

UTILITY COMPANIES & LOCAL DEPARTMENTS -

DIG-SAFE
PHONE 1-888-344-7233

GAS - PRIVATE
COLUMBIA GAS OF MASSACHUSETTS
EMERGENCY NUMBER 1-800-525-8222
2025 ROOSEVELT AVENUE
SPRINGFIELD, MA 01101
PHONE (413) 781-9200

ELECTRIC - PUBLIC
CHICOPEE ELECTRIC LIGHT DEPARTMENT
725 FRONT STREET
CHICOPEE, MA 01020
PHONE (413) 598-8311

TELEPHONE - PRIVATE
VERIZON
85 CHESTNUT STREET
SPRINGFIELD, MA
PHONE (413) 787-1841 OR
PHONE (413) 787-0320

CABLE TV - PRIVATE
CHARTER COMMUNICATIONS
516 MONTGOMERY STREET
CHICOPEE, MA 01020
PHONE 1-888-557-1115

WATER - PUBLIC
CITY OF CHICOPEE
WATER DEPARTMENT
27 TREMONT STREET
CHICOPEE, MA
PHONE (413) 594-3420

SEWER - PUBLIC
CITY OF CHICOPEE
WASTE WATER TREATMENT PLANT
80 MEDINA STREET
CHICOPEE, MA 01013
PHONE (413) 594-3585

DEPARTMENT OF PUBLIC WORKS - PUBLIC
CITY OF CHICOPEE
115 BASKIN DRIVE
CHICOPEE, MA 01020
PHONE (413) 594-3566

CITY OF CHICOPEE
ENGINEERING DEPARTMENT - PUBLIC
115 BASKIN DRIVE
CHICOPEE, MA 01020
PHONE (413) 594-3416

CITY OF CHICOPEE
PLANNING BOARD - PUBLIC
MARKET SQUARE
CHICOPEE, MA 01013
PHONE (413) 594-1515

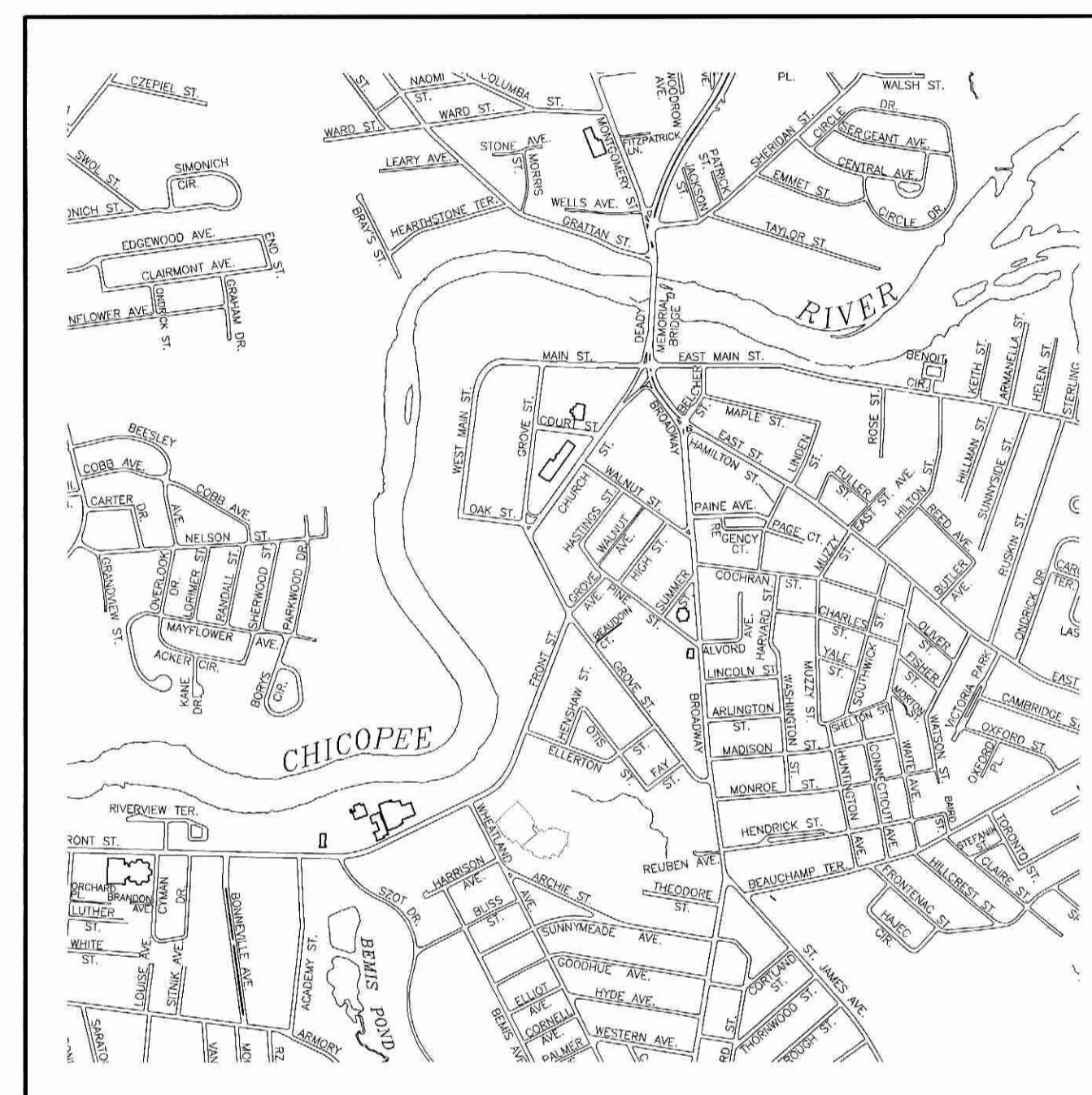
CITY OF CHICOPEE
CONSERVATION COMMISSION - PUBLIC
MARKET SQUARE
CHICOPEE, MA 01013
PHONE (413) 594-1515

MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL
PROTECTION - PUBLIC
436 DWIGHT STREET
SPRINGFIELD, MA 01103
PHONE (413) 784-1100

CHICOPEE POLICE - PUBLIC
110 CHURCH STREET
CHICOPEE, MA 01020
PHONE (413) 592-6341 (NON-EMERGENCY)
PHONE 911 EMERGENCY ONLY

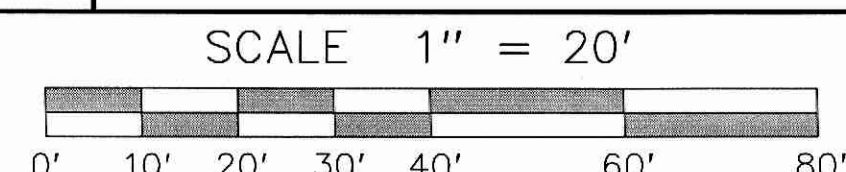
CHICOPEE FIRE - PUBLIC
80 CHURCH STREET
CHICOPEE, MA 01020
PHONE (413) 594-1600 (NON-EMERGENCY)
PHONE 911 EMERGENCY ONLY

MUTT CUTS, LLC
No. _____ GROVE STREET
CHICOPEE, MASSACHUSETTS



LOCUS MAP
SOURCE - CITY OF CHICOPEE

DATE	NOTES / REVISIONS	ZONING DIMENSIONAL REQUIREMENTS										
		ZONE	FRONTAGE	AREA (S.F.)	SETBACK			DENSITY RECOVER	HEIGHT	MAX STORIES	CITY BY-LAWS	
NOTE	CONTACT DIG-SAFE PRIOR TO ANY EXCAVATIONS 1-888-344-7233	BUS. A	N.R.	N.R.	25'	15'	25'	60%	40'	----	SECTION 275-58	
NOTE	SUBJECT TO EASEMENTS, RESTRICTIONS AND R.O.W.'S OF RECORD, IF ANY AND APPLICABLE.	EXISTING	85'	15,303	11'	0'	ACANT	LOD6-	0%	ACANT	LOF----	PARCEL C - GROVE ST.
		PROP.	85'	15,303	66'	17'	41'	56%	<40'	1	No. ___ GROVE ST.	
NOTE - ALL ZONING DIMENSIONAL REQUIREMENTS SHOWN ON THIS PLAN SHALL BE VERIFIED & APPROVED BY THE LOCAL BUILDING DEPT. OR BY THE LOCAL ZONING ENFORCEMENT OFFICE. N.R. = NO REQUIREMENT TOTAL IMPERVIOUS PROPOSED = 8,268 S.F.												



OWNER OF RECORD - OAK RIVER DEVELOPMENT DEED 19937, PAGE 133. PLAN 337, PAGE 39. PARCEL ID: 0147-00005. 169 GROVE STREET CHICOPEE, MA 01020

APPLICANT - MUTT CUTS, LLC 63 1/2 MAIN STREET P.O. BOX 10 LORI A. JERUSIK PHONE (413) 594-8144

STORMWATER DESIGN BY - GARY P. WEINER, P.E. 53 MILL POND ROAD HAMPDEN, MA 01036 PHONE (413) 374-4467

CONTRACTOR - TO BE DETERMINED.

INDEX - SHEET 1 = COVER SHEET 2 = NOTES SHEET 3 = EXISTING SHEET 4 = PROPOSED

INDEX CONTINUED - SHEET 5 = DETAILS

PROPOSED SITE PLAN - GROVE STREET

INDEXED

PLAN OF LAND IN THE CITY OF CHICOPEE, MASSACHUSETTS
HAMPDEN COUNTY - PREPARED FOR
MUTT CUTS, LLC

DURKEE, WHITE, TOWNE AND CHAPDELAIN
CIVIL ENGINEERS AND LAND SURVEYORS
356 FRONT STREET
CHICOPEE, MASSACHUSETTS - 01013
PHONE (413) 592-5164

DRAWN BY EJC
CHECKED BY _____
APPROVED BY EJC
SCANNED _____

DATE: 10/08/2016
PLOT 10/08/2016
SCALE 1" = 20'

DRAWING No. 82-4364
S.2016-115.1

- NOTES -

GENERAL

- Contractor* shall notify "DIG-SAFE" (1-888-344-7233) at least 72 hours before excavating.
- Contractor shall be responsible for site security and job safety. Construction activities shall be in accordance with OSHA standards and local requirements.
- Accessible routes, parking spaces, ramps, sidewalks and walkways shall be constructed in conformance with the Federal Americans With Disabilities Act and with State and local laws and regulations (whichever are more stringent).
- Areas disturbed during construction and not restored with impervious surfaces (building, pavements, walks, etc.) shall receive 6" inches of loam and seed.
- Within the limits of the building footprint, the Site Contractor shall perform earthwork operations required up to subgrade elevations.
- Work within the local Rights-of-Way shall conform to local municipal standards. Work within State Rights-of-Way shall conform to the latest edition of the State Highway Departments standard specifications for highways and bridges.
- Upon award of contract, contractor shall make necessary construction notifications and apply for and obtain necessary permits, pay fees, and post bonds associated with the work indicated on the drawings, in the specifications, and in the contract documents. Do not close or obstruct roadways, sidewalks, and fire hydrants, without appropriate permits.
- Traffic signage and pavement markings shall conform to the manual of uniform traffic control devices.
- Areas outside the limits of proposed work disturbed by the contractors operations shall be restored by the contractor to their original condition at the contractors expense.
- In the event that suspected contaminated soil, groundwater, and other media are encountered during excavation and construction activities based on visual, olfactory, or other evidence, the contractor shall stop work in the vicinity of the suspect material to avoid further spreading of the material, and shall notify the owner immediately so that the appropriate testing and subsequent action can be taken.
- Contractor shall prevent dust, sediment, and debris from exiting the site and shall be responsible for cleanup, repairs and corrective action if such occurs.
- Damage resulting from construction loads shall be repaired by the contractor at no additional cost to owner.
- Contractor shall control stormwater runoff during construction to prevent adverse impacts to off site areas, and shall be responsible to repair resulting damages, if any, at no cost to owner.
- This project disturbs more than one acre of land and falls within the NPDES Construction General Permit (CGP) program and EPA Jurisdiction. Prior to the start of construction contractor is to file a CGP notice of intent with the EPA and prepare a stormwater pollution prevention plan in accordance with the NPDES Regulations. Contractor shall confirm the owner has also filed a notice of intent with the EPA.

DUST, MUD AND EROSION CONTROL

- Prior to starting any other work on the site, the contractor* shall notify appropriate agencies and shall install erosion control measures as identified in Federal, State, and local approval documents pertaining to this project.
- Contractor shall inspect and maintain dust / erosion control measures, & remove sediment therefrom on a weekly basis and within twelve hours after each storm event and dispose of sediments in an upland area such that they do not encumber other drainage structures and protected areas.
- Contractor shall be fully responsible to control construction dust that sedimentation & dust shall not affect regulatory protected areas, whether such dust and sedimentation is caused by water, wind, or direct deposit.
- Contractor shall perform construction sequencing such that earth materials are exposed for a minimum of time before they are covered, seeded, or otherwise stabilized to prevent dust and erosion. Water, Calcium Chloride or Dust Control Polymers shall be used for dust prevention and control.
- Upon completion of construction and establishment of permanent ground cover, contractor shall remove and dispose of erosion control measures and clean sediment and debris from entire drainage and sewer systems.

* NOTE - Contractor is defined as owner, developer, general site contractor, and or its assigns & heirs.

- NOTES -

UTILITIES

- The locations, sizes, and types of existing utilities are shown as an approximate representation only. The owner or its representative(s) have not independently verified this information as shown on the plans. The utility information shown does not guarantee the actual existence, serviceability, or other data concerning the utilities, nor does it guarantee against the possibility that additional utilities may be present that are not shown on the plans. Prior to ordering materials and beginning construction, the contractor shall verify and determine the exact locations, sizes, and elevations of the points of connection to existing utilities and, shall confirm that there are no interferences with existing utilities and the proposed utility routes, including routes within the Public Rights of Way.
- Where an existing utility is found to conflict with the proposed work, or existing conditions differ from those shown such that the work cannot be completed as intended, the location, elevation, and size of the utility shall be accurately determined without delay by the contractor, and the information furnished in writing to the owners representative for the resolution of the conflict and contractors failure to notify prior to performing additional work releases owner from obligations for additional payments which otherwise may be warranted to resolve the conflict.
- Set catch basin rims, and inverts of sewers, drains, and ditches in accordance with elevations on the grading and utility plans.

CONSTRUCTION NOTES

- Contractor responsible for occupancy permits from Engineering, Department of Public Works, City of Chicopee, Commonwealth of Massachusetts, etc..
- Contractor to notify the field inspector prior to construction.
- Approved plan to be on site at all times.
- Changes to this plan may occur as unforeseen conditions arise. All changes to be approved by field inspector.
- Calcium Chloride and/or water for dust control to be available at all times.
- All materials and methods to conform with City of Chicopee D. P. W. standards.
- Contractor shall ensure the maintenance of safety and traffic on the public and private ways affected by the construction of this project.
- Contractor shall protect all slopes, vegetation, paving, walks and improvements outside the areas to be affected by the construction of this project.
- "As-Built" plans to be submitted to the City of Chicopee Engineering Department upon completion of this project.
- Chicopee Site Plan Approval is not to be construed as an all-inclusive approval as other approvals may be necessary, i.e. City Engineer, Conservation, Fire Dept., Water Dept. etc.

CONDITIONS OF APPROVAL

- To be determined if any.

LEGEND / SYMBOLS - TYPICALS BY DWTC

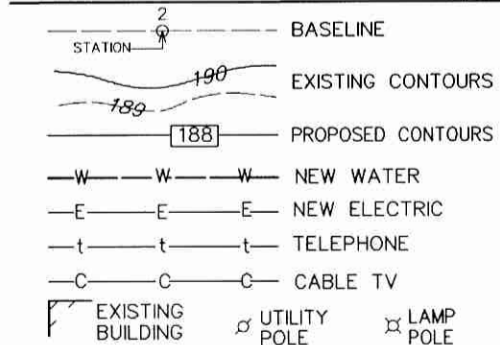
LEGEND -

A.C.	=	AIR CONDITIONER
ADS	=	ADVANCE DRAINAGE SYSTEM
BIT.	=	BITUMINOUS
C.O.	=	CLEAN OUT
CB	=	CATCH BASIN
CONC.	=	CONCRETE
D.I.	=	DUCTILE IRON
D.M.H.	=	DRAIN MANHOLE
E	=	ELECTRIC
E.M.H.	=	ELECTRIC MANHOLE
ELEC.	=	ELECTRIC
G.F.	=	GARAGE FLOOR
G.G.	=	GAS GATE
HH	=	HAND HOLE
HYD.	=	HYDRANT
INV.	=	INVERT
L	=	LENGTH
LAT	=	LATERAL
MAX.	=	MAXIMUM
No.	=	NUMBER
NP	=	NO PARKING
PROP.	=	PROPOSED

LEGEND (Cont.) -

R.C.P.	=	REINFORCED CONCRETE PIPE
R.O.W.	=	RIGHT OF WAY
RES.	=	RESIDENCE
S.	=	SLOPE
S.F.	=	SQUARE FEET
S.M.H.	=	SANITARY MANHOLE
T.STA.	=	TRAVERSE STATION
TRANS.	=	TRANSFORMER
U.T.	=	UTILITY
V.C.	=	VITRIFIED CLAY
W	=	WATER
W.G.	=	WATER GATE
W.S.O.	=	WATER SHUT OFF
W/	=	WITH

KEY / SYMBOLS



OPERATION AND MAINTENANCE PLAN -

- BMP (S) OWNERS (S)
 - Current owners of the "Best Management Practices"(BMP) will be MUTT CUTS, LLC
 - Future owner of the BMP will be any owner(s) in fee of Parcel C / Plan 337, Page 39 / Hampden County / Chicopee, Massachusetts or any portion of.
- THE PARTIES RESPONSIBLE FOR OPERATION AND MAINTENANCE -
 - MUTT CUTS, LLC, its assigns or any future owner(s) in fee.
- SCHEDULE FOR INSPECTION AND MAINTENANCE -
 - On or about April 1st all pavement shall be swept clean of all sand, salt, and debris.
 - On or about April 1st all catch basin surps shall be cleaned of all sand, salt, and debris.
 - At minimum, the pavement shall be swept and the basins shall be cleaned once a year.
- THE ROUTINE AND NON-ROUTINE MAINTENANCE TASKS -

PAVEMENT SWEEPING -

 - Any objectionable material deposited upon the pavement surface during and after construction of the building shall be cleaned, swept or removed in a timely manner.
 - Objectionable material shall be, but not limited to, soil, lumber, roofing material, paints.
 - Pavement sweepings shall be disposed of properly.

CATCH BASINS & DRYWELLS -

 - On or about April 1st all catch basin surps shall be cleaned of all sand, salts and debris.
 - All catch basin outlet pipes will be constructed with hoods.
 - On or about April 1st all drywell(s) shall be cleaned of all sand, salts and debris.
 - Material removed from the basin(s) and manhole(s) shall be disposed of properly.
 - At the time of cleaning, catch basin(s) & storm manholes will be visually inspected for any defects in the grate, cover, frame, joints, hoods, cracks in the main structure, outlet pipe obstructions, etc. Any defects and obstructions shall be noted & written notice shall be provided to the party responsible for repair(s), MUTT CUTS, LLC, its assigns, or any future owner in fee.
- OPERATION, MAINTENANCE & INSPECTION AGREEMENT -
 - Prior to issuance of any building permit for which stormwater management is required, the Planning Board shall require the applicant or owner to execute an operation, maintenance and inspection agreement binding on all subsequent owners of land served by the private stormwater management facility. The agreement shall be designed to ensure that water quality standards are met in all seasons and throughout the life of the system. Such agreement shall provide for access to the facility at reasonable times for regular inspections by the City or its authorized representative and for regular or special assessments of property owners to ensure that the facility is maintained in proper working condition to meet design standards and any provision established. The agreement shall include:
 - The name(s) of the owner(s) for all components of the system.
 - Maintenance agreements that specify:
 - The names and addresses of the person(s) responsible for operation & maintenance.
 - The person(s) responsible for financing maintenance and emergency repairs.
 - A maintenance schedule for all drainage structures, including swales and ponds.
 - A list of easements, if any, with the purpose and location of each.
 - The signature(s) of the owner(s).
 - Stormwater management easements as necessary for:
 - Access for facility inspections and maintenance.
 - Preservation of stormwater runoff conveyance, infiltration, and detention areas and facilities, including flood routes for the 100-year storm event.
 - Direct maintenance access by heavy equipment to structures requiring regular cleanout.
 - Stormwater management easement requirements:
 - The purpose of each easement shall be specified in the maintenance agreement signed by the property owner.
 - Stormwater management easements are required for all areas used for off-site stormwater control, unless a waiver is granted by the City.
 - Easements shall be recorded with the Registry of Deeds prior to issuance of a Certificate of Completion.
 - Changes to Operation and Maintenance Plans:
 - The owner(s) of the stormwater management system must notify the Planning Board of changes in ownership or assignment of financial responsibility.
 - The maintenance schedule in the Maintenance Agreement may be amended to achieve the purposes of this bylaw by mutual agreement of the Planning Board and the responsible parties. Amendments must be in writing and signed by all responsible parties. Responsible parties must include owner(s), persons with financial responsibility, and persons with operational responsibility.

SIGNED _____ OWNER / AGENT

DATE _____

DATE	NOTES / REVISIONS
NOTE	CONTACT DIG-SAFE PRIOR TO ANY EXCAVATIONS 1-888-344-7233
NOTE	SUBJECT TO EASEMENTS, RESTRICTIONS AND R.O.W.'S OF RECORD, IF ANY AND APPLICABLE.

SCALE 1" = 20'

ZONING DIMENSIONAL REQUIREMENTS									
ZONE	FRONTAGE	AREA (S.F.)	SETBACK FRONT	SETBACK SIDE	SETBACK REAR	DENSITY %COVER	HEIGHT	MAX STORES	CITY BY-LAWS
BUS. A	N.R.	N.R.	25'	15'	25'	60%	40'	----	SECTION 275-58
EXISTING	85'	15,303	10' VACANT	10' B6'	0% VACANT	0%	40'	1	PARCEL C - GROVE ST.
PROP.	85'	15,303	66'	17'	41'	56%	<40'	1	No. ___ GROVE ST.

NOTE - ALL ZONING DIMENSIONAL REQUIREMENTS SHOWN ON THIS PLAN SHALL BE VERIFIED & APPROVED BY THE LOCAL BUILDING DEPT. OR BY THE LOCAL ZONING ENFORCEMENT OFFICE.
N.R. = NO REQUIREMENT
TOTAL IMPERVIOUS PROPOSED = 8,268 S.F.

OWNER OF RECORD - OAK RIVER DEVELOPMENT DEED 19937, PAGE 133. PLAN 337, PAGE 39. PARCEL ID: 0147-00005. 169 GROVE STREET CHICOPEE, MA 01020

APPLICANT - MUTT CUTS, LLC 63 1/2 MAIN STREET P.O. BOX 10 HAMPDEN, MA 01036 LORI A. JERUSIK PHONE (413) 594-8144

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STORMWATER DESIGN BY - GARY P. WEINER, P.E. 53 MILL POND ROAD HAMPDEN, MA 01036 PHONE (413) 374-4467

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HAMPDEN COUNTY - PREPARED FOR
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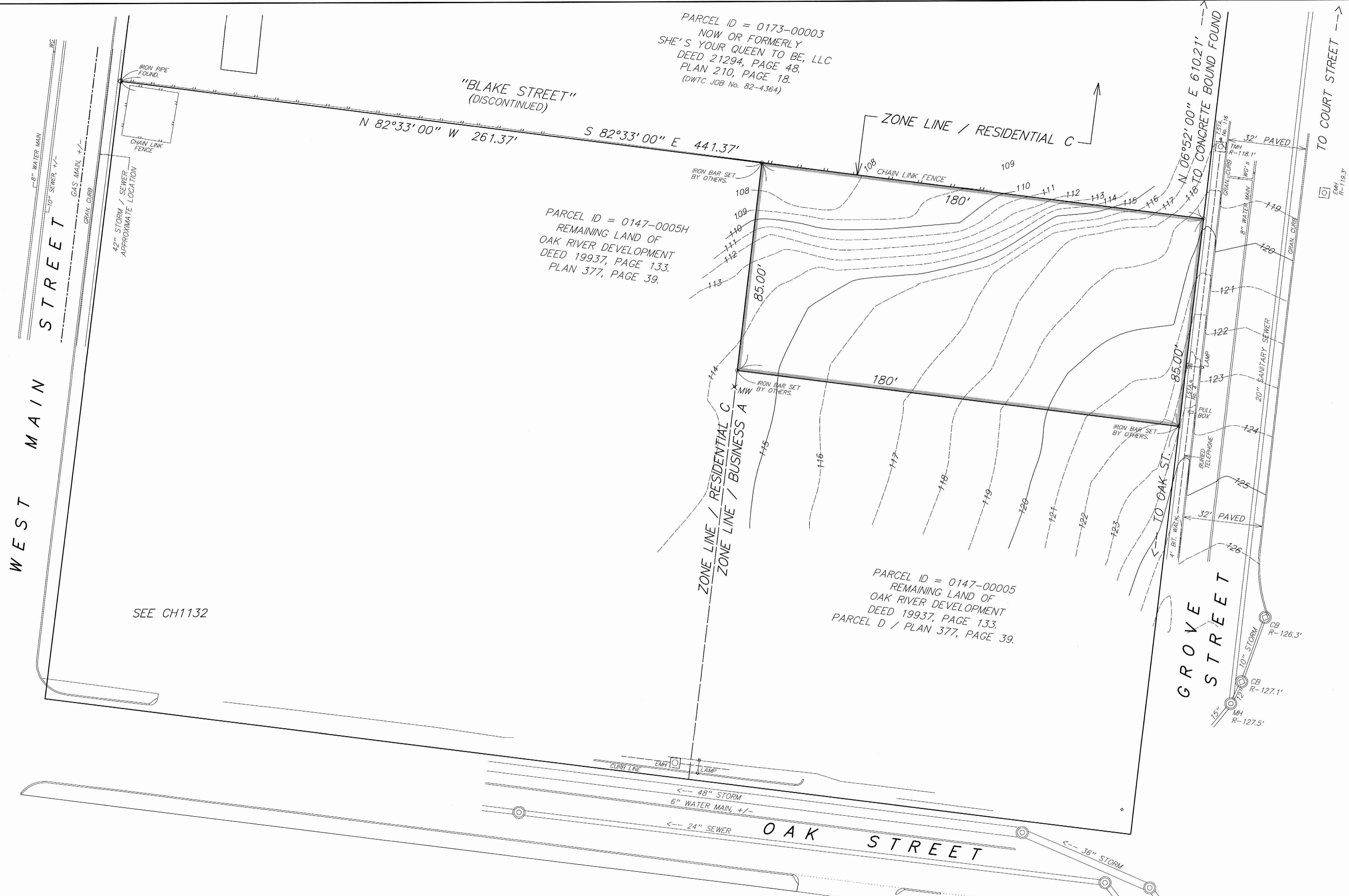
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356 FRONT STREET
CHICOPEE, MASSACHUSETTS - 01013
PHONE (413) 592-5164

DRAWN BY EJC
CHECKED BY _____
APPROVED BY EJC
SCANNED _____

DATE: 10/08/2016
PLOT 10/08/2016
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DRAWING No. 82-4364
S.2016-115.1

SHEET 2

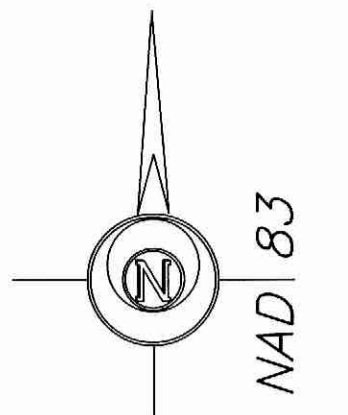


PARCEL ID = 0173-00003
 NOW OR FORMERLY
 SHE'S YOUR QUEEN TO BE, LLC
 DEED 21294, PAGE 48.
 PLAN 210, PAGE 18.
 (DWTC JOB No. 82-4364)

PARCEL ID = 0147-0005H
 REMAINING LAND OF
 OAK RIVER DEVELOPMENT
 DEED 19937, PAGE 133.
 PLAN 377, PAGE 39.

PARCEL ID = 0147-00005
 REMAINING LAND OF
 OAK RIVER DEVELOPMENT
 DEED 19937, PAGE 133.
 PARCEL D / PLAN 377, PAGE 39.

PARCEL ID = 0147-00008
 CITY OF CHICOPEE
 PUBLIC SAFETY COMPLEX
 ZONE = RESIDENTIAL B



HORIZONTAL DATUM = NAD83
 VERTICAL DATUM = NAVD88

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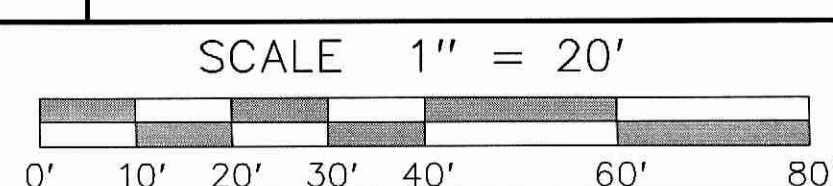
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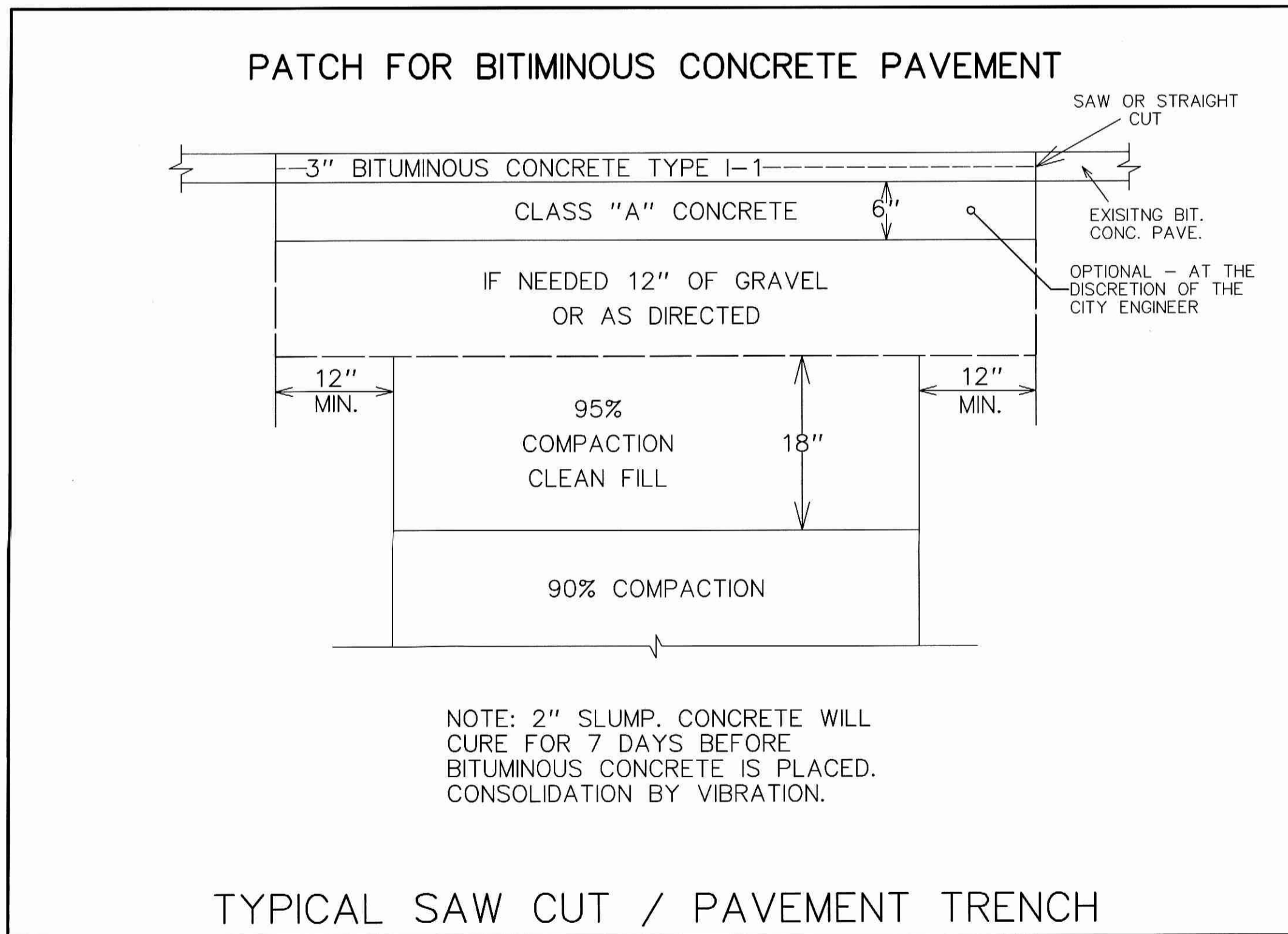
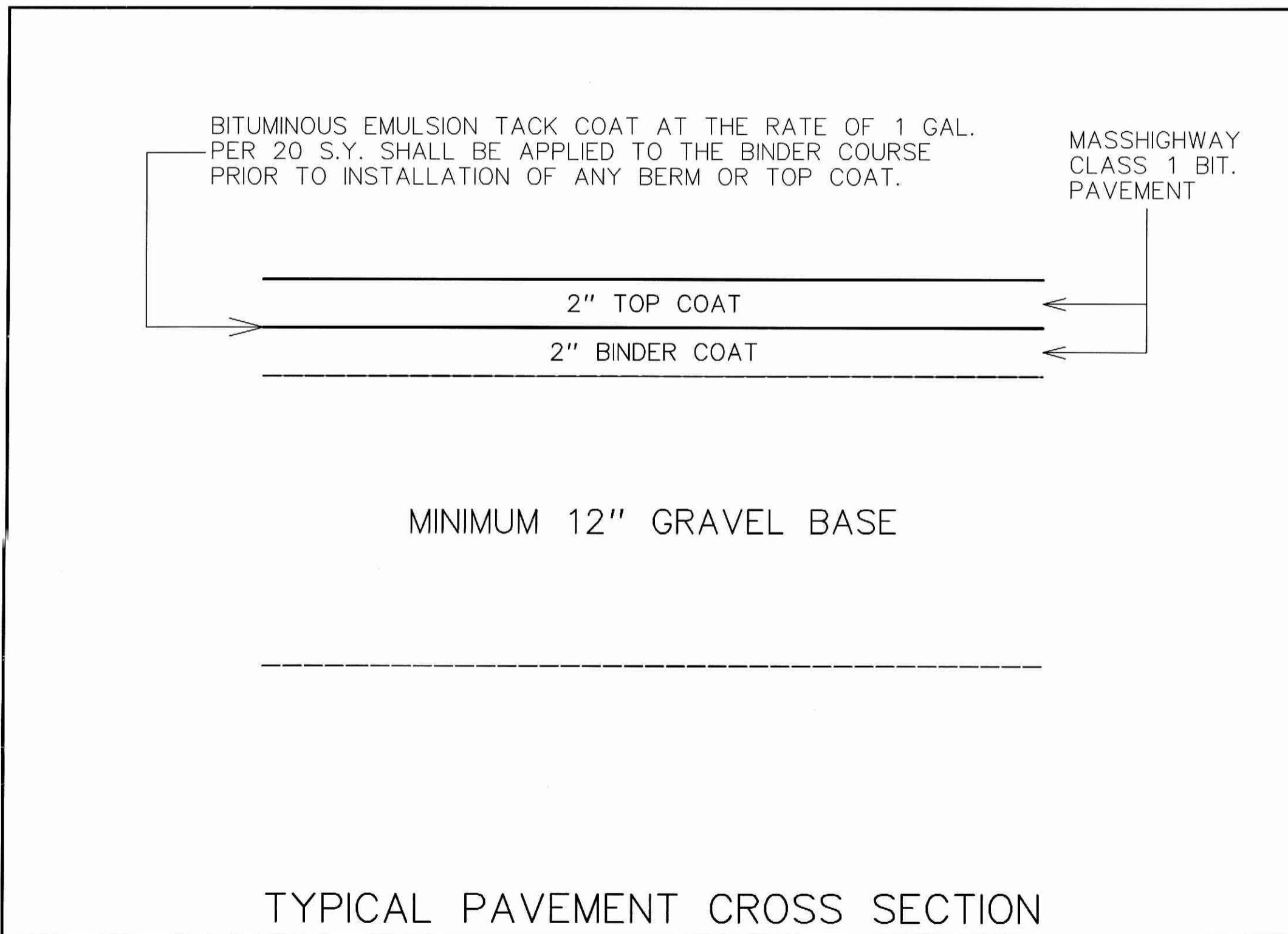
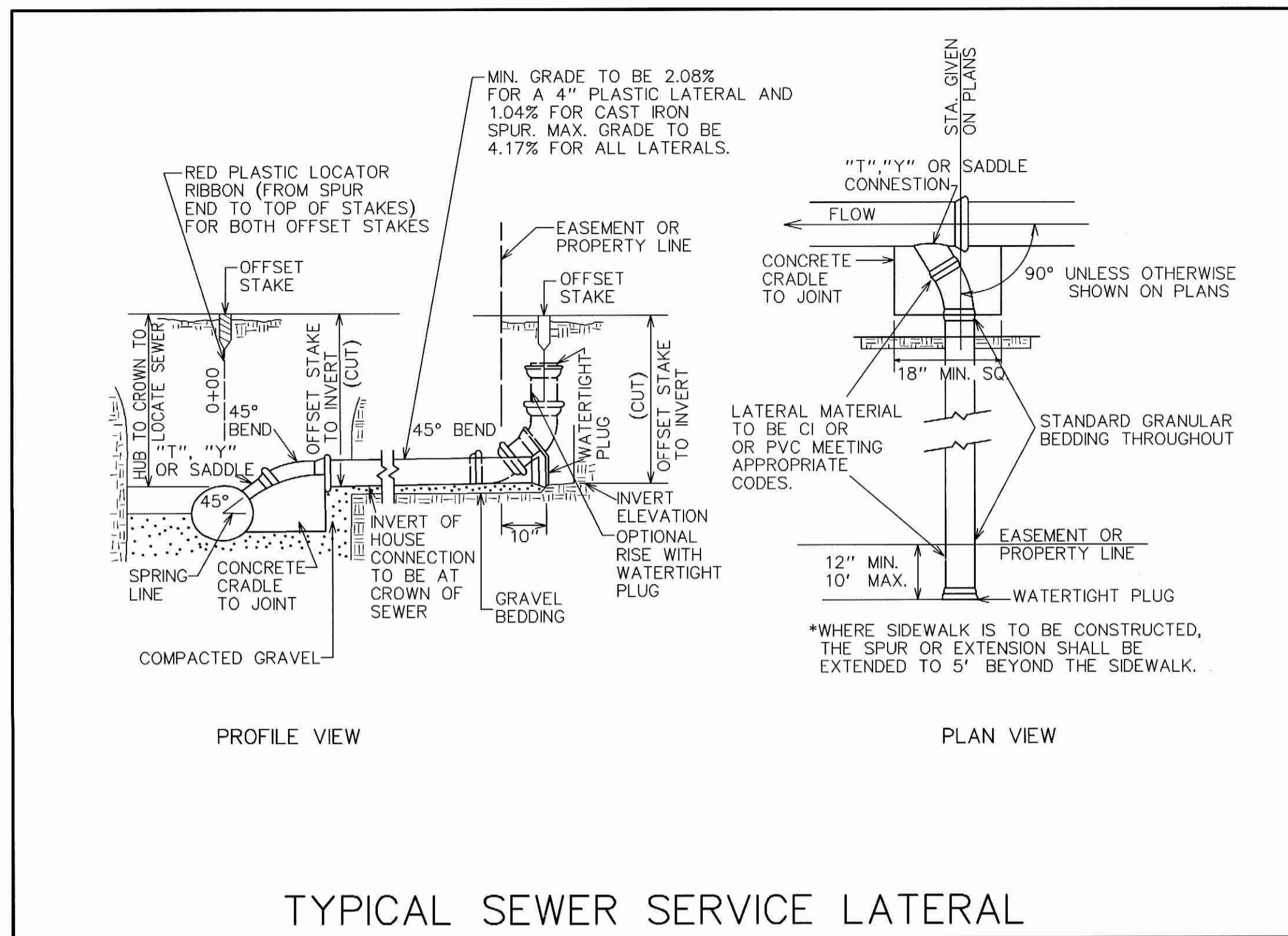
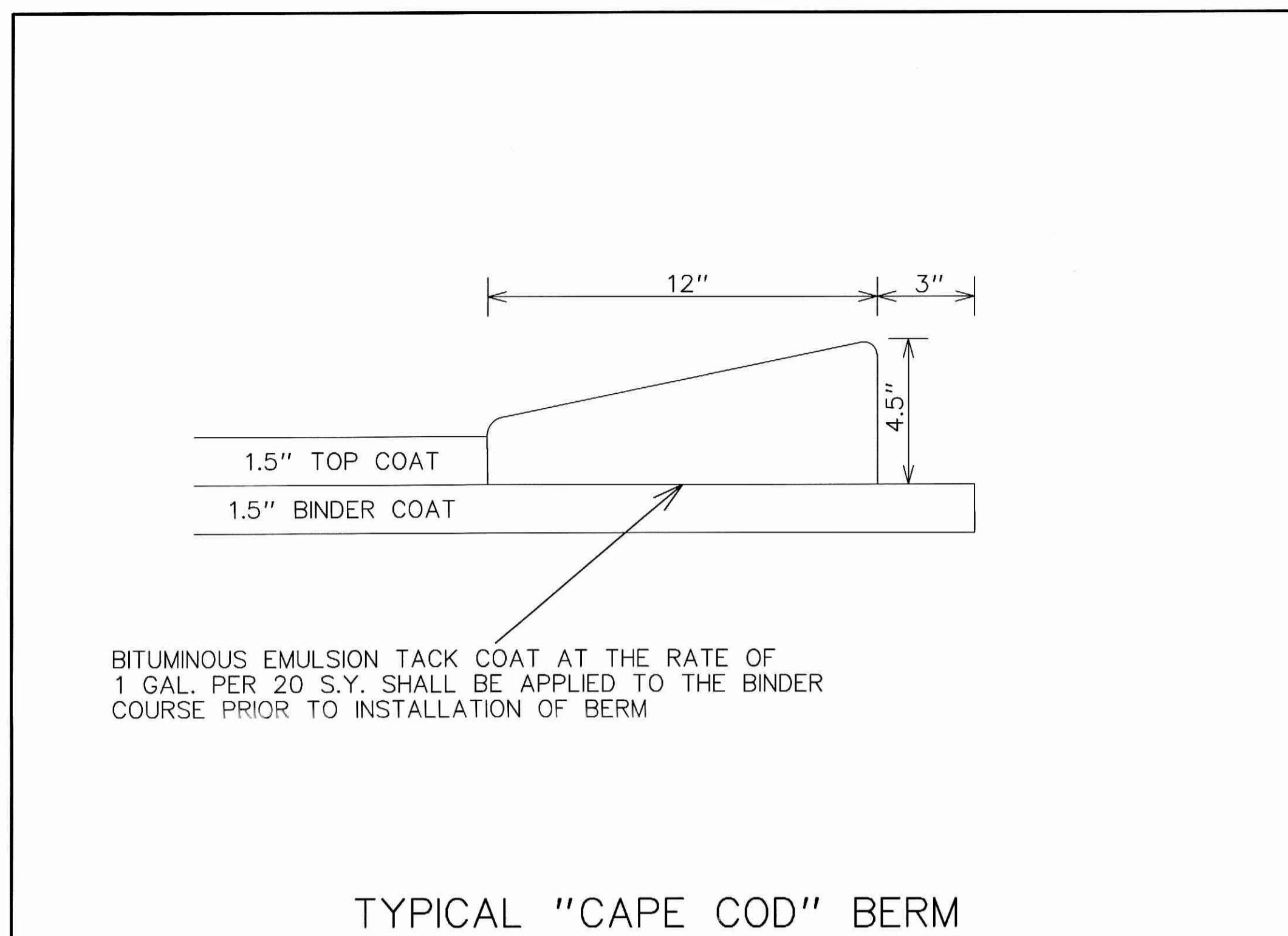
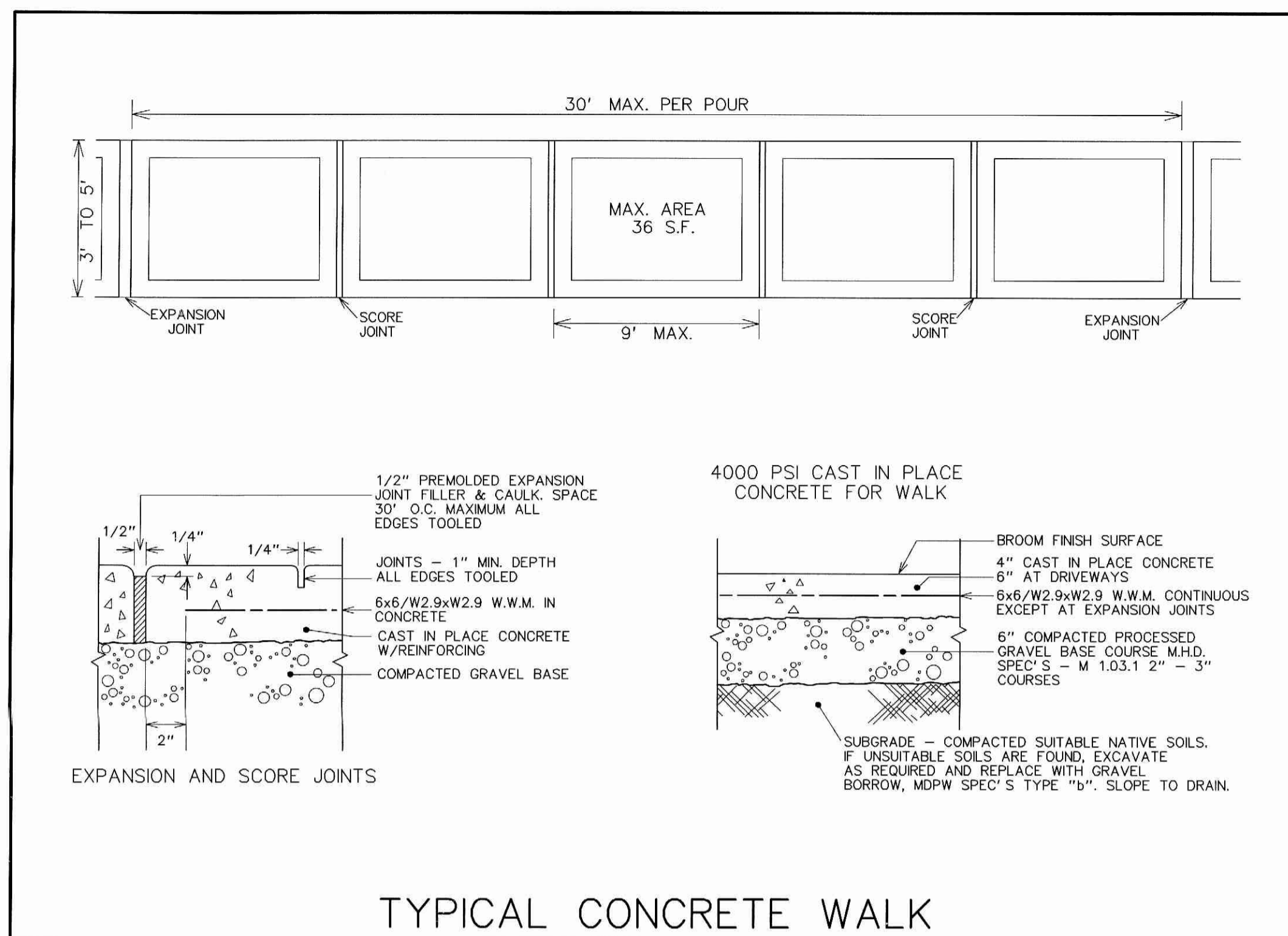
DATE: 10/08/2016
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SHEET 3



- D E T A I L S H E E T -



- RESERVED -

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GARY P. WEINER, P.E.
53 MILL POND ROAD
HAMPDEN, MA 01036
PHONE (413) 374-4467

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