

208 HAY STREET OFFICE SPACE UPFIT FAYETTEVILLE, NC

BUILDING CODE: 2012 NC Building Code 2009 NC Building Code 2009 NC Rehab 2009 Chapter 34 1995 Existing Building Code Volume 9

NEW BUILDING: New Construction Shell Building Addition Alt. to Shell First Time Int. Upfit

EXISTING: Renovation Interior Completion Tenant Alteration Alteration to Shell Reconstruction Repair Change of Use Tenant Space Change of Occupancy

ORIGINAL OCCUPANCY Business **PROPOSED OCCUPANCY** Business

BUILDING DATA

CONSTRUCTION TYPE: I-A II-A III-A IV V-A
 I-B II-B III-B V-B
 Mixed Construction: No Yes Types _____

SPRINKLERS: No Partial Yes NFPA 13 NFPA 13R NFPA 13D

STANDPIPES: No Yes Class: I II III Wet Dry

FIRE DISTRICT: No Yes **FLOOD HAZARD AREA:** No Yes

BUILDING HEIGHT: Feet 39' No. of Stories 2

GROSS BUILDING AREA:

FLOOR	EXISTING (SF)	NEW (SF)	SUB-TOTAL (SF)
6th Floor			
5th Floor			
4th Floor			
3rd Floor			
2nd Floor	7,730	0	7,730
Mezzanine			
1st Floor	8,090	0	8,090
Basement	400	0	400
TOTAL	16,220	0	16,220

OCCUPANCY INFORMATION

PRIMARY OCCUPANCY:

Assembly: A-1 A-2 A-3 A-4 A-5
 Business:
 Factory-Industrial: F-1 F-2
 High-Hazard: H-1 H-2 H-3 H-4 H-5
 Institutional: I-1 I-2 I-3 I-4
 I-3 Use Condition: 1 2 3 4 5
 Mercantile:
 Residential: R-1 R-2 R-3 R-4
 Storage: S-1 S-2 High-piled
 S-1 Special Condition: Repair Garage (406.6)
 S-2 Special Condition: Open Parking Garage (406.3) Enclosed Parking Garage (406.3)
 Utility & Misc.:

OTHER USES:
 (508.2) Accessory Uses (Indicate Percentages): _____
 (508.2.5) Incidental Uses: _____

SPECIAL USES: 402 403 404 405 406 407 408 409 410 411 412 413 414 415 416 417 418 419 420 421 422 423 424 425 426 427

ALLOWABLE AREA & HEIGHT CALCULATIONS

MIXED OCCUPANCY: No Yes Separation: _____ Hr Exception: _____

Non-Separated Use (508.3)
 The required type of construction for the building shall be determined by applying the height and area limitations for each of the applicable occupancies to the entire building. The most restrictive type of construction, so determined, shall apply to the entire building.

Separated Use (508.4) - See below for area calculations
 For each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area for each use shall not exceed 1.

Actual Area of Occupancy A + Actual Area of Occupancy B ≤ 1
 Allowable Area of Occupancy A Allowable Area of Occupancy B

_____ + _____ + = _____ ≤ 1.00

EXTERIOR WALL	ACTUAL LENGTH	OPEN LENGTH	WIDTH OF PUBLIC WAY OR OPEN SPACE
NORTH			
SOUTH			
EAST			
WEST			
TOTAL	P	F	W

INCREASE FRONTAGE _____%
 SPRINKLERS _____%

STORY NO.	DESCRPT. AND USE	(A) BLDG AREA PER STORY (ACTUAL)	(B) 503 TABLE AREA	(C) AREA FOR OPEN SPACE INCREASE ¹	(D) AREA FOR SPRINKLER INCREASE ²	(E) ALLOWABLE AREA OR UNLIMITED ³	(F) MAXIMUM BUILDING AREA ⁴	SEPARATION RATING REQUIRED
1	Business	8,090	19,000		57,000		76,000	
2	Business	7,730	19,000		57,000		76,000	

- Frontage area increases from Section 506.2 are computed thus:
 - Perimeter which fronts a public way or open space having 20 feet minimum width = _____ (F)
 - Total Building Perimeter = _____ (P)
 - Ratio (F/P) = _____ (F/P)
 - W = Minimum width of public way = _____ (W)
 - Percent of frontage increase I₁ = 100 [F/P - 0.25] x W/30 = _____ (%)
- The sprinkler increase per Section 506.3 is as follows:
 - Multi-story building I₁ = 200 percent
 - Single story building I₁ = 300 percent
- Unlimited area applicable under conditions of Sections 507.
- Maximum Building Area = total number of stories in the building x E(506.4)
- The maximum area of open parking garages must comply with 406.3.5. The maximum area of air traffic control towers must comply with 412.1.2.

ALLOWABLE HEIGHT

ALLOWABLE (TABLE 503)	INCREASE FOR SPRINKLERS	SHOWN ON PLANS	CODE REFERENCE
Type of Construction: III-B	Feet = 55'	Feet = H + 20' = 75	Type: III-B
Building Height in Feet	Stories: 3	Stories + 1 = 4	Stories: 2

FIRE PROTECTION REQUIREMENTS

BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	RATING REQ'D	PROVIDED (W/ REDUCTION)*	DETAIL AND SHEET #	DESIGN # FOR RATED ASSEMBLY	DESIGN # FOR RATED PENETRATION	DESIGN # FOR RATED JOINTS
Structural Frame, including columns, girders, trusses		0	0				
Bearing walls							
Exterior							
North		2hr	N/A				
East		2hr	N/A				
West		2hr	N/A				
South		2hr	N/A				
Interior							
Nonbearing Walls and Partitions							
Exterior Walls							
North		0	Exist.				
East		0	Exist.				
West		0	Exist.				
South		0	Exist.				
Interior Walls and Partitions		0	0				
Floor Construction including supporting beams and joists		0	Exist.				
Roof Construction including supporting beams and joists		0	Exist.				
Shafts Enclosure- Exit		N/A	Exist. 1hr				
Shafts Enclosure- Other		N/A	N/A				
Corridor Separation		N/A	Exist. 1hr				
Occupancy Separation		N/A	N/A				
Party/Fire Wall Separation		N/A	N/A				
Smoke Barrier Separation		N/A	N/A				
Tenant Separation		1hr	Exist. 1hr				
Incidental Use Separation		N/A	N/A				

* Indicate section number permitting reduction

PERCENTAGE OF WALL OPENING CALCULATIONS
 Allowable openings per Table 705.8

WALL LEGENDS
 CHECK IF THE FOLLOWING ARE PRESENT AND INDICATE BY A WALL LEGEND ON ALL PLANS

Fire Partitions 709 Fire Walls 706 Fire Barriers 707 Smoke Partitions 711
 Smoke Barriers 710 Shaft Enclosure 708

LIFE SAFETY SYSTEM:

Emergency Lighting: No Yes
 Exit Signs: No Yes
 Fire Alarm: No Yes
 Smoke Detection System: No Yes
 Panic Hardware: No Yes

EXIT REQUIREMENTS: NUMBER AND ARRANGEMENT OF EXITS

FLOOR, ROOM, OR SPACE DESIGNATION	MINIMUM NO. OF EXITS		TRAVEL DISTANCE		ARRANGEMENT OF MEANS OF EGRESS ^{1,3} (SECTION 1015.2)	
	REQUIRED	SHOWN ON PLAN	ALLOWABLE DISTANCE (TABLE 1015.1)	ACTUAL DISTANCE SHOWN ON PLANS	REQUIRED DISTANCE BETWEEN EXIT DOORS	ACTUAL DISTANCE SHOWN ON PLANS
Office Space 1A - Business	2	2	300'	106'	N/A	N/A
Office Space 1B - Business	2	2	300'	102'	N/A	N/A
Office Space 1C - Business	2	2	300'	123'	N/A	N/A
2nd Floor Unit - Business	2	2	300'	206'	66'-9"	130'-11"

¹ Corridor dead ends (Section 1017.3)
² Single exits (Table 1019.2), Spaces with one means of egress (Table 1015.1)
³ Common Path of Travel (Section 1014.3)

EXIT WIDTH

USE GROUP OR SPACE DESCRIPTION	AREA ¹ (sf)	AREA PER OCCUPANT (TABLE 1004.1.1)	CALCULATED OCCUPANT LOAD (a/b)	EGRESS WIDTH PER OCCUPANT (TABLE 1005.1)			EXIT WIDTH (in) ^{2,3,4,5,6}		
				STAIR LEVEL	STAIR LEVEL	STAIR LEVEL	STAIR LEVEL	STAIR LEVEL	STAIR LEVEL
1ST FLOOR - BUSINESS									
Office Space 1A	1966	100	20	.3	.2	N/A	4"	N/A	36"
Office Space 1B	1650	100	17	.3	.2	N/A	3.4"	N/A	36"
Office Space 1C	2949	100	30	.3	.2	9"	6"	94"	72"
2ND FLOOR - BUSINESS									
2nd Floor Unit	7354	100	74	.3	.2	22.2"	14.8"	86"	72"

¹ See Table 1004.1.2 to determine whether net or gross area is applicable. See definition "Area, Gross" and "Area, Net" (Section 1002)
² Minimum stairway width (Section 1009.1); min. corridor width (Section 1017.2); min. door width (Section 1018.1)
³ Minimum width of exit passageway (Section 1012.2)
⁴ See Section 1004.5 for converging exits
⁵ The loss of one means of egress shall not reduce the available capacity to less than 50 percent of the total required (Section 1005.1)
⁶ Assembly occupancies (Section 1025)

ASSEMBLY OCCUPANCY INFORMATION

SPACE DESCRIPTION	AREA (sf)	OCCUPANT LOAD FACTOR	OCCUPANT LOAD	EXIT WIDTH	EXIT QUANTITY
1ST FLOOR - BUSINESS					
OFFICE SPACE 1A	1966	100 GROSS	20	36"	180
OFFICE SPACE 1B	1650	100 GROSS	17	36"	180
OFFICE SPACE 1C	2949	100 GROSS	30	72"	360
2ND FLOOR - BUSINESS					
OFFICE SPACE 2ND FLOOR	7354	100 GROSS	74	144"	720

ACCESSIBLE PARKING

LOT OR PARKING AREA	TOTAL # OF PARKING SPACES REQUIRED	PROVIDED	# OF ACCESSIBLE SPACES PROVIDED			TOTAL # ACCESSIBLE PROVIDED
			REGULAR WITH 5' ACCESS AISLE	VAN SPACES WITH 132" ACCESS AISLE	8' ACCESS AISLE	
EXISTING						

PLUMBING FIXTURE REQUIREMENTS

USE	WATERCLOSETS			LAVATORIES			DRINKING FOUNTAINS	
	MALE	FEMALE	UNISEX	MALE	FEMALE	UNISEX	REGULAR	ACCESSIBLE
OFFICE SPACE 1A								
EXISTING			1			1	1	1
NEW								
REQUIRED			1			1	0	0
OFFICE SPACE 1C								
EXISTING	1	1		1	1			
NEW								
REQUIRED	1	1		1	1		0	0
OFFICE SPACE 2ND FLR								
EXISTING	2	3	1	3	3		1	1
NEW								
REQUIRED	2	2		1	1		1	1

SPECIAL APPROVALS
 SPECIAL APPROVAL: (Local Jurisdiction, Dept. of Insurance, OSC, DPI, DHC, ICC, etc., describe below)

STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL INFORMATION, IF REQUIRED, IS ON RESPECTIVE DRAWINGS

2012 NC ENERGY CONSERVATION CODE

BUILDING SUMMARY:
 501.1 METHOD OF COMPLIANCE
 NC Specific COMcheck Provided 2012 NCECC Chapter 5 20% Improvement Over ASHRAE 90.1-2007
 501.2 APPLICATION COMPLIANCE
 506.2.1 Efficient Mech Equipment 506.2.2 Reduced LTG Density 506.2.3 Energy Recovery Systems
 506.2.4 HI Efficiency Domestic HW 506.2.5 Onsite Renewable Energy 506.2.6 Daylighting Controls

CLIMATE ZONE
 301.1 CLIMATE ZONE
 3A Cumberland County, North Carolina

DESIGN CONDITIONS
 Exterior (ASHRAE 90.1-2007 Table D-1) Interior (2012 NCECC Section 302.1)
 winter dry bulb: 18° F winter dry bulb: 72° F
 summer dry bulb: 91° F summer dry bulb: 75° F
 summer wet bulb: 74° F

BUILDING ENVELOPE
 502.1 BUILDING TYPE FOR ENVELOPE REQUIREMENTS
 Vertical Glazing/ Wall Area %:
 Skylight Glazing/ Wall Area %:
 ACTIVITY TYPE(S) _____ FLOOR AREA _____

502.2 OPAQUE INSULATION REQUIREMENTS

COMPONENT NAME	GROSS AREA OR PERIMETER	CAVITY R-VALUE	CONT. R-VALUE	PROPOSED U-FACTOR
Roof		EXIST.		
Floor #1		EXIST.		
Floor #2		EXIST.		
Exterior Wall #1		EXIST.		
Window(s) #1		EXIST.		
Storefront Window		N/A		
Door(s) Wall #1		EXIST.		
Exterior Wall #2		N/A		
Window(s) #2		N/A		
Door(s) Wall #2		N/A		
Exterior Wall #3		N/A		
Slab (Unheated)		EXIST.		
Slab (Heated)		N/A		
Walk(s) Below Grade		N/A		

- GENERAL NOTES**
- DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS ONLY. SUBMIT TO ARCHITECT ANY DISCREPANCIES FOR CLARIFICATION.
 - ALL WORK SHALL BE IN COMPLIANCE WITH THE NORTH CAROLINA BUILDING CODES, RECOGNIZED INDUSTRY STANDARDS, ALL MANUFACTURER'S RECOMMENDATIONS AND ALL OTHER APPLICABLE CODES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR BUILDING THIS PROJECT IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS UNLESS HE RECEIVES A WRITTEN NOTIFICATION FROM THE OWNER OR ARCHITECT TO THE CONTRARY.
 - THE LOCATION OF THE EXISTING UTILITIES AND STRUCTURES SHOWN HEREON ARE APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION OF SUCH WHETHER SHOWN HEREON OR NOT, PRIOR TO ANY EXCAVATION. ANY DAMAGES SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
 - THESE DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF SERVICE, ARE AND SHALL REMAIN THE PROPERTY OF GOODRICH ARCHITECTURE, P.A.. THE OWNER SHALL BE PERMITTED TO OBTAIN COPIES OF DRAWINGS AND SPECIFICATIONS FOR INFORMATION AND REFERENCE IN CONSTRUCTION WITH OWNER'S USE ON THIS PROJECT. THESE DRAWINGS AND SPECIFICATIONS SHALL NOT BE USED BY ANYONE ON ANY OTHER PROJECT WITHOUT WRITTEN AGREEMENT FROM GOODRICH ARCHITECTURE PLUS APPROPRIATE COMPENSATION.
 - THIS IS A LIMITED SET OF CONSTRUCTION DOCUMENTS. THE INFORMATION HEREIN ARE FOR GENERAL INTERIOR LAYOUT AND BASIC EXTERIOR AESTHETICS. IT IS THE CONTRACTORS RESPONSIBILITY AND LIABILITY TO PROVIDE A STRUCTURALLY SOUND STRUCTURE, AND FLASHED PROPERLY FOR A WATER DETERRENCE.
 - CONTRACTOR MUST FOLLOW AND MEET NC ENERGY CONSERVATION CODE REQUIREMENTS.
 - STRUCTURAL, ELECTRICAL, MECHANICAL AND PLUMBING ARE THE RESPONSIBILITY OF THE CONTRACTOR.

FIRE SPRINKLER STATEMENT

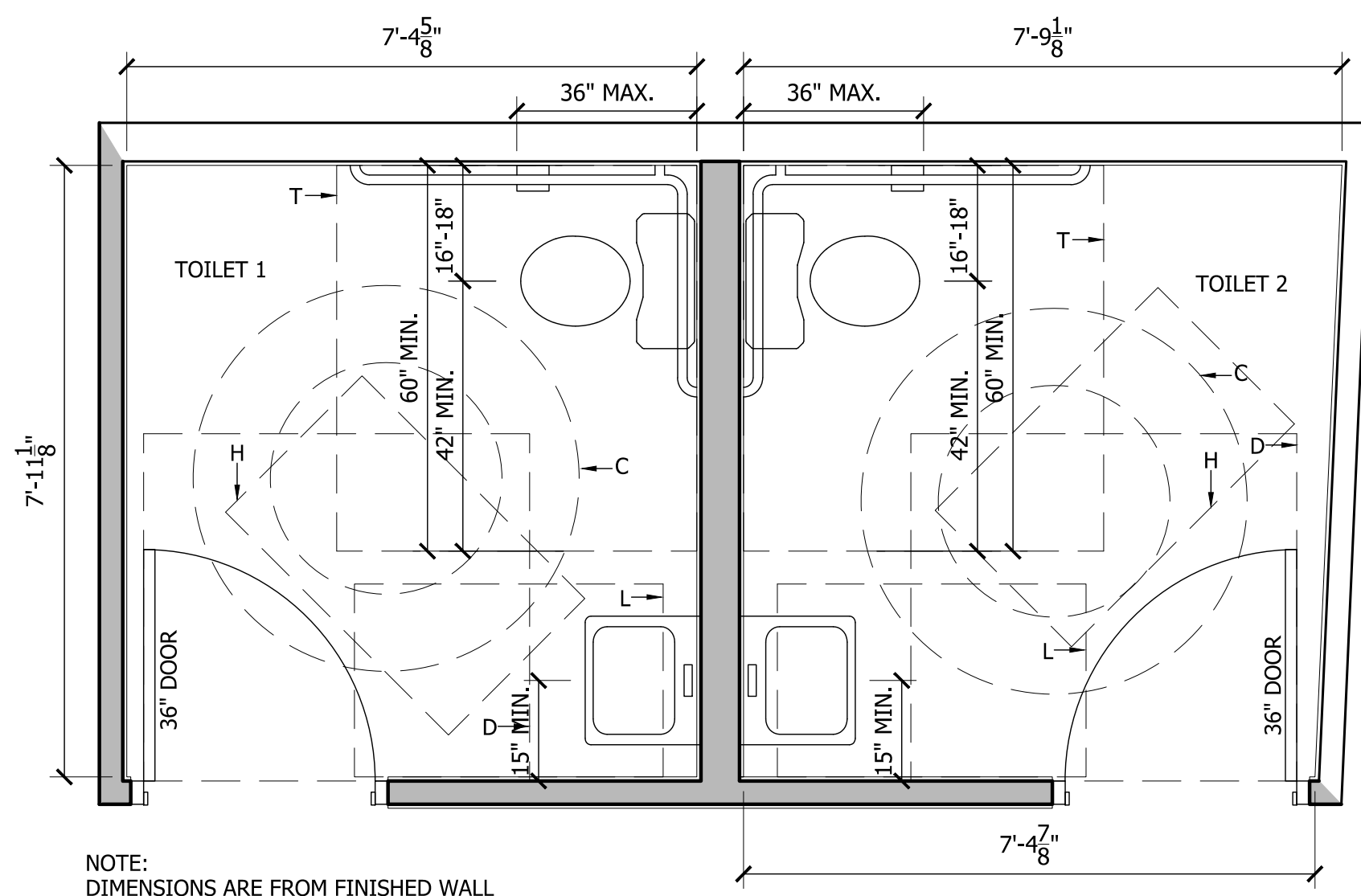
SHOP DRAWINGS MUST BE SUBMITTED BY THE SPRINKLER CONTRACTOR COMPLYING WITH CHAPTER 9 OF THE NORTH CAROLINA STATE BUILDING CODE AND THE INTERNATIONAL FIRE CODE BEFORE PERMITTING BY THE WILMINGTON FIRE DEPT. THESE DRAWINGS DO NOT CONSTITUTE APPROVAL AND MAY CHANGE AFTER A FULL REVIEW BY THE WILMINGTON FIRE DEPT. A SEPARATE PERMIT MUST BE OBTAINED PRIOR TO INSTALLATION. ALL REQUIRED TESTING MUST BE COMPLETED PER SECTION 901.5

CITY OF FAYETTEVILLE 2012 BUILDING CODE SUMMARY

Name of Project: 208 Hay Street Office Space Upfit
 Address: 208 Hay Street Zip Code: 28301
 Proposed Use: Office Space
 Owner/Authorized Agent: CCSI - Buddy Green Phone: 910.256.4452 Email: buddy@ccsiofnc.com
 Owned by: City/County Private State
 Code Enforcement Jurisdiction: City Fayetteville County _____ State _____

LEAD DESIGN PROFESSIONAL: H. Blair Goodrich

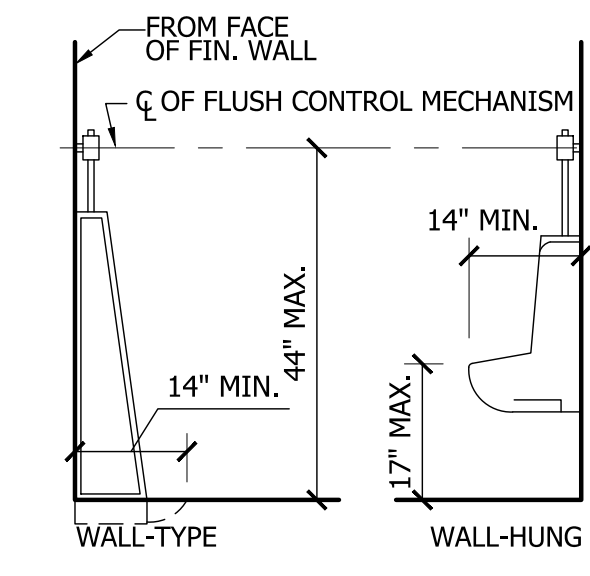
DESIGNER	FIRM	NAME	LIC. #	TELE. #	EMAIL
Architectural	Goodrich Architecture PA	H. Blair Goodrich	NC 7434	910.343.1065	ga@goodricharchitecture.com
Civil					
Structural					
Plumbing					
Mechanical	McDowell Consul. Eng.	Steve H. Everhart Jr.	NC 23933	910.270.3747	mcowelleng@bellsouth.net
Electrical	McDowell Consul. Eng.	Steve H. Everhart Jr.	NC 23933	910.270.3747	mcowelleng@bellsouth.net
Fire Alarm	McDowell Consul. Eng.	Gregory L. McDowell	NC 018518	910.270.3747	mcowelleng@bellsouth.net
Sprinkler-Standpipe					
Precast					
Trusses					
Retaining Walls (>5' High)					
Other					



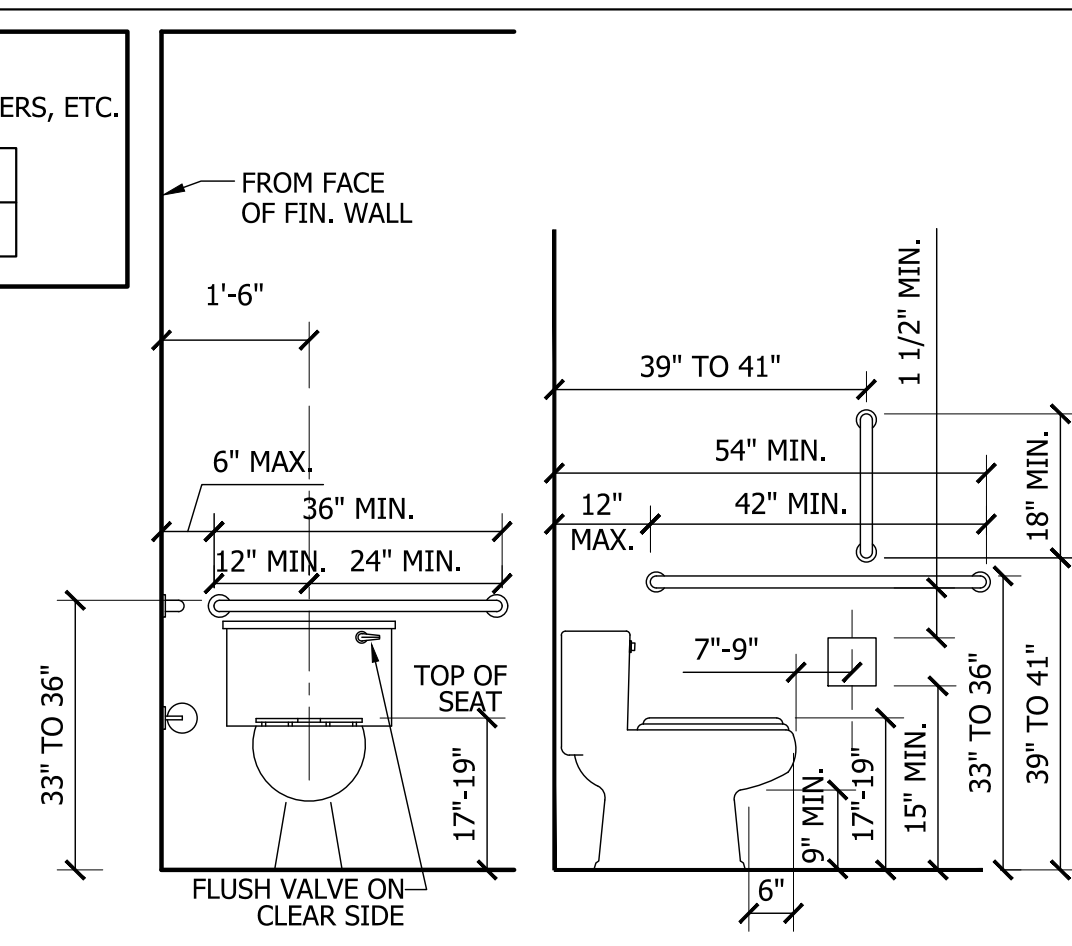
NOTE:
DIMENSIONS ARE FROM FINISHED WALL
L = 48" x 30" LAVATORY CLEARANCE
H = 48" x 30" H.C. CHAIR CLEARANCE
T = 56" x 60" TOILET CLEARANCE
C = 60" DIAMETER TURN AROUND CIRCLE
D = 60" x 54" DOOR CLEARANCE

ACCESSORIES
PAPER TOWELS, HAND DRYERS, WASTE BASKETS, SOAP DISPENSERS, ETC.

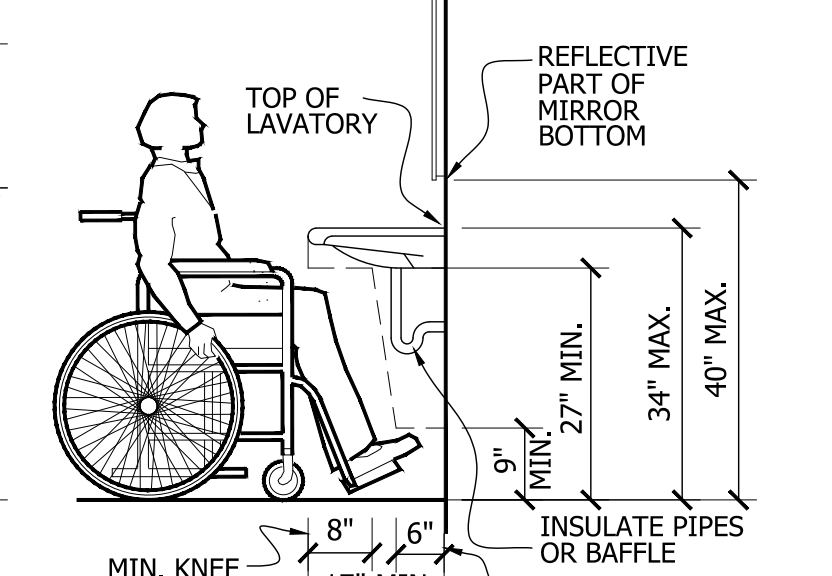
MAX. REACH DEPTH	1/2"	2"	5"	6"	9"	11"
MAX. REACH HEIGHT	48"	46"	42"	40"	36"	34"



URINAL ELEVATIONS



TOILET ELEVATIONS

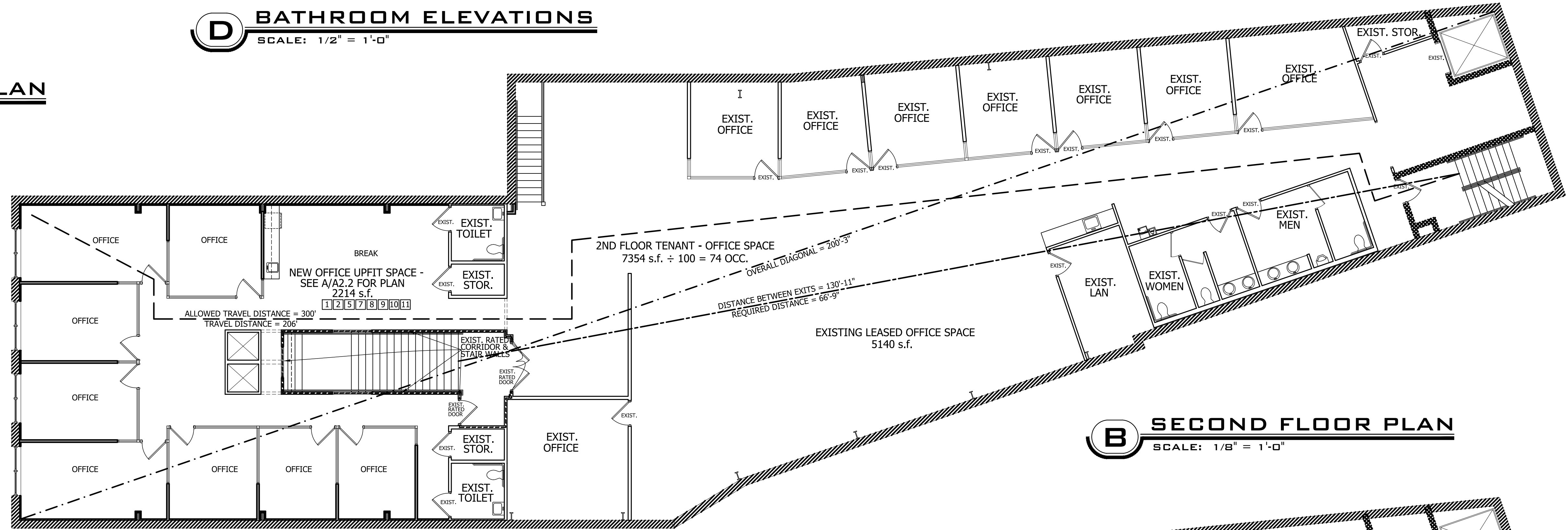


LAVATORY SIDE VIEW

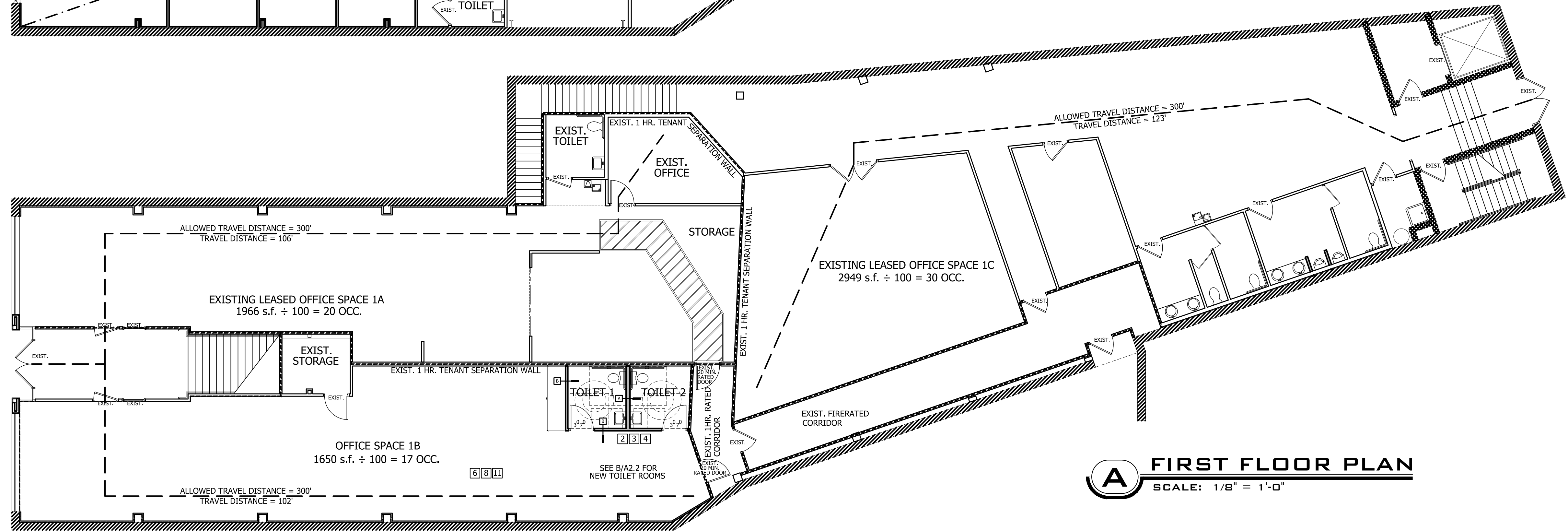
- 1 PROVIDE 1/4" PLYWD. SUBFLOOR OVER EXISTING ROUGH FLOOR. REPAIR ORIGINAL SUBFLOOR WHERE REQUIRED. LEVEL AS NEEDED. OPTION TO USE GYPCRETE OVER EXIST. SUBFL. TO PROVIDE LEVEL SURFACE.
- 2 PROVIDE NEW PARTITIONS PER SECTIONS. TAPE MUD AND SAND. IN NEW OFFICE UPFIT SPACE ON 2ND FLOOR.
- 3 PROVIDE TOILET FIXTURES PER ADA STANDARDS.
- 4 PROVIDE ACOUSTICAL LAY-IN CEILING @ 8'-0" A.F.F. IN NEW TOILET ROOMS.
- 5 PROVIDE ACOUSTICAL LAY-IN CEILING TO MATCH EXISTING @ 11'-6" A.F.F. IN NEW OFFICE UPFIT SPACE ON 2ND FLOOR.
- 6 PAINT EXPOSED CEILING BLACK AFTER ALL CONVEYING SYSTEMS ARE INSTALLED.
- 7 SHEETROCK SIDE WALLS TO A HEIGHT OF 12' ON ALL SECOND FLOOR SPACE.
- 8 CLEAN LOOSE MASONRY OFF EXISTING BRICK WALLS
- 9 BUTT-GLASS PARTITIONS AND SHEETROCK PARTITIONS FOR THE SECOND FLOOR
- 10 GLASS AND ALUMINUM DOORS FOR SECOND FLOOR OFFICES
- 11 NEW CARPET FLOOR COVERING OR EQUAL FOR BOTH FLOORS

D BATHROOM ELEVATIONS
SCALE: 1/2" = 1'-0"

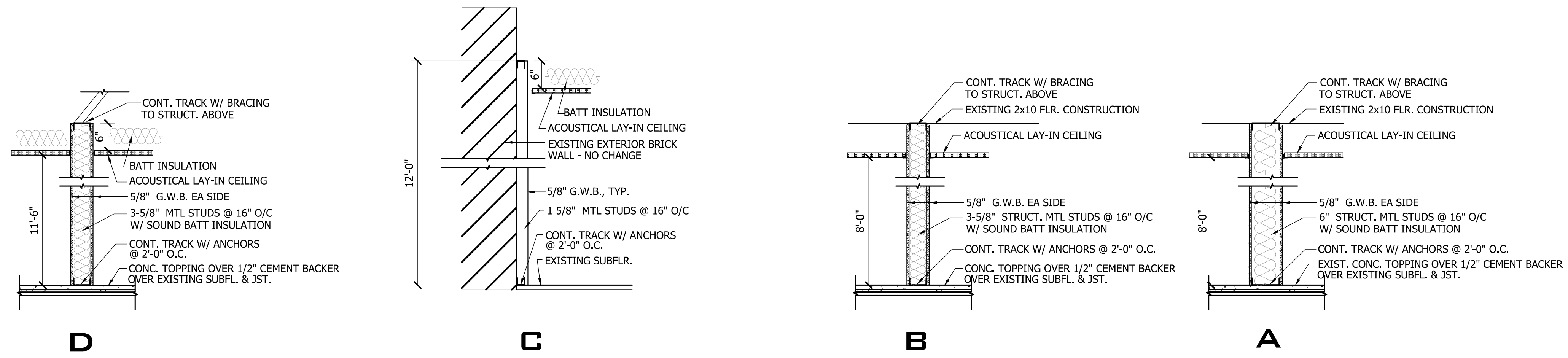
C ENLARGED BATHROOM PLAN
SCALE: 1/2" = 1'-0"



B SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



A FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

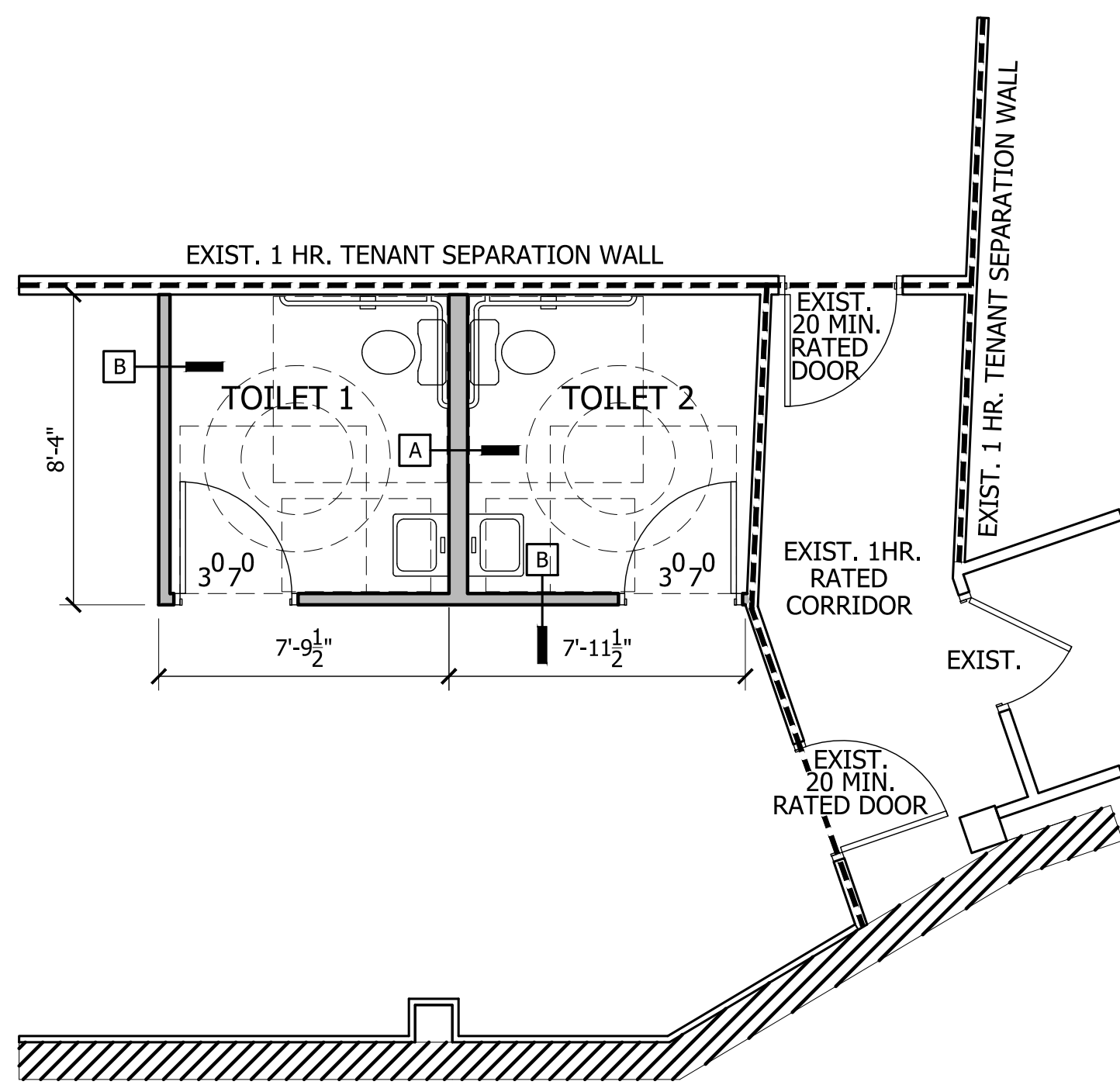


*ALL INTERIOR WALLS U.N.O.

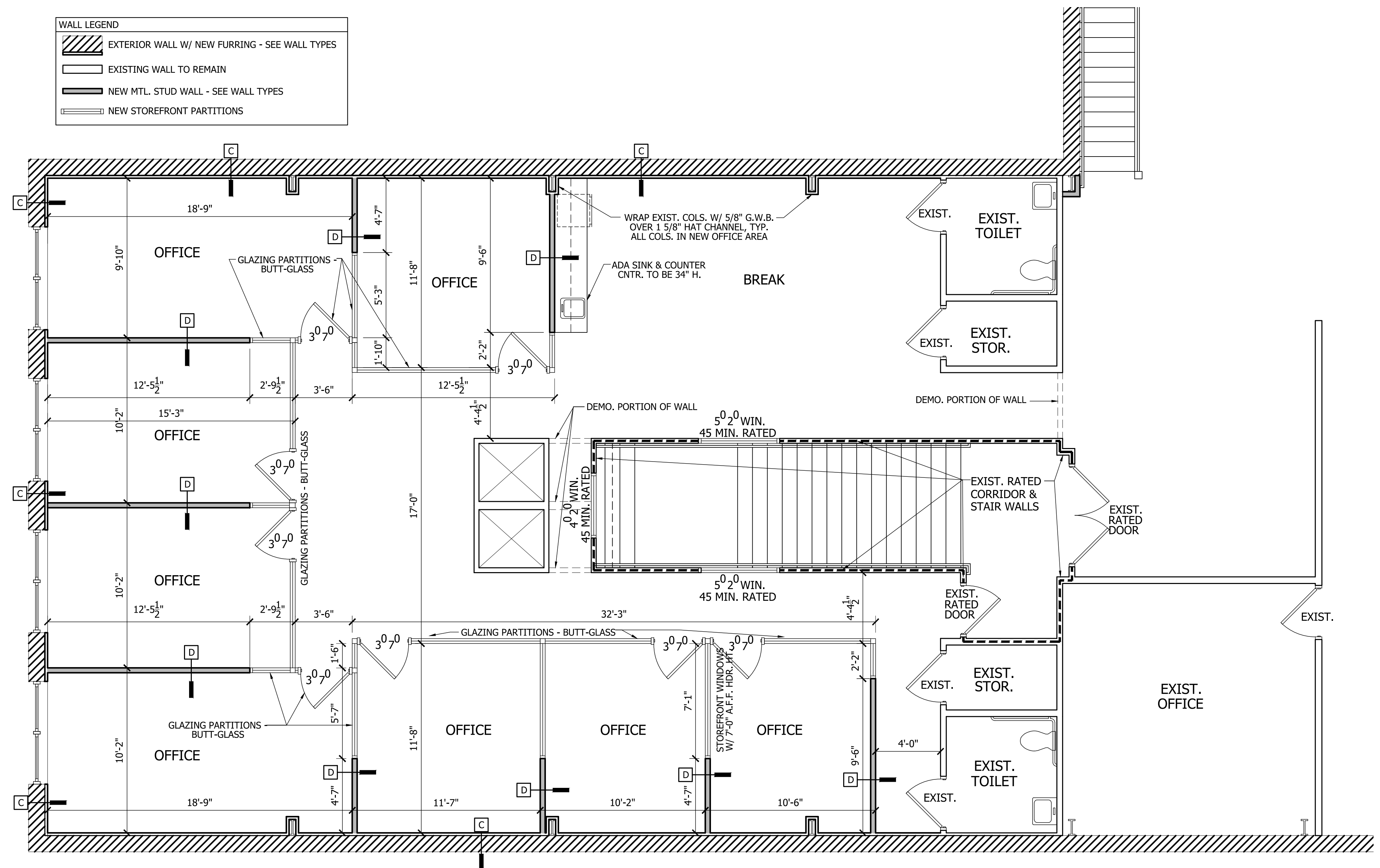
TYP. ALL EXTERIOR WALLS IN NEW OFFICE UPFIT SPACE

1 WALL TYPES
SCALE: 3/4" = 1'-0"

WALL LEGEND	
	EXTERIOR WALL W/ NEW FURRING - SEE WALL TYPES
	EXISTING WALL TO REMAIN
	NEW MTL. STUD WALL - SEE WALL TYPES
	NEW STOREFRONT PARTITIONS



B FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



A 2ND FLOOR UPFIT PLAN
SCALE: 1/4" = 1'-0"

