

PLANS FOR THE CONSTRUCTION OF WATER, SEWER, PAVING, GRADING & DRAINAGE IMPROVEMENTS

TO SERVE

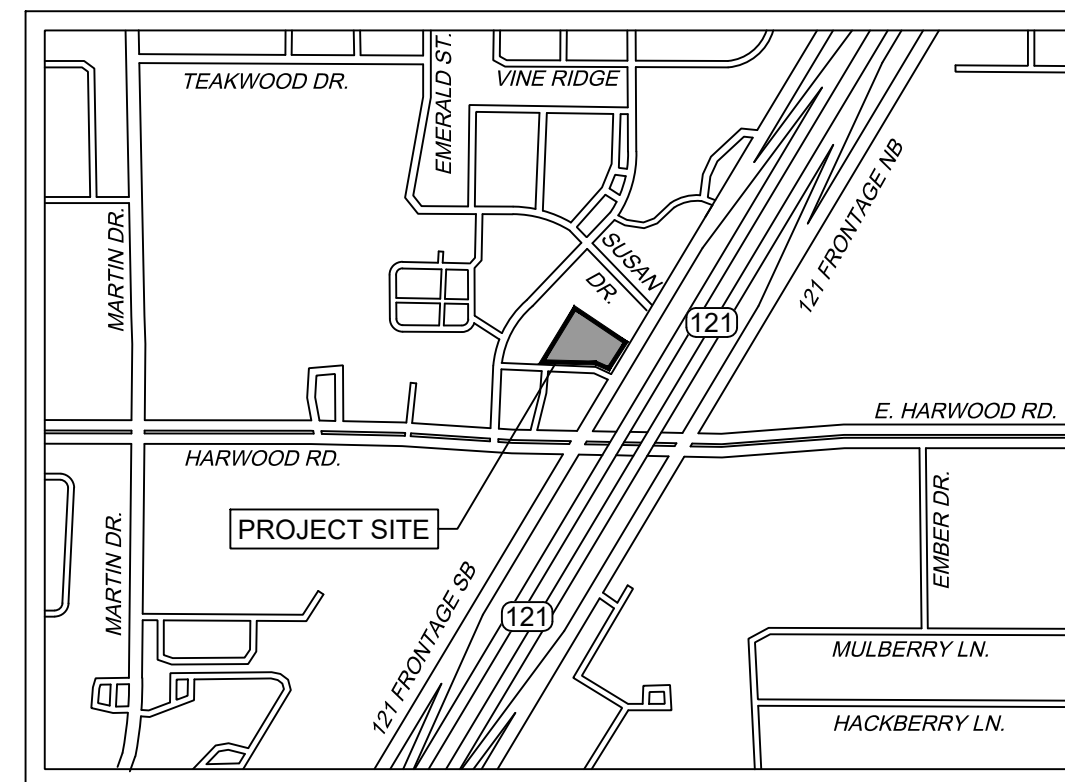
BEDFORD RETAIL

LOTS 4-R AND 5-R, BLOCK 13, OAK RIDGE ESTATES
2905 STATE HIGHWAY 121 SOUTHBOUND
THE CITY OF BEDFORD,
TARRANT COUNTY, TEXAS

OWNER/DEVELOPER:
HAKEMY GROUP OF COMPANIES
2331 W. NORTHWEST HIGHWAY #201
DALLAS, TX 75220
PHONE: (469) 547-5702
CONTACT: YOUSOF HAKEMY
yousof@hakemy.com

ENGINEER:
KIRKMAN ENGINEERING, LLC
5200 STATE HIGHWAY 121
COLLEYVILLE, TX 76034
PHONE: (817) 488-4960
CONTACT: PATRICK FILSON, P.E.
patrick.filson@trustke.com

SURVEYOR:
TEXAS HERITAGE SURVEYING, LLC
10610 METRIC DRIVE, SUITE 124
DALLAS, TX 75243
PHONE: (214)-340-9710
CONTACT: GARY E. JOHNSON, RPLS



VICINITY MAP
N.T.S.

Sheet List Table

Sheet Number	Sheet Title
C1.0	COVER SHEET
C1.1	GENERAL NOTES
C2.0	DEMOLITION PLAN
C3.0	OVERALL SITE PLAN
C4.0	GRADING PLAN
C5.0	EXISTING DRAINAGE AREA MAP
C5.1	PROPOSED DRAINAGE AREA MAP
C6.0	PAVING PLAN
C7.0	UTILITY PLAN
C8.0	EROSION CONTROL PLAN
C9.0	PAVING DETAILS
C9.1	EROSION CONTROL DETAILS



PROJECT NO. ROS20001_BEDFORD RETAIL

APRIL 2021

FULL PATH: K:\Jobs\ROS20001_Bedford Retail\Drawings\03_ENGR\03 - Production\Cl.1 GENERAL NOTES_ROS20001

- FILENAME: C1.1 GENERAL NOTES_ROS20001.dwg

EROSION CONTROL NOTES:

- ## PAVING NOTES

- 5 INCH PAVEMENT THICKNESS - 10' JOINT SPACING

STANDARD ABBREVIATIONS:

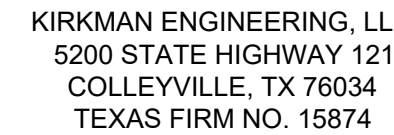
- ### UTILITY NOTES

- STANDARD ABBREVIATIONS:**

APPROX	APPROXIMATELY	MEC	MULTIPLE BOX CULVERT
ASPH	ASPHALT	ME	MATCH EXISTING
BC	BACK OF CURB	MH	MANHOLE
B-B	BACK TO BACK OF CURB	N/A	NOT APPLICABLE
BFR	BARRIER FREE RAMP	NG	NATURAL GROUND (EXISTING)
BM	BENCHMARK	PC	POINT OF CURVATURE
BW	BOTTOM OF WALL	PCC	POINT OF COMPOUND CURVATURE
CATV	CABLE TV	PI	POINT OF INTERSECTION
CCFS	CUBIC FEET PER SECOND	PIV	POST INDICATOR VALVE
CI	CURB INLET	PL	PROPERTY LINE
CMP	CORRUGATED METAL PIPE	PP	POWER POLE
CO	CLEANOUT	PRC	POINT OF REVERSE CURVATURE
CONC	CONCRETE	PROP	PROPOSED
CONN	CONNECTION	PT	POINT OF TANGENCY
CONST	CONSTRUCT	PVC	POLYVINYL CHLORIDE PIPE
CL	CENTER LINE	PVMT	PAVEMENT
DCO	DOUBLE CLEANOUT	OCEW	ON CENTER EACH WAY
DE	DRAINAGE EASEMENT	OHE	OVERHEAD ELECTRIC
DI	DROP INLET	R	RADIUS
DIA	DIAMETER	RCB	REINFORCED CONCRETE BOX
DIP	DUCTILE IRON PIPE	RCI	RECESSED CURB INLET
DW	DOMESTIC WATER	RCP	REINFORCED CONCRETE PIPE
EJ	EXPANSION JOINT	RCPCP	REINFORCED CONCRETE CYLINDRICAL PIPE
ELEV	ELEVATION	REINF	REINFORCED
EMH	ELECTRIC MANHOLE	RL	RIDGE LINE
EP	EDGE OF PAVEMENT	ROW	RIGHT OF WAY
ESMT	EASEMENT	RT	RIGHT
EX	EXISTING	SF	SQUARE FEET
FC	FACE OF CURB	SD	STORM DRAIN
F-F	FACE TO FACE OF CURB	SS	SQUARE
FFE	FINISH FLOOR ELEVATION	SQ	SANITARY SEWER
FFH	FFH HYDRANT	SSE	SANITARY SEWER EASEMENT
FM	FORCE MAIN	STA	STATION
FO	FIBER OPTICS	SY	SQUARE YARD
FG	FINISHED GRADE	T	TELEPHONE
FP	FINISHED PAD	TC	TOP OF CURB
FPS	FEET PER SECOND	TG	TOP OF GROUND
FL	FLOW LINE	TMH	TELEPHONE MANHOLE
G	GUTTER	TP	TOP OF PAVEMENT
GI	GRATE INLET	TIPIPE	TOP OF PIPE
GM	GAZE METER	TW	TOP OF WALL
HDPE	HIGH DENSITY POLYETHYLENE PIPE	TYP	TYPICAL
HDWL	HEADWALL	UE	UTILITY EASEMENT
HMAC	HOT MIX ASPHALTIC CONCRETE	UGE	UNDERGROUND ELECTRIC
HORIZ	HORIZONTAL	VCP	VITRIFIED CLAY PIPE
HP	HIGH POINT	WTR	WATER
HVAC	HEATING, VENTILATION AND AIR CONDITIONING	WE	WATER EASEMENT
IRRR	IRRIGATION	WL	WATER LINE
JB	JUNCTION BOX	WM	WATER METER
JT	JOINT	WMH	WATER MANHOLE
LF	LINEAR FEET	WV	WATER VALVE
LP	LOW POINT	WW	WASTE WATER



LOT 4-R, BLOCK 13
CITY OF BEDFORD
TARRANT, TEXAS

[illegible]

JOB NUMBER: ROS20001

ISSUE DATE: 04/05/2021

SHEET:

C1.1



BM NO. 1 MONUMENT #39 GRANITE MONUMENT ON THE
NORTHEAST CORNER OF CRYSTAL SPRINGS AND
MILLRIDGE.
ELEVATION = 605.81' (NAD '83)

REMOVE AND DISPOSE
OF EXISTING CONCRETE

PROPOSED FULL DEPTH SAWCUT
(PROVIDE CLEAN CONSTRUCTION EDGE)

EXISTING CONTOUR

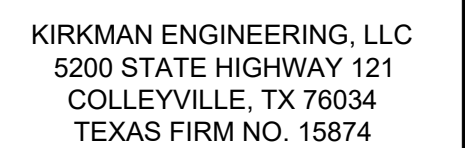
PROPERTY BOUNDARY

NOTE TO CONTRACTOR

THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES (WHETHER SHOWN ON PLANS OR NOT) PRIOR TO COMMENCING CONSTRUCTION. IF FIELD CONDITIONS DIFFER SIGNIFICANTLY FROM LOCATIONS SHOWN ON THE PLANS, THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.

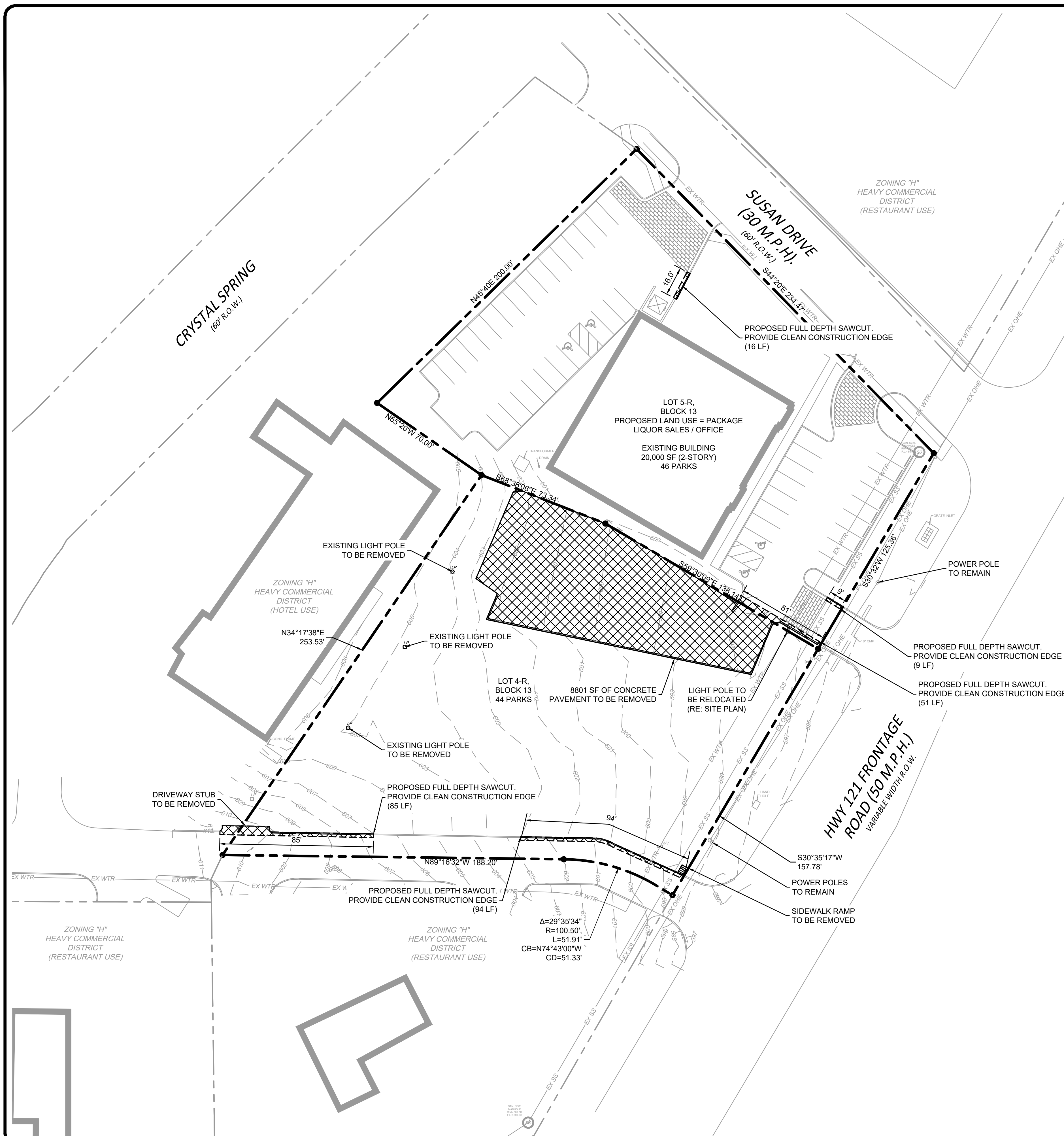
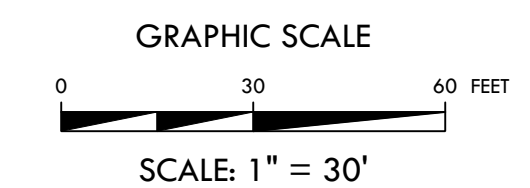


BEDFORD RETAIL

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DEMOLITION PLAN

C2.0



FULL PATH: K:\Jobs\ROS20001_Bedford Retail\Drawings\03_ENGR\03 - Production\C2.0 DEMOLITION_ROS20001

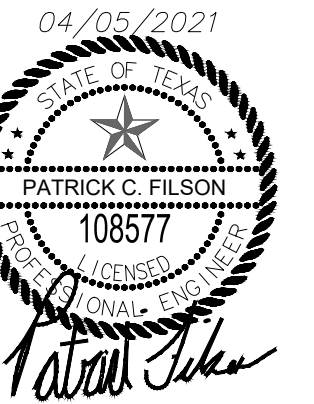
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PLOTTED BY: Sandy Chau
PLOTTED DATE: 7/20/2021



SITE BENCHMARKS

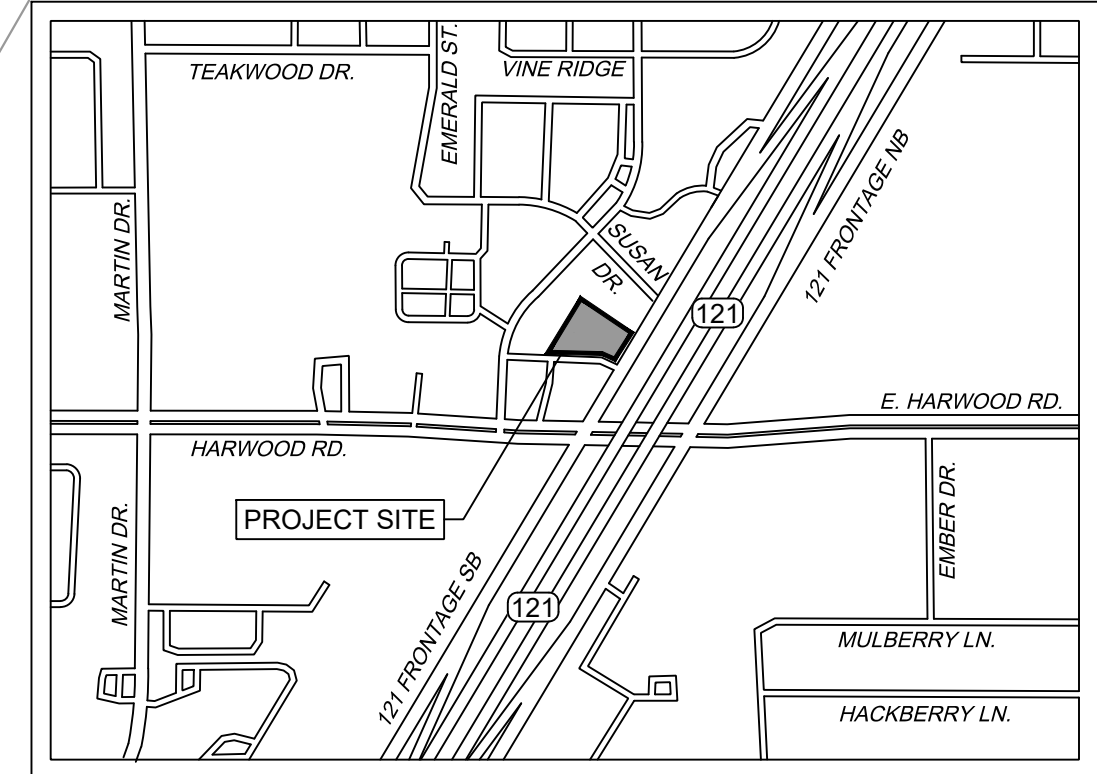
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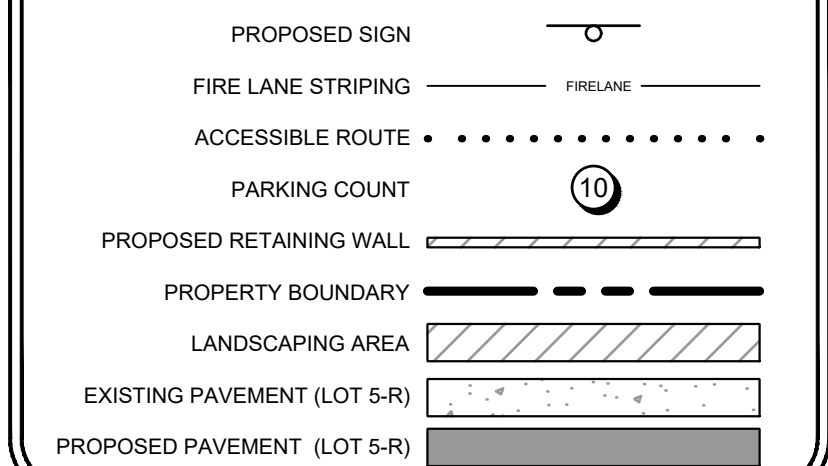
HAKEMY
GROUP OF
COMPANIES

OWNER/ DEVELOPER:
2331 W. NORTHWEST HWY #201
DALLAS, TX 75220
(469) 547-5702



VICINITY MAP
N.T.S.

LEGEND



LAYOUT & DIMENSIONAL CONTROL NOTES:

1. BOUNDARY LINES AND EASEMENT: REFER TO THE FINAL PLAT TO VERIFY PROPERTY LINES AND EXISTING EASEMENT LOCATIONS.
2. DIMENSION CONTROL: UNLESS NOTED OTHERWISE, ALL PAVING DIMENSIONS SHOWN ARE TO FACE OF CURB.
3. CURB RADI: UNLESS NOTED OTHERWISE, ALL CURB RADI SHALL BE 3' AT FACE OF CURB.
4. BUILDING DIMENSIONS: REFERENCE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
5. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND COORDINATES PRIOR TO CONSTRUCTION.
6. ALL COORDINATES ARE U.S. SURVEY FEET, NAD '83 SURFACE.

NOTE TO CONTRACTOR

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GRAPHIC SCALE

SCALE: 1" = 30'

SITE PLAN

BEDFORD RETAIL

0.984 ACRES & 0.926 ACRES
LOT 4-R & 5-R, BLOCK 13
JTS PROPERTIES LLC
(CC# D205094182)
CITY OF BEDFORD,
TARRANT COUNTY, TEXAS
PREPARATION DATE: 7/20/2021

OWNER/APPLICANT
HAKEMY GROUP OF COMPANIES
2331 W. NORTHWEST HWY #201
DALLAS, TX 75220
PH: (469) 547-5702
CONTACT: YOUSOF HAKEMY

LANDSCAPE ARCHITECT
LONDON LANDSCAPES
P.O. BOX 28
COLLINSVILLE, TX 76233
PH: (972) 800-0676
CONTACT: AMY LONDON

SURVEYOR
TEXAS HERITAGE SURVEYING, LLC
10610 METRIC DRIVE, #124
PH: (214) 340-9700
CONTACT: GARY E. JOHNSON, RPLS

ENGINEER
KIRKMAN ENGINEERING, LLC
5200 STATE HIGHWAY 121
COLLEYVILLE, TX 76034
PH: 817-488-4960
CONTACT: PATRICK FILSON, PE

BEDFORD RETAIL

LOT 4-R, BLOCK 13
CITY OF BEDFORD
TARRANT, TEXAS

[illegible]

KIRKMAN ENGINEERING, LLC
5200 STATE HIGHWAY 121
COLLEYVILLE, TX 76034
TEXAS FIRM NO. 15874

JOB NUMBER: ROS20001

ISSUE DATE: 04/05/2021

OVERALL SITE PLAN

SHEET:

C3.0

PARKING DATA TABLE	
	LOT 5-R
BUILDING USE	RETAIL/OFFICE
RETAIL PARKING REQUIREMENT	1 SPACE PER 250 SF UP TO 5,000 SF 1 SPACE PER 200 5,000 SF+
OFFICE PARKING REQUIREMENT	1 SPACE PER 250 SF
RESTAURANT PARKING REQUIREMENT	1 SPACE PER 150 SF
PORTION OF BUILDING RETAIL	50% / 10,000 SF
PORTION OF BUILDING OFFICE	50% / 10,000 SF
PORTION OF BUILDING RESTAURANT	0
TOTAL PARKING SPACES REQUIRED	90 SPACES
TOTAL PARKING SPACES PROVIDED	71 SPACES (46 EXISTING / 44 PROPOSED(LOT 4-R))
REQUIRED ADA PARKING	4 SPACES (1 VAN)
PROVIDED ADA PARKING	4 SPACES (1 VAN) (2 EXISTING / 2 PROPOSED)

SITE PLAN DATA TABLE

SITE PLAN DATA TABLE		
	LOT 5-R	LOT 4-R
EXISTING ZONING	H (HEAVY COMMERCIAL)	H (HEAVY COMMERCIAL)
PROPOSED ZONING	H (HEAVY COMMERCIAL)	H (HEAVY COMMERCIAL)
LOT AREA (SF) / (ACRES)	40,315 / 0.926	42,828 / 0.984
BUILDING 1 AREA (SF)	20,000	N/A
BUILDING LOT COVERAGE (%)	24.80%	N/A
PAVED AREA (SF) (STREETS / SIDEWALK / PARKING = TOTAL)	19,533 SF	24,527 SF
DECORATIVE PAVERS (10%)	2,704 SF (14.84%)	2,456 SF (10.01%)
OPEN SPACE AREA (SF) / AREA PERCENTAGE (%)	11,788 / 29.24%	6,240 / 14.57%

FULL PATH: K:\jobs\RCS20001_Bedford Retail\Drawings\03_ENGR\03 - Production\C3.0 SITE PLAN_RCS20001

FILENAME: C:\3.0 SITE PLAN_ROS20001.dwg
PLOTTED BY: Sandy Chau
PLOTTED DATE: 7/20/2021



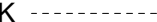
SITE BENCHMARKS

BM NO. 1 MONUMENT #39 GRANITE MONUMENT ON THE
NORTHEAST CORNER OF CRYSTAL SPRINGS AND
MILLRIDGE.
ELEVATION = 605.81' (NAD '83)

LEGEND

PROPOSED CONTOUR  500.00

EXISTING CONTOUR  500.00

GRADE BREAK 

PROPOSED SWALE 

PROPOSED FINISHED GRADE  FG 700.00

PROPOSED TOP OF CURB/GUTTER  TC 700.50
G 700.00

PROPOSED TOP OF WALL/
BOTTOM OF WAL  TW 700.00
BW 699.00

PROPOSED TOP OF INLET  TI 700.00

EXISTING SPOT GRADE  EX 700.50

EXISTING TOP OF CURB/GUTTER  TC 700.50
G 700.00

PROPOSED DRAINAGE FLOW ARROW 

EXISTING DRAINAGE FLOW ARROW 

PROPERTY BOUNDARY 

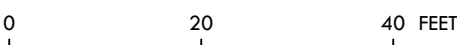
NOTE TO CONTRACTOR

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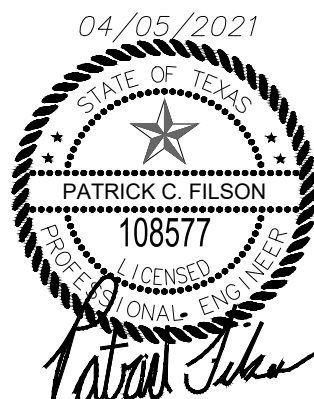
GRADING NOTES:

1. TOPOGRAPHIC SURVEY: TOPOGRAPHIC SURVEY INFORMATION IS BASED ON THE TOPOGRAPHIC SURVEY PREPARED BY TEXAS HERITAGE SURVEYING, LLC, DATED 08/04/2020.
2. EXISTING CONDITIONS PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING CONDITIONS, INCLUDING GRADES AND DIMENSIONS. THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES.
3. EROSION CONTROL: EROSION CONTROL SHALL BE INSTALLED PRIOR TO COMMENCING CLEARING, STRIPPING AND GRADING OPERATIONS. REFER TO THE EROSION CONTROL PLAN FOR THE SEQUENCE OF EROSION CONTROL DEVICES TO BE INSTALLED.
4. FINISHED GRADES: THE PROPOSED ELEVATIONS AND CONTOURS SHOWN ARE TO FINISHED GRADE. THE PROPOSED CONTOURS ARE APPROXIMATE. THE PROPOSED SPOT ELEVATIONS AND GRADIENTS ARE TO BE USED IN THE EVENT ANY DISCREPANCY WITH THE PROPOSED CONTOURS. MINOR ADJUSTMENT TO FINISH GRADE TO ACCOMPLISH SLOPE DRAINAGE IS ACCEPTABLE.
5. ACCESSIBLE ROUTES/PARKING: SIDEWALKS AND CROSSWALKS ALONG ACCESSIBLE ROUTES SHALL BE CONSTRUCTED TO MEET THE MINIMUM STANDARDS WITH A MAXIMUM RUNNING SLOPE OF 5% AND A MAXIMUM CROSS SLOPE OF 2%. ACCESSIBLE PARKING SPACES SHALL HAVE A MAXIMUM SLOPE OF 2% IN ALL DIRECTIONS.
6. TESTING: TESTING SHALL BE PERFORMED BY A QUALIFIED TESTING LABORATORY, EMPLOYED AND PAID DIRECTLY BY THE OWNER. TESTING SHALL BE PERFORMED AT A MINIMUM, IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT. IN THE EVENT THE INITIAL TESTS DO NOT COMPLY WITH THE REQUIREMENTS AND SPECIFICATIONS, SUBSEQUENT TESTS NECESSARY TO DETERMINE THE ACCEPTABILITY OF CONSTRUCTION SHALL BE AT THE CONTRACTOR'S EXPENSE.
7. MAXIMUM SITE SLOPES SHALL BE 4:1 UNLESS OTHERWISE NOTED.
8. CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS.

GRAPHIC SCALE



SCALE: 1" = 20'



HAKEMY
GROUP OF
COMPANIES

OWNER/ DEVELOPER:
2331 W. NORTHWEST HWY #201
DALLAS, TX 75220
(469) 547-5702

BEDFORD RETAIL

LOT 4-R, BLOCK 13
CITY OF BEDFORD
TARRANT, TEXAS

REV:	DATE:	DESCRIPTION:
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KIRKMAN ENGINEERING, LLC
5200 STATE HIGHWAY 121
COLLEYVILLE, TX 76034
TEXAS FIRM NO. 15874

JOB NUMBER: ROS20001

ISSUE DATE: 04/05/2021

GRADING PLAN

SHEET:

C4.0

FULL PATH: K:\Jobs\ROS20001_Bedford Retail\Drawings\03_ENGR\03 - Production\CS-0 GRADING PLAN_ROS20001

FILENAME: C5.0 GRADING PLAN_R020001.dwg
PLOTTED BY: Sandy Chau
PLOTTED DATE: 7/20/2021



BM NO. 1 MONUMENT #39 GRANITE MONUMENT ON THE
NORTHEAST CORNER OF CRYSTAL SPRINGS AND
MILLRIDGE.
ELEVATION = 605.81' (NAD '83)

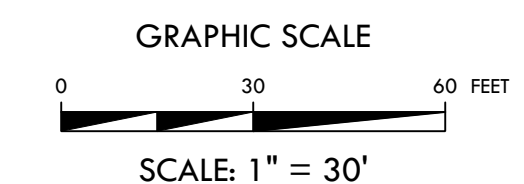
EXISTING DRAINAGE AREA LABEL	BASIN NAME	DA1
ACRES		0.63 ac.
Q100 (cfs)		5.57

EXISTING DRAINAGE AREA DIVIDE	
EXISTING DRAINAGE FLOW ARROW	
EXISTING CONTOUR	
EXISTING STORM PIPE	
PROPERTY BOUNDARY	

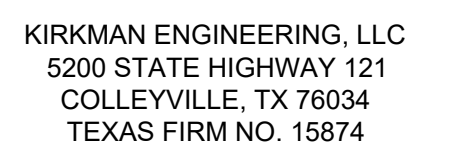
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EXISTING DRAINAGE AREA CALCULATIONS Q=CIA								
DRAINAGE AREA ID	Tc (min.)	RUNOFF COEFFICIENT "C"	AREA (acres)	I5 (in./hr.)	Q5 (cfs)	I100 (in./hr.)	Q100 (cfs)	COMMENTS
EX1	10	0.47	0.98	5.52	2.541	9.76	4.49	SHEET FLOWS TO TXDOT R.O.V.

NOTE: DRAINAGE CRITERIA TAKEN FROM ISWM HYDROLOGY TECHNICAL MANUAL REV. 2014



BEDFORD RETAIL



ISSUE DATE: 04/05/2021

SHEET:

C5.0

FILENAME: C6.0 EXISTING DRAINAGE AREA MAP_ROS20001.dwg
PLOTTED BY: Sandy Chau
PLOTTED DATE: 7/20/2021



<u>SITE BENCHMARKS</u>	
BM NO. 1	MONUMENT #39 GRANITE MONUMENT ON THE NORTHEAST CORNER OF CRYSTAL SPRINGS AND MILLRIDGE. ELEVATION = 605.81' (NAD '83)

NOTE TO CONTRACTOR

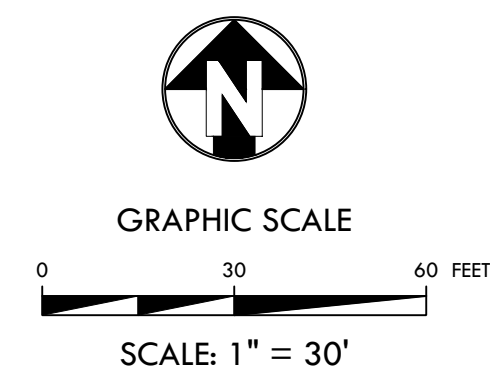
EXISTING PRIVATE AND PUBLIC STORM SEWER AND UTILITY INFRASTRUCTURE ARE SHOWN PER RECORD DRAWING PLANS. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES (WHETHER SHOWN ON PLANS OR NOT) PRIOR TO COMMENCING CONSTRUCTION. IF FIELD CONDITIONS DIFFER SIGNIFICANTLY FROM LOCATIONS SHOWN ON THE PLANS, THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.

PROPOSED DRAINAGE AREA CALCULATIONS Q=CIA								
DRAINAGE AREA ID	Tc (min.)	RUNOFF COEFFICIENT "C"	AREA (acres)	I5 (in./hr.)	Q5 (cfs)	I100 (in./hr.)	Q100 (cfs)	COMMENTS
DA1	10	0.80	0.89	5.52	3.93	9.76	6.95	SHEET FLOWS TO TxDOT R.O.W.
DA2	10	0.95	0.09	5.52	0.49	9.76	0.86	SHEET FLOWS TO TxDOT R.O.W.

NOTE:

1. DRAINAGE CRITERIA TAKEN FROM ISWM HYDROLOGY TECHNICAL MANUAL REV. 2014.

2. "C" VALUE: (0.80 - HEAVY COMMERCIAL) AND (0.95 - STREETS/DRIVES) PER ISWM HYDROLOGY TECHNICAL MANUAL.



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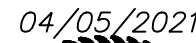
PROPOSED DRAINAGE AREA MAP

SHEET:

C5.1



BM NO. 1 MONUMENT #39 GRANITE MONUMENT ON THE
NORTHEAST CORNER OF CRYSTAL SPRINGS AND
MILLRIDGE.
ELEVATION = 605.81' (NAD '83)



OWNER/ DEVELOPER:
331 W. NORTHWEST HWY #201
DALLAS, TX 75220
(469) 547-5702

PARKING AREAS
5" 3,600 PSI CLASS "C" (28 DAYS)
REIN. CONC. PAVEMENT
W/ No. 3 BARS @ 18" O.C.E.W.

FIRE LANE
6" 3,600 PSI CLASS "C" (28 DAYS)
REIN. CONC. PAVEMENT
W/ No. 3 BARS @ 18" O.C.E.W.

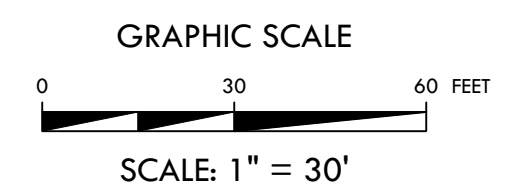
PRIVATE SIDEWALK
4" 3,000 PSI CLASS "A"
(28 DAYS) REIN. CONC.
No. 3 BARS @ 18" O.C.E.W.

PROPERTY BOUNDARY

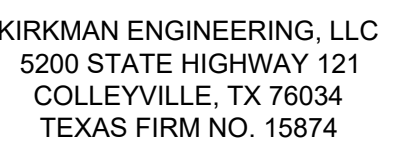
1. ALL PROPOSED PUBLIC PAVEMENT TO BE PER THE CITY OF BEDFORD STANDARDS & SPECIFICATIONS.
2. PAINT PARKING STALL STRIPE 4' SOLID WHITE @ 9' O.C..
3. PAINT ACCESSIBLE PARKING LOGO SOLID WHITE.
4. PAINT ACCESSIBLE PEDESTRIAN CROSSWALK 6' SOLID WHITE REFLECTIVE @ 2' O.C. @ 45°.
5. PAINT FIRE LANE STRIPE IN ACCORDANCE WITH LOCAL AUTHORITIES' STANDARDS. STRIPE SHALL BE 6" TRAFFIC RED" WITH 4" HIGH "TRAFFIC WHITE" LETTERS.
6. REFER TO SHEET C8.0 FOR PAVING DETAILS.

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REFER TO GEOTECH REPORT FOR REQUIRED
PAVEMENT AND SUB-GRADE/SUB-BASE
THICKNESS AND MATERIALS. UPDATE LEGEND
AND ALL CALLOUTS TO REFERENCE GEOTECH
REPORT.



LOT 4-R, BLOCK 13
CITY OF BEDFORD
TARRANT, TEXAS

[illegible]

ISSUE DATE: 04/05/2021

SHEET:

6.0

FULL PATH: K:\Jobs\ROS20001_Bedford Retail\Drawings\03_ENGR\03 - Production\C8.0 PAVING PLAN_ROS20001

FILENAME: C8.0 PAVING PLAN_ROS20001.dwg
PLOTTED BY: Sandy Chau
PLOTTED DATE: 7/20/2021



SITE BENCHMARKS

BM NO. 1 MONUMENT #39 GRANITE MONUMENT ON THE
NORTHEAST CORNER OF CRYSTAL SPRINGS AND
MILLRIDGE.

ELEVATION = 605.81' (NAD '83)

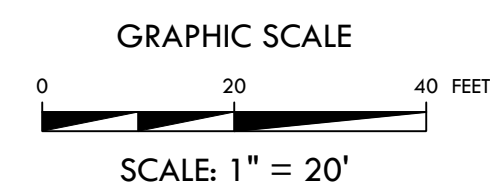
EXISTING SANITARY SEWER		<i>EX SS</i>	
PROPOSED SANITARY SEWER		SS	
EXISTING WATER		<i>EX WTR</i>	
PROPOSED WATER		W	
EXISTING SANITARY SEWER MANHOLE			
PROPOSED SANITARY SEWER MANHOLE			
PROPOSED SANITARY SEWER CLEANOUT			
EXISTING FIRE HYDRANT			
PROPOSED FIRE HYDRANT		FH	
PROPOSED GAS		GAS	
EXISTING GAS		<i>EX GAS</i>	
PROPOSED UNDERGROUND ELECTRIC		UGE	
EXISTING UNDERGROUND ELECTRIC		<i>EX UGE</i>	
PROPOSED OVERHEAD ELECTRIC		OHE	
EXISTING OVERHEAD ELECTRIC		<i>EX OHE</i>	
PROPOSED TELEPHONE		TELE	
EXISTING TELEPHONE		<i>EX UGE</i>	
PROPERTY BOUNDARY			

1. ALL WATER MAINS, UNLESS OTHERWISE NOTED, SHALL HAVE A MINIMUM COVER OF 48" BELOW FINISHED GRADE. PROVIDE VALVE EXTENSIONS TO ALL VALVES ON LINES DEEPER THAN 48".
2. WHEN WATER AND SANITARY SEWERS LINES ARE INSTALLED, THEY SHALL BE INSTALLED TO THE EXISTING SEPARATION REQUIREMENTS.
3. CONTRACTOR TO VERIFY ALL EXISTING SEWER FLOW LINES BEFORE BEGINNING CONSTRUCTION.
4. ALL SANITARY SEWER LINES SHALL BE TESTED IN ACCORDANCE WITH THE STANDARD CITY SPECIFICATIONS.
5. THE UTILITY CONTRACTOR SHALL INSTALL THE WATER SERVICES TO A POINT AS SHOWN ON THE PLANS. THE METER BOX SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR AFTER FINE GRADING HAS BEEN COMPLETED.
6. THE METER BOXES SHALL BE LOCATED IN NON-TRAFFIC AREAS.
7. CONTRACTOR SHALL RAISE/LOWER OR ADJUST ALL EXISTING FRANCHISE UTILITY LINES IN CONFLICT WITH PROPOSED UTILITIES AS PART OF THE BASE BIDS FOR ALL KNOWN OR UNKNOWN LINES.
8. REFER TO MEP PLANS FOR EXACT SIZE, LOCATION, AND INVERT OF ALL BUILDING.
9. FIRE SPRINKLER LINES AND FIRE DEPARTMENT CONNECTIONS SHALL BE SIZED, DESIGNED, AND INSTALLED BY A LICENSED FIRE SPRINKLER CONTRACTOR.
10. BACKFLOW PREVENTER FOR DOMESTIC AND FIRE SERVICE TO BE LOCATED INSIDE THE BUILDING PER CITY OF BEDFORD STANDARDS UNLESS OTHERWISE NOTED.

NOTE TO CONTRACTOR

THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES (WHETHER SHOWN ON PLANS OR NOT) PRIOR TO COMMENCING CONSTRUCTION. IF FIELD CONDITIONS DIFFER SIGNIFICANTLY FROM LOCATIONS SHOWN ON THE PLANS, THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.

NOTE TO CONTRACTOR - FRANCHISE UTILITIES
FRANCHISE UTILITIES ARE SHOWN FOR SCHEMATIC REFERENCE ONLY.
CONTRACTOR SHALL COORDINATE ALL FRANCHISE UTILITY DESIGN AND
INSTALLATION WITH THE SPECIFIC UTILITY PROVIDER AND DESIGNER.
CONTRACTOR SHALL COORDINATE ALL UTILITY INSTALLATIONS TO AVOID
CONFLICTS AT EXISTING AND PROPOSED UTILITY CROSSINGS.

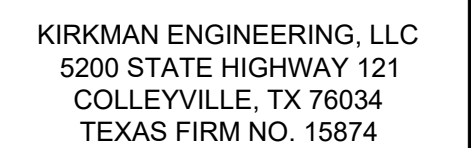


HAKEMY
GROUP OF
COMPANIES

OWNER/ DEVELOPER:
2331 W. NORTHWEST HWY #201
DALLAS, TX 75220
(469) 547-5702

BEDFORD RETAIL

LOT 4-R, BLOCK 13
CITY OF BEDFORD
TARRANT, TEXAS

[illegible]

ISSUE DATE: 04/05/2021

UTILITY PLAN

C7.0

FILENAME: C:\7.0 UTILITY PLAN_R0520001.dwg
PLOTTED BY: Sandy Chau
PLOTTED DATE: 7/20/2021



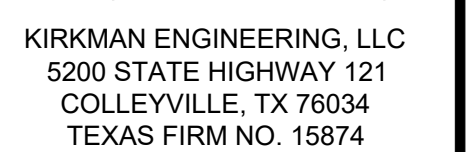
BM NO. 1 MONUMENT #39 GRANITE MONUMENT ON THE
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CITY OF BEDFORD
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[illegible]

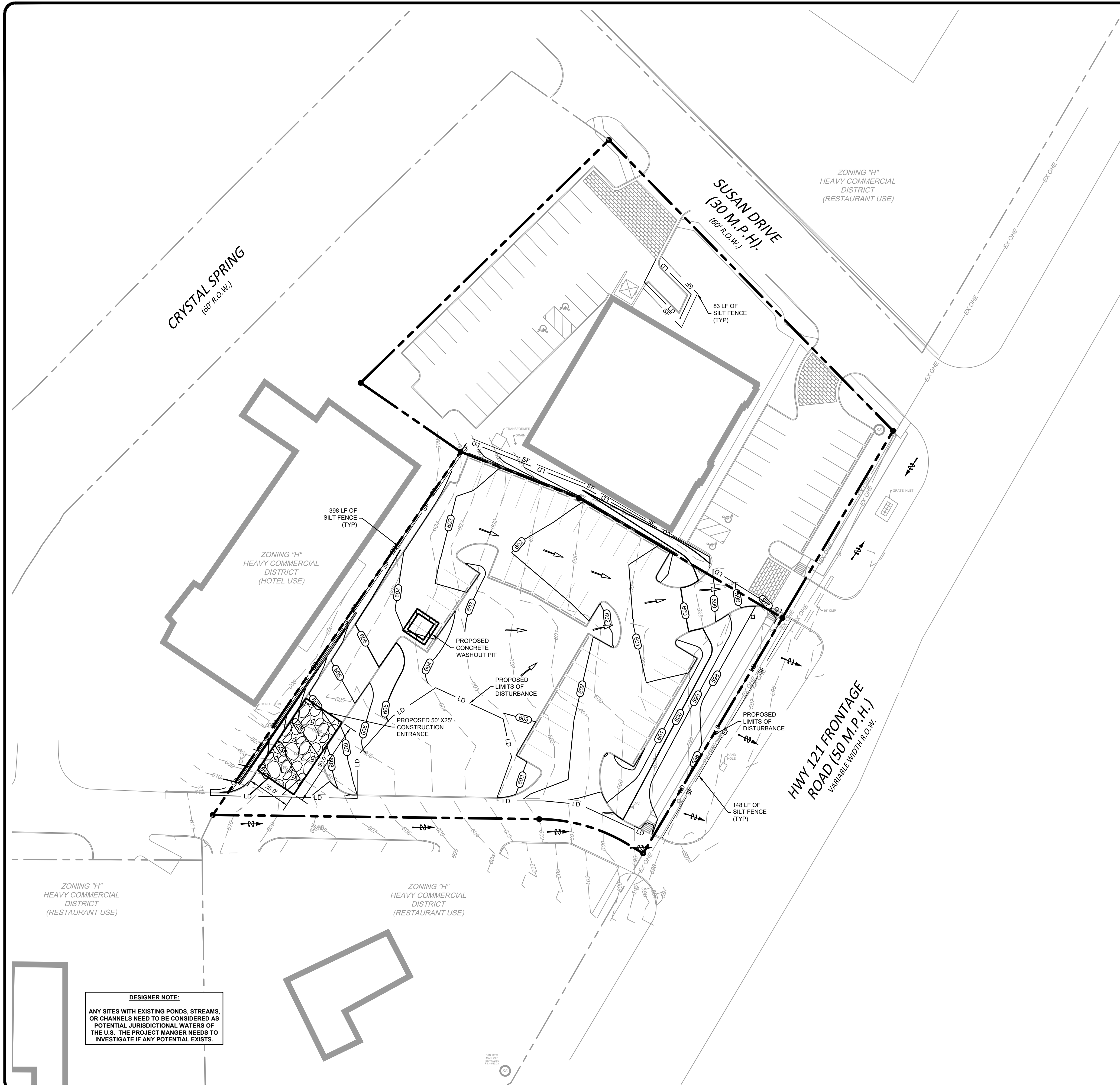
JOB NUMBER: ROS20001

ISSUE DATE: 04/05/2021

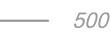
EROSION CONTROL PLAN

SHEET:

C8.0



LEGEND

- PROPOSED LIMITS OF DISTURBANCE  LD 
- PROPOSED SILT FENCE  SF 
- PROPOSED INLET PROTECTION 
- PROPOSED CONSTRUCTION ENTRANCE 
- PROPOSED CONCRETE WASHOUT PIT 
- EXISTING CONTOUR  500 
- PROPOSED CONTOUR 
- EXISTING DRAINAGE FLOW ARROW 
- PROPOSED DRAINAGE FLOW ARROW 
- PROPERTY BOUNDARY  

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR PREPARING AND IMPLEMENTING A STORMWATER POLLUTION PREVENTION PLAN IN ACCORDANCE WITH THE TPDES.
2. TOTAL DISTURBED AREA = 0.866 ACRES
3. REFER TO SHEET C9.0 FOR EROSION CONTROL DETAILS.

NOTES FOR CHANGES TO SWPPP:

CONTRACTOR SHALL BE REQUIRED TO UPDATE THIS SWPPP WHENEVER THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION, OR MAINTENANCE, OR WHENEVER THE RESULT OF AN INSPECTION INDICATES THAT THIS SWPPP IS INEFFECTIVE IN ELIMINATING OR SIGNIFICANTLY MINIMIZING POLLUTANT LOADS TO RECEIVING WATERS. THE REGULATIONS OF THE TEXAS BOARD OF PROFESSIONAL ENGINEERS REQUIRE THAT CHANGES MADE BY THE CONTRACTOR DURING CONSTRUCTION MUST BE AUTHORIZED BY A LICENSED TEXAS ENGINEER. THESE CHANGES MAY BE AUTHORIZED BY THE ENGINEER OF RECORD OR BY ANOTHER LICENSED TEXAS ENGINEER WHO HAS REVIEWED THE METHODS ACCEPTABLE TO THE ENGINEER; OR BY ANOTHER ENGINEER PROVIDED THAT THEY NOTIFY THE ENGINEER OF RECORD.

NOTE TO CONTRACTOR

THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES (WHETHER SHOWN ON PLANS OR NOT) PRIOR TO COMMENCING CONSTRUCTION. IF FIELD CONDITIONS DIFFER SIGNIFICANTLY FROM LOCATIONS SHOWN ON THE PLANS, THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.

EROSION CONTROL SEQUENCE

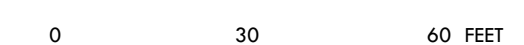
1. INSTALL SILT FENCES AROUND PERIMETER OF PROPERTY AND DISTURBED AREAS AS SHOWN.
2. INSTALL INLET PROTECTION FOR ALL EXISTING GRADE INLETS, CURB INLETS AND AT THE ENDS OF ALL EXPOSED STORM SEWER PIPES, IF PRESENT.
3. CONSTRUCT TEMPORARY CONSTRUCTION EROSION CONTROL MEASURES.
4. COMMENCE GRUBBING AND REMOVAL OF VEGETATION IN AREA TO RECEIVE CUT OR FILL.
5. COMMENCE GRADING OPERATION FOR BUILDING PAD PREPARATION.
6. INSTALL ALL UNDERGROUND UTILITIES.
7. FINALIZE PAVEMENT SUBGRADE PREPARATION.
8. INSTALL ALL PROPOSED STORM SEWER PIPES AND INSTALL INLET PROTECTION SILT FENCES AT ENDS OF EXPOSED PIPES.
9. REMOVE ALL GRASS, INLETS AND DRAINAGE STRUCTURES. INLET PROTECTION SILT FENCES MAY BE REMOVED TEMPORARILY FOR THIS CONSTRUCTION.
10. REMOVE SILT FENCES AROUND INLETS AND MANHOLES NO MORE THAN 48 HOURS PRIOR TO COMMENCING STABILIZED BEDDING COURSE.
11. INSTALL BASE MATERIAL AS REQUIRED FOR PAVEMENT, CURB & GUTTER.
12. INSTALL ALL PAVING, CURB & GUTTER.
13. COMPLETE PLANTING AND/OR SEEDING OF VEGETATED AREAS TO ACCOMPLISH STABILIZATION IN ACCORDANCE WITH NOTICED VIOLATION ORDINANCES.
15. REMOVE TEMPORARY CONSTRUCTION EXIT & SILT FENCES.

EROSION CONTROL MAINTENANCE NOTES:

1. ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON ON A SCHEDULE WHICH COMPLIES WITH THE GENERAL PERMIT REQUIREMENTS AND CLEANED AND REPAIRED WITHIN 48 HOURS OF THE INSPECTION IN ACCORDANCE WITH THE FOLLOWING:
 - 1.A. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.
 - 1.B. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEED AS NEEDED.
 - 1.C. ALL SLOPE PROTECTION DEVICES SHALL BE MAINTAINED IN GOOD CONDITION. IF DAMAGED, SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
 - 1.D. THE TEMPORARY PARKING AND STORAGE AREA (IF PRESENT) SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
 - 1.E. OUTLET STRUCTURES IN THE SEDIMENTATION BASINS OR SEDIMENT TRAPS (IF PRESENT) SHALL BE MAINTAINED IN OPERATIONAL CONDITION AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 50%.
2. MAINTENANCE PROCEDURES FOR EROSION AND SEDIMENTATION CONTROL SYSTEMS SPECIFIED ARE GIVEN IN SECTION 5 OF THE STORM WATER POLLUTION PREVENTION PLAN.



GRAPHIC SCALE



SCALE: 1" = 30'

DESIGNER NOTE:

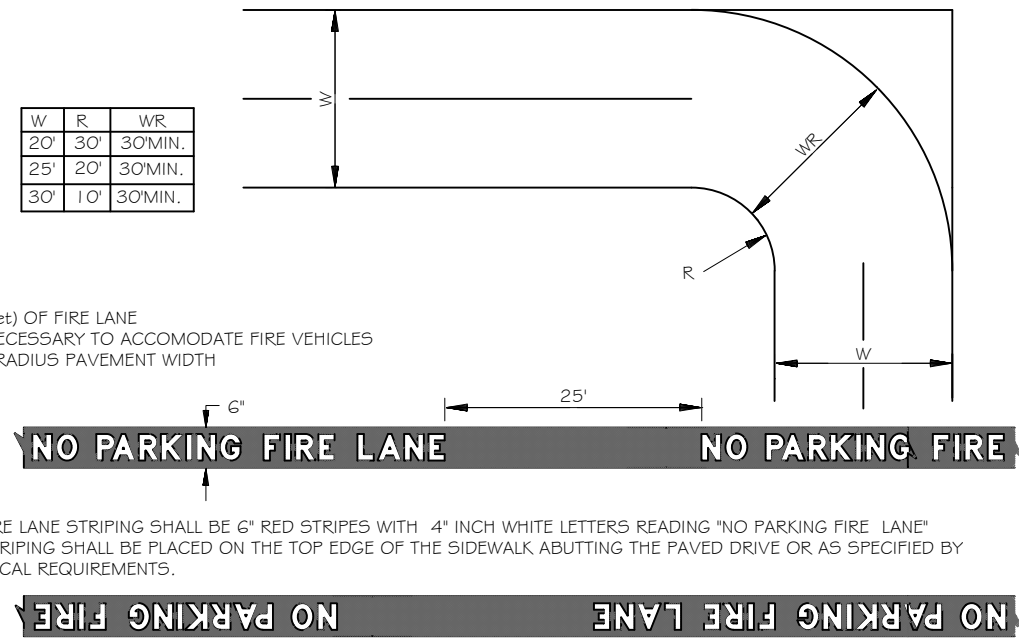
ANY SITES WITH EXISTING PONDS, STREAMS, OR CHANNELS NEED TO BE CONSIDERED AS POTENTIAL JURISDICTIONAL WATERS OF THE U.S. THE PROJECT MANGER NEEDS TO INVESTIGATE IF ANY POTENTIAL EXISTS.

FULL PATH: K:\Jobs\ROS20001_Bedford Retail\Drawings\03_ENGR\03 - Production\C9.0 EROSION CONTROL_ROS20001

FILENAME: C9.0 EROSION CONTROL_RCS20001.dwg
PLOTTED BY: Sandy Chau

FULL PATH: K:\3d\A0200001 - Bedford Retail\Drawings\03 - EDC\03 - Production\K:\3d\A0200001 - Bedford Retail\Drawings\03 - EDC\03 - Production\CL0 - PAVING DETAILS - 05/20/2021

DRAWING: CL0 - PAVING DETAILS - 05/20/2021 - JAW
 PLOTTED BY: Sanyo Chen
 PLOTTED DATE: 7/28/2021

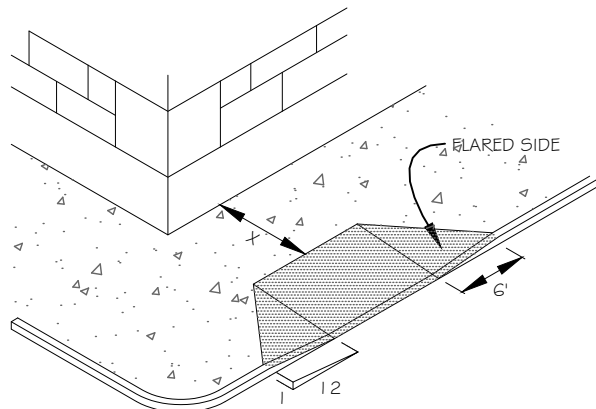


FIRE LANE MARKINGS

N.T.S.

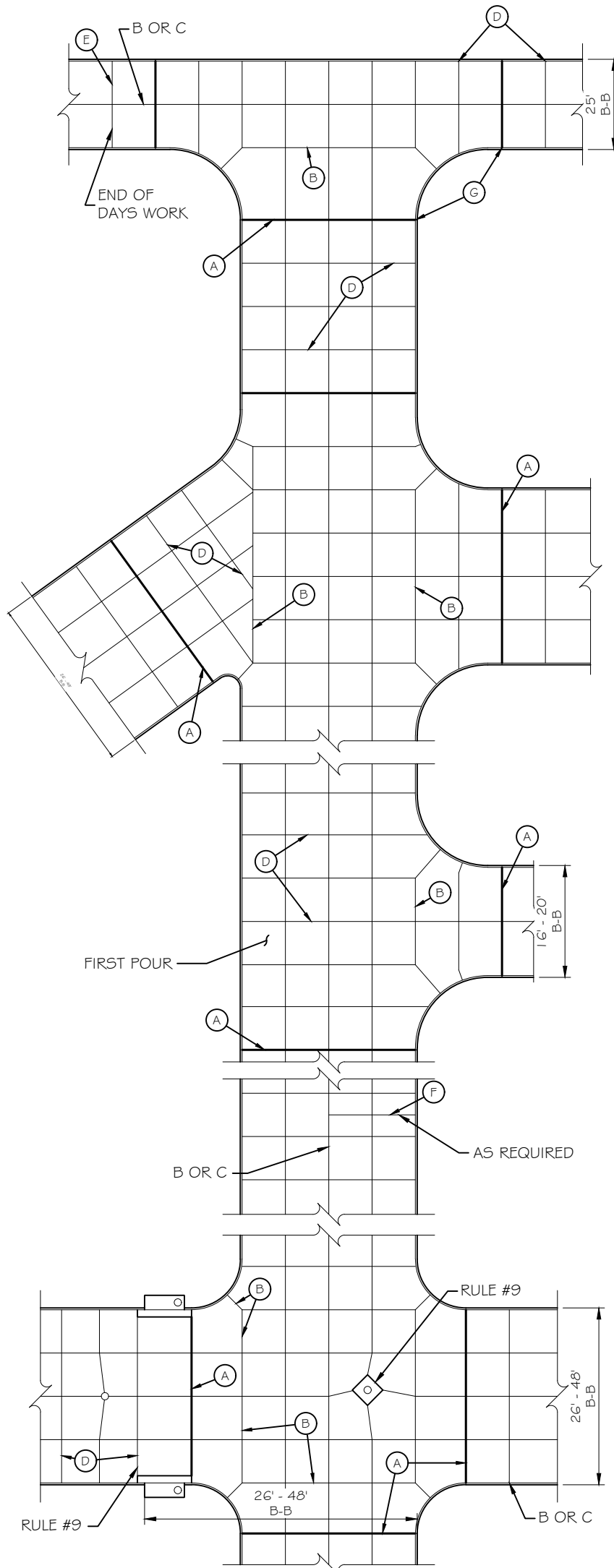
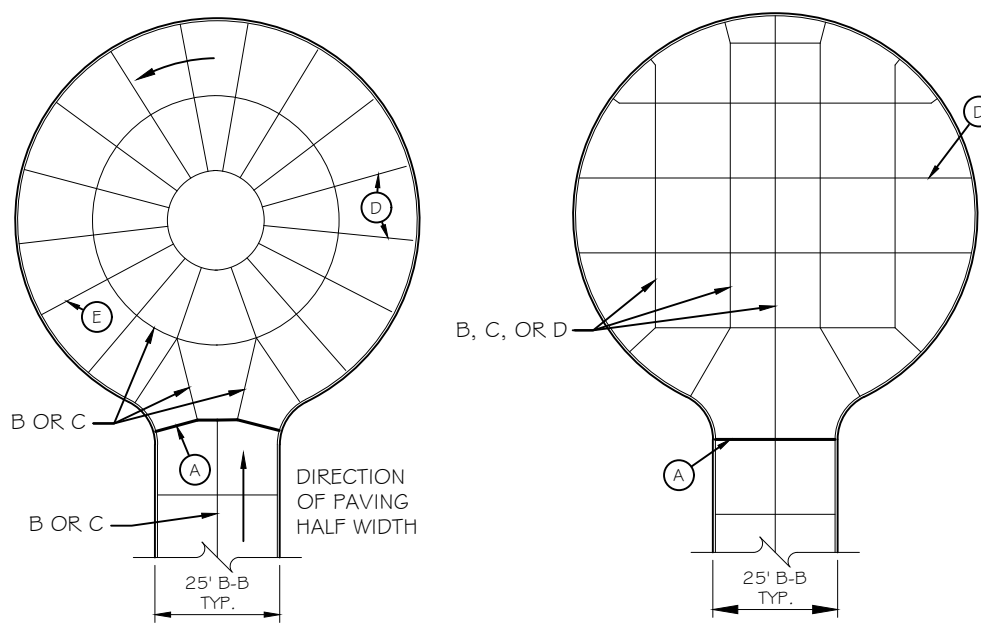
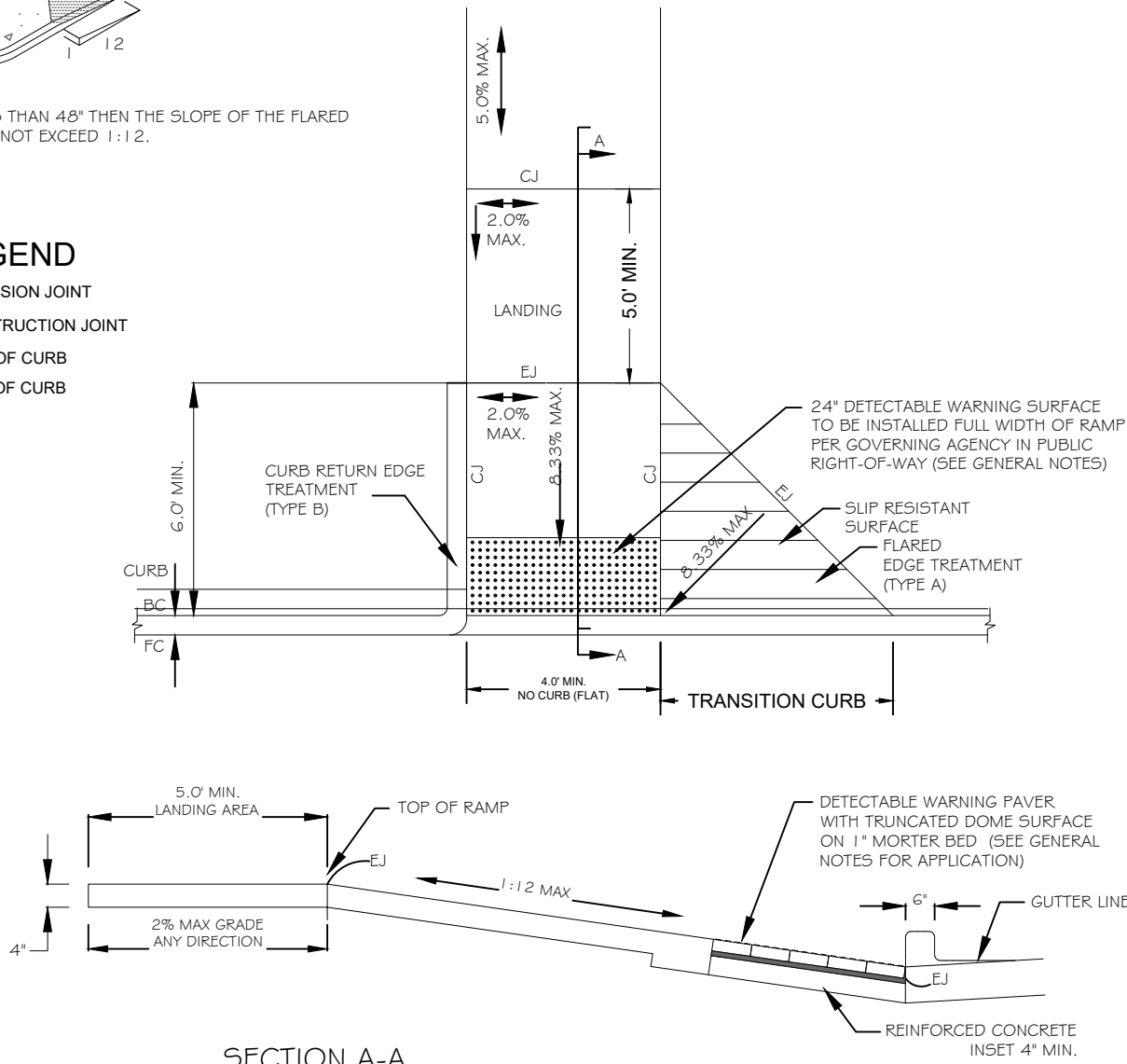
GENERAL NOTES

- NOTES:
 1. CROSSL SLOPE NOT TO EXCEED 2% ON ANY PORTION OF RAMP OR TRANSITION SURFACE.
 2. RAMP SLOPE SHALL BE CONSTRUCTED PER ADA & APPLICABLE STATE ACCESSIBILITY STANDARDS.
 3. CURB RAMP SURFACES SHALL BE MONOLITHIC FOUR (4) SEPARATED FROM SITE PAVING WITH A DOWELED EXPANSION JOINT.
 DETECTABLE WARNING SURFACE (PUBLIC RIGHT-OF-WAY):
 1. TRUNCATED DOMES SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK, OR DARK-ON-LIGHT. THE MATERIAL USED TO PROVIDE CONTRAST SHALL BE AN INTEGRAL PART OF THE WALKING SURFACE.
 2. TRUNCATED DOMES TO RUN PARALLEL TO PEDESTRIAN TRAVEL.
 3. DETECTABLE WARNING PAVERS, OR PLATES MEETING ADA & STATE REQUIREMENTS ARE ACCEPTABLE.
 GROOVED SURFACE (RAMP FLARE):
 1. FLARED CURB RAMP SURFACES SHALL BE TEXTURED WITH GROOVES 1/4" DEEP, 3/4" WIDE, 2" APART AND ARRANGED SO THAT WATER WILL NOT ACCUMULATE IN THE GROOVES.
 2. FLARED CURB RAMP SURFACE SHALL HAVE A LIGHT REFLECTIVE VALUE AND TEXTURE THAT SIGNIFICANTLY CONTRASTS WITH THAT OF THE ADJOINING PEDESTRIAN ROUTE WHEN SPECIFIED.



LEGEND

- EJ EXPANSION JOINT
 CJ CONSTRUCTION JOINT
 BC BACK OF CURB
 FC FACE OF CURB

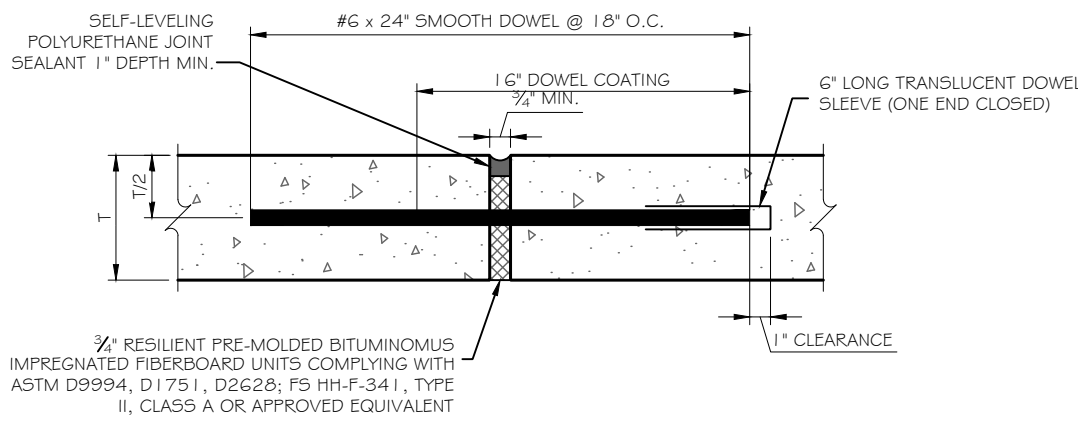


- KEY NOTES:
 A. EXPANSION JOINT (ISOLATION)
 B. LONGITUDINAL CONSTRUCTION JOINT
 C. LONGITUDINAL CONTROL JOINT (CONTRACTION)
 D. TRANSVERSE CONTROL JOINT (CONTRACTION)
 E. PLANNED TRANSVERSE CONSTRUCTION JOINT
 F. EMERGENCY TRANSVERSE CONSTRUCTION JOINT
 G. FLARE 1/2" EXPANSION JOINT FILLER IN TOP OF CURB ONLY AT ALL RADIUS POINTS

- RULES:
 1. AVOID ODD-SHAPED SLABS.
 2. MAXIMUM TRANSVERSE JOINT SPACING FOR PAVEMENT SHOULD EITHER BE 24 TO 30 TIMES THE SLAB THICKNESS OR 15ft.
 3. LONGITUDINAL JOINT SPACING SHOULD NOT EXCEED 12-34.
 4. KEEP SLABS AS SQUARE AS POSSIBLE. LONG NARROW SLABS TEND TO CRACK MORE THAN SQUARE ONES.
 5. ALL TRANSVERSE CONTRACTION JOINTS MUST BE CONTINUOUS THROUGH THE CURB AND HAVE A DEPTH EQUAL TO 1/4 THE PAVEMENT THICKNESS.
 6. IN ISOLATION JOINTS, THE FILLER MUST BE FULL DEPTH AND EXTEND THROUGH THE CURB.
 7. IF THERE IS NO CURB, LONGITUDINAL JOINTS SHOULD BE TIED WITH DEFORMED BARS.
 8. OFFSETS AT RADIUS POINTS SHOULD BE AT LEAST 1.5ft WIDE. JOINT INTERSECTION ANGLES LESS THAN 60° SHOULD BE AVOIDED.
 9. MINOR ADJUSTMENTS IN JOINT LOCATION MADE BY SHIFTING OF SKEWING TO MEET INLETS AND MANHOLES WILL IMPROVE PAVEMENT PERFORMANCE.
 10. WHEN THE PAVEMENT AREA HAS DRAINAGE STRUCTURES, PLACE JOINTS TO MEET THE STRUCTURES IF POSSIBLE.

TYPICAL JOINT LAYOUT

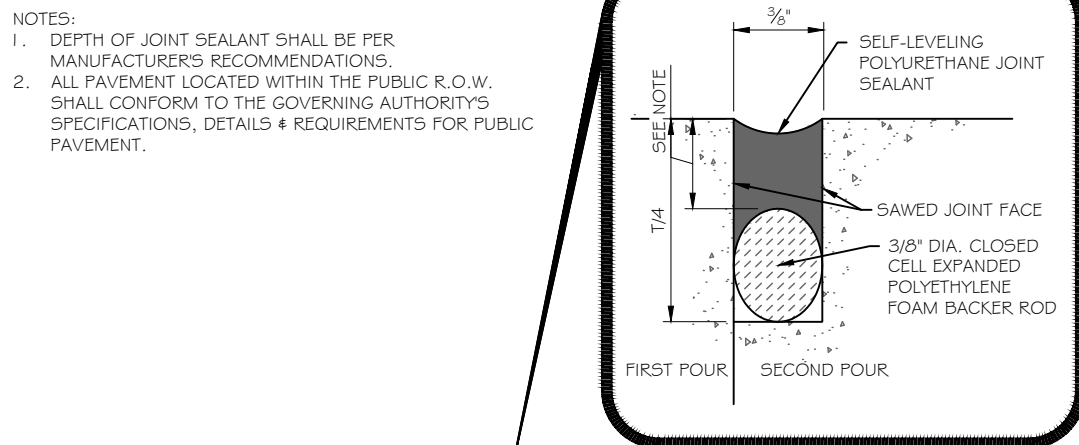
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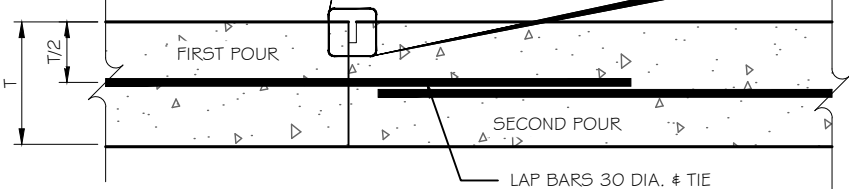
- NOTES:
 1. SLEEVES FOR DOWELS SHALL HAVE AN INSIDE DIAMETER OF 1/4" GREATER THAN THE DIAMETER OF THE DOWELS AND SHALL BE SUBMITTED TO ENGINEER FOR APPROVAL PRIOR TO USE.
 2. EXPANSION JOINTS SHALL BE CONSTRUCTED A MAXIMUM OF 500' APART ON STRAIGHT PAVING, AND WHERE INDICATED PER THE AMERICAN CONCRETE PAVEMENT ASSOCIATION'S TECHNICAL PUBLICATION ACPA 150G1.01 P (LATEST VERSION)
 3. DOWEL COATING SHALL BE ASPHALTIC COATING.
 4. DOWELS SHALL NOT BE TIED TO OTHER REINFORCEMENT.
 5. REFER TO SIDEWALK DETAILS THIS SHEET FOR EXPANSION JOINTS IN SIDEWALK AREAS.
 6. ALL PAVEMENT LOCATED WITHIN THE PUBLIC R.O.W. SHALL CONFORM TO THE GOVERNING AUTHORITY'S SPECIFICATIONS, DETAILS & REQUIREMENTS FOR PUBLIC PAVEMENT.
 7. FINISHED SURFACES SHALL BE INSTALLED FLUSH WITH A DIFFERENTIAL ELEVATION NOT TO EXCEED 1/4".

EXPANSION JOINT (ISOLATION)

N.T.S.

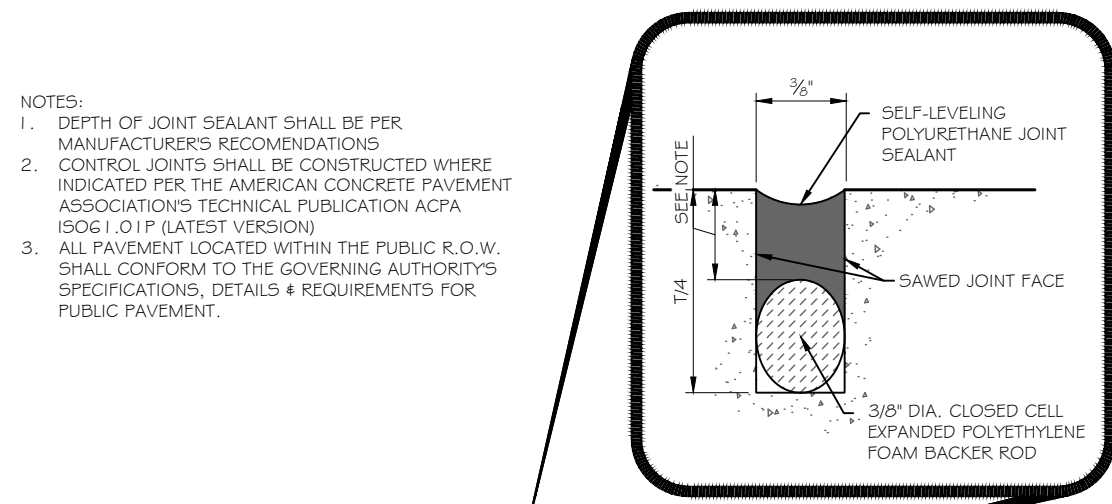


- NOTES:
 1. DEPTH OF JOINT SEALANT SHALL BE PER MANUFACTURER'S RECOMMENDATIONS.
 2. ALL PAVEMENT LOCATED WITHIN THE PUBLIC R.O.W. SHALL CONFORM TO THE GOVERNING AUTHORITY'S SPECIFICATIONS, DETAILS & REQUIREMENTS FOR PUBLIC PAVEMENT.

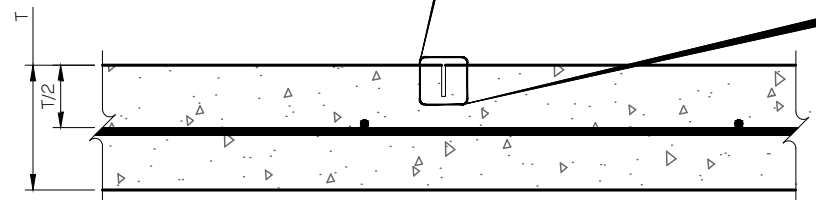


CONSTRUCTION BUTT JOINT

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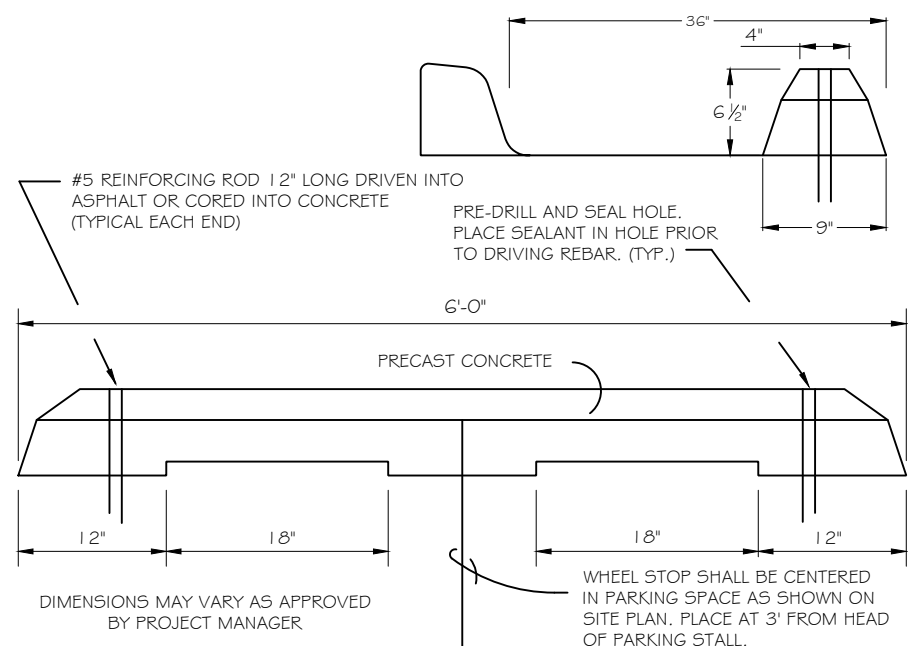


- NOTES:
 1. DEPTH OF JOINT SEALANT SHALL BE PER MANUFACTURER'S RECOMMENDATIONS.
 2. CONTROL JOINTS SHALL BE CONSTRUCTED WHERE INDICATED PER THE AMERICAN CONCRETE PAVEMENT ASSOCIATION'S TECHNICAL PUBLICATION ACPA 150G1.01 P (LATEST VERSION)
 3. ALL PAVEMENT LOCATED WITHIN THE PUBLIC R.O.W. SHALL CONFORM TO THE GOVERNING AUTHORITY'S SPECIFICATIONS, DETAILS & REQUIREMENTS FOR PUBLIC PAVEMENT.



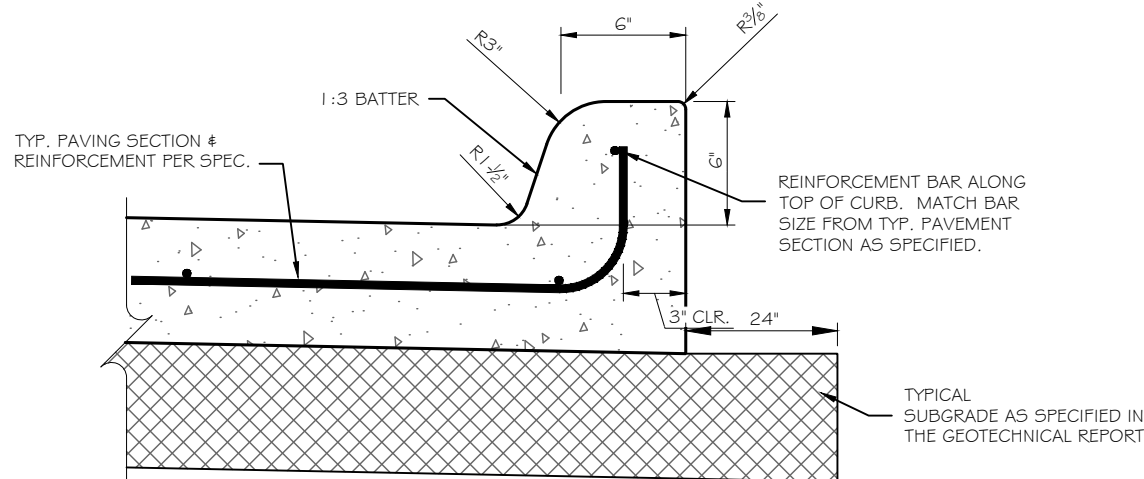
CONTROL JOINT (CONTRACTION)

N.T.S.



WHEEL STOP DETAIL

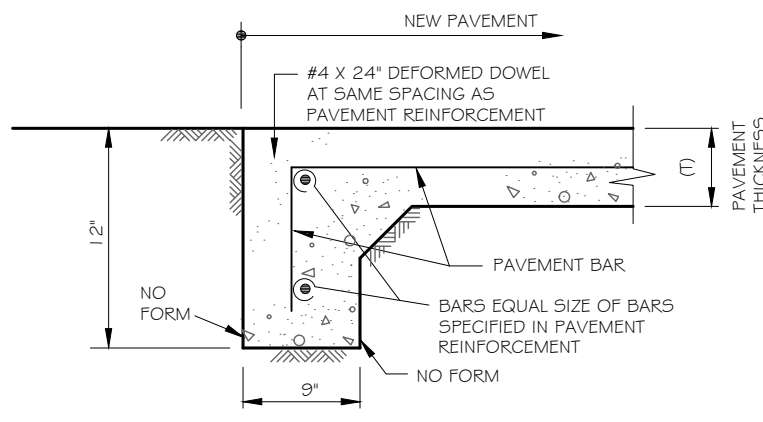
N.T.S.



- NOTE:
 1. ALL CURBS ARE CONSTRUCTED OF PORTLAND CEMENT CONCRETE UNLESS OTHERWISE SHOWN.
 2. GRADES SHALL BE MEASURED AT BACK OF CURB UNLESS OTHERWISE SPECIFIED.
 3. ALL PAVEMENT LOCATED WITHIN THE PUBLIC R.O.W. SHALL CONFORM TO THE GOVERNING AUTHORITY'S SPECIFICATIONS, DETAILS & REQUIREMENTS FOR PUBLIC PAVEMENT.
 4. CONTROL JOINTS THROUGH CURB SHALL BE SEALED IN THE PAVEMENT AND TERMINATE AT THE GUTTER.

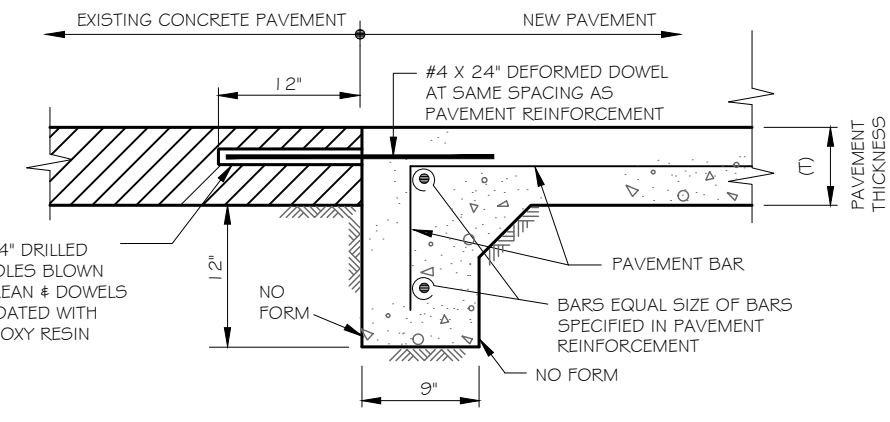
MONOLITHIC CURB DETAIL

N.T.S.



THICKENED PAVEMENT EDGE

N.T.S.



STREET HEADER AT EXISTING PAVEMENT

N.T.S.



HAKEMY GROUP OF COMPANIES

OWNER/ DEVELOPER:
 2331 W. NORTHWEST HWY #201
 DALLAS, TX 75220
 (469) 547-5702

BEDFORD RETAIL

LOT 4-R, BLOCK 13
 CITY OF BEDFORD
 TARRANT, TEXAS

DESCRIPTION:

REV.	DATE	DESCRIPTION



KIRKMAN ENGINEERING, LLC
 5200 STATE HIGHWAY 121
 COLLEYVILLE, TX 76034
 TEXAS FIRM NO. 15874

JOB NUMBER: ROS20001

ISSUE DATE: 04/05/2021

PAVING DETAILS

SHEET:

C9.0

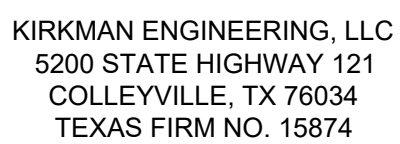
04/05/2021

PATRICK C. FILSON
108577
PROFESSIONAL ENGINEER
STATE OF TEXAS

Patrick Filson

OWNER/ DEVELOPER:
2331 W. NORTHWEST HWY #201
DALLAS, TX 75220
(469) 547-5702

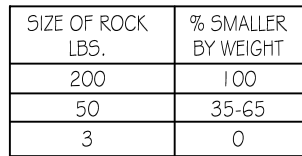
LOT 4-R, BLOCK 13
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ISSUE DATE: 04/05/2021

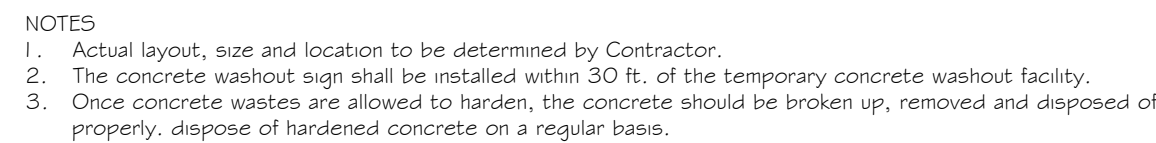
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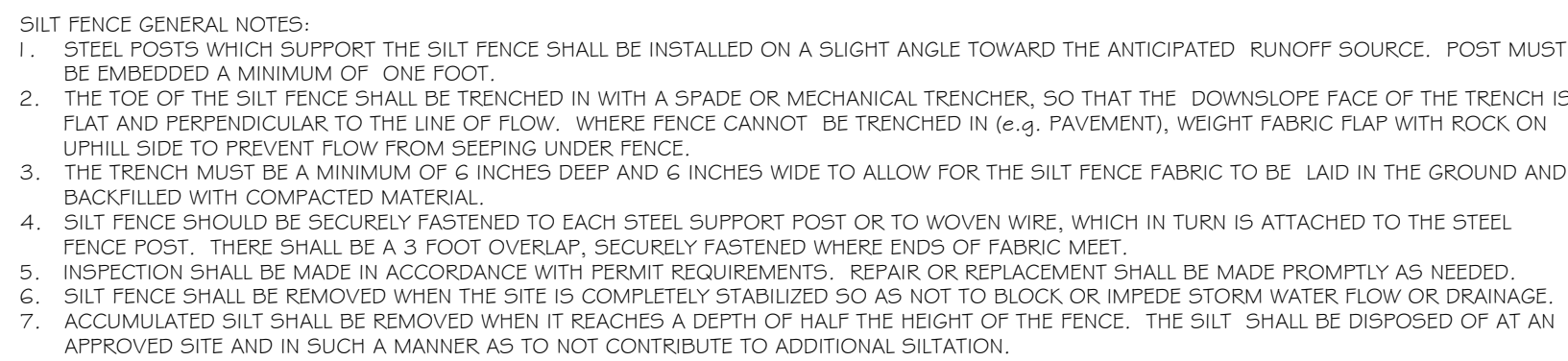


1. THE ENTRANCE SHALL BE MAINTAINED TO PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE DRESSING WITH ADDITIONAL STONE AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE INTO PUBLIC RIGHT-OF-WAY. WASHING SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT CONTROLLING STRUCTURE. USE SAND BAGS, GRAVEL, BORDERS OR OTHER APPROVED METHODS TO PREVENT SEDIMENT FROM ENTERING ANY STORM DRAIN, DITCH, OR WATER COURSE.
3. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.

N.T.S.



N.T.S.



N.T.S.