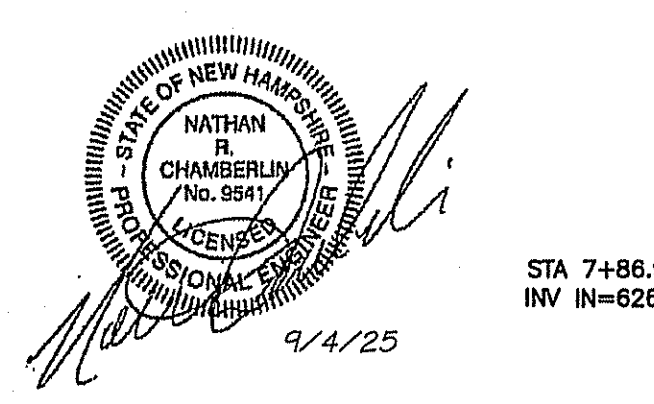


GRAPHIC SCALE

1" = 40'(H) 4'(V)

REV.	DATE	DESCRIPTION	C/O	DR	CK
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DRIVEWAY PLAN & PROFILE
TAX MAP 204 LOTS 3-17 & 3-18
(282 & 288 HOUNSELL AVENUE)
GILFORD, NEW HAMPSHIRE

PREPARED FOR & LAND OF:
MKON LLC
265 WEIRS ROAD, GILFORD, NH 03249

SCALE: 1" = 40'(H) 4'(V) AUGUST 4, 2025

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

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1. PRIOR TO STARTING ANY WORK ON THE SITE THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES.
2. ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN ACCORDANCE WITH STANDARDS AND SPECIFICATIONS THEREOF IN NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICE STORM WATER MANUALS, VOLUME 1-3, LATEST EDITION.
3. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PER PLANS AND DETAILS. PERIMETER CONTROLS SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF EARTH DISTURBING ACTIVITIES.
4. INSTALL INLET PROTECTION AROUND ALL STORM DRAIN STRUCTURES. INLET PROTECTION BMP'S SHALL REMAIN UNTIL THE SITE IS STABILIZED. CONSTRUCTION OF DETENTION BASINS AND TREATMENT SWALES SHALL OCCUR PRIOR TO AND EARTH MOVING OPERATION THAT WILL INFLUENCE STORM WATER RUNOFF.
5. THE WORK AREA SHALL BE GRADED, SHAPED AND OTHERWISE DRAINED IN SUCH A MANNER AS TO MINIMIZE SOIL EROSION, SILTATION OF DRAINAGE CHANNELS, DAMAGE TO EXISTING VEGETATION, AND DAMAGE TO PROPERTY OUTSIDE THE LIMITS OF THE WORK AREA.
6. EXISTING VEGETATION IS TO REMAIN UNDISTURBED WHEN POSSIBLE.

7. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE KEPT CLEAN DURING CONSTRUCTION. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED AT LEAST ONCE A WEEK AND AFTER EVERY 0.25-INCH OR GREATER RAINFALL. SEDIMENTS SHALL BE DISPOSED OF IN AN UPLAND AREA THAT WILL NOT CONTRIBUTE TO SEDIMENT OFF-SITE AND BE PERMANENTLY STABILIZED.
8. THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION. AT NO TIME SHALL THE TOTAL UNSTABILIZED DISTURBED AREA, INCLUDING LOT DISTURBANCES, BE GREATER THAN FIVE (5) ACRES.
9. THE LAND AREA EXPOSED SHALL BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME. ALL NON-ACTIVE DISTURBED AREAS SHALL BE STABILIZED WITHIN 30 DAYS OF THE DISTURBANCE. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF FINAL GRADING.
10. DITCHES, SWALES AND DRAINAGE BASINS SHALL BE CONSTRUCTED DURING THE INITIAL PHASE OF CONSTRUCTION AND STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
11. AN AREA SHALL BE CONSIDERED STABILIZED IF ONE OF THE FOLLOWING HAS OCCURED:
 - A. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
 - B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
 - C. A MINIMUM OF 3-INCHES OF NON-EROSIVE MATERIAL, SUCH AS STONE OR RIPRAP, HAS BEEN INSTALLED; OR
 - D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
12. EROSION CONTROL BLANKETS SHALL BE INSTALLED ON ALL SLOPES THAT ARE STEEPER THAN 3:1 (HORIZONTAL / VERTICAL). UNLESS OTHERWISE SPECIFIED THE CONTRACTOR SHALL USE NORTH AMERICAN GREEN SC150, OR APPROVED EQUAL.

13. ALL AREAS RECEIVING EROSION CONTROL STONE OR RIPRAP SHALL HAVE A GEOTEXTILE MATERIAL INSTALLED BELOW THE STONE (SEE APPROPRIATE DETAILS).

14. ALL DISTURBED AREAS TO TURF FINISHED SHALL BE COVERED WITH A MINIMUM THICKNESS OF 6 INCHES OF COMPACTED LOAM. LOAM SHALL BE COVERED WITH THE APPROPRIATE SEED MIXTURE AS INDICATED BELOW:

PERMANENT SEED (LAWN AREAS)	LBS. / 1,000 SQ. FT.	PERMANENT SLOPE SEED MIX	LBS. / 1,000 SQ. FT.
CREeping RED FESCUE	0.92 LBS	CREeping RED FESCUE	0.80 LBS
PERENNIAL RYEGRASS	1.15 LBS	PERENNIAL RYEGRASS	0.69 LBS
KENTUCKY BLUEGRASS	0.58 LBS	REDTOP	0.12 LBS
REDTOP	0.12 LBS	ALSKIE CLOVER	0.12 LBS
		BIRDSFOOT TREFLOIL	
**APPLICATION RATE TOTALS		**APPLICATION RATE TOTALS	
2.8 LBS PER 1,000 SF**		*1.85 LBS PER 1,000 SF**	

15. TEMPORARY STABILIZATION OF DISTURBED AREAS:
STRIPPED SOIL SHALL BE STOCKPILED UNCOMPACTED, AND STABILIZED AGAINST EROSION AS OUTLINED BELOW:

CONTRACTOR SHALL HAVE SOIL TESTED TO DETERMINE AN ADEQUATE N-P-K RATIO THE USE OF PHOSPHOROUS (P) SHALL BE MINIMIZED (LESS THAN 2%) ONCE DETERMINED, FERTILIZATION TO BE SPREAD AT THE RATE OF 7 LBS. PER 100 SF AND AGRICULTURAL LIMESTONE AT A RATE OF 90 LBS PER 1000 SF AND INCORPORATED INTO THE SOIL. THE SOIL, FERTILIZER AND LIMESTONE SHALL BE TILLED TO PREPARE FOR SEEDING.

- A. SEED MIXTURE: USE ANY OF THE FOLLOWING:

SPECIES	RATE PER 1,000 SF	DEPTH	SEEDING DATES
WINTER RYE	2.5 LBS	1 INCH	8/15 TO 9/15
OATS	2.5 LBS	1 INCH	4/15 TO 10/15
ANNUAL RYEGRASS	1.0 LBS	0.25 INCH	8/15 TO 9/15

- B. MULCHING: MULCH SHOULD BE USED ON HIGHLY ERODIBLE AREAS, AND WHERE CONSERVATION OF MOISTURE WILL FACILITATE PLANT ESTABLISHMENT AS FOLLOWS:

TYPE	RATE PER 1,000 SF	USE AND COMMENTS
STRAW	70 TO 90 LBS	MAY BE USED WITH PLANTINGS, MUST BE ANCHORED TO BE USED ALONE
WOOD CHIPS OR BARK MULCH	460 TO 920 LBS	USED WITH TREE AND SHRUB PLANTINGS
FIBROUS MATTING	AS RECOMMENDED BY MANUFACTURER	MUST BE BIODEGRADABLE. USE IN SLOPE AREAS AND AREAS DIFFICULT TO VEGETATE

CRUSHED STONE 1/4" TO 1-1/2" DIA. SPREAD TO GREATER THAN 1/2" THICKNESS USE IN SPECIFIC AREAS AS SHOWN ON PLAN OR AS NEEDED

16. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS. IF SOIL TESTING IS NOT FEASIBLE (CRITICAL TIME FRAMES OR VARIABLE SITES) THEN APPLY FERTILIZER AT A RATE OF 13 POUNDS PER 1,000 SF AND LIMESTONE AT A RATE OF 90 POUNDS PER 1,000 SF. FERTILIZER SHALL BE LOW PHOSPHATE (LESS THAN 2% PHOSPHORUS).
17. CAUTION SHOULD BE TAKE WHEN THE PROPERTY IS LOCATED WITHIN 250 FEET OF A WATER BODY. IN THIS CASE ALL FERTILIZERS SHALL BE RESTRICTED TO A LOW PHOSPHATE, SLOW RELEASE NITROGEN FERTILIZER. SLOW RELEASE FERTILIZERS MUST BE AT LEAST 50% SLOW RELEASE NITROGEN COMPONENT. NO FERTILIZER EXCEPT LIMESTONE SHALL BE APPLIED WITHIN 25 FEET OF THE SURFACE WATER. THESE ARE REGULATED LIMITATIONS.

18. PERMANENT OR TEMPORARY COVER MUST BE IN PLACE BEFORE THE GROWING SEASON ENDS (SEE WINTER CONSTRUCTION NOTES). NO DISTURBED AREAS SHALL BE LEFT EXPOSED DURING THE WINTER MONTHS.

19. A VIGOROUS DUST CONTROL PROGRAM SHALL BE APPLIED BY THE SITE CONTRACTOR. DUST SHALL BE MANAGED THROUGH THE USE OF WATER AND/OR ACCEPTABLE METHODS FOR WELL HEAD PROTECTION ZONE.

20. IN NO WAY ARE THE MEASURES INDICATED ON THE PLANS OR IN THESE NOTES TO BE CONSIDERED ALL INCLUSIVE. THE CONTRACTOR SHALL USE JUDGEMENT TO INSTALL ADDITIONAL EROSION CONTROL MEASURES AS SITE CONDITIONS, WEATHER OR CONSTRUCTION METHODS WARRANT.

21. FOLLOWING PERMANENT STABILIZATION, TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AND ACCUMULATED SEDIMENTATION IS TO BE DISPOSED OF IN AN APPROVED LOCATION, OUTSIDE OF JURISDICTIONAL WETLANDS.

22. THE CONTRACTOR AND OWNER ARE RESPONSIBLE FOR OBSERVING AND MANAGING THE PROJECT PER RSA 430:53 AND AGR 3800 REGARDING INVASIVE SPECIES (PLANTS AND INSECTS). NO INVASIVE SPECIES PLANT OR INSECT SHALL BE INTRODUCED ONTO THE SITE.

23. ALL MANUFACTURED EROSION AND SEDIMENT CONTROL PRODUCTS, EXCEPT FOR SILT FENCE INSTALLED IN ACCORDANCE WITH ENV-WQ 1506.04, UTILIZED FOR, BUT NOT LIMITED TO, SLOPE PROTECTION, RUNOFF DIVERSION, SLOPE INTERRUPTION, PERIMETER CONTROL, INLET PROTECTION, CHECK DAMS, AND SEDIMENT TRAPS SHALL NOT CONTAIN WELDED PLASTIC, PLASTIC, OR MULTI-FILAMENT OR MONOFILAMENT POLYPROPYLENE NETTING OR MESH WITH AN OPENING SIZE OF GREATER THAN 1/8 INCH.

24. TURF REINFORCEMENT MATS SHALL BE COVERED WITH SOIL TO PREVENT EXPOSURE OF THE MATS TO THE SURFACE.

25. STORMWATER RUNOFF MUST BE DIRECTED TO TEMPORARY PRACTICES UNTIL STORMWATER BMP'S ARE STABILIZED.

26. UNSTABILIZED SOIL SHALL NOT BE LEFT EXPOSED FOR MORE THAN 45 DAYS.

27. CUT AND FILL SLOPES MUST BE STABILIZED WITHING 72 HOURS OF ACHIEVING FINISH GRADE.

28. ROADWAYS AND PARKING AREAS MUST BE STABILIZED WITHING 72 HOURS OF ACHIEVING FINISH GRADE.

EROSION CONTROL NOTES

1
DT-1

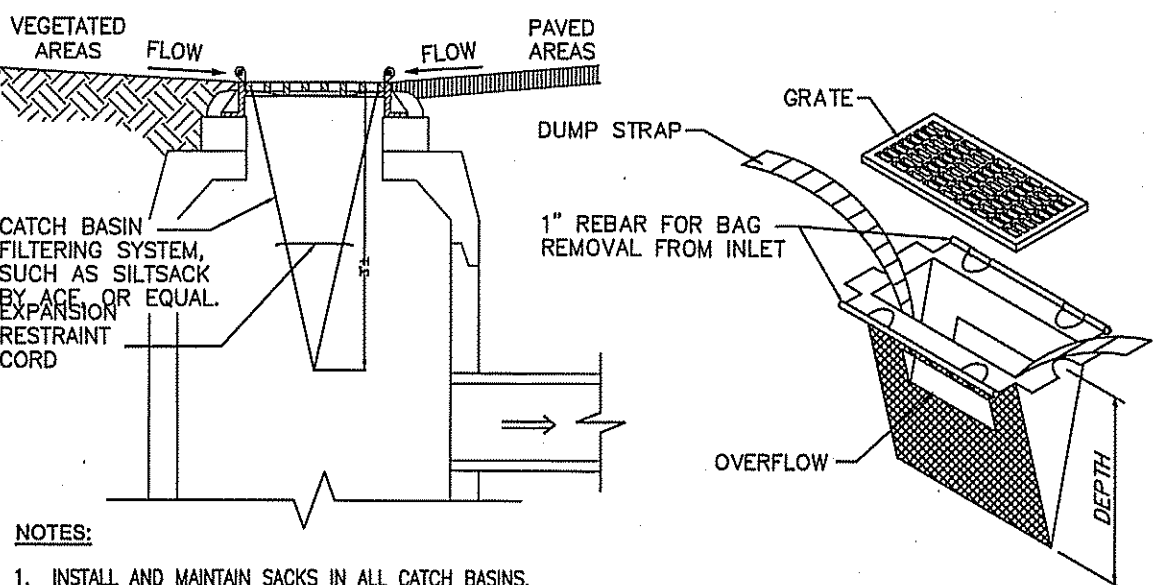
1. ALL PROPOSED VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATED GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED. STABILIZATION METHODS SHALL INCLUDE SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.

2. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATED GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.

3. AFTER OCTOBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL OR PROPERLY INSTALLED EROSION CONTROL BLANKETS COVERED WITH HAY. OTHER STABILIZATION OPTIONS ARE TO BE APPROVED BY THE APPROPRIATE AGENCIES AND THE DESIGN ENGINEER. IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER MONTHS THEN THE ROAD SHOULD BE CLEARED OF ACCUMULATED SNOW AFTER EACH STORM EVENT.

WINTER CONSTRUCTION NOTES

2
DT-1



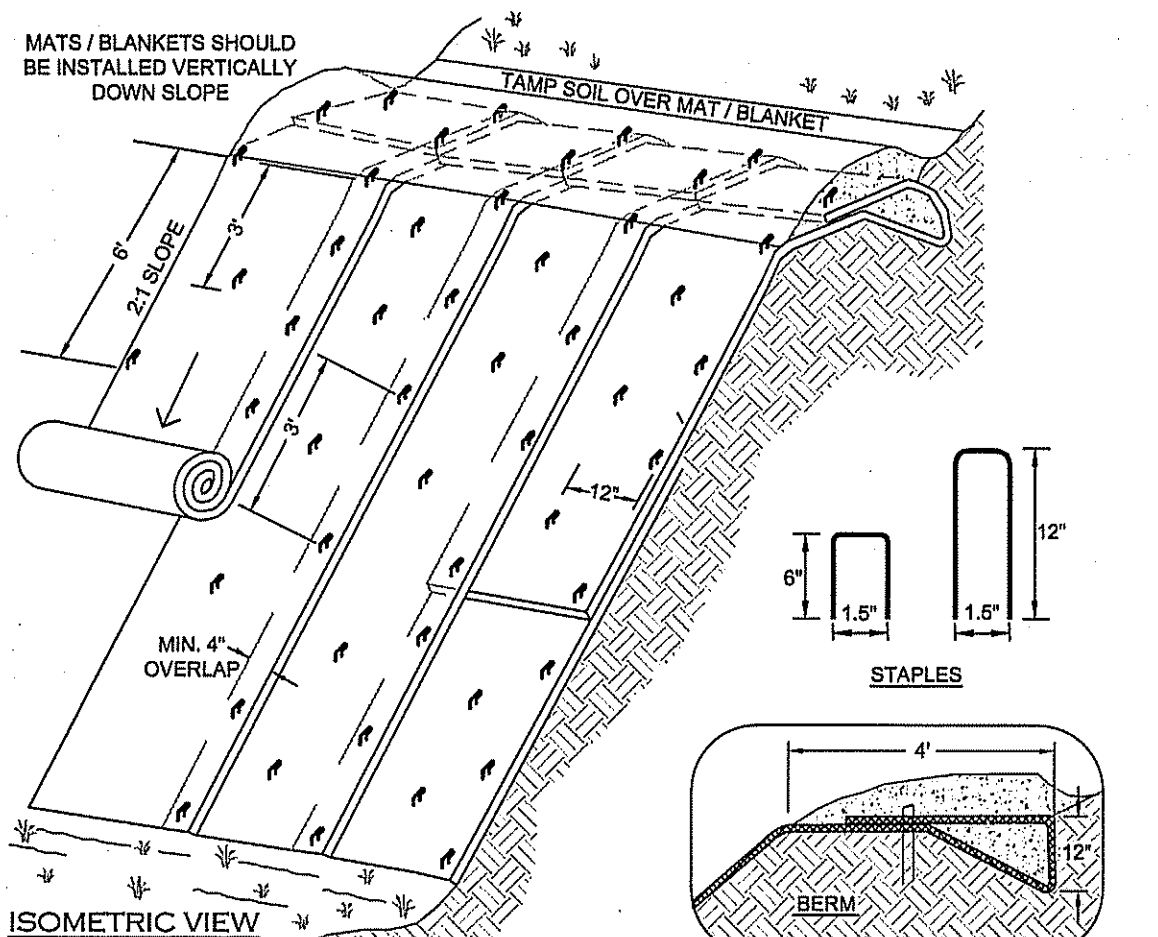
NOTES:

1. INSTALL AND MAINTAIN SACKS IN ALL CATCH BASINS.
2. TO INSTALL SACK, REMOVE CATCH BASIN GRATE AND PLACE SACK IN OPENING. HOLD OUT APPROXIMATELY SIX INCHES OF THE SACK OUTSIDE THE FRAME FOR THE LIFTING STRAPS. REPLACE THE GRATE TO HOLD THE SACK IN PLACE.
3. THE SACK SHOULD BE INSPECTED AFTER EVERY STORM, OR ONCE EVERY TWO WEEKS, WHICH EVER OCCURS FIRST.
4. THE RESTRAINT CORD SHOULD BE VISIBLE AT ALL TIMES. IF THE CORD IS COVERED WITH SEDIMENT, THE SACK SHOULD BE EMPTIED. EMPTY THE SACK AWAY FROM THE CATCH BASIN TO PREVENT SEDIMENT FROM RE-ENTERING THE CATCH BASIN. EMPTY THE SACK PER THE MANUFACTURES RECOMMENDATIONS.
5. REPLACE THE SACK IN THE CATCH BASIN AFTER THE SACK HAS BEEN EMPTIED. ONCE CONSTRUCTION IS COMPLETE AND ALL DISTURBED AREAS HAVE BEEN STABILIZED BY PAVING OR A HEALTHY VEGETATIVE COVER, REMOVE THE SACK FROM THE CATCH BASINS.

SCALE: N.T.S.

SILT SACK SEDIMENT FILTER

3
DT-1



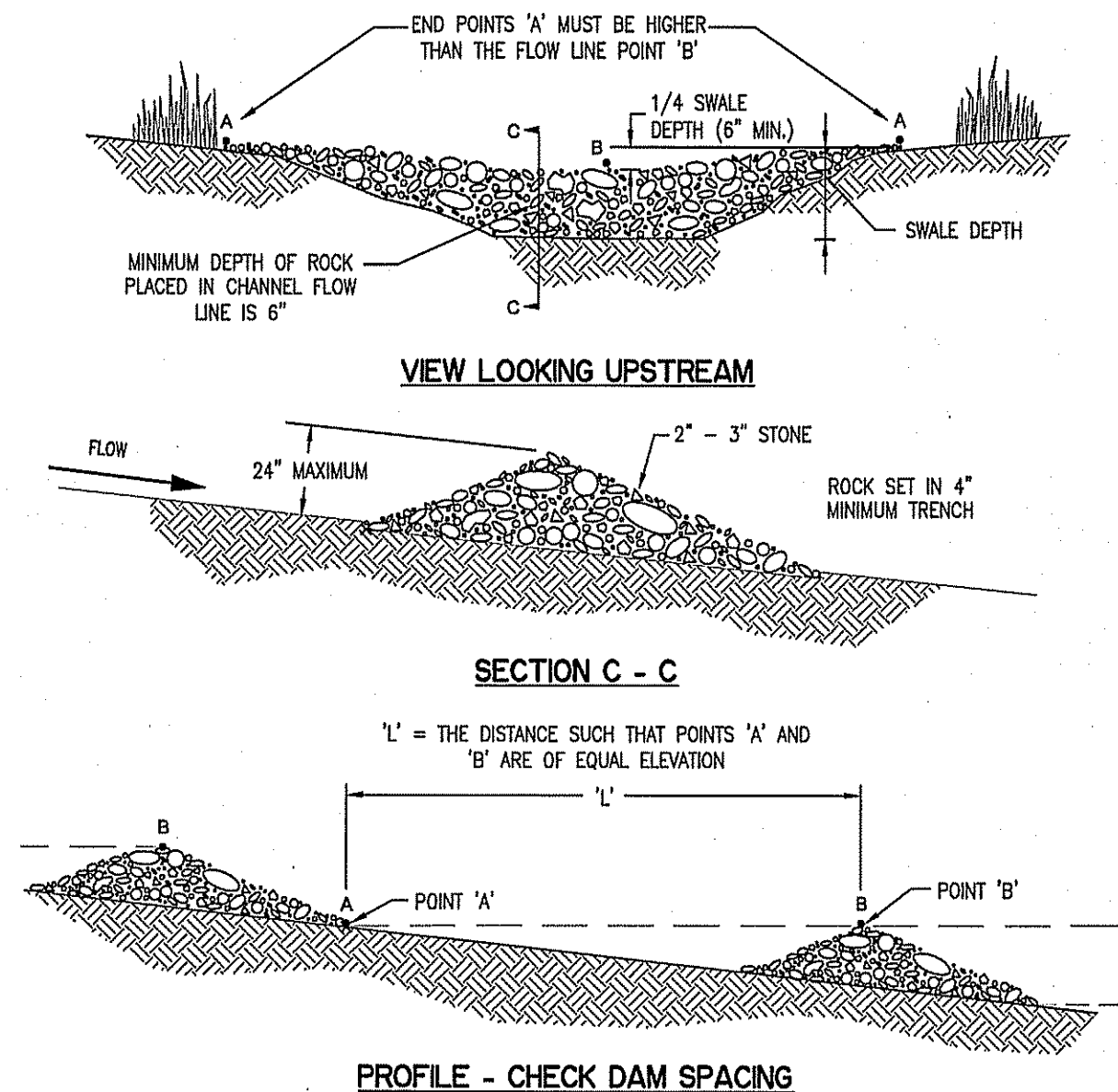
NOTES:

1. DIMENSIONS GIVEN IN THIS DETAIL ARE EXAMPLES. DEVICE SHOULD BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
2. INSTALL STRAW/COCONUT FIBER EROSION CONTROL MAT CONFORMING TO NHDOT ITEM 645.44 SUCH AS NORTH AMERICAN GREEN SC150BN OR EQUAL ON ALL SLOPES EXCEEDING 3' HORIZ : 1' VERT.
3. THE EROSION CONTROL MATERIAL(S) SHALL BE ANCHORED WITH "U" SHAPED 11 GAUGE WIRE STAPLES OR WOODEN STAKES WITH A MINIMUM TOP WIDTH OF 1 INCH AND LENGTH OF 6 INCH.
4. SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS AND GRASS. MATS / BLANKETS SHALL HAVE GOOD SOIL CONTACT.
5. APPLY LIME, FERTILIZER AND PERMANENT SEEDING BEFORE PLACING BLANKETS.
6. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET AS SHOWN. ROLL THE BLANKETS DOWN THE SLOPE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES OR STAKES IN APPROPRIATE LOCATIONS. REFER TO MANUFACTURERS STAPLE GUIDE FOR CORRECT STAPLE PATTERN.
7. LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.
8. IN LOOSE SOIL CONDITIONS THE USE OF STAPLES OR STAKE LENGTHS GREATER THAN 6 INCHES MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.
9. THE CONTRACTOR SHALL MAINTAIN THE BLANKET UNTIL ALL WORK ON THE CONTRACT HAS BEEN COMPLETED AND ACCEPTED. MAINTENANCE SHALL CONSIST OF THE REPAIR OF AREAS WHERE DAMAGED BY ANY CAUSE. ALL DAMAGED AREAS SHALL BE REPAIRED TO REESTABLISH THE CONDITIONS AND GRADE OF THE SOIL PRIOR TO APPLICATION OF THE COVERING AND SHALL BE REFERTILIZED, RESEEDED AND REMULCHED AS DIRECTED.
10. THERE SHALL BE NO PLASTIC, OR MULTI-FILAMENT OR MONOFILAMENT POLYPROPYLENE NETTING OR MESH WITH AN OPENING SIZE OF GREATER THAN 1/8 INCHES MATERIAL COVERED. (NOT APPLICABLE TO TURF REINFORCEMENT MATS).
11. TURF REINFORCEMENT MATS SHALL BE COVERED WITH SOIL TO PREVENT EXPOSURE OF THE MATS TO THE SURFACE.

SCALE: N.T.S.

EROSION BLANKETS - SLOPE INSTALLATION

4
DT-1

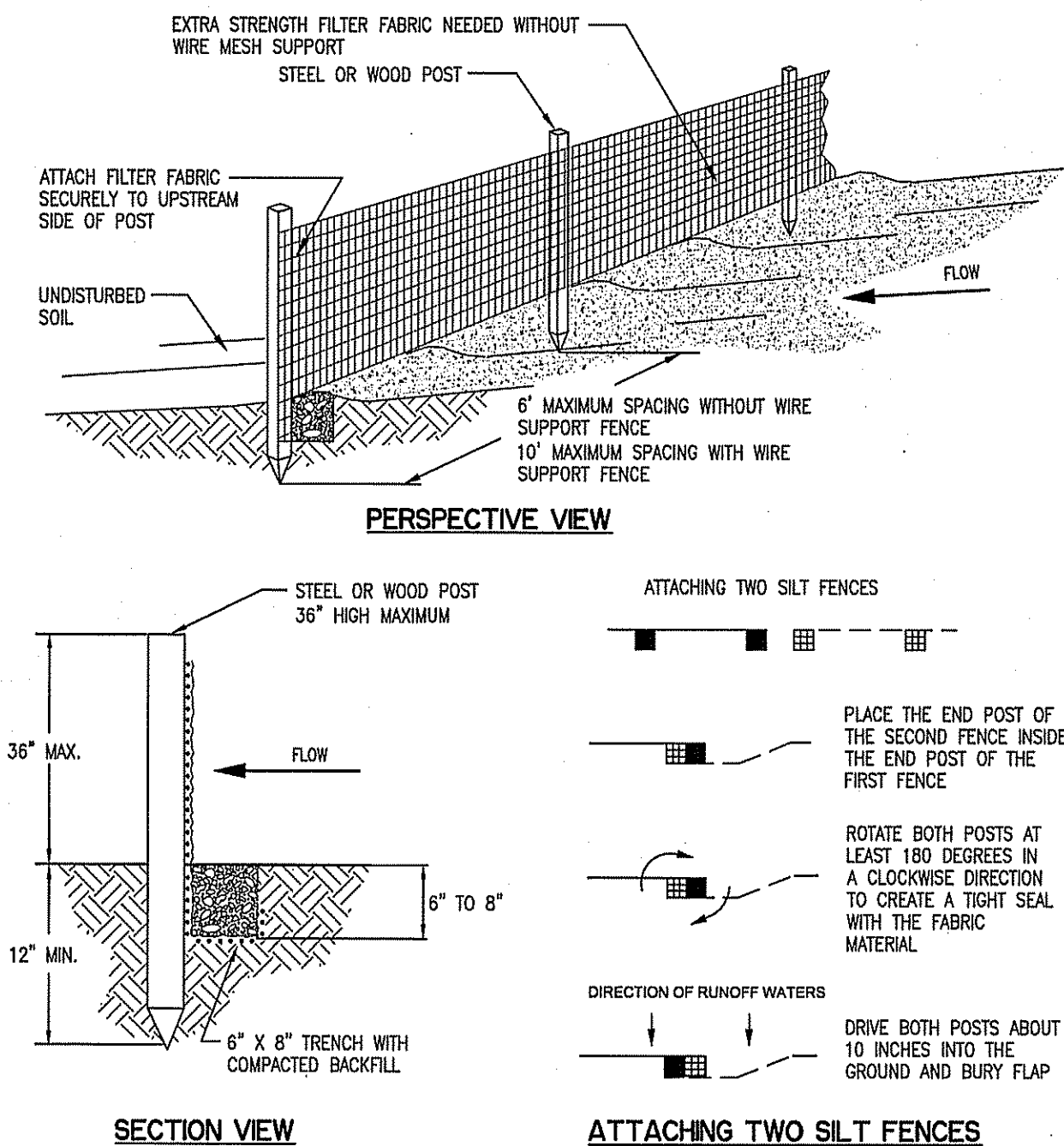


NOTES:

1. STONE CHECK DAMS SHOULD BE INSTALLED BEFORE RUNOFF IS DIRECTED TO THE SWALE OR DRAINAGE DITCH.
2. THE MAXIMUM CONTRIBUTING DRAINAGE AREA TO THE CHECK DAM SHOULD BE LESS THAN ONE ACRE.
3. STONE CHECK DAMS SHOULD NOT BE USED IN A FLOWING STREAM.
4. STONE CHECK DAMS SHOULD BE CONSTRUCTED OF WELL-GRADED ANGULAR 2 TO 3 INCH STONE. THE INSTALLATION OF 3/4-INCH STONE ON THE UPGRADIENT FACE IS RECOMMENDED FOR BETTER FILTERING.
5. WHEN INSTALLING STONE CHECK DAMS THE CONTRACTOR SHALL KEY THE STONE INTO THE CHANNEL BANKS AND EXTEND THE STONE BEYOND THE ABUTMENTS A MINIMUM OF 18-INCHES TO PREVENT FLOW AROUND THE DAM.
6. STONE CHECK DAMS SHOULD BE REMOVED ONCE THE SWALE OR DITCH HAS BEEN STABILIZED UNLESS OTHERWISE SPECIFIED.

STONE CHECK DAM

5
DT-1

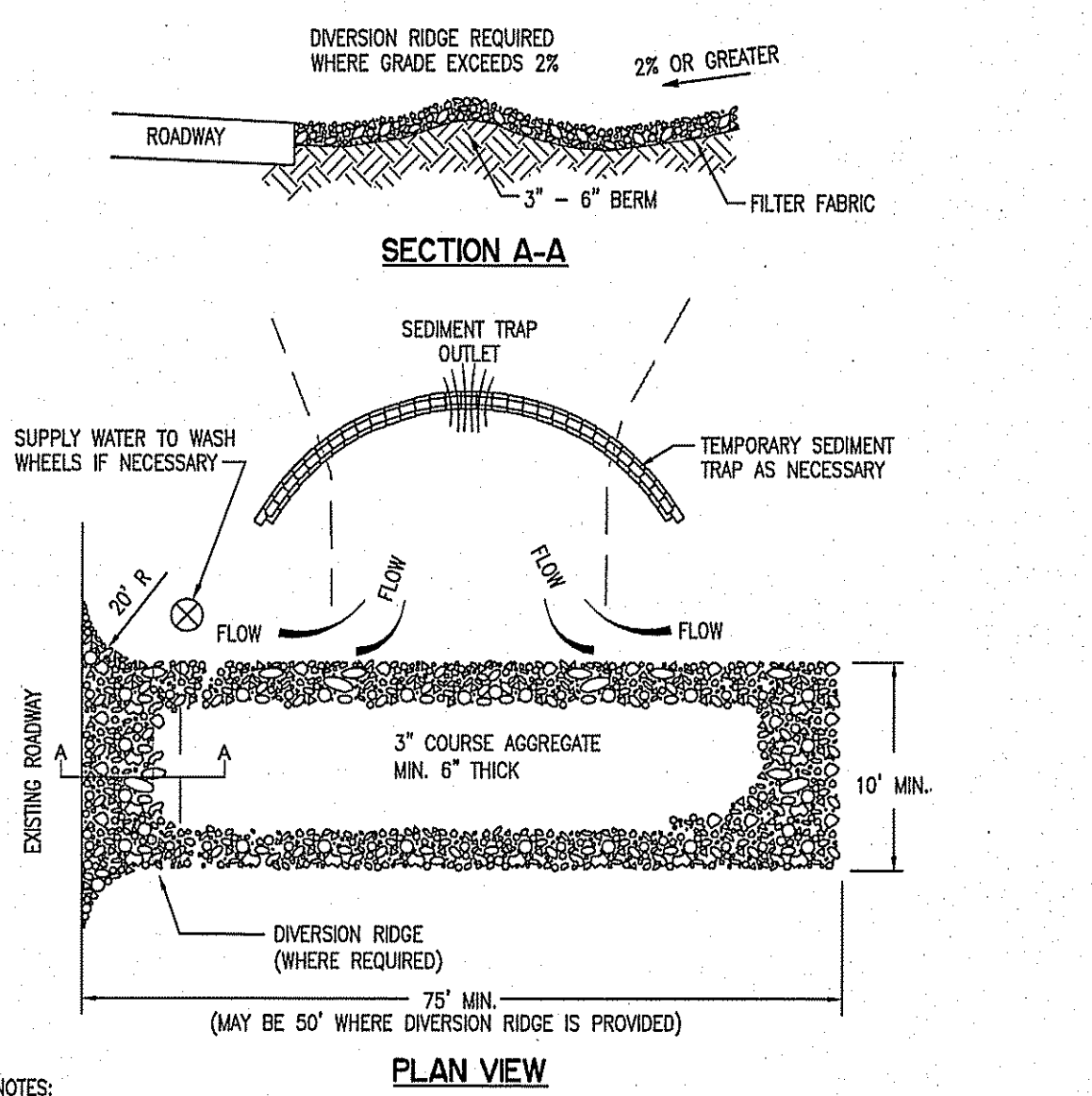


NOTES:

1. SILT FENCES SHOULD NOT BE USED ACROSS STREAMS, CHANNELS, SWALES, DITCHES OR OTHER DRAINAGE WAYS.
2. SILT FENCE SHOULD BE INSTALLED FOLLOWING THE CONTOUR OF THE LAND AS CLOSELY AS POSSIBLE AND THE ENDS OF THE SILT FENCE SHOULD BE FLARED UPSLOPE.
3. IF THE SITE CONDITIONS INCLUDE FROZEN GROUND, LEDGE OR THE PRESENCE OF HEAVY ROOTS THE BASE OF THE FABRIC SHOULD BE EMBEDDED WITH A MINIMUM THICKNESS OF 6 INCHES OF 3/4-INCH STONE.
4. SILT FENCES PLACED AT THE TOE OF SLOPES SHOULD BE INSTALLED AT LEAST 6 FEET FROM THE TOE TO ALLOW SPACE FOR SHALLOW FLOODING AND ACCESS FOR MAINTENANCE.
5. THE MAXIMUM SLOPE ABOVE THE FENCE SHOULD BE 2:1 AND THE MAXIMUM LENGTH OF SLOPE ABOVE THE FENCE SHOULD BE 100 FEET.
6. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE TO SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
7. SILT FENCES SHOULD BE REMOVED WHEN THE UPSLOPE AREAS HAVE BEEN PERMANENTLY STABILIZED.

SILT FENCE

6
DT-1



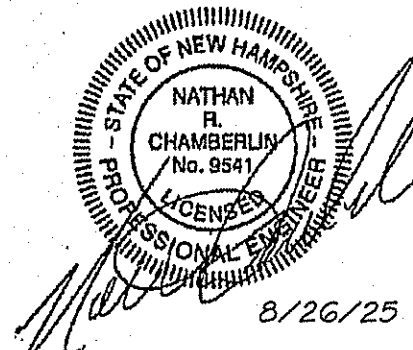
NOTES:

1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. THE MINIMUM STONE USED SHOULD BE 3-INCH CRUSHED STONE.
3. THE MINIMUM LENGTH OF THE PAD SHOULD BE 75 FEET, EXCEPT THAT THE MINIMUM LENGTH MAY BE REDUCED TO 50 FEET IF A 3-INCH TO 6-INCH HIGH BERM IS INSTALLED AT THE ENTRANCE OF THE PROJECT SITE.
4. THE PAD SHOULD EXTEND THE FULL WIDTH OF THE CONSTRUCTION ACCESS ROAD OR 10 FEET, WHICHEVER IS GREATER.
5. THE PAD SHOULD SLOPE AWAY FROM THE EXISTING ROADWAY.
6. THE PAD SHOULD BE AT LEAST 6-INCHES THICK.
7. THE GEOTEXTILE FILTER FABRIC SHOULD BE PLACED BETWEEN THE STONE PAD AND THE EARTH SURFACE BELOW THE PAD.
8. THE PAD SHALL BE MAINTAINED OR REPLACED WHEN MUD AND SOIL PARTICLES CLOG THE VOIDS IN THE STONE SUCH THAT MUD AND SOIL PARTICLES ARE TRACKED OFF-SITE.
9. NATURAL DRAINAGE THAT CROSSES THE LOCATION OF THE STONE PAD SHOULD BE INTERCEPTED AND PIPED BENEATH THE PAD, AS NECESSARY, WITH SUITABLE OUTLET PROTECTION.
10. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
11. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

SCALE: N.T.S.

GRAVEL CONSTRUCTION EXIT

7
DT-1



D	8/25/25	OWNER ADDRESS	NRC	CEB
C	8/8/25	PROPERTY OWNER	NRC	CEB
B	8/5/25	ADDRESS 7/31/25 AOT RFM, REVISE UTILITIES PER CLIENT	NRC	CEB
A	6/6/25	UPDATE NOTES	NRC	CEB
REV.	DATE	DESCRIPTION	C/O	DR
			CK	

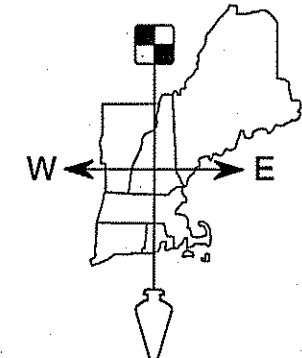
EROSION CONTROL DETAILS TAX MAP 204 LOTS 3-17 & 3-18 (282 & 288 HOUNSELL AVENUE) GILFORD, NEW HAMPSHIRE

PREPARED FOR & LAND OF:
MKON LLC
265 WEIRS ROAD, GILFORD, NH 03249

SCALE: AS NOTED

JANUARY 31, 2025

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs



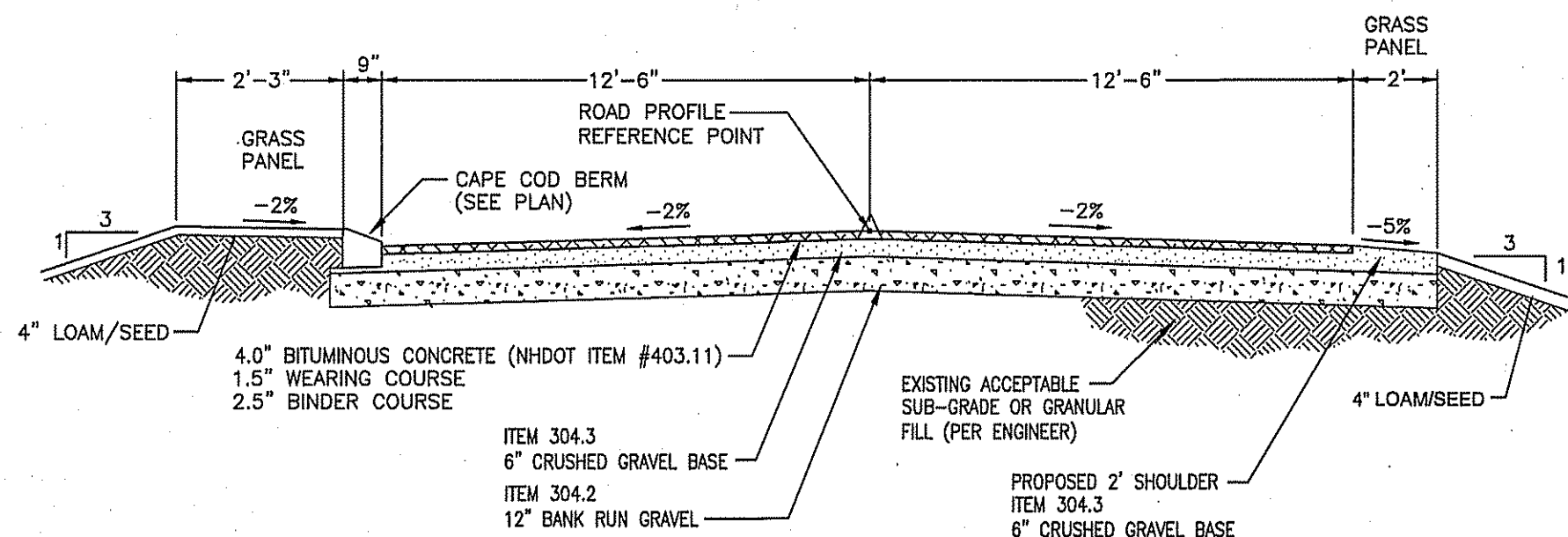
206 Elm Street, Milford, NH 03055
45 Roxbury Street, Keene, NH 03431
Phone: (603) 672-5456 Fax: (603) 413-5456
www.FieldstoneLandConsultants.com

FILE: 4024DT00G.dwg PROJ. NO. 4024.00 SHEET: DT-1 PAGE NO. 8 OF 13

1. ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REQUIREMENTS AND SPECIFICATIONS OF THE CITY OF GILFORD.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS AND SHALL VERIFY THAT ALL THE INFORMATION SHOWN HEREON IS CONSISTENT, COMPLETE, ACCURATE, AND CAN BE CONSTRUCTED PRIOR TO AND/OR DURING CONSTRUCTION. FIELDSTONE LAND CONSULTANTS, PLLC, AS THE DESIGN ENGINEER, SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES, ERRORS, OMISSIONS, OR EXISTING UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION SO THAT REMEDIAL ACTION MAY BE TAKEN BEFORE PROCEEDING WITH THE WORK.
3. THE CONTRACTOR SHALL CONTACT "DIGSAFE" 72 HOURS PRIOR TO THE START OF CONSTRUCTION (1-800-255-4977 IN NH, 1-888-344-7233 IN MA).
4. COMPLIANCE WITH ALL APPLICABLE REGULATIONS AND SPECIAL CONDITIONS OF TOWN/CITY AGENCIES, SUCH AS THE PLANNING BOARD, ZONING BOARD, CONSERVATION COMMISSION, AND OTHERS, IS MANDATORY AND IS THE RESPONSIBILITY OF THE OWNER.
5. ANY ALTERATION OF THIS DESIGN OR CHANGE DURING CONSTRUCTION MAY REQUIRE APPROVAL OF VARIOUS TOWN/CITY BOARDS OR AGENCIES AND SHALL BE DISCUSSED WITH THE OWNER AND FIELDSTONE LAND CONSULTANTS, PLLC PRIOR TO CONSTRUCTION.
6. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE CITY DEPARTMENTS PRIOR TO CONSTRUCTION TO ARRANGE FOR NECESSARY INSPECTIONS.
7. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ACCURATE AS-BUILT INFORMATION OF ALL WORK, ESPECIALLY UNDERGROUND CONSTRUCTION OF UTILITY LINES, SERVICES, CONNECTIONS, ETC. AND APPROPRIATE TIES TO ABOVE GROUND PERMANENT STRUCTURES, FIELD SURVEY COORDINATES, OR SOME OTHER METHOD OF ESTABLISHING THE AS-BUILT CONDITION OF ALL CONSTRUCTION.
8. THE CONTRACTOR AND OWNER ARE RESPONSIBLE FOR OBSERVING AND MANAGING THE PROJECT PER RSA 430:53 AND AGR 3800 REGARDING INVASIVE SPECIES (PLANTS AND INSECTS). NO INVASIVE SPECIES PLANT OR INSECT SHALL BE INTRODUCED ONTO THE SITE.

GENERAL CONSTRUCTION NOTES

1
DT-2

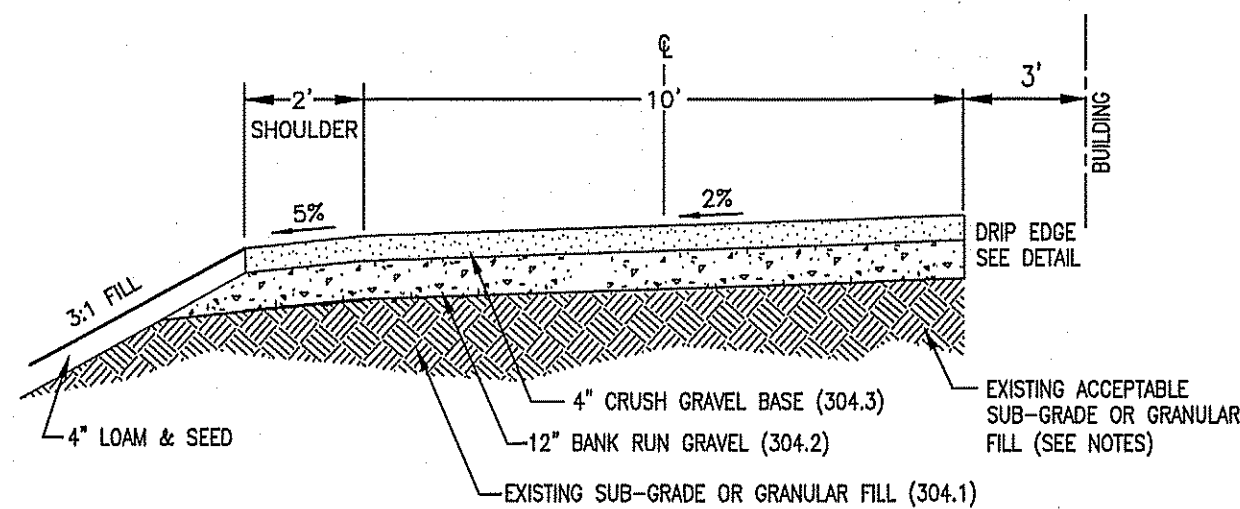


- NOTE:
1. FILL SOILS SHALL BE NO LESS GRANULAR THAN THE SOIL UPON WHICH IT IS PLACED AND SHALL DRAIN READILY.
 2. COMPACTION OF FILL SOILS SHALL ACHIEVE 95% OF ITS MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1577-02, ASTM 1556-00, AND ASTM D2922-01.

SCALE: N.T.S.

TYPICAL CROSS-SECTION - SITE DRIVE

2
DT-2

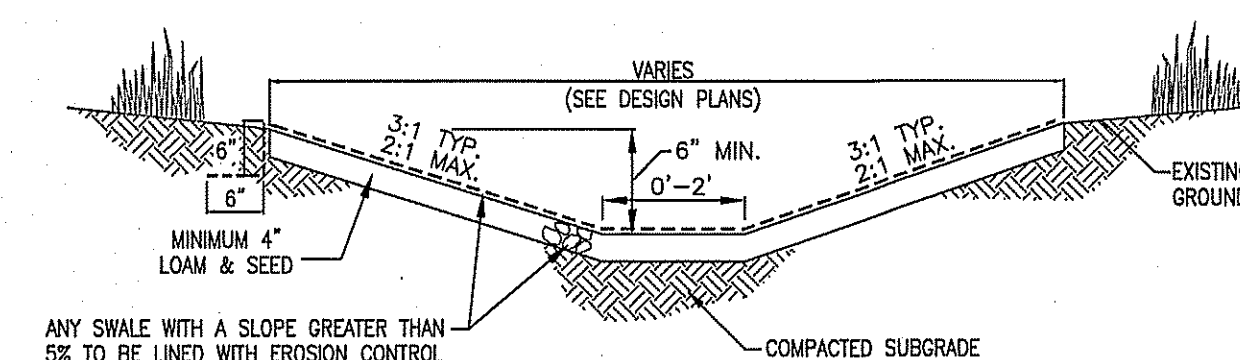


- NOTE:
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 2. COMPACTION OF FILL SOILS SHALL ACHIEVE 95% OF ITS MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1577-02, ASTM 1556-00, AND ASTM D2922-01.

SCALE: N.T.S.

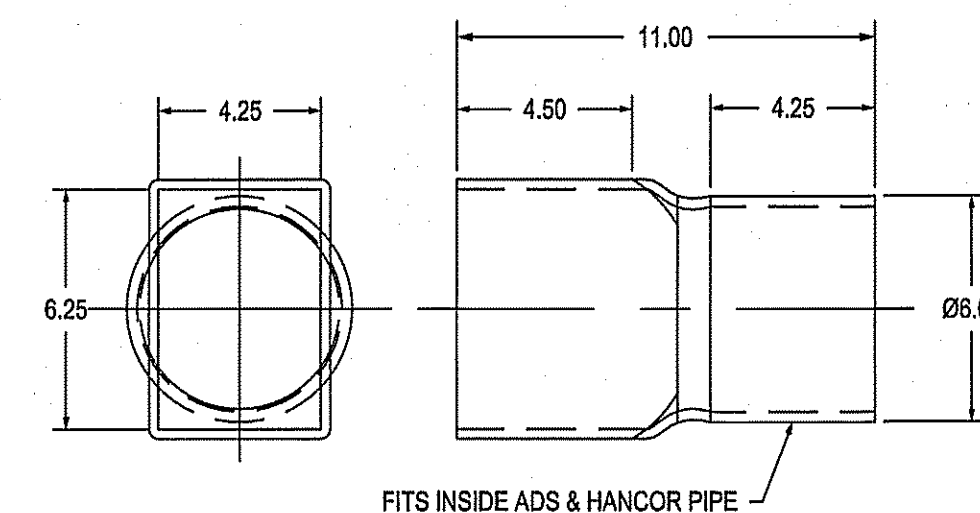
MAINTENANCE DRIVE

3
DT-2



TYPICAL SWALE DETAIL

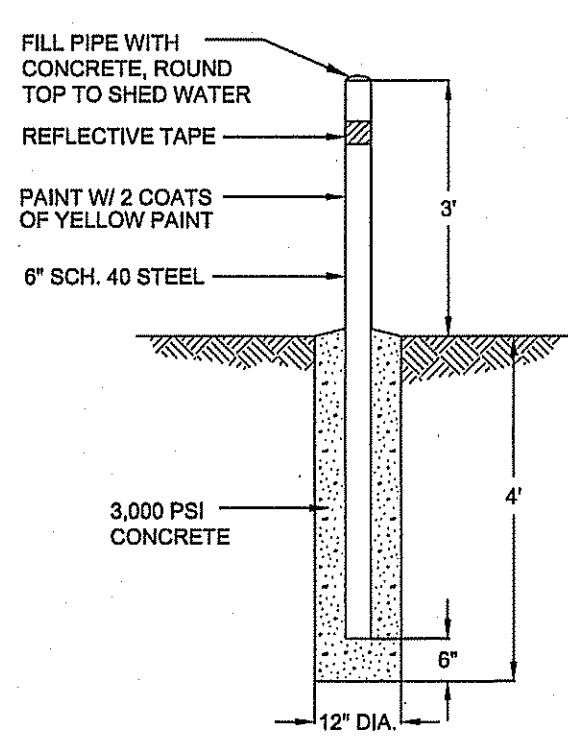
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DT-2



ADS DOWNSPOUT ADAPTER

N.T.S.

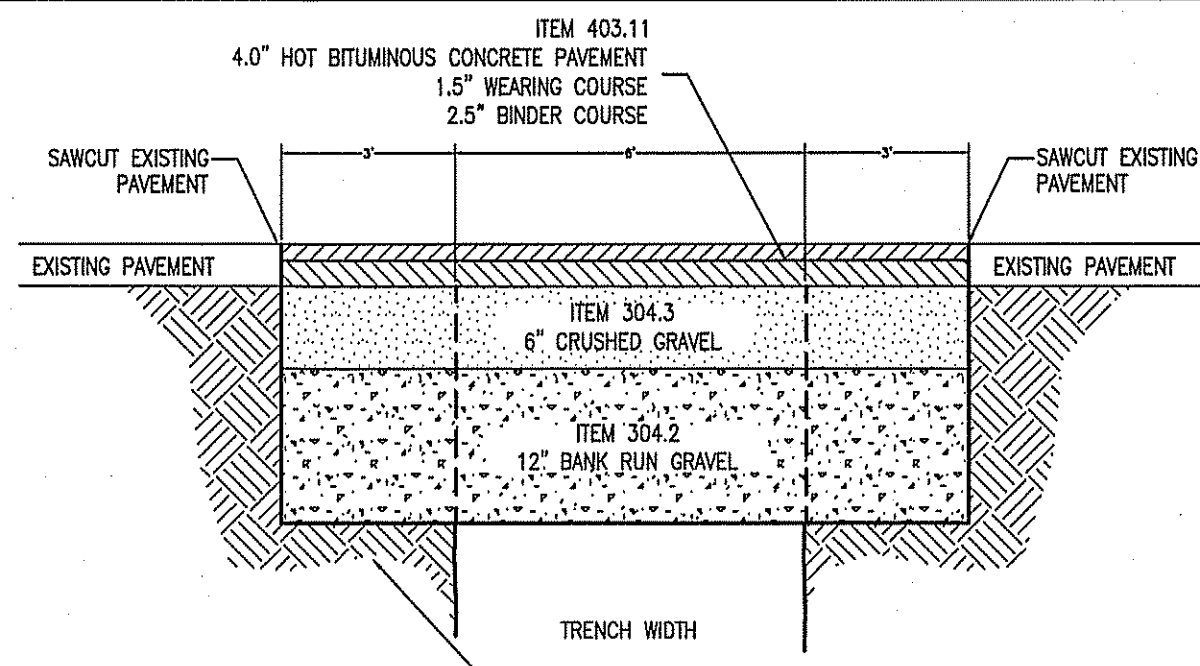
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DT-2



BOLLARD

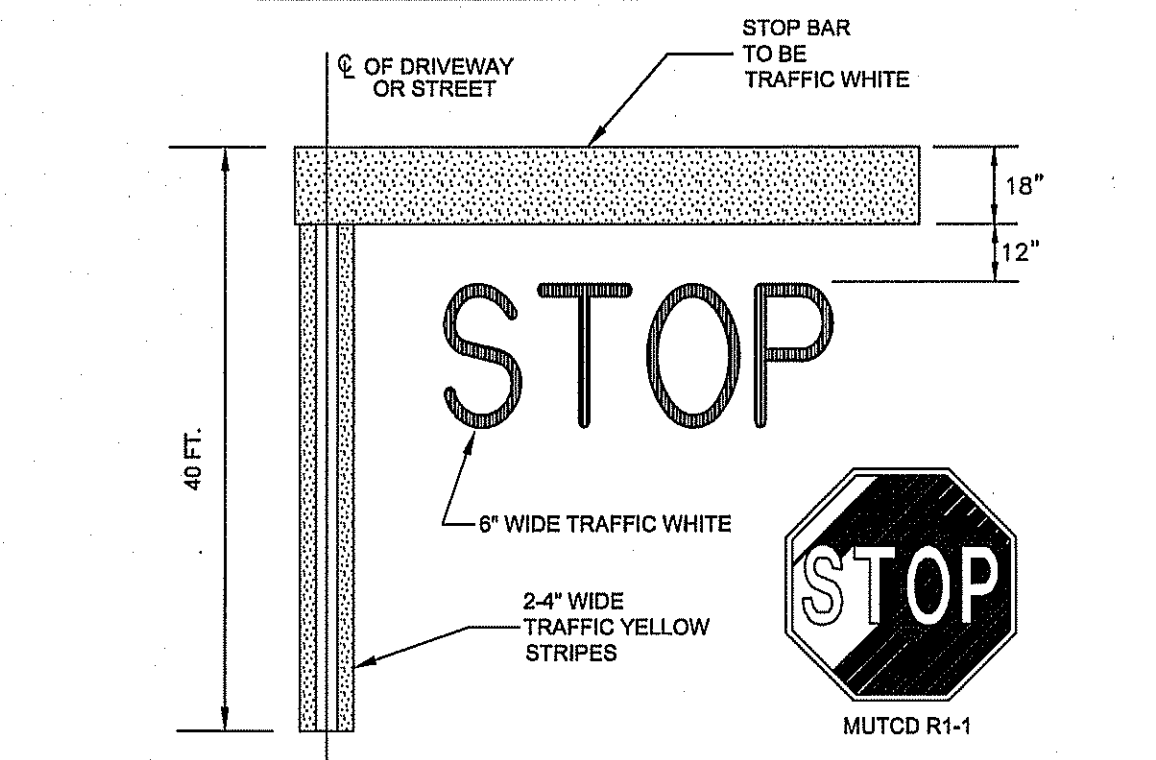
SCALE: N.T.S.

6
DT-2



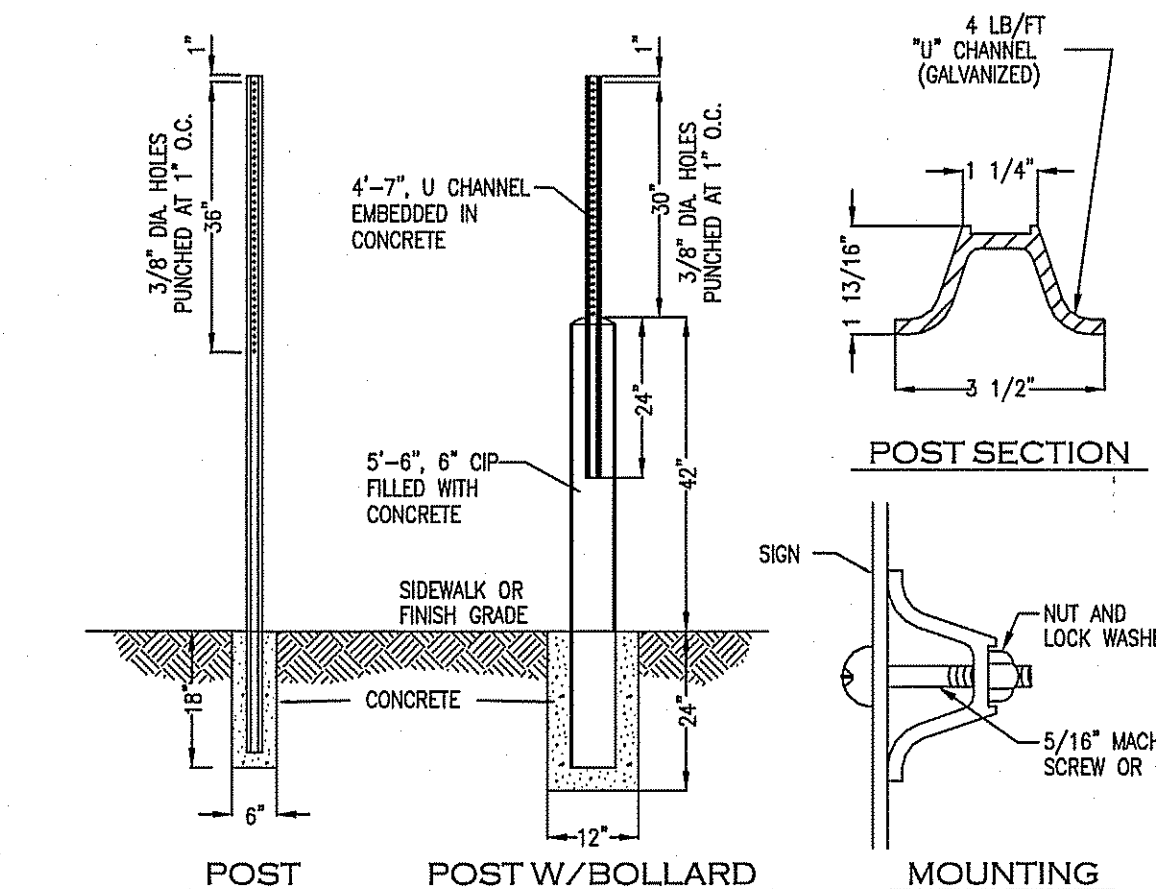
PAVEMENT TRENCH PATCH

7
DT-2



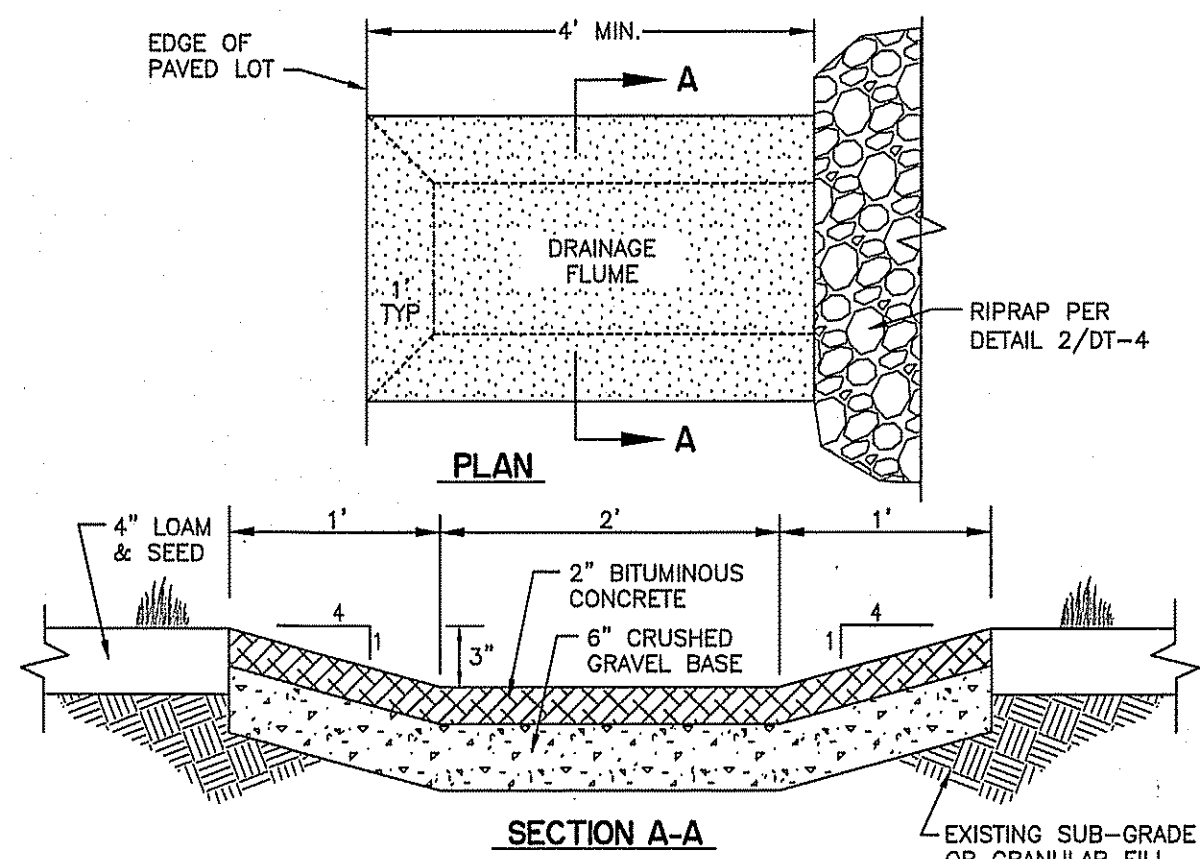
STOP BAR DETAIL

8
DT-2



SIGN POST - STANDARD & W/ BOLLARD

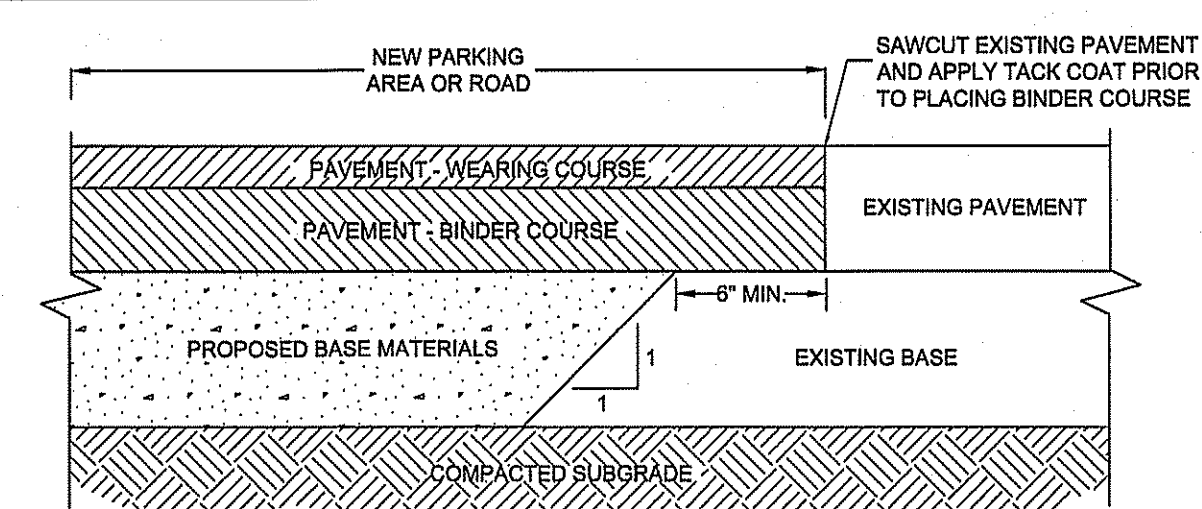
9
DT-2



PAVED DRAINAGE FLUME

SCALE: N.T.S.

10
DT-3



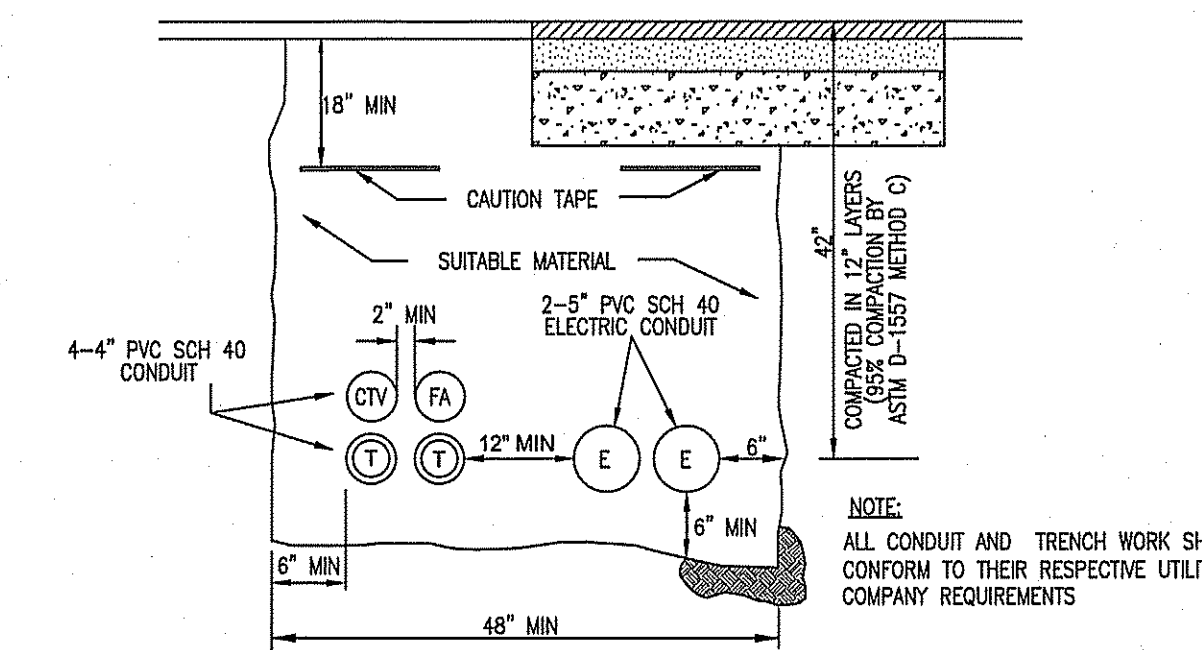
NOTE:

1. SEE ROADWAY OR PARKING LOT SECTION FOR MATERIALS AND ASSOCIATED DEPTHS.

2. INFRARED JOINT AFTER PLACING PAVEMENT.

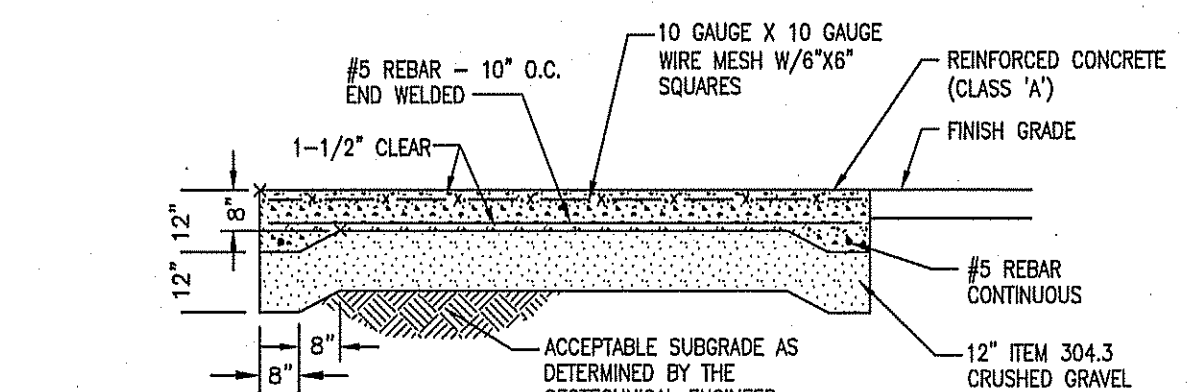
PAVEMENT MATCH

11
DT-2

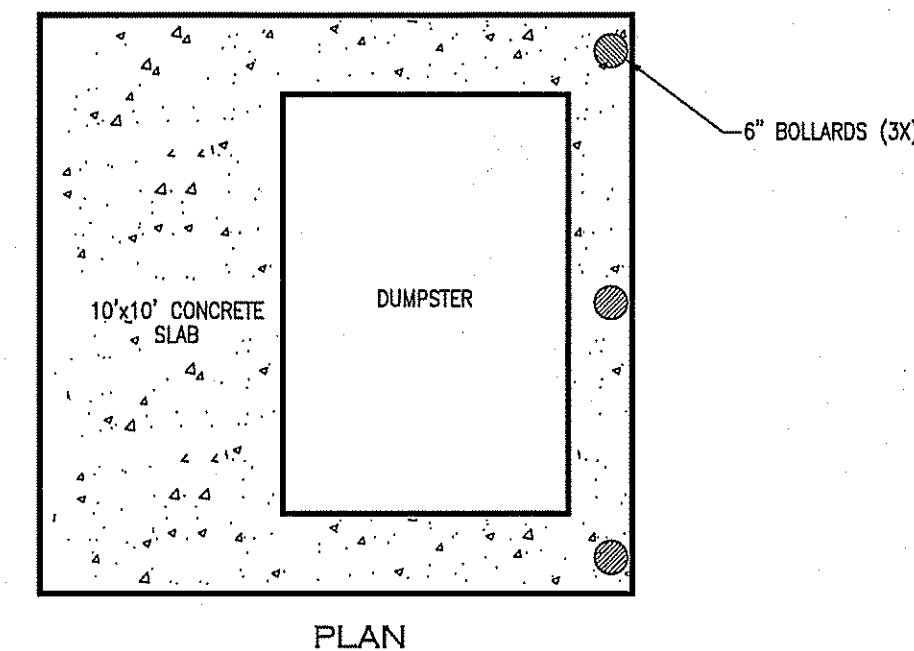


TYPICAL UTILITY TRENCH

12
DT-2

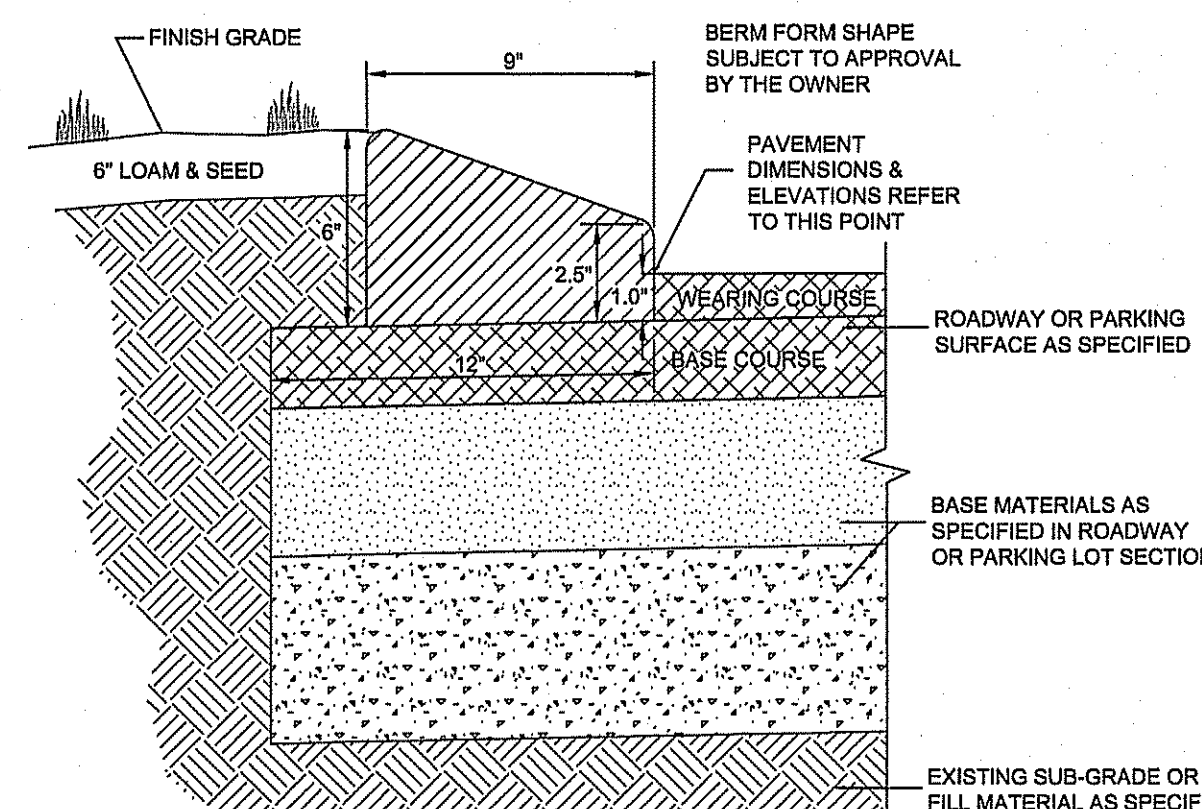


PAD DETAIL



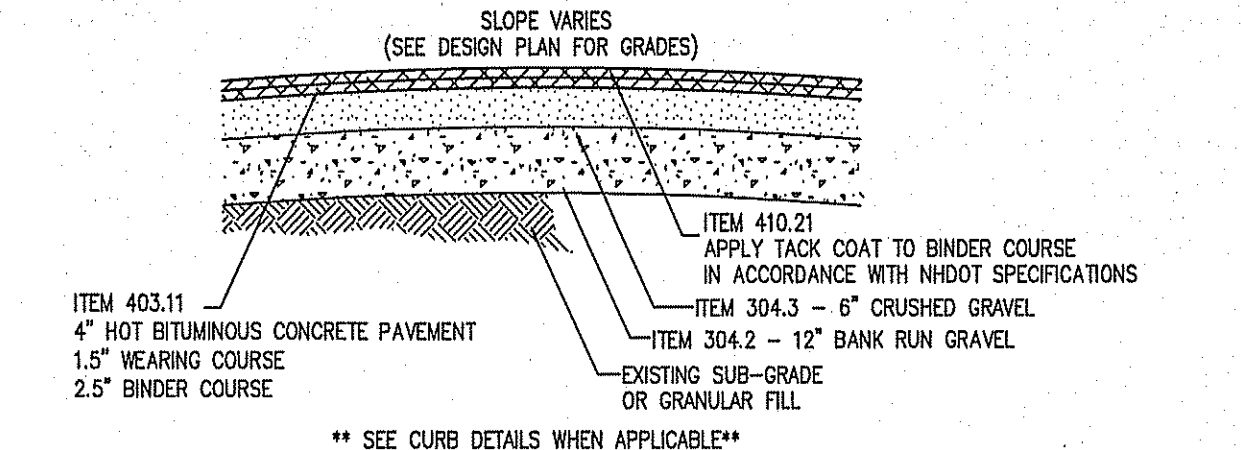
DUMPSTER PAD

13
DT-2



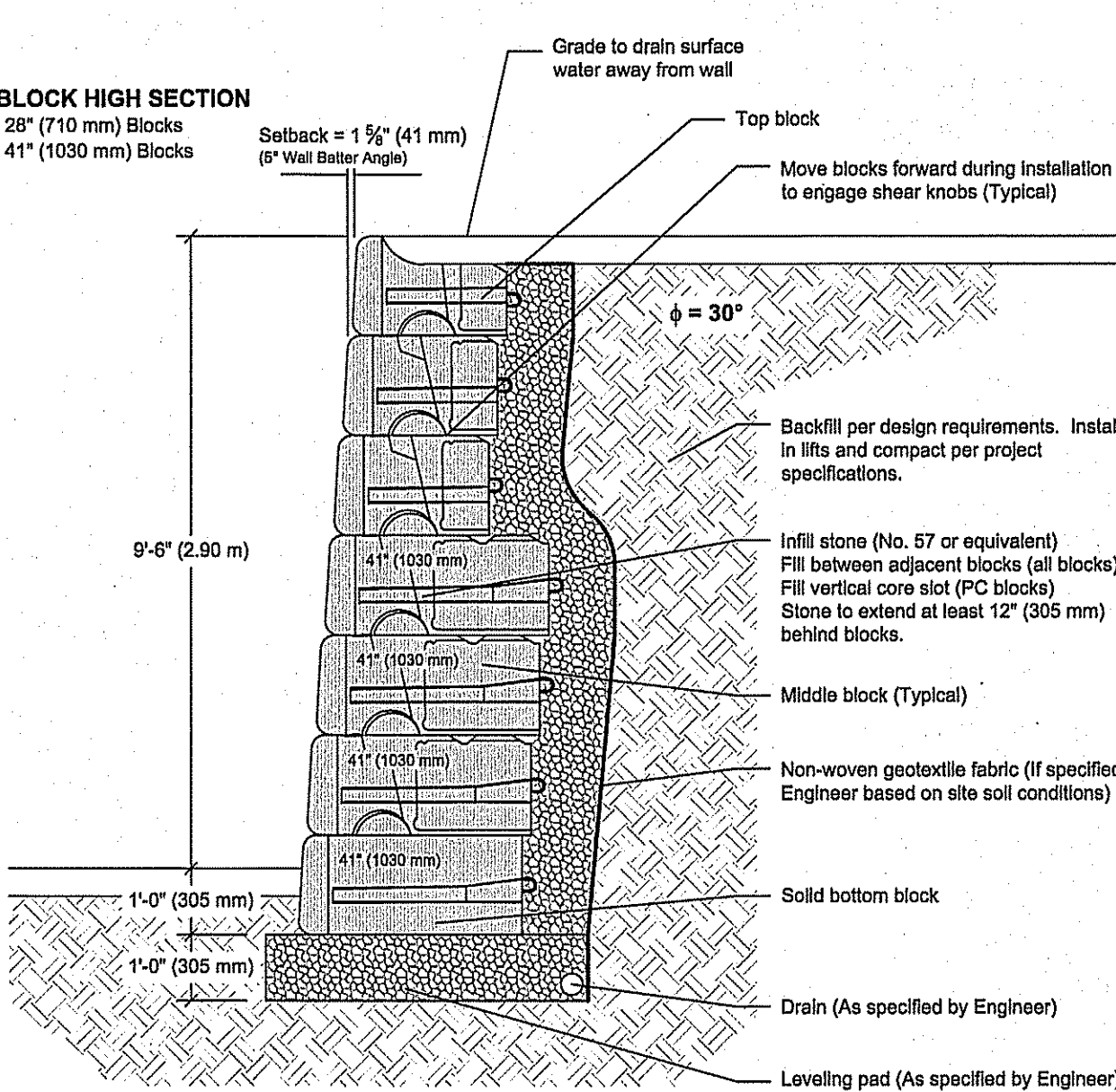
CURB - ASPHALT (CAPE COD BERM)

14
DT-2



PAVEMENT SECTION

15
DT-2



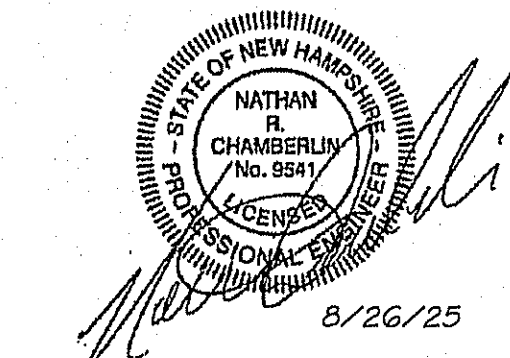
This drawing is for reference only. Determination of the suitability and/or manner of use of any details contained in this document is the sole responsibility of the design engineer of record. Final project designs, including all construction details, shall be prepared by a licensed professional engineer using the actual conditions of the proposed site. Final wall design must address both internal and external drainage and all modes of wall stability.

DESIGN BY OTHERS

REDI-ROCK RETAINING WALL (OR EQUAL)

SCALE: N.T.S.

16
DT-2



CONTACT DIG SAFE
72 HOURS PRIOR
TO CONSTRUCTION
DIGSAFE.COM
OR DIAL 8 1 1
CALL 811 - KNOW WHAT'S BELOW

E	8/25/25	OWNER ADDRESS		NRC	CEB
D	8/8/25	PROPERTY OWNER		NRC	CEB
C	8/5/25	ADDRESS 7/31/25 AOT RFMI, REVISE UTILITIES PER CLIENT		NRC	CEB
B	7/29/25	MOVE CURB DETAIL FROM DT-3		NRC	CEB
REV.	DATE	DESCRIPTION	C/O	DR	CK

CONSTRUCTION DETAILS
TAX MAP 204 LOTS 3-17 & 3-18
(282 & 288 HOUNSELL AVENUE)
GILFORD, NEW HAMPSHIRE
PREPARED FOR & LAND OF:
MKON LLC
265 WEIRS ROAD, GILFORD, NH 03249

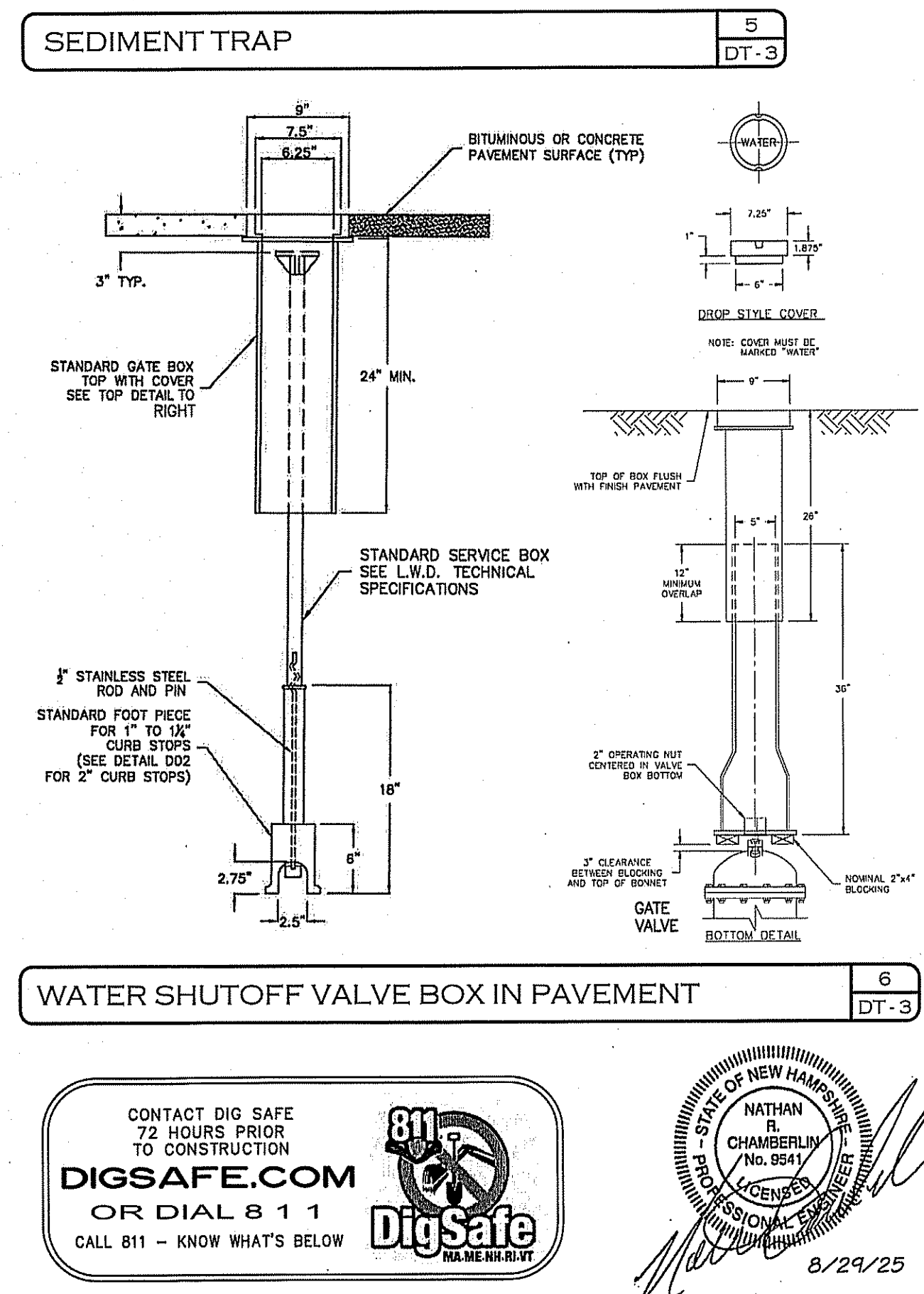
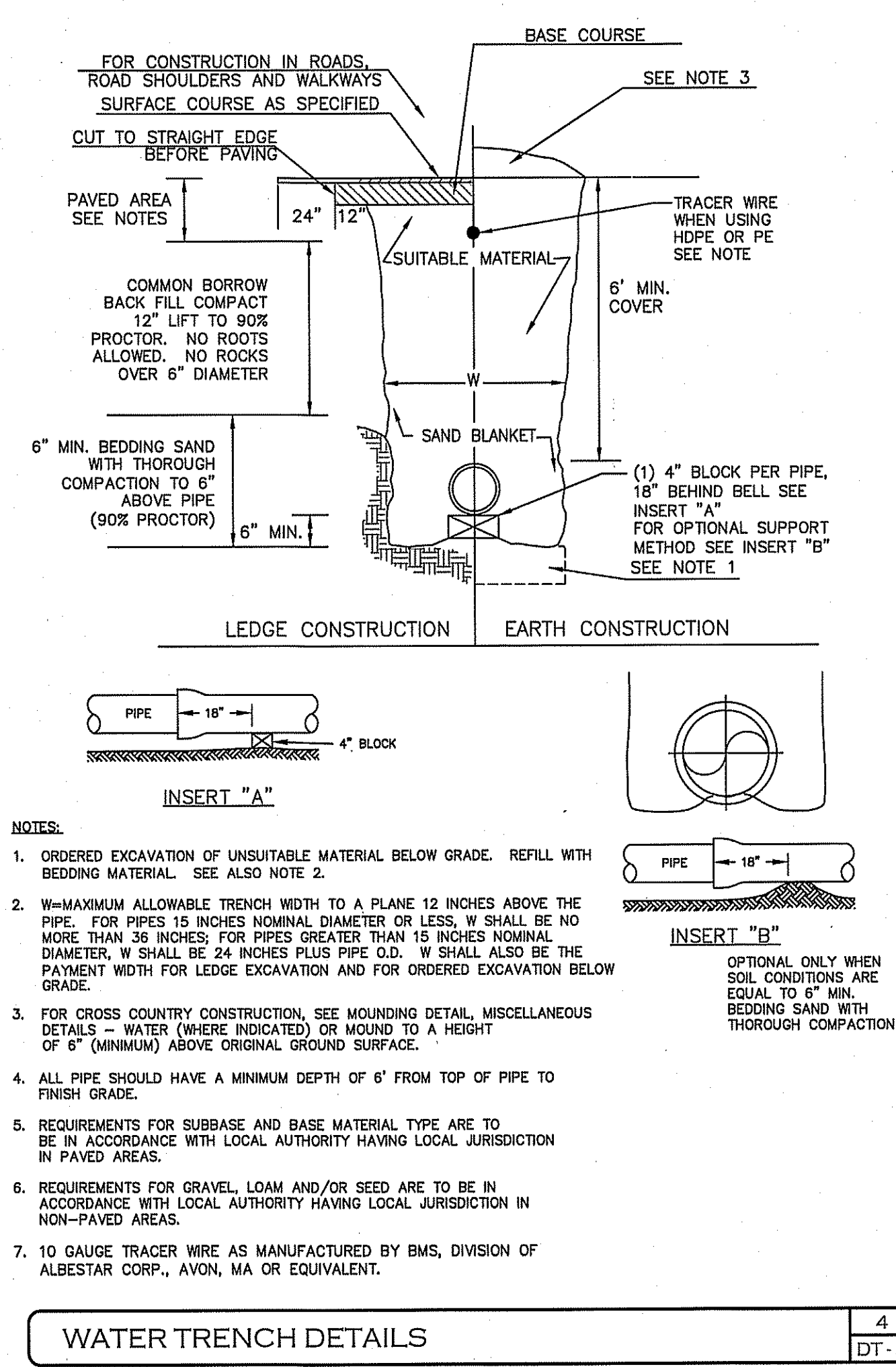
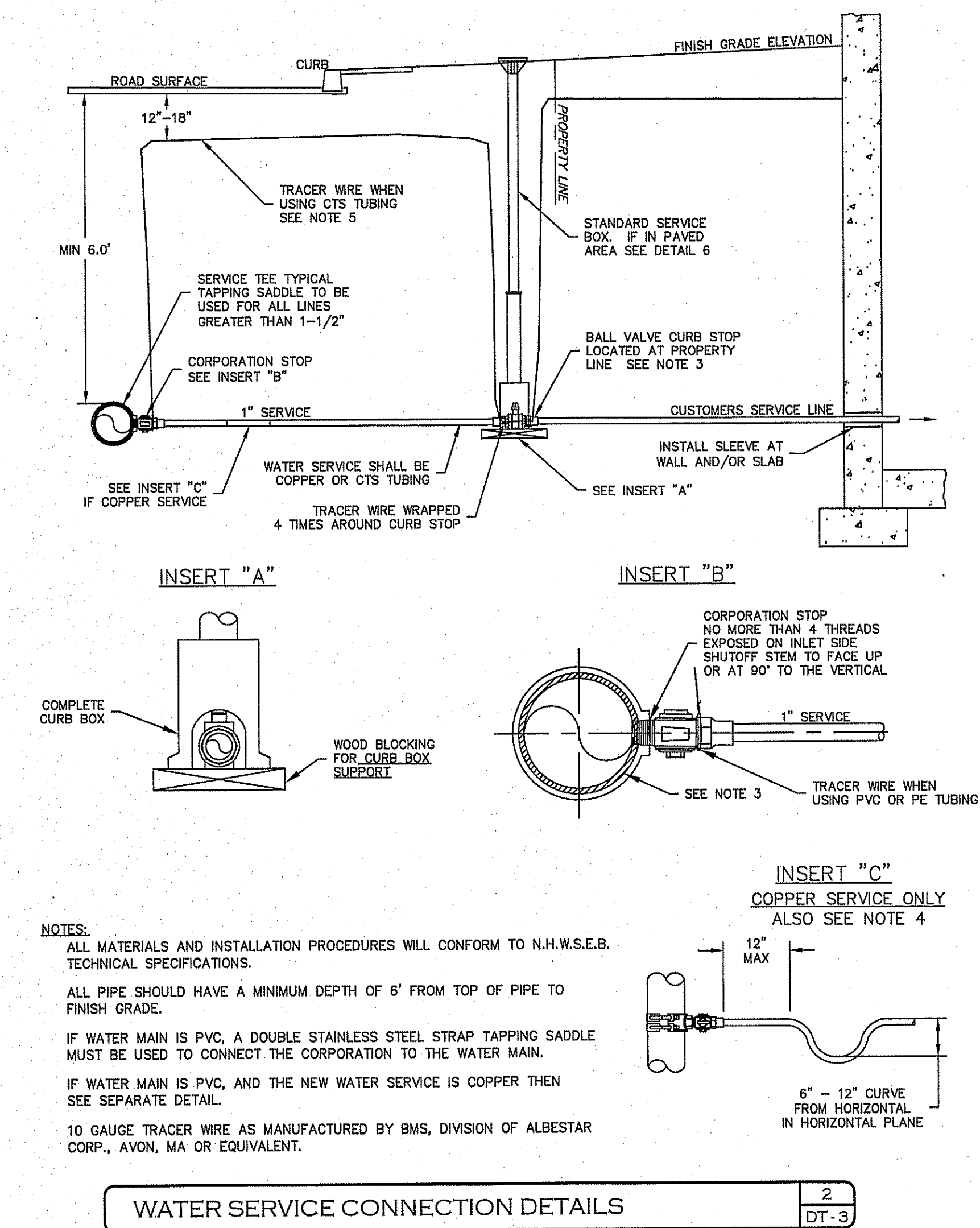
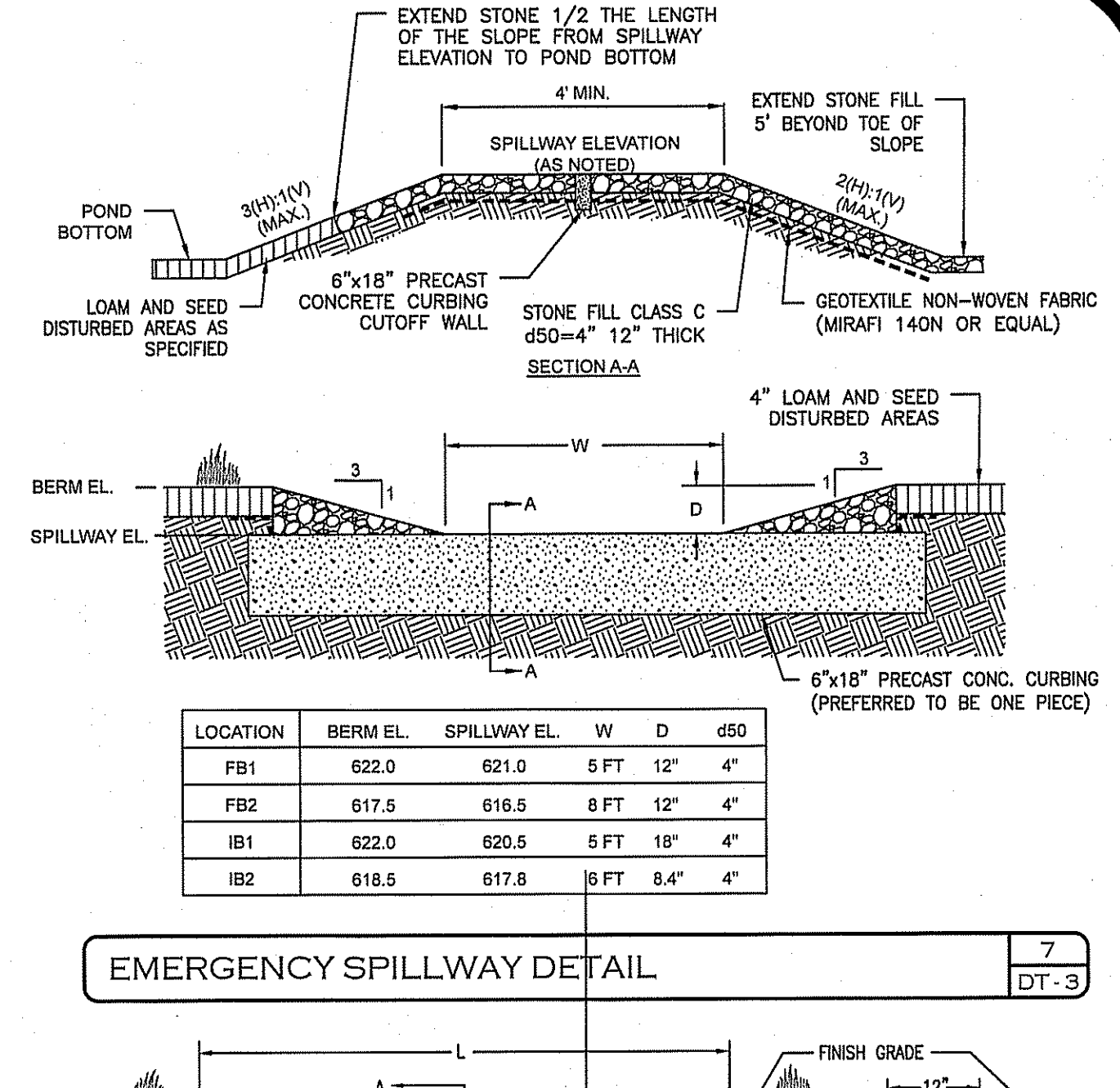
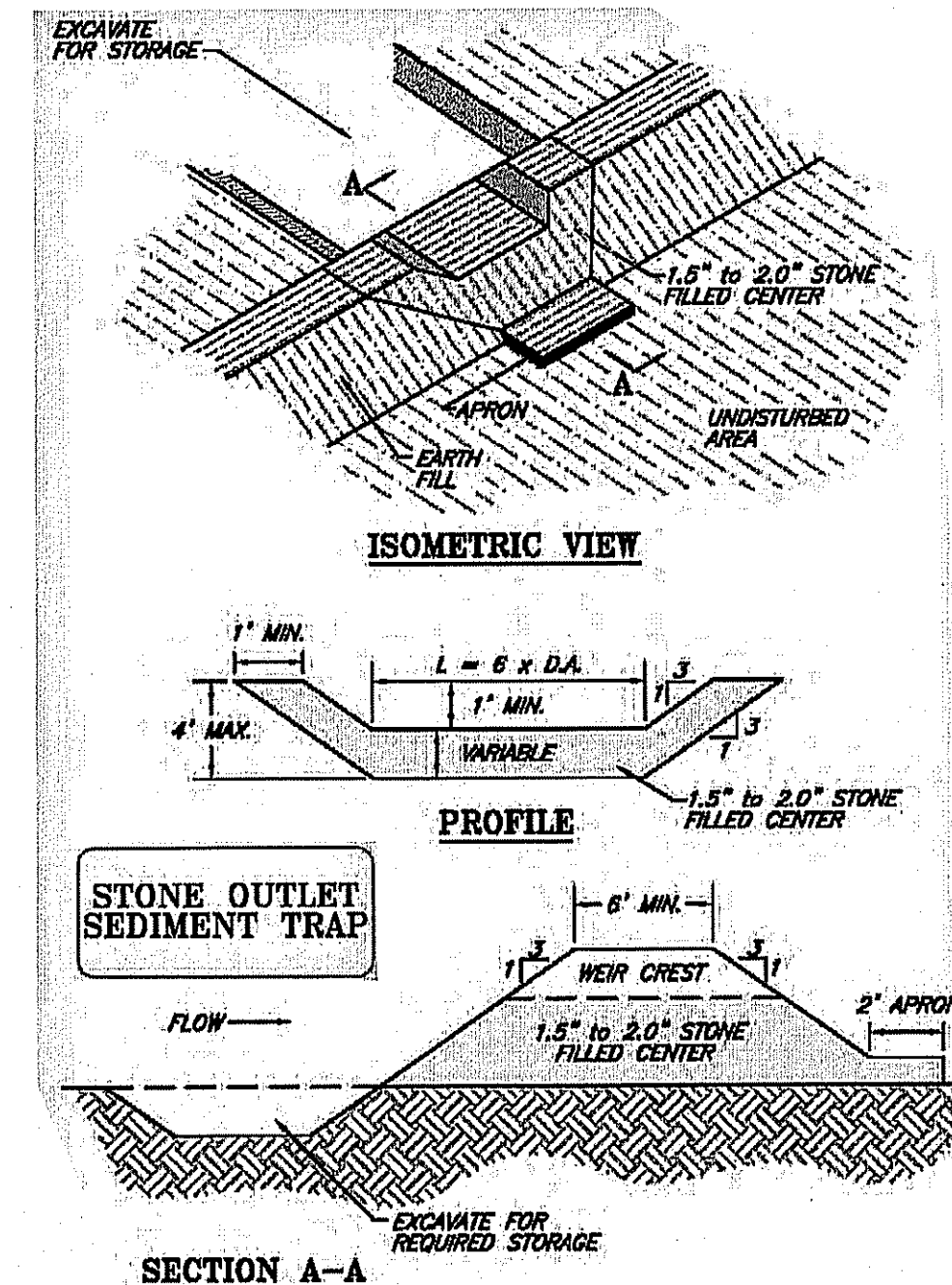
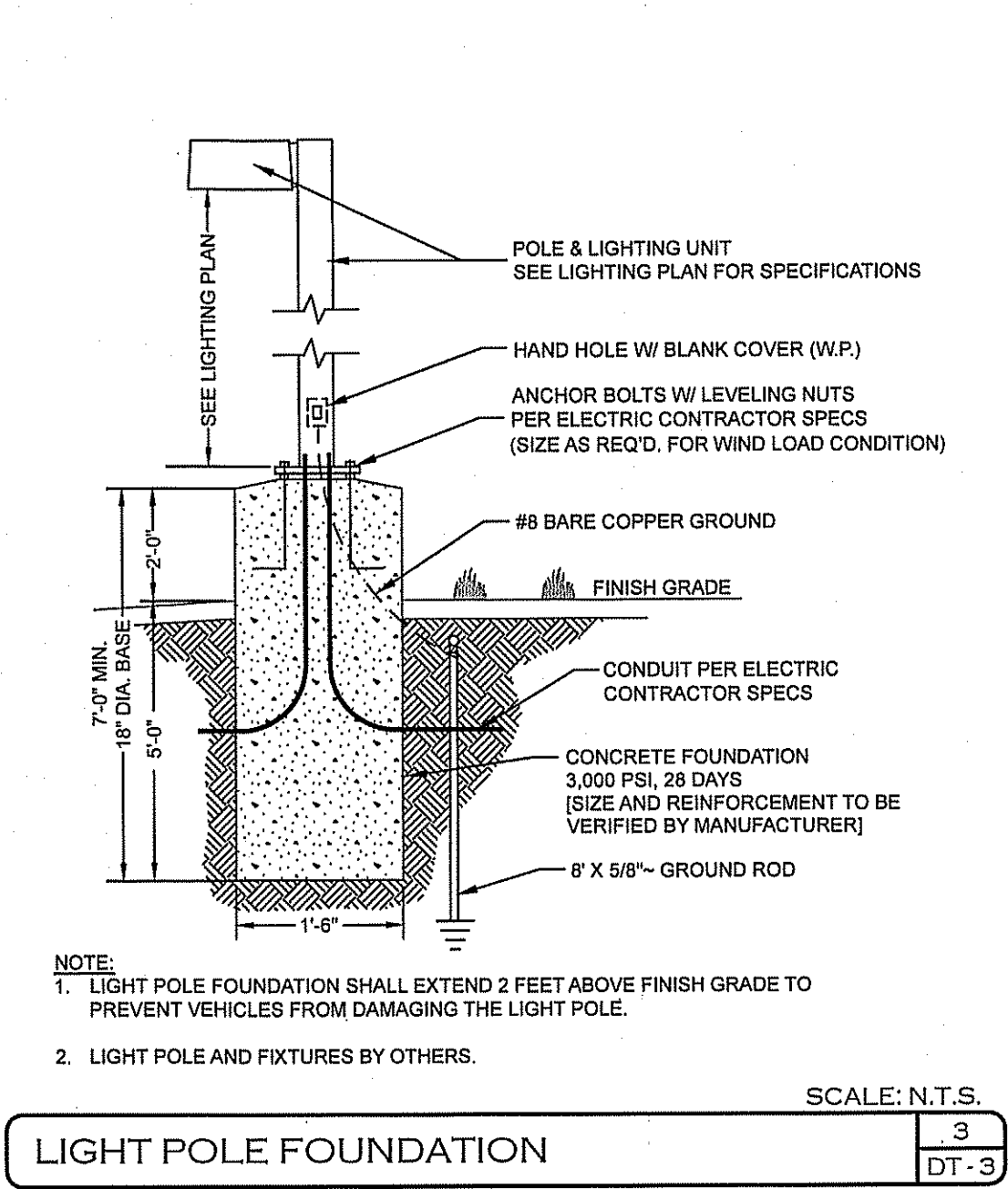
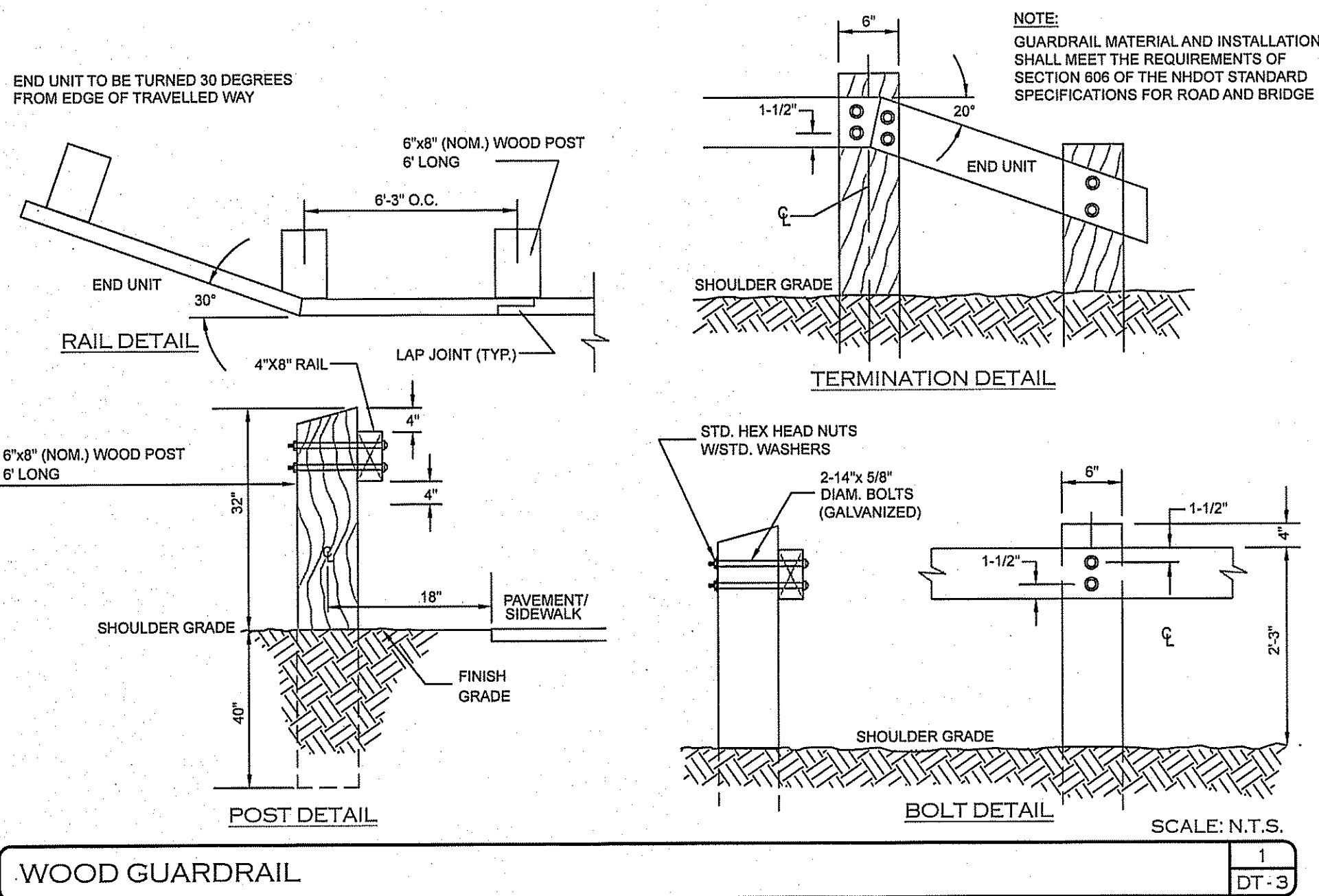
SCALE: AS NOTED
JANUARY 31, 2025

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

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206 Elm Street, Milford, NH 03055
45 Roxbury Street, Keene, NH 03431
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FILE: 4024DT00G.dwg PROJ. NO. 4024.00 SHEET: DT-2 PAGE NO. 9 OF 13



HEADWALL - PRECAST CONCRETE (HW1)

8
DT-3

REV.	DATE	DESCRIPTION	C/O	DR	CK
H	8/29/25	ADDRESS WATER DEPT. COMMENTS		NRC	CEB
G	8/25/25	OWNER ADDRESS, WATER DETAILS		NRC	CEB
F	8/8/25	PROPERTY OWNER		NRC	CEB
E	8/5/25	ADDRESS 7/31/25 AOT RFM, REVISE UTILITIES PER CLIENT		NRC	CEB
D	7/29/25	ADD LIGHT POLE FOUNDATION DETAIL		NRC	CEB
C	7/25/25	PUMP DETAILS		NRC	CEB
B	6/6/25	UPDATE DETAILS FOR AOT APPLICATION		NRC	CEB
A	4/22/25	ADD WATER AND SEWER DETAILS		NRC	CEB

CONSTRUCTION DETAILS
TAX MAP 204 LOTS 3-17 & 3-18
(282 & 288 HOUNSELL AVENUE)
GILFORD, NEW HAMPSHIRE
PREPARED FOR & LAND OF:
MKON LLC
265 WEIRS ROAD, GILFORD, NH 03249

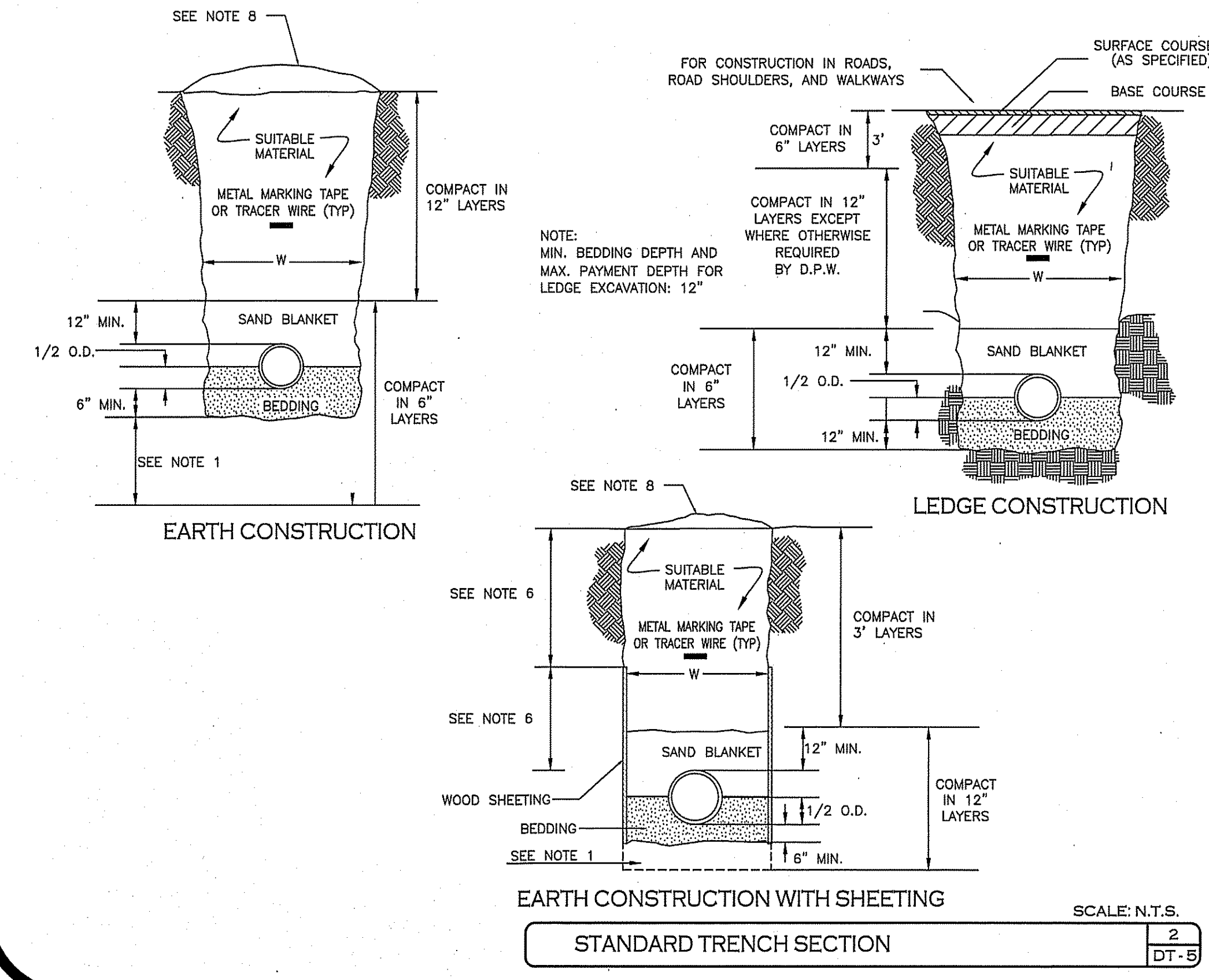
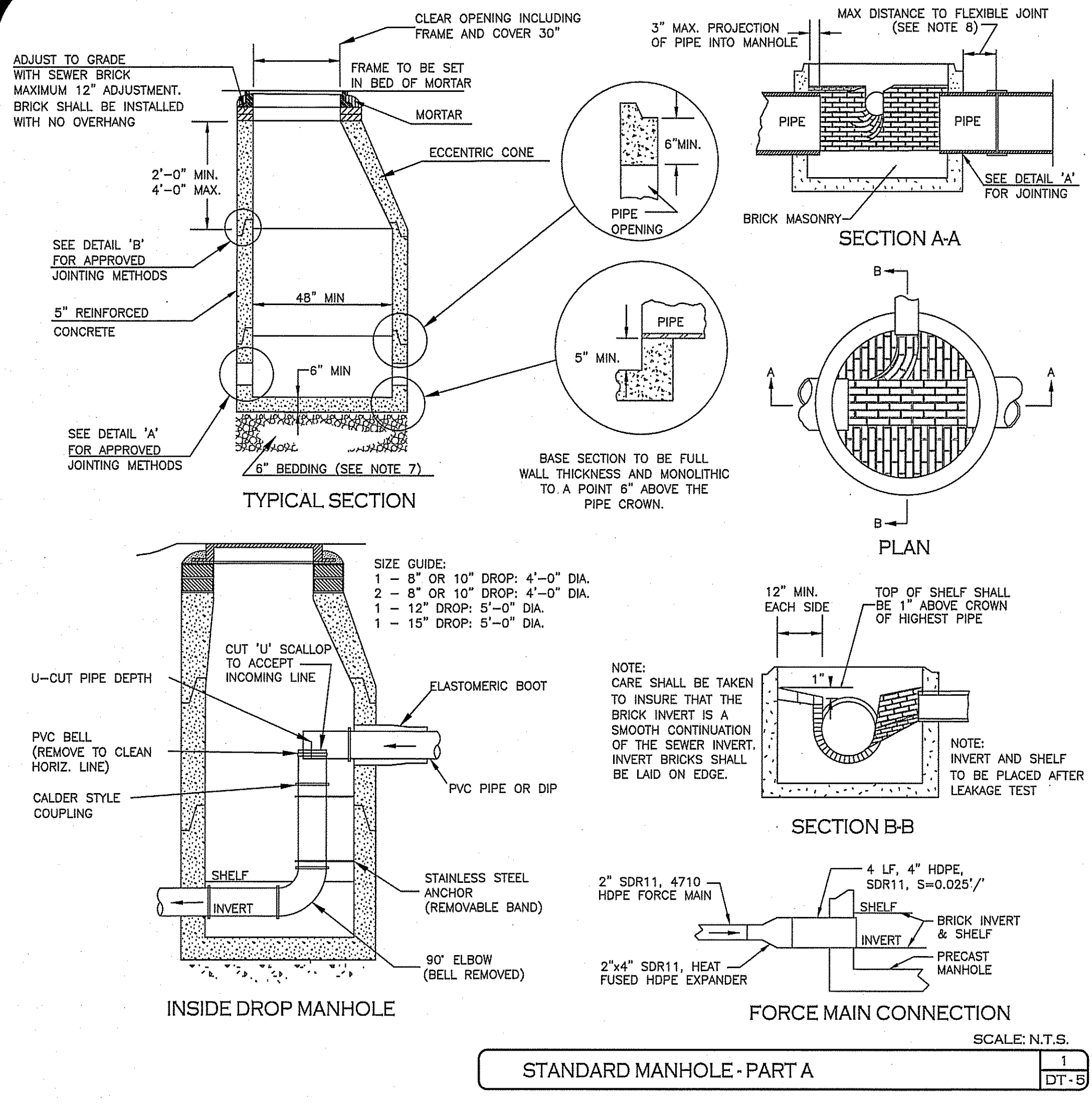
SCALE: AS NOTED JANUARY 31, 2025

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

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FILE: 4024DT00H.dwg PROJ. NO. 4024.00 SHEET: DT-3 PAGE NO. 10 OF 13

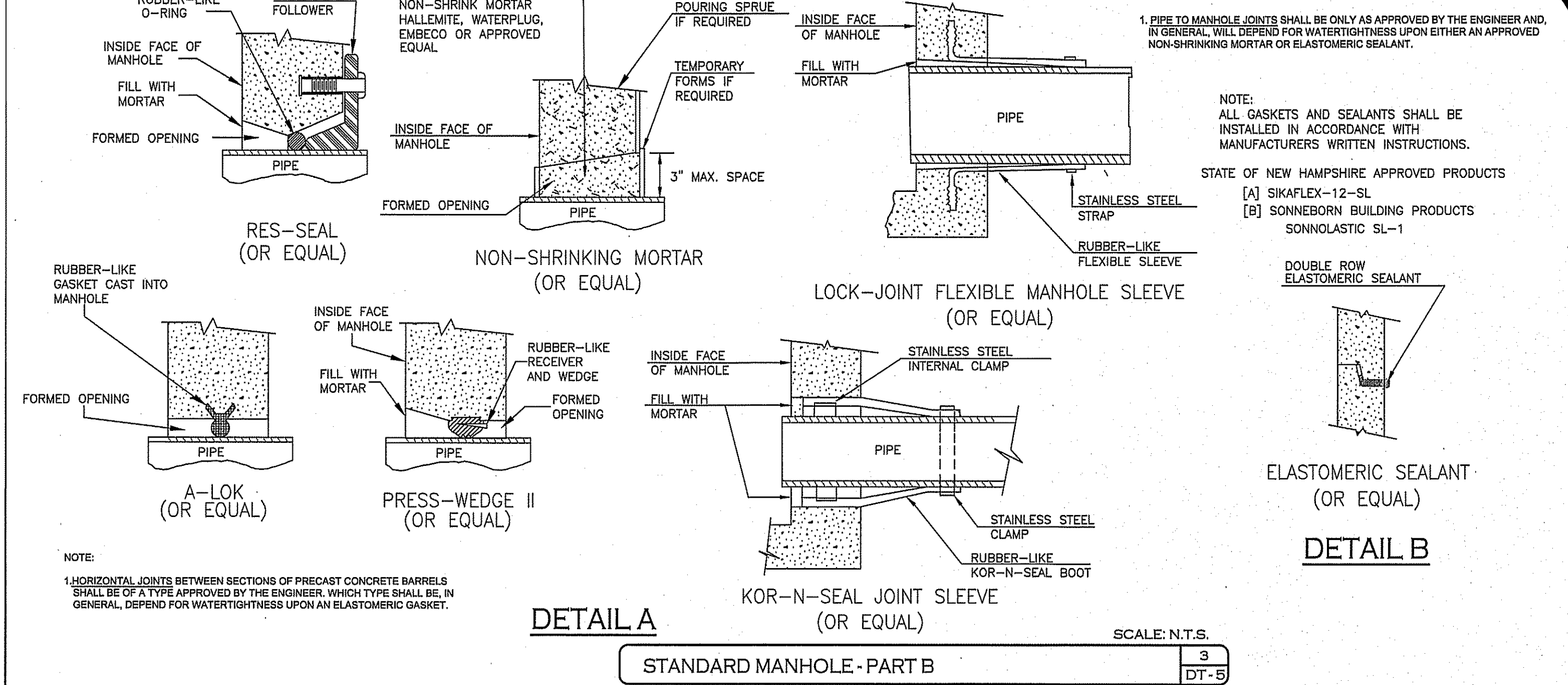


NOTES:

- IT IS INTENDED THAT THE MANHOLE, INCLUDING ALL COMPONENT PARTS, HAVE ADEQUATE SPACE, STRENGTH AND LEAKPROOF QUALITIES CONSIDERED NECESSARY FOR THE INTENDED SERVICE SPACE REQUIREMENTS AND CONFIGURATIONS SHALL BE AS SHOWN ON THE DRAWING. MANHOLES MAY BE AN ASSEMBLY OF PRECAST SECTIONS WITH STEEL REINFORCEMENT, WITH ADEQUATE JOINTING PER ENR-WQ 704.12 (f). IN ANY APPROVED MANHOLE, THE COMPLETE STRUCTURE SHALL BE OF SUCH MATERIAL AND QUALITY AS TO WITHSTAND LOADS OF 8 TONS (H-20 LOADING) WITHOUT FAILURE AND PREVENT LEAKAGE IN EXCESS OF ONE GALLON PER DAY PER VERTICAL FOOT OF MANHOLE CONTINUOUSLY FOR THE LIFE OF THE STRUCTURE. A PERIOD GENERALLY IN EXCESS OF 25 YEARS IS TO BE UNDERSTOOD IN BOTH CASES.
- BARRELS AND CONE SECTIONS: SHALL BE PRECAST REINFORCED CONCRETE.
- PRECAST CONCRETE BARREL SECTIONS, CONES, AND BASES SHALL CONFORM TO ASTM C 478.
- BASE SECTIONS: SHALL BE MONOLITHIC TO A POINT 6" ABOVE THE CROWN OF THE INCOMING PIPE, AND SHALL BE PRE-CAST REINFORCED CONCRETE.
- INVERTS AND SHELVES: MANHOLES SHALL HAVE A BRICK PAVED SHELF AND INVERT CONSTRUCTED TO CONFORM TO THE DIRECTION OF FLOW. THE INVERTS SHALL BE LAID OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE TANGENT TO THE CENTER LINE OF THE SEWER PIPES. SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE HIGHEST PIPE. CROWN AND SLOPE TO DRAIN TOWARD THE FLOW THROUGH CHANNEL. UNDERLAYMENT OF INVERT AND SHELF SHALL CONSIST OF BRICK MASONRY.
- FRAMES AND COVERS: MANHOLE FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN EQUAL TO CLASS 30, CONFORMING TO ASTM A48 AND PROVIDE A 30 INCH CLEAR OPENING. THE COVERS SHALL BE THE WORD "SEWER" IN 3 INCH HIGH LETTERS SHALL BE PLAINLY CAST INTO THE CENTER OF EACH COVER.
- BEDDING: SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATTER AND MEETING ASTM C33 SIZE #87.
 - 100% PASSING 1 INCH SCREEN
 - 90-100% PASSING 3/4 INCH SCREEN
 - 20-55% PASSING 3/8 INCH SCREEN
 - 0-10% PASSING #4 SIEVE
 - 0-5% PASSING #8 SIEVE
 WHERE ORDERED BY THE ENGINEER TO STABILIZE THE BASE, SCREENED GRAVEL OR CRUSHED STONE 1-1/2 TO 1/2 INCH SHALL BE USED.
- FLEXIBLE JOINT: A FLEXIBLE JOINT SHALL BE PROVIDED WITHIN THE FOLLOWING DISTANCES:
 - RCP & CI PIPE - ALL SIZES - 48"
 - PVC PIPE - UP THROUGH 16" DIAMETER - NO FLEXIBLE JOINT REQUIRED
- SHALLOW MANHOLE IN LIEU OF A CONE SECTION, WHEN MANHOLE DEPTH IS LESS THAN 8 FEET, A REINFORCED CONCRETE SLAB COVER MAY BE USED. IT MUST HAVE AN ECCENTRIC ENTRANCE OPENING AND BE CAPABLE OF SUPPORTING H-20 LOADING.
- HORIZONTAL JOINTS BETWEEN SECTIONS OF PRECAST CONCRETE BARRELS SHALL BE OF AN OVERLAPPING TYPE, SEALED WITH A DOUBLE ROW OF ELASTOMERIC OR MASTIC-LIKE SEALANT IN ACCORDANCE WITH ENR-WQ 704.12 (f). A TYPE APPROVED BY THE ENGINEER, WHICH TYPE SHALL, IN GENERAL, DEPEND FOR WATER TIGHTNESS UPON AN ELASTOMERIC SEALANT.
- PIPE TO MANHOLE JOINTS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF ENR-WQ 704.12 (g) AS SHOWN HEREON (DETAIL A).
- MATERIAL REQUIREMENTS FOR BRICK AND MORTAR SHALL CONFORM TO ENR-WQ 704.13 (b) (8) AND ENR-WQ 704.13 (b), (c).
- ALL PRECAST SECTIONS AND BASES SHALL HAVE THE DATE OF MANUFACTURE AND THE NAME OF THE MANUFACTURER STAMPED ON THE INSIDE WALL.
- ALL PRECAST SECTIONS AND BASES SHALL BE COATED ON THE EXTERIOR WITH A BITUMINOUS DAMP-PROOF COATING PER ENR-WQ 704.12 (i).
- NO STEPS ARE TO BE PROVIDED/INSTALLED WITHIN THE MANHOLE.
- SEWER MANHOLES SHALL BE VACUUM TESTED IN ACCORDANCE WITH ENR-WQ 704.17.
- ALL SEWER CONSTRUCTION SHALL CONFORM TO SPECIFICATIONS DEFINED BY THE TOWN OF GILFORD STANDARD SPECIFICATIONS FOR ROAD CONSTRUCTION. THESE STANDARD MANHOLE DRAWINGS ARE NOT COMPLETE WITHOUT THESE SPECIFICATIONS AND NHDES CHAPTER ENR-WQ 700.

NOTES:

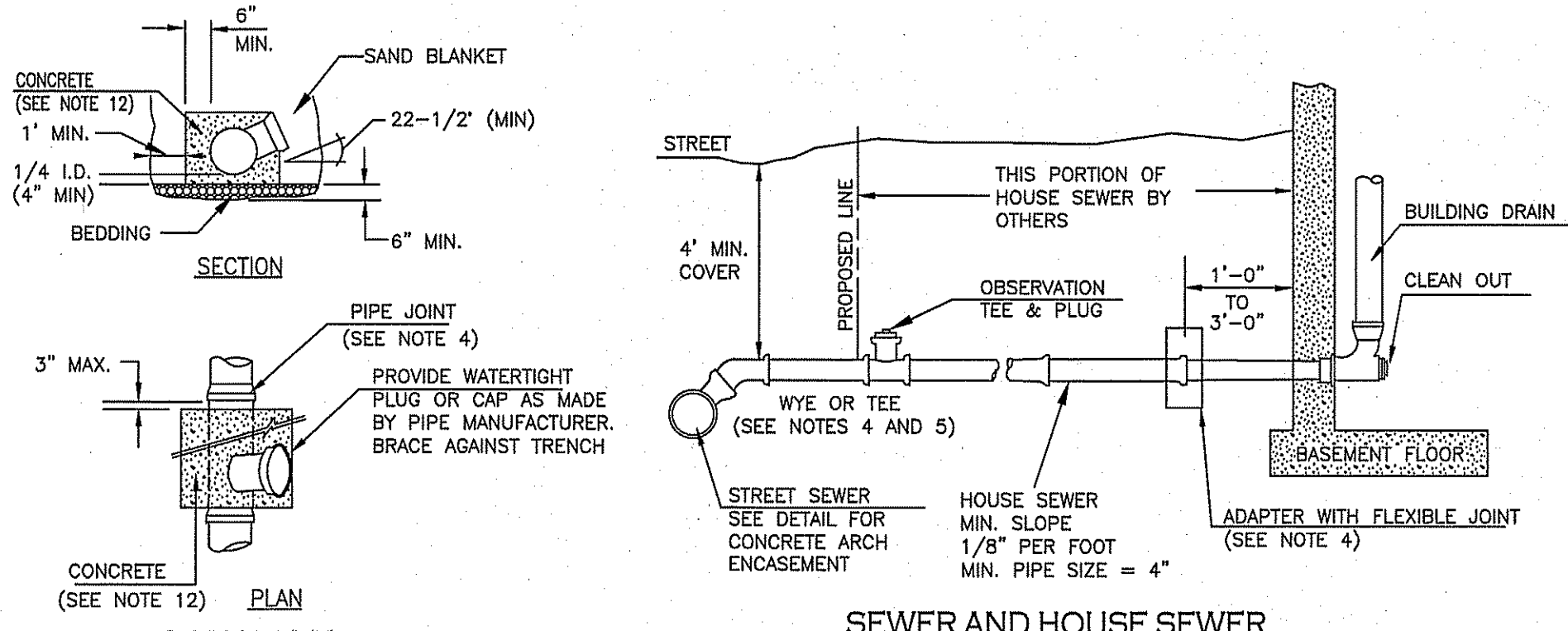
- ORDERED EXCAVATION OF UNSUITABLE MATERIAL BELOW GRADE, REFILL WITH BEDDING MATERIAL. (SEE ALSO NOTE 7).
- BEDDING: SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATTER AND MEETING ASTM C33, STONE SIZE #87.
 - 100% PASSING 1 INCH SCREEN
 - 90-100% PASSING 3/4 INCH SCREEN
 - 20-50% PASSING 3/8 INCH SCREEN
 - 0-10% PASSING #4 SIEVE
 - 0-5% PASSING #8 SIEVE
- SAND BLANKET: CLEAN SAND, FREE FROM ORGANIC MATTER, SO GRADED THAT 90-100% PASSES A 1/2 INCH SIEVE AND NOT MORE THAN 15% WILL PASS A #20 SIEVE. BLANKET MAY BE OMITTED FOR DUCTILE IRON AND REINFORCED CONCRETE PIPE PROVIDED THAT NO STONE LARGER THAN 2" IS IN CONTACT WITH THE PIPE.
- SUITABLE MATERIAL: IN ROADS, ROAD SHOULDERS, WALKWAYS AND TRAVELED WAYS, SUITABLE MATERIAL FOR TRENCH BACKFILL SHALL BE NATURAL MATERIAL EXCAVATED DURING THE COURSE OF CONSTRUCTION, BUT SHALL EXCLUDE DEBRIS, PIECES OF PAVEMENT, ORGANIC MATTER, TOPSOIL, ALL WET OR SOFT MUCK, PEAT OR CLAY, ALL EXCAVATED LEDGE MATERIAL, AND ALL ROCKS OVER SIX INCHES, IN LARGEST DIMENSION OR ANY MATERIAL WHICH AS DETERMINED BY THE ENGINEER, WILL NOT PROVIDE SUFFICIENT SUPPORT TO MAINTAIN THE COMPLETED CONSTRUCTION. SUITABLE MATERIAL SHALL BE AS DESCRIBED ABOVE, EXCEPT THAT THE ENGINEER MAY PERMIT THE USE OF TOP-SOIL, LOAM, MUCK OR PEAT. IF HE IS SATISFIED THAT THE COMPLETED CONSTRUCTION WILL BE ENTIRELY STABLE AND PROVIDED THAT EASY ACCESS TO THE SEWER FOR MAINTENANCE (AND POSSIBLY RECONSTRUCTION, WHEN NECESSARY) WILL BE PRESERVED.
- BASE COURSE: IF ORDERED BY THE ENGINEER, SHALL MEET THE REQUIREMENTS OF DIVISION 300 OF THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION OF THE STATE OF N.H. DEPT. OF TRANSPORTATION.
- WOOD SHEETING: IF REQUIRED, IS PLACED ALONGSIDE THE PIPE AND EXTENDS BELOW MID-DIAMETER. IT SHALL BE CUT OFF AND LEFT IN PLACE TO AN ELEVATION NOT LESS THAN 1 FOOT ABOVE THE TOP OF THE PIPE. WHEN THE SHEETING IS ORDERED BY THE ENGINEER TO BE LEFT IN PLACE, IT SHALL BE CUT OFF AT LEAST 3 FEET BELOW FINISH GRADE, BUT NOT LESS THAN 1 FOOT ABOVE THE TOP OF THE PIPE.
- W = MAXIMUM ALLOWABLE TRENCH WIDTH TO A PLANE 12 INCHES ABOVE THE PIPE FOR PIPES 15 INCHES NOMINAL DIAMETER OR LESS, W SHALL BE NO MORE THAN 36 INCHES. FOR PIPES GREATER THAN 15 INCHES NOMINAL DIAMETER, W SHALL BE 24 INCHES PLUS PIPE O.D. W SHALL ALSO BE THE PAYMENT WIDTH FOR LEDGE EXCAVATION AND FOR ORDERED EXCAVATION BELOW GRADE.
- FOR CROSS COUNTRY CONSTRUCTION, BACKFILL OR FILL SHALL BE MOUND TO A HEIGHT OF 6 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
- CONCRETE: FOR ENCASEMENT SHALL CONFORM TO THE REQUIREMENTS FOR CLASS A (3000#) CONCRETE OF THE N.H. DEPT. OF TRANSPORTATION STANDARD SPECIFICATIONS AS FOLLOWS:
 - CEMENT: 6.0 BAGS PER CUBIC YARD
 - WATER: 5.75 GALLONS PER BAG OF CEMENT
 - MAXIMUM AGGREGATE SIZE: 1 INCH
 - NOTE: ANY SEWER PIPE TO BE ENCASED MUST BE MADE OF DUCTILE IRON.



NOTES:

- MINIMUM SIZE PIPE FOR HOUSE SERVICE SHALL BE 4 INCHES.
- PIPE AND JOINT MATERIAL:
 - A. PLASTIC SEWER PIPE
 - 1. PIPE AND FITTINGS SHALL CONFORM TO THE FOLLOWING ASTM STANDARDS:

ASTM STANDARD	MATERIAL	APPROVED
D3034	PVC (SOLID WALL)	8" THROUGH 15" (SDR 35)
F797	PVC (SOLID WALL)	18" THROUGH 27" (T-1 & T-2)
F798	PVC (SOLID WALL)	4" THROUGH 48" (T-1 TO T-3)
F799	PVC (ROBBER WALL)	8" THROUGH 38"
D2680	ABS (COMPOSITE WALL)	8" THROUGH 15"
 - "PVC: POLY VINYL CHLORIDE
 - "ABS: ACRYLONITRILE-BUTADIENE-STYRENE
 - JOINTS SEALS FOR PVC PIPE SHALL BE OIL RESISTANT COMPRESSION RINGS OF ELASTOMERIC MATERIAL CONFORMING TO ASTM D-3212 AND SHALL BE PUSH-ON, BELL AND SPIGOT TYPE. ABS TRUSS PIPE AND FITTINGS SHALL CONFORM TO ASTM D-2680, POLYMER COMPOUNDING SHALL BE TO ASTM D-1788 (CLASS 32). JOINTS FOR ABS TRUSS PIPE SHALL BE CHEMICAL WELDED COUPLINGS TYPE SC IN ACCORDANCE WITH ASTM D-2680, FORMING A CHEMICAL WELDED JOINT.
 - DUCTILE IRON PIPE AND FITTINGS SHALL CONFORM TO THE FOLLOWING STANDARDS OF THE UNITED STATES OF AMERICA STANDARDS INSTITUTE:
 - A21.50 THICKNESS DESIGN OF DUCTILE IRON PIPE AND WITH ASTM A-538
 - DUCTILE IRON CASTINGS
 - A21.51 DUCTILE IRON PIPE, CENTRIFUGALLY CAST IN METAL MOLDS OR SAND-LINED MOLDS FOR WATER OR OTHER LIQUIDS.
 - JOINTS SHALL BE OF THE MECHANICAL OR PUSH-ON TYPE. JOINTS AND GASKETS SHALL CONFORM TO:
 - A21.11 RUBBER GASKETS JOINTS FOR CAST IRON PRESSURE PIPE AND FITTINGS.
- DAMAGED PIPE SHALL BE REJECTED AND REMOVED FROM THE JOB SITE.
- JOINTS SHALL BE DEPENDENT UPON A NEOPRENE OR ELASTOMERIC GASKET FOR WATER TIGHTNESS. ALL JOINTS SHALL BE PROPERLY MATCHED WITH THE PIPE MATERIALS USED. WHERE DIFFERING MATERIALS ARE TO BE CONNECTED, AS AT THE STREET SEWER "Y" OR AT THE FOUNDATION WALL, APPROPRIATE ADAPTERS SHALL BE USED.
- "T" AND "Y" WHERE "A" "T" OR "Y" IS NOT AVAILABLE IN THE EXISTING STREET SEWER, AN APPROPRIATE CONNECTION SHALL BE MADE IN THE SEWER, FOLLOWING MANUFACTURERS INSTRUCTIONS USING A BOLTED, CLAMPED, OR EPOXY CEMENTED SADDLE TAPPED INTO A SMOOTHLY DRILLED OR SAWN OPENING. THE PRACTICE OF BREAKING AN OPENING WITH A SLEDGE HAMMER, STUFFING CLOTH (OR OTHER SUCH MATERIAL) AROUND THE JOINT OR APPLYING MORTAR TO HOLD THE CONNECTION AND ANY OTHER SIMILAR CRUDE PRACTICES OR INEPT OR HASTY IMPROVISATIONS WILL NOT BE PERMITTED. THE CONNECTION SHALL BE CONCRETE ENCASEMENT, AS DESCRIBED IN THE TRENCH, UP TO AND INCLUDING 15" DIAMETER.
- HOUSE SEWER INSTALLATION THE PIPE SHALL BE HANDLED, PLACED AND JOINTED IN ACCORDANCE WITH INSTALLATION GUIDES OF THE APPROPRIATE MANUFACTURER. IT SHALL BE CAREFULLY BEDDED ON A 4 INCH LAYER OF CRUSHED STONE AND/OR GRAVEL, AS SPECIFIED IN NOTE 10. BEDDING AND RE-FILL FOR A DEPTH OF 12 INCHES ABOVE THE TOP OF THE PIPE SHALL BE CAREFULLY AND THOROUGHLY TAMPED BY HAND OR WITH APPROPRIATE MECHANICAL DEVICES THE PIPE SHALL BE LAID AT A CONTINUOUS AND CONSTANT GRADE FROM THE STREET SEWER CONNECTION TO THE HOUSE FOUNDATION AT A GRADE OF NOT LESS THAN 1/4 INCH PER FOOT. PIPE JOINTS MUST BE MADE UNDER DRY CONDITIONS. IF WATER IS PRESENT, ALL NECESSARY STEPS SHALL BE TAKEN TO DEWATER THE TRENCH.
- TESTING THE COMPLETED HOUSE SEWER SHALL BE SUBJECT TO A LEAKAGE TEST IN ANY OF THE FOLLOWING MANNERS (PRIOR TO BACKFILLING):
 - A. AN OBSERVATION "T" SHALL BE INSTALLED AS SHOWN. WHEN READY TESTING, AN INFLATABLE BLADDER OR PLUG SHALL BE INSERTED JUST UPSTREAM FROM THE OPENING IN THE "T". AFTER INFLATION, WATER SHALL BE INTRODUCED INTO THE SYSTEM ABOVE THE PLUG TO A HEIGHT OF 5 FEET ABOVE THE LEVEL OF THE PLUG.
 - B. THE PIPE SHALL BE LEFT EXPOSED AND LIBERALLY HOSED WITH WATER TO SIMULATE, AS NEARLY AS POSSIBLE, WET TRENCH CONDITIONS. IF THE TRENCH IS WET, THE GROUND WATER SHALL BE PERMITTED TO RISE IN THE TRENCH OVER THE PIPE. INSPECTIONS FOR LEAKS SHALL BE MADE THROUGH THE CLEANOUT WITH A FLASHLIGHT.
 - C. DRY FLUORESCENT DYE SHALL BE SPRINKLED INTO THE TRENCH OVER THE PIPE. IF THE TRENCH IS DRY, THE PIPE SHALL BE LIBERALLY HOSED WITH WATER. IF THE TRENCH IS WET, GROUND WATER SHALL BE PERMITTED TO RISE IN THE TRENCH OVER THE PIPE. OBSERVATION FOR LEAKS SHALL BE MADE IN THE HOUSE TOILETS MANHOLE DOWNSTREAM. LEAKAGE OBSERVED IN ANY OF THE ABOVE, ALTERNATE TESTS SHALL BE CAUSE FOR NON-ACCEPTANCE AND THE PIPE SHALL BE DUG UP, IF NECESSARY, AND RE-LAID, SO AS TO ASSURE WATER TIGHTNESS.
- ILLEGAL CONNECTIONS NOTHING BUT SANITARY WASTE FLOW FROM THE HOUSE TOILETS, SINKS, LAUNDRY, ETC. SHALL BE PERMITTED. ROOF LEADERS, FOOTING DRAINS, SUMP PUMPS OR ANY OTHER SIMILAR CONNECTION CARRYING RAIN WATER, DRAINAGE OR GROUND WATER SHALL NOT BE PERMITTED.
- HOUSE WATER SERVICE SHALL, NOT BE LAID IN THE SAME TRENCH AS THE SEWER SERVICE.
- BEDDING: SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATTER AND MEETING ASTM C33-87.
 - 100% PASSING 1 INCH SCREEN
 - 90-100% PASSING 3/4 INCH SCREEN
 - 20-55% PASSING 3/8 INCH SCREEN
 - 0-10% PASSING #4 SIEVE
 - 0-5% PASSING #8 SIEVE
- WHERE ORDERED BY THE ENGINEER TO STABILIZE THE TRENCH BASE, SCREENED GRAVEL OR CRUSHED STONE (1-1/2 TO 1/2 INCH) SHALL BE USED.
- LOCATION THE LOCATION OF THE "T" OR "Y" SHALL BE RECORDED AND FILED IN THE MUNICIPAL RECORDS. IN ADDITION, A FERROUS METAL ROD OR ROD OR "Y", AS DESCRIBED IN THE TYPICAL "CHIMNEY" DETAIL, TO AID IN LOCATING THE BURIED PIPE WITH A DIP NEEDLE OR PIPEFINDER.
- CONCRETE CONCRETE SHALL CONFORM TO THE REQUIREMENTS FOR CLASS A (3000 PSI) CONCRETE OF THE N.H. DEPT. OF TRANSPORTATION STANDARD SPECIFICATIONS AS FOLLOWS:
 - CEMENT: 6.0 BAGS/C.Y. WATER: 5.75 GALS/BAG CEMENT
 - AGGREGATE: 1 INCH MAX
- CHIMNEYS IF VERTICAL DROP INTO THE SEWER IS GREATER THAN 4 FEET, A CHIMNEY SHALL BE CONSTRUCTED FOR THE HOUSE CONNECTION. CHIMNEY INSTALLATION AS RECOMMENDED BY THE PIPE MANUFACTURER MAY BE USED IF APPROVED BY THE ENGINEER.



SEWER AND HOUSE SEWER

4' MIN. COVER

PROPOSED LINE

THIS PORTION OF HOUSE SEWER BY OTHERS

1'-0" TO 3'-0"

OBSERVATION TEE & PLUG

WYE OR TEE (SEE NOTES 4 AND 5)

STREET SEWER SEE DETAIL FOR CONCRETE ARCH ENCASEMENT

HOUSE SEWER MIN. SLOPE 1/8" PER FOOT MIN. PIPE SIZE = 4"

ADAPTER WITH FLEXIBLE JOINT (SEE NOTE 4)

CLEAN OUT

BUILDING DRAIN

BASEMENT FLOOR

CONTACT DIG SAFE 72 HOURS PRIOR TO CONSTRUCTION OR DIAL 8 1 1 CALL 811 - KNOW WHAT'S BELOW

DIGSAFE.COM

811

DigSafe

SEWER DETAILS

TAX MAP 204 LOTS 3-17 & 3-18

(282 & 288 HOUNSELL AVENUE)

GILFORD, NEW HAMPSHIRE

PREPARED FOR & LAND OF:

MKON LLC

285 WEIRS ROAD, GILFORD, NH 03249

SCALE: AS NOTED

JANUARY 31, 2025

Surveying + Engineering + Land Planning + Permitting + Septic Designs

FIELDSTONE

LAND CONSULTANTS PLLC

206 Elm Street, Milford, NH 03055

45 Roxbury Street, Keene, NH 03431

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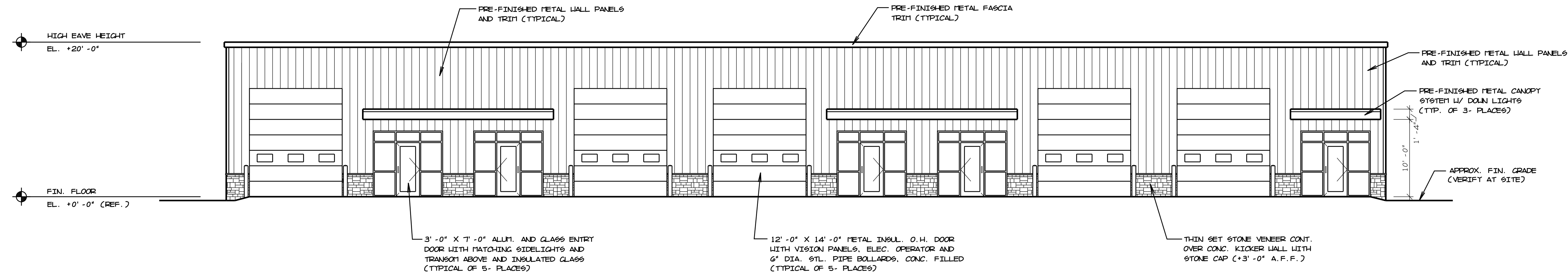






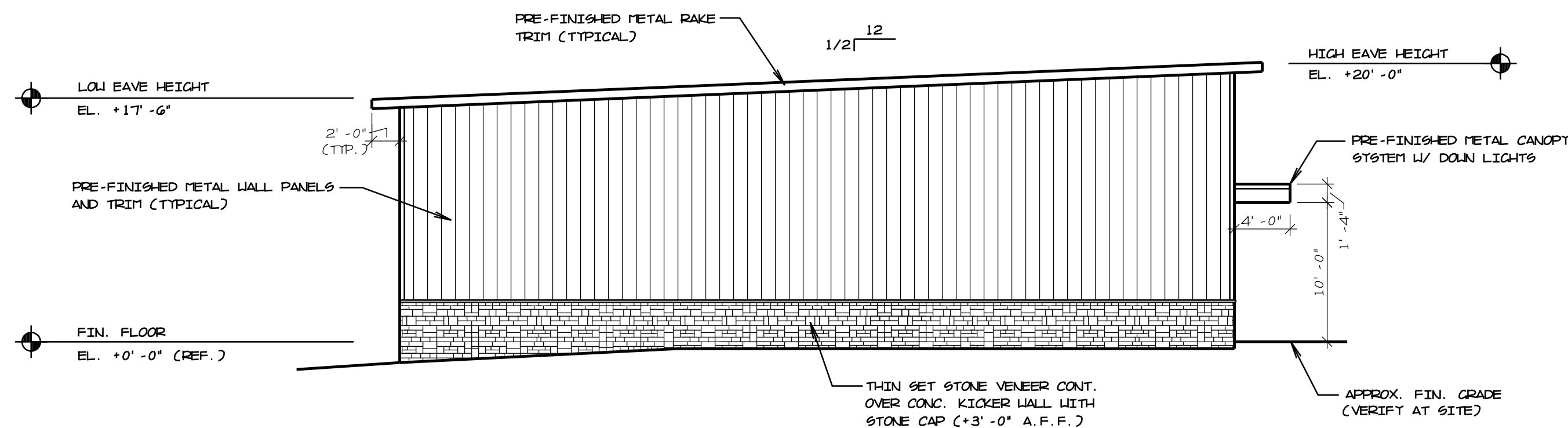






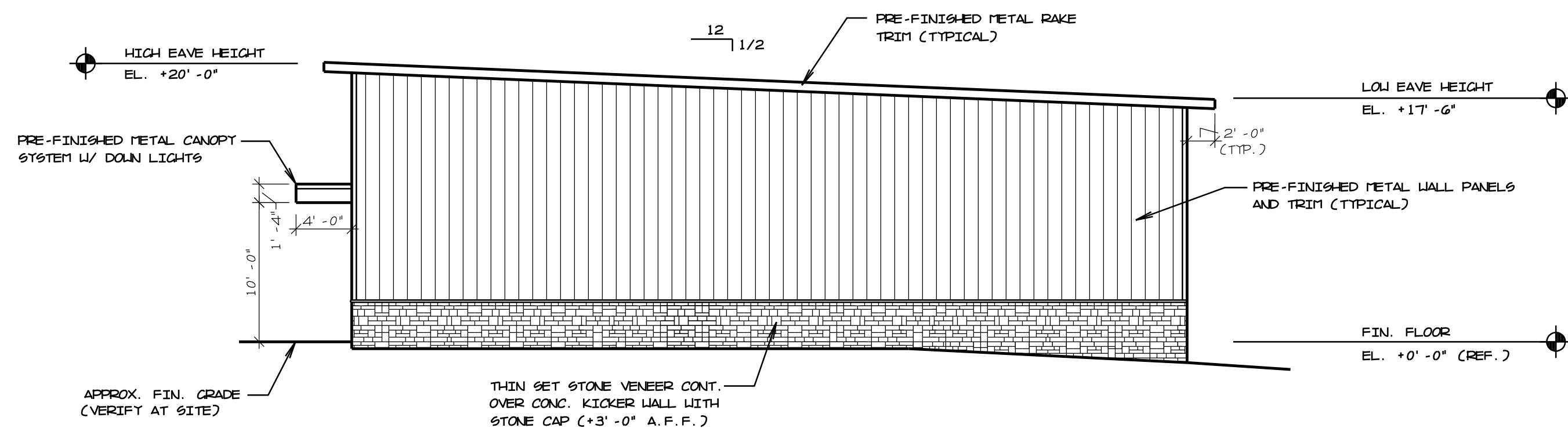
FRONT ELEVATION

SCALE 1/8" = 1'-0"



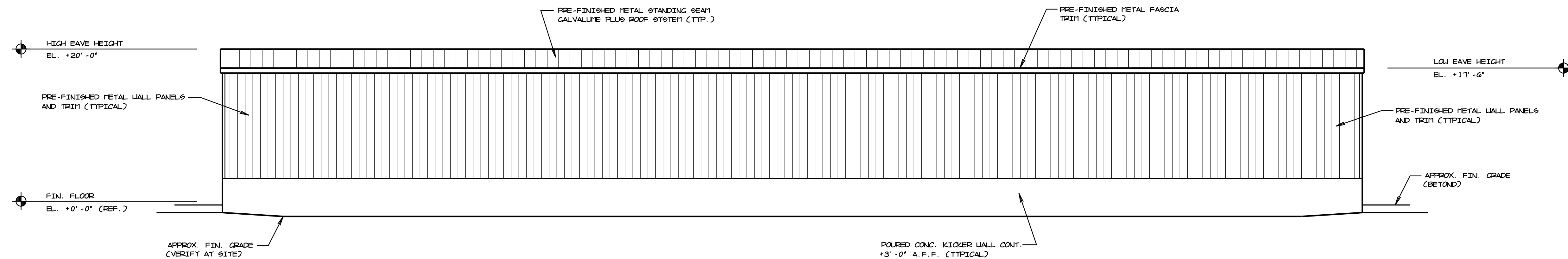
LEFT SIDE ELEVATION

SCALE 1/8" = 1'-0"



RIGHT SIDE ELEVATION

SCALE 1/8" = 1'-0"



REAR ELEVATION

SCALE 1/8" = 1'-0"

CAD ARCHITECTURAL DRAFTING SERVICES

46 LORD HILL RD.
RINDGE, N.H. 03461
PHONE 603-899-2322
FAX 603-899-2323

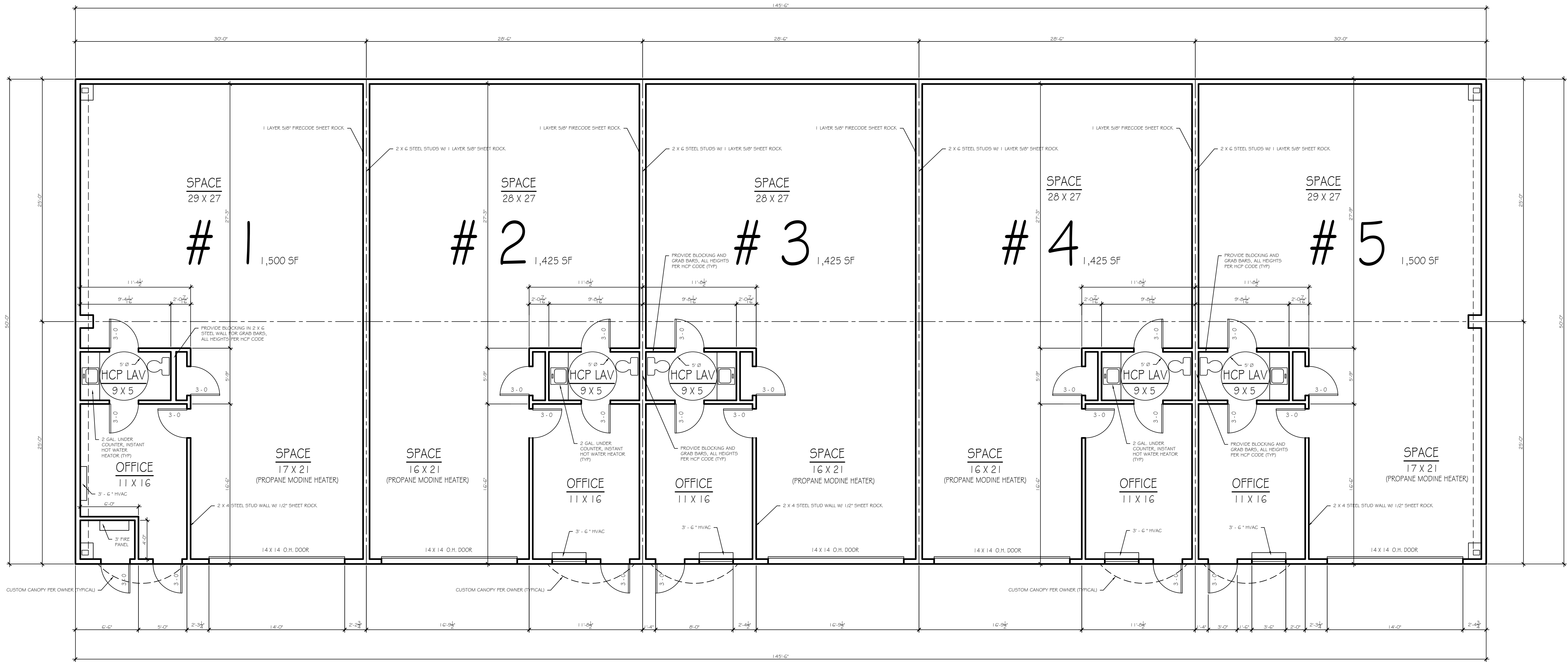
NO.	REV.	DATE	DESCRIPTION OF REV.
NO. 3	GENERAL REVISIONS	4/4/24	
NO. 2	ADD DIMENSIONS AT ENTRANCE CANOPIES	4/2/24	
NO. 1	GENERAL REVISIONS	4/1/24	

PROJECT: BUILDING 1 AND 2
MULTI-TENANT BUILDING
SUBJECT: NEW HAMPSHIRE
ELEVATIONS

JOB NO. 242393	SCALE: AS NOTED
DATE: 2/26/24	CHECKED: T.J.L.

SHEET NO.

A-2



FLOOR PLAN

SCALE 3/16" = 1'-0"

5,238 SQUARE FEET

- NOTES:
1. PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
 2. PROVIDE AND INSTALL GROUND FAULT CIRCUIT INTERRUPTERS (GFCI) AS REQUIRED BY NATIONAL ELECTRIC CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
 3. UNLESS OTHERWISE INDICATED, INSTALL SWITCHES AND RECEPTACLES AT THE FOLLOWING HEIGHTS ABOVE FINISH FLOOR:
SWITCHES 42"
OUTLETS 14"
TELEPHONE 14"
TELEVISION 14"

REVISIONS

PROJECT NUMBER

DWS

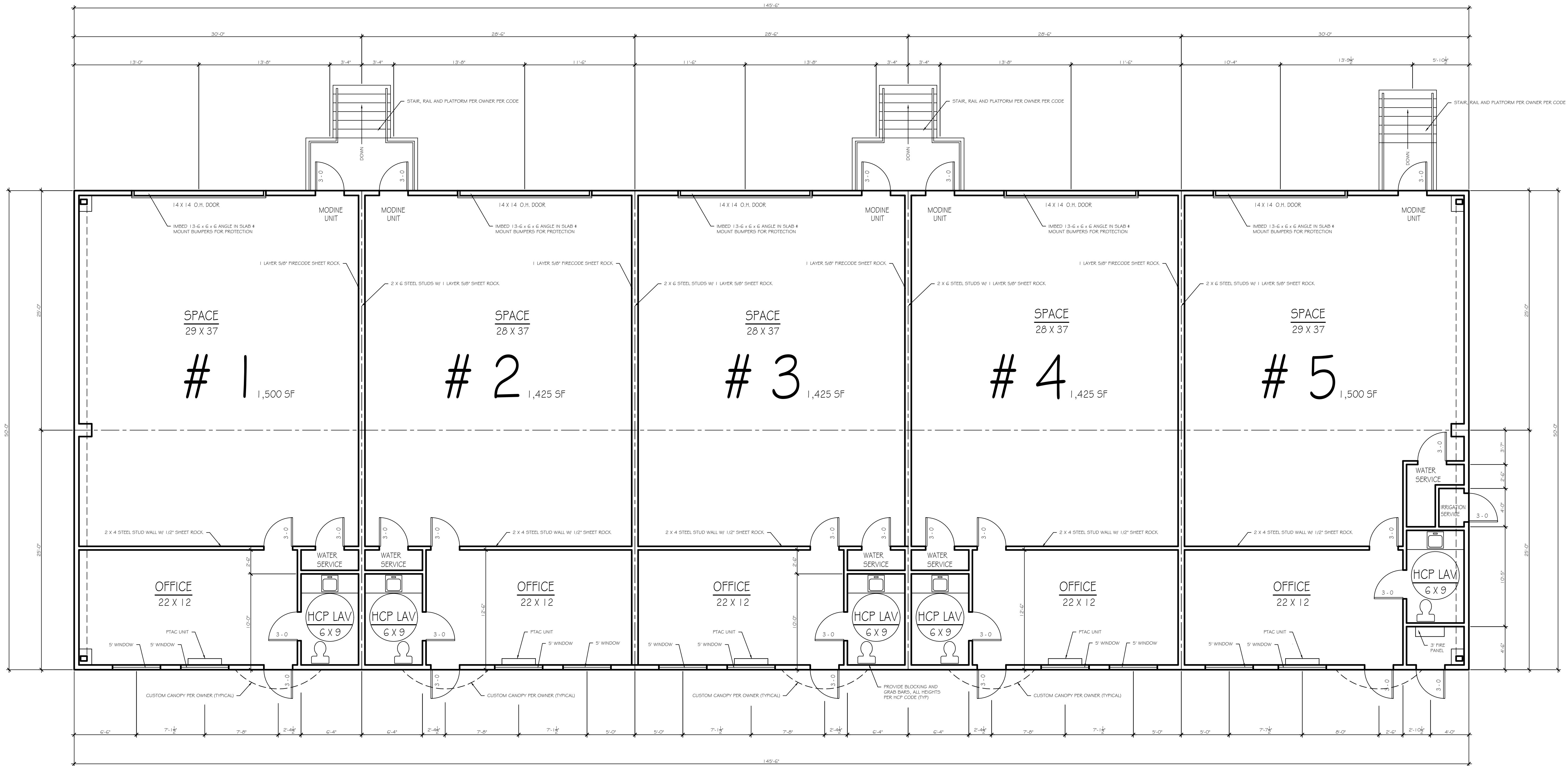
SHEET TITLE

FLOOR PLAN

SHEET NUMBER

A-1

DWS001



FLOOR PLAN

SCALE 3/16" = 1'-0"

- NOTES:
- 1. PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
 - 2. PROVIDE AND INSTALL GROUND FAULT CIRCUIT INTERRUPTERS (GFCI) AS REQUIRED BY NATIONAL ELECTRIC CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
 - 3. UNLESS OTHERWISE INDICATED, INSTALL SWITCHES AND RECEPTACLES AT THE FOLLOWING HEIGHTS ABOVE FINISH FLOOR:
 - SWITCHES: 42"
 - OUTLETS: 14"
 - TELEPHONE: 14"
 - TELEVISION: 14"

REVISIONS	

PROJECT NUMBER	001
SCALE	3/16" = 1'-0"
DATE	Oct 31 2025

DRAWN BY	DWS
CHECKED BY	DWS

SHEET TITLE
BUILDING #6
FLOOR PLAN

SHEET NUMBER

A-4

DWS001