

**FLORIDA BUILDING CODE COMPLIANCE TABLE**

This structure is designed in compliance with the 2023 Florida Building Code using ASCE 7 to calculate the wind pressures.

Basic Wind Speed = 130 MPH  
Wind Exposure Category = C  
(Mean Roof Height=25')

Risk Category = II  
Enclosure Classification = Enclosed

**EXTERIOR GLAZING PROTECTION**

Impact protection is not required.  
Structure is outside of the wind-borne debris region.

**EXTERIOR WINDOW & DOOR DESIGN WIND PRESSURES**

WINDOW/DOOR LOCATION and AREA (See NOTES below)	POSITIVE DESIGN WIND PRESSURE	NEGATIVE DESIGN WIND PRESSURE
<b>ZONE 4 (INTERIOR ZONE)</b>		
AREA 0 to 20 SF	+24.6 PSF	-26.7 PSF
over 20 to 50 SF	+23.5 PSF	-25.6 PSF
over 50 to 100 SF	+22.0 PSF	-24.1 PSF
over 100 SF	+20.9 PSF	-23.0 PSF
<b>ZONE 5 (END ZONE)</b>		
AREA 0 to 20 SF	+24.6 PSF	-33.0 PSF
over 20 to 50 SF	+23.5 PSF	-30.7 PSF
over 50 to 100 SF	+22.0 PSF	-27.8 PSF
over 100 SF	+20.9 PSF	-25.6 PSF

- NOTES:**
- All Windows and Doors within 6' of a building corner are in the END ZONE. Otherwise, Windows and Doors are in the INTERIOR ZONE. See Floor Plan.
  - Choose pressures above based on AREA of Window or Door.
  - Wind pressures above are already factored by 0.6 for use with Allowable Stress Design. These pressures will not work with Strength Design unless adjusted accordingly.

**STRUCTURAL NOTES**

- See FLORIDA BUILDING CODE COMPLIANCE TABLE.
- Provide lateral support for conventionally framed Ceiling Framing in accordance with current National Forest Products Association and Florida Building Code specifications (at a minimum provide lateral support at all ends and at all bearing points).
- Use #2 Southern Yellow Pine for all wood framing unless noted otherwise. (EXCEPTION: 2x studs to be #2 Spruce unless noted otherwise). Wood posts (4" x 4" and 6" x 4" for example) to be #2 Southern Yellow Pine.
- All Laminated Veneer Lumber (LVL) to be 1.9E Microllam LVL by Weyerhaeuser unless otherwise noted.
- CONTRACTOR ALERT:** There can be significant corrosion of metal products in contact with treated wood. This can be especially true when using treatments other than Chromated Copper Arsenate (CCA-C). CONTRACTOR to use more stringent of manufacturer's recommendations or recommendations shown on this plan. Uncoated and painted products should not be used with treated woods. When using Stainless Steel or hot-dip galvanized products, the connectors and fasteners should be of the same material.
- Concrete to be 3000 PSI minimum strength at 28 days. All reinforcing steel shall be grade 40 deformed bar unless noted otherwise.
- Concrete Masonry Units to be Grade N-1 laid with type M or S mortar. Poured cells, inlets, etc. to use 3000 PSI concrete.
- Provide control joints in concrete & masonry according to good construction practices.
- Unless noted otherwise, structural steel to be ASTM A36 minimum with all welds to be installed by certified welders using E70XX electrodes.
- Soil under slab and footing areas to be clean sandy fill compacted to 95% density. Minimum bearing value of 2000 PSF. It is the CONTRACTOR'S responsibility to verify the soil conditions. If conditions are found inadequate, notify the designer so that provisions can be made.
- Plumbing, Electrical and Mechanical information on these plans is diagrammatic and the error or omission of an item does not relieve the contractor from supplying same. Design to be checked by Plumbing, Electrical and Mechanical contractors and adjustments made accordingly.
- All work to be done in accordance with all applicable codes and specifications. While every effort has been made to avoid errors, it is the Contractor's responsibility to verify dimensions and existing conditions before starting work. Discrepancies to be noted to ENGINEER before construction.

**FASTENING SCHEDULE**

Unless noted otherwise, fasten members in accordance with the FLORIDA BUILDING CODE.

**BUILDING CODE SUMMARY**

**APPLICABLE CODES**

2023 "Florida Building Code" and the most recently adopted "Florida Fire Prevention Code".

**FLORIDA BUILDING CODE, BUILDING**

**Chapter 3 Use and Occupancy Classification**  
This building is designed to accommodate Occupancy Groups S-1 & B.

**Chapter 4 Special Detailed Requirements Based on Occupancy**

**Chapter 5 General Building Heights and Areas**  
Building Area = 10,000 SF

Using Type IIIB Construction, Non-Sprinkled Allowable Areas for each use follows.  
Storage (Group S-1) Allowable Area = 17,500 SF (1.25) = 21,875 SF  
Business (Group B) Allowable Area = 19,000 SF (1.25) = 23,750 SF  
NOTE: Above areas include Frontage Inc:ease of 25% per Section 506.3

**Chapter 6 & Chapter 7**  
Type IIIB, Non-Sprinkled  
Table 601 All Exterior Walls are non-bearing  
Table 705.5 Left, Right, and Rear Exterior Walls meet 1 Hour Requirement.

**Chapter 8 Interior Finishes**  
When interior finish is provided, unless noted otherwise, all walls to be painted drywall or optional plywood.  
Table 803.11 Interior Wall and Ceiling Finish Requirements  
Rooms and Enclosed Spaces Class C per ASTM E 84

**Chapter 9 Fire Protection Systems**  
Building is non-sprinkled.

**Chapter 10 Means of Egress**

See Life Safety Plan for Travel Distances  
**Fire Marshal General Notes**  
• Address Numbers Must be posted on the building in a location that is plainly visible from the road fronting the property. Numbers shall contrast to their background.  
• Fire extinguishers are required for this occupancy. Contact a fire extinguisher contractor to identify the location and type of extinguisher to use.  
• The elevation of the floor surface on both sides of a door opening shall not vary by more than 1/2 inch. This elevation shall be maintained for a distance not less than the width of the widest leaf.  
• If this is light weight construction (repetitive wood or light weight 12-24 gauge steel framing) placement of an approved firefighter safety warning sign (malest cross) shall be placed on the structure in accordance with FS 633.222 and FAC 69A-60.081 (size, color, height, placement)

**Chapter 11 Accessibility**

Handicapped Accessibility is provided

**ABBREVIATIONS**

A.F.F.	Above Finished Floor	MFG	Manufacturer
BM	Bearing	MIN	Minimum
BRG	Bearing	M.O.	Masonry Opening
C.J.	Control Joint	MTL	Metal
CLG	Ceiling	NGVD	National Geodetic Vertical Datum
CONC.	Concrete	O.C.	On Center
CONT.	Continuous	o/	Out of
CMU	Concrete Masonry Unit	o/o	Out to Out
DBL	Double	OSB	Oriented Strand Board
DEG.	Degree	PSF	Pounds per square foot
DIA	Diameter	PSI	Pounds per square inch
DL	Dead Load	PSL	Parallel Strand Lumber
EOR	Engineer of Record	PT	Pressure Treated
EQ	Equal	REBAR	Reinforcing Steel Bar
EXT.	Exterior	REIN.	Reinforced
F.D.	Floor Drain	SF	Square Feet
F.F.	Finished Floor	SPF	Spruce Pine Fir
FT.	Foot	STL	Steel
FTG.	Footing	SYP	Southern Yellow Pine
GA	Gage	T & G	Tongue and Groove
GALV.	Galvanized	T.O.B.	Top of Beam
GCB	Gypsum Ceiling Board	T.O.W.	Top of Wall
GEW	Gable Endwall	TYP	Typical
GWB	Gypsum Wall Board	UNO	Unless Noted Otherwise
H.C.	Handicapped	WD.	Wood
HDR	Header	w/o	without
LBS	Pounds	W.W.M.	Welded Wire Mesh
LL	Live Load	W.W.F.	Welded Wire Fabric
LSL	Laminated Strand Lumber		
LVL	Laminated Veneer Lumber		
MAX	Maximum		

**DRAWING INDEX**

**GENERAL**

CS COVER SHEET

**ARCHITECTURAL**

A1 FLOOR PLAN  
A2 EXTERIOR ELEVATIONS  
A3 SECTIONS

**ELEC. & PLUMBING**

MEP1 ELECTRICAL & PLUMBING

**STRUCTURAL**

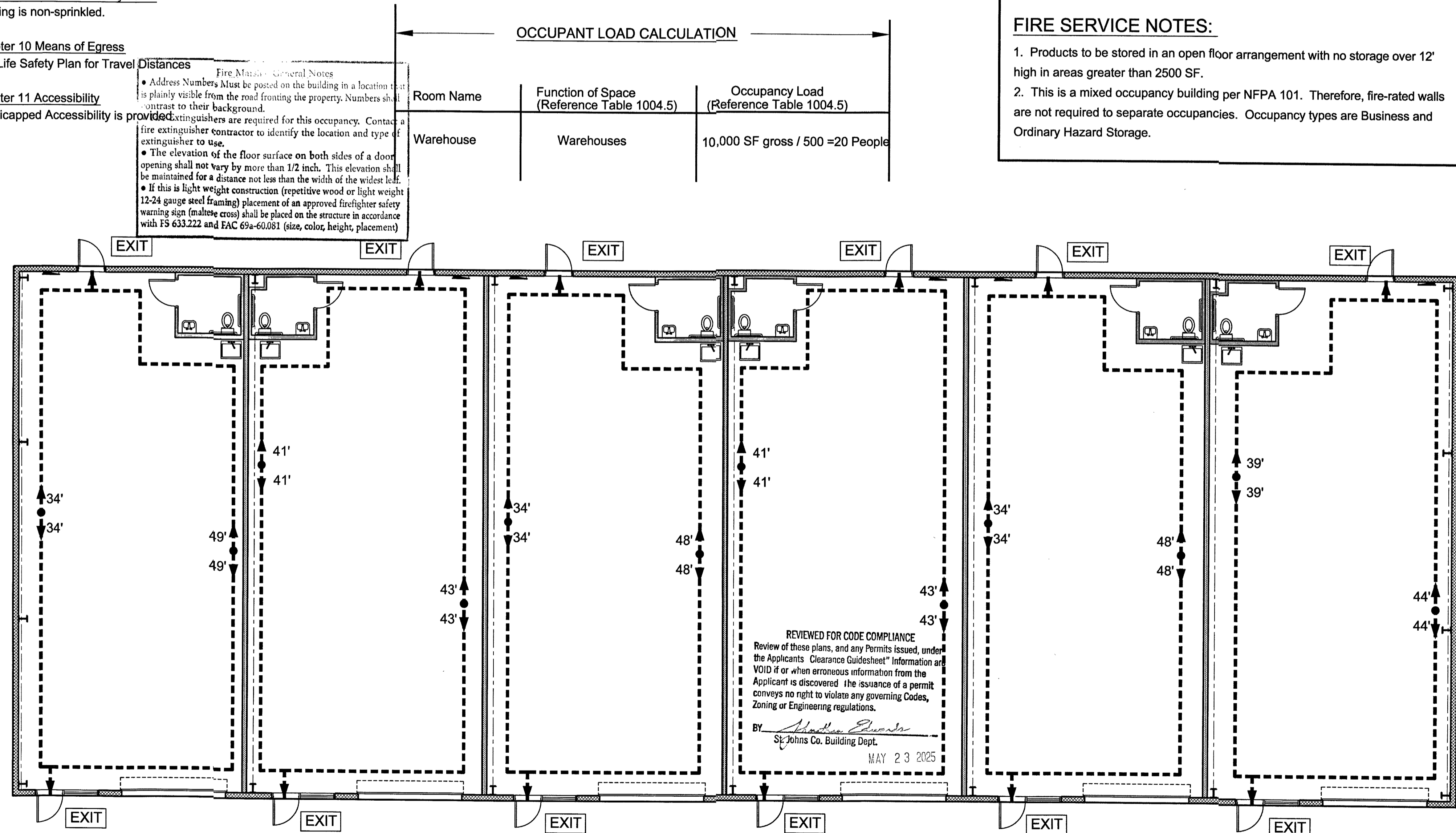
S1 FOUNDATION PLAN  
S2 MASONRY WALL PLAN

**PRE-ENGINEERED METAL BUILDING NOTES:**

- The steel framing of the Pre-Engineered Metal Building is used to support the Masonry walls for wind loads perpendicular to the Masonry Wall. On the endwalls, a Purlin Angle is provided spanning between the purlins as well as Spandrels. On the sidewalls, Spandrels are used to resist this wind load. Horizontal deflection due to wind load to meet Nucor® Building Systems specifications.
- Neither cable bracing nor portal frames need to be used on this building since the Masonry Wall and Spandrels will laterally brace the steel building frames.
- See PURLIN TO BLOCK CONNECTION and SPANDREL TO BLOCK CONNECTION.
- Provide 4" minimum Anchor Bolt edge distance from face of column as shown in Section 1/S1.

**FIRE SERVICE NOTES:**

- Products to be stored in an open floor arrangement with no storage over 12' high in areas greater than 2500 SF.
- This is a mixed occupancy building per NFPA 101. Therefore, fire-rated walls are not required to separate occupancies. Occupancy types are Business and Ordinary Hazard Storage.



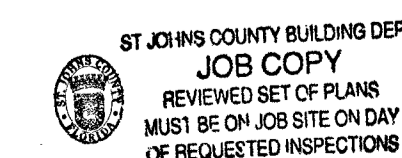
**LIFE SAFETY PLAN**

SCALE: 1/8" = 1'-0"

EXIT Indicates Exit

80' Indicates Travel Distance to nearest Exit in direction of arrow.  
NOTE: Maintain 3' Wide Clear Aisle along these paths.

REVIEWED FOR CODE COMPLIANCE  
Review of these plans, and any Permits issued, under the Applicant's Clearance Guidelines. Information is VOID if or when erroneous information from the Applicant is discovered. The issuance of a permit conveys no right to violate any governing Codes, Zoning or Engineering regulations.  
BY: *Shelley Shanks*  
St. Johns Co. Building Dept.  
MAY 23 2025



NOTICE TO ALL CONTRACTORS  
REVIEW & APPROVAL BY THE AUTHORITY HAVING JURISDICTION SHALL NOT RELIEVE THE APPLICANT OF THE RESPONSIBILITY FOR COMPLIANCE WITH FIRE CODE.  
REVIEWED BY: *Shelley Shanks*  
F. J. Webb, Plans Examiner, 31088 DATE: APR 30 2025  
ST. JOHNS COUNTY FIRE RESCUE

For Permit

**LAF LAM**  
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CERTIFICATION:  
WITH LAF LAM I AM A PROFESSIONAL ENGINEER  
NOT VALID WITHOUT EMBOSSED SEAL

*Shelley Shanks*  
APR 30 2025  
LICENSE NUMBER: 33890

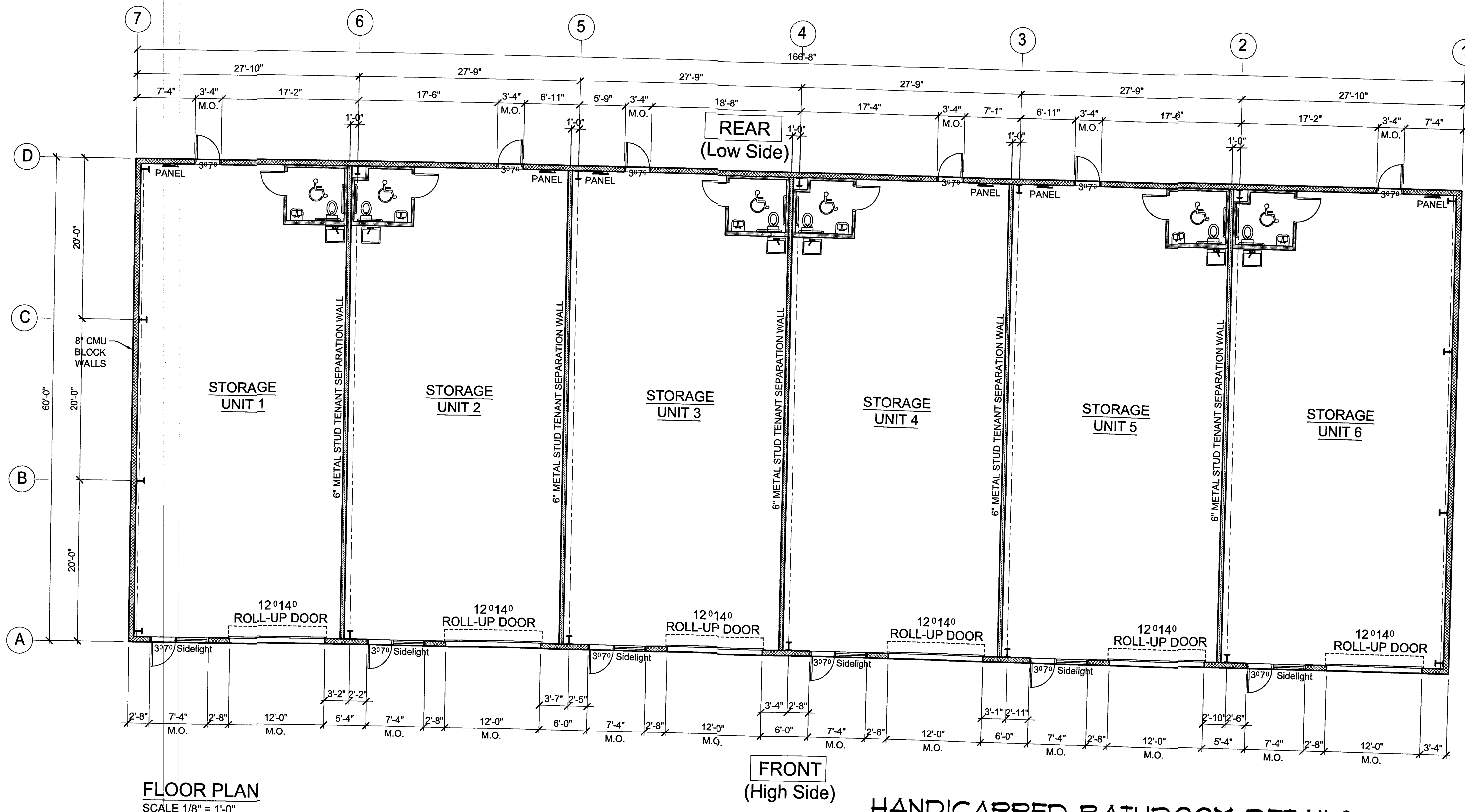
CONTRACTOR:  
**DiMare CONSTRUCTION CO.**  
3545 US 1 South  
St. Augustine, Florida 32086  
(904) 797-3328

JOB NAME:  
**BUILDING #4:**  
50 Alsop Court  
St. Augustine, FL 32095  
OWNER: DJ's Cardinal, LLC  
Ponte Vedra Beach, FL 32004

REVISIONS	BY

DRAWN	MCD TM
CHECKED	RKL
DATE	April 4, 2025
SCALE	NOTED
JOB NAME	
SHEET	

**CS**  
1 OF 7 SHEETS

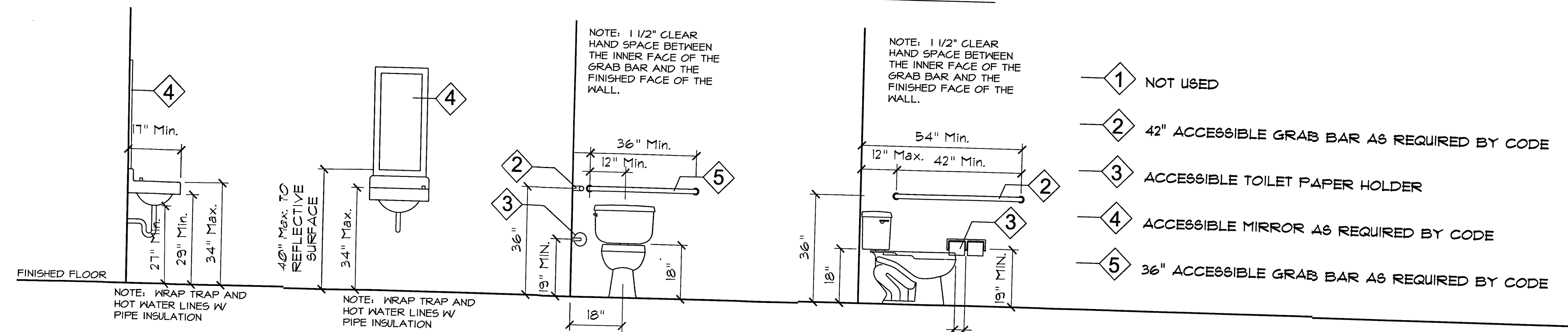


**FLOOR PLAN**  
SCALE 1/8" = 1'-0"

**DOOR HARDWARE SCHEDULE**

LOCATION	SIZE	TYPE	HARDWARE
Front Exterior Doors	3'-0" with Sidelight	Aluminum Storefront	Standard Push/Pull, Keyed Cylinder & Thumb Turn on inside, Surface Mounted Door Closure
Rear Exterior Doors	3'-0"	Hollow Metal Door and Frame	Standard Entry Lever Lockset with Push Button inside (always free Egress) with Door Closer.
Restroom Doors	3'-0" x 6'-8"	Pre-Hung Wood or Masonite	Standard Privacy Set

**HANDICAPPED BATHROOM DETAILS**



- 1 NOT USED
- 2 42" ACCESSIBLE GRAB BAR AS REQUIRED BY CODE
- 3 ACCESSIBLE TOILET PAPER HOLDER
- 4 ACCESSIBLE MIRROR AS REQUIRED BY CODE
- 5 36" ACCESSIBLE GRAB BAR AS REQUIRED BY CODE

**RESTROOM FRAMING NOTES:**  
NOTE: Ceiling Height to be ±8'-0"

- WALL FRAMING:** Provide 2"x4" or 2"x6" Wood Framed Stud Walls as shown on Floor Plan. Provide (2)-2"x (#2 SYP) Top Plate, 2"x (#2 Spruce) Studs at 16" on center, and 2"x Pressure Treated Bottom Plate. Finish with 1/2" Gypsum Wallboard or Plywood. Walls to be ±8' tall.
- DOOR HEADER:** Provide (2)-2"x10" (#2 SYP) with (1)-2"x4" (#2 Spruce) Jack Stud and (1)-2"x4" (#2 Spruce) King Stud
- CEILING FRAMING:** Provide 2"x10" Ceiling Framing at 24" on center to span ±7'. Finish with 1/2" Gypsum Wallboard or Plywood inside the bathroom. Provide 3/4" T & G Plywood Floor Sheathing on top.

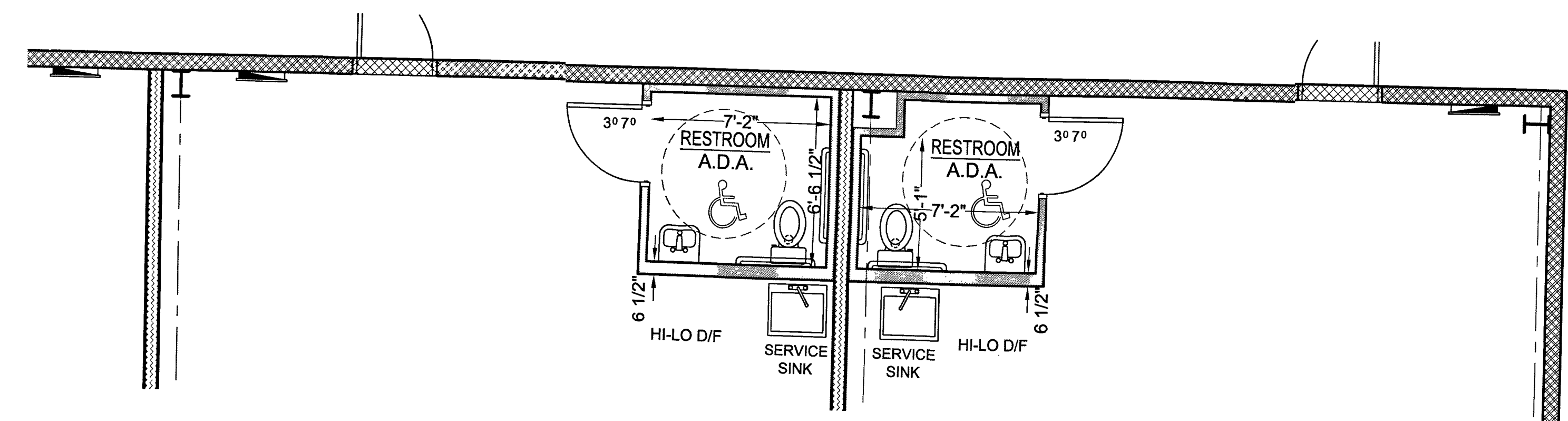
**WALL LEGEND**

- CMU BLOCK WALLS
- TENANT SEPARATION WALL (See Section)
- WOOD-FRAMED STUD WALLS

**DIMENSION LEGEND**

ROOM SIZES TO DRYWALL

BUILDING DIMENSIONS TO STUDS, MASONRY, OR OUT OF GIRT



**PARTIAL FLOOR PLAN**  
SCALE 1/4" = 1'-0"

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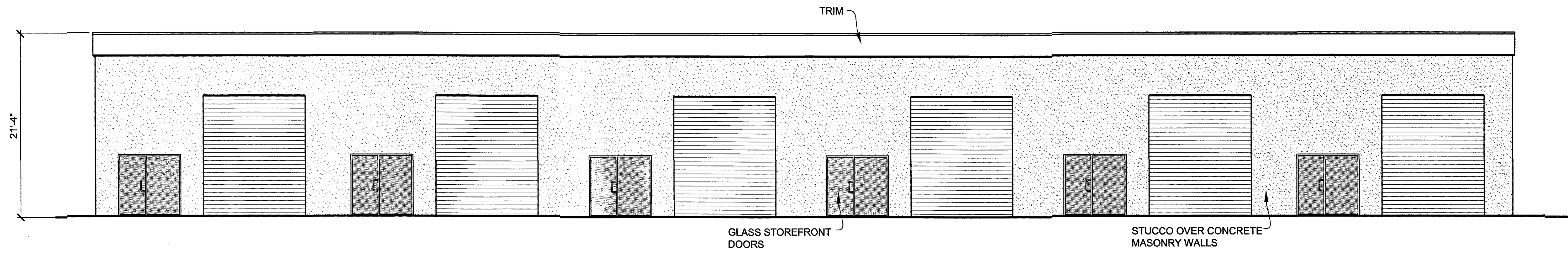
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DATE: April 4, 2025  
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2 OF 7 SHEETS

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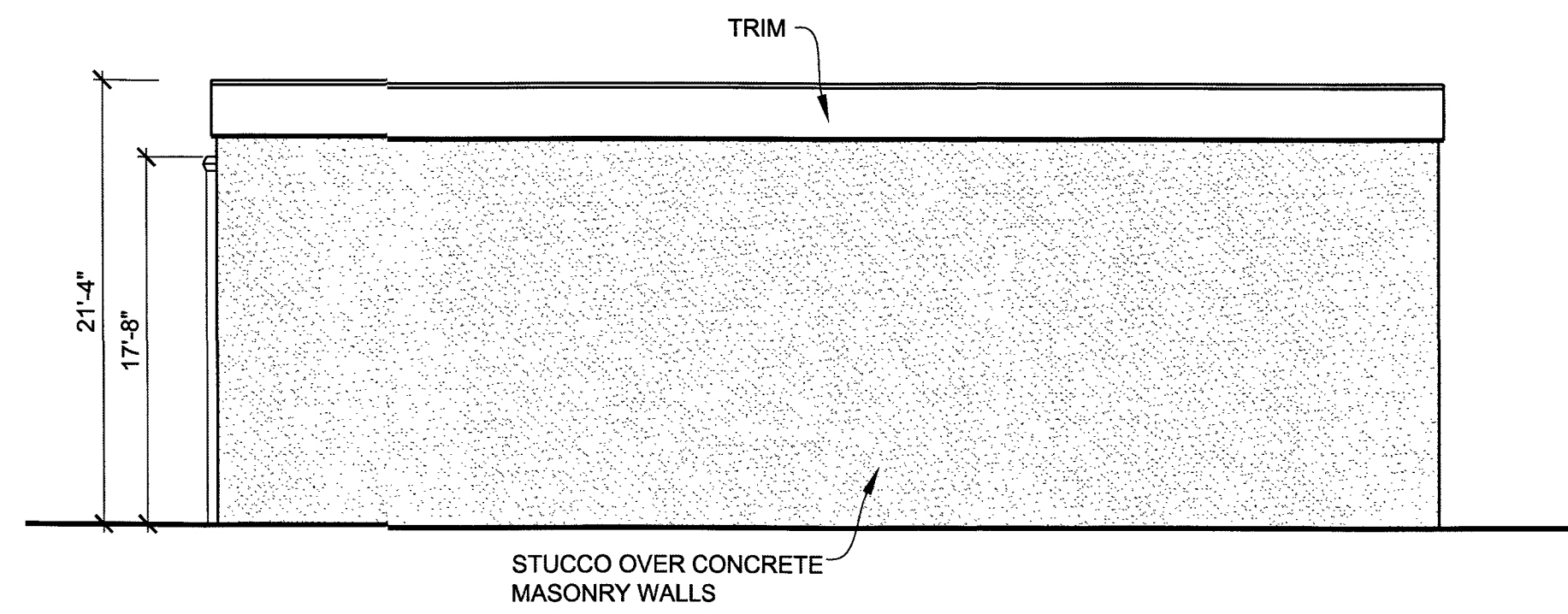


**FRONT ELEVATION**  
SCALE 1/8" = 1'-0"

GLASS STOREFRONT  
DOORS

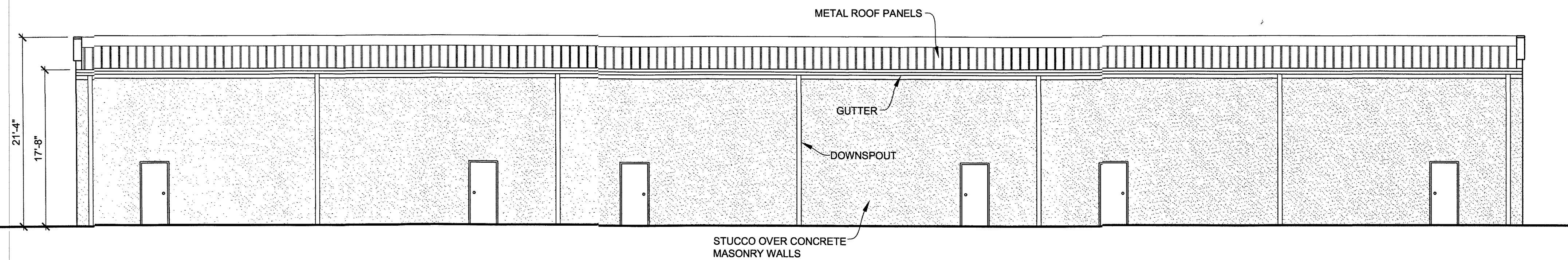
STUCCO OVER CONCRETE  
MASONRY WALLS

**DISCLAIMER:**  
Architectural Elevations shown on this plan  
are an approximate view of the finished  
project. Actual Elevations may look  
different in field.



**LEFT SIDE ELEVATION**  
**RIGHT SIDE ELEVATION (Similar)**  
SCALE 1/8" = 1'-0"

STUCCO OVER CONCRETE  
MASONRY WALLS



**REAR ELEVATION**  
SCALE 1/8" = 1'-0"

STUCCO OVER CONCRETE  
MASONRY WALLS

METAL ROOF PANELS

GUTTER

DOWNSPOUT

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LICENSE NUMBER: 38680

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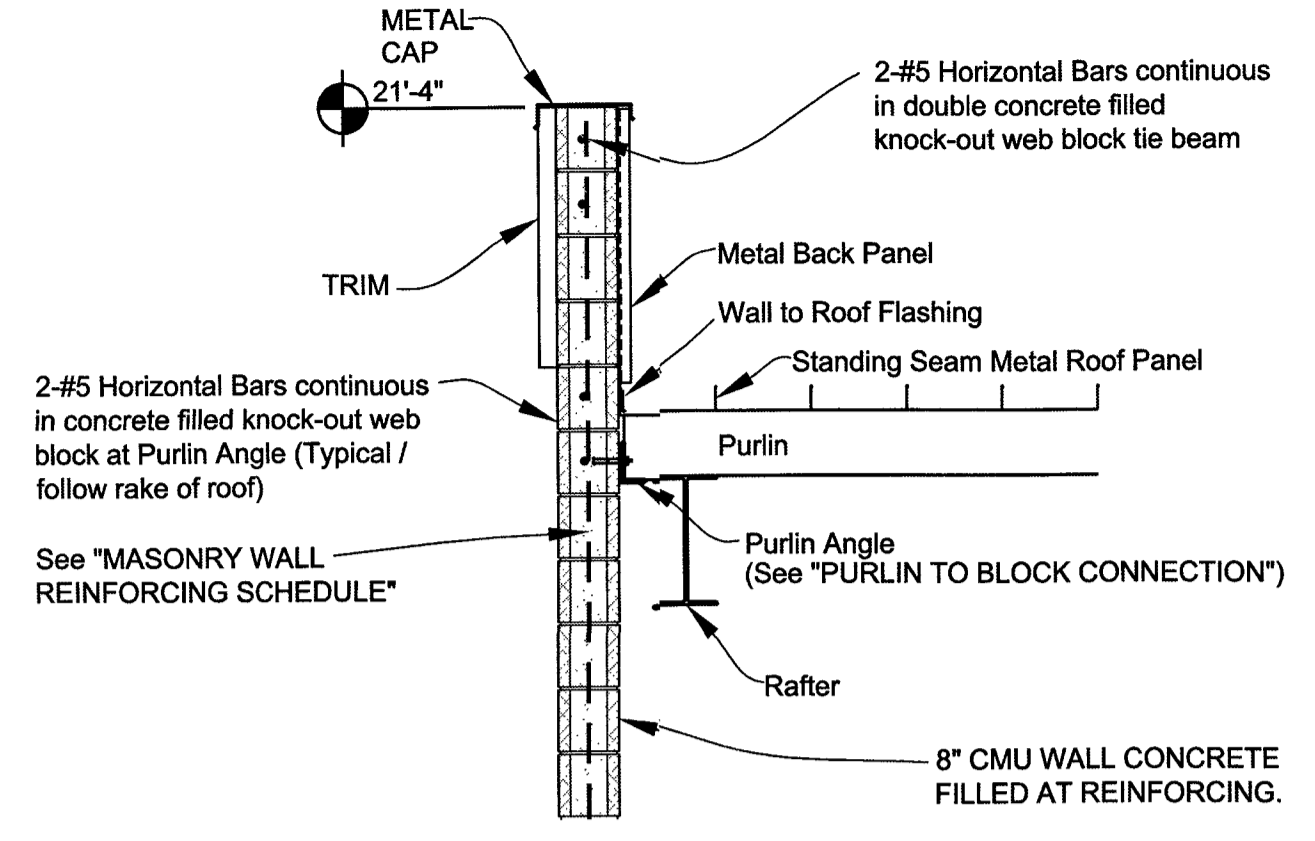
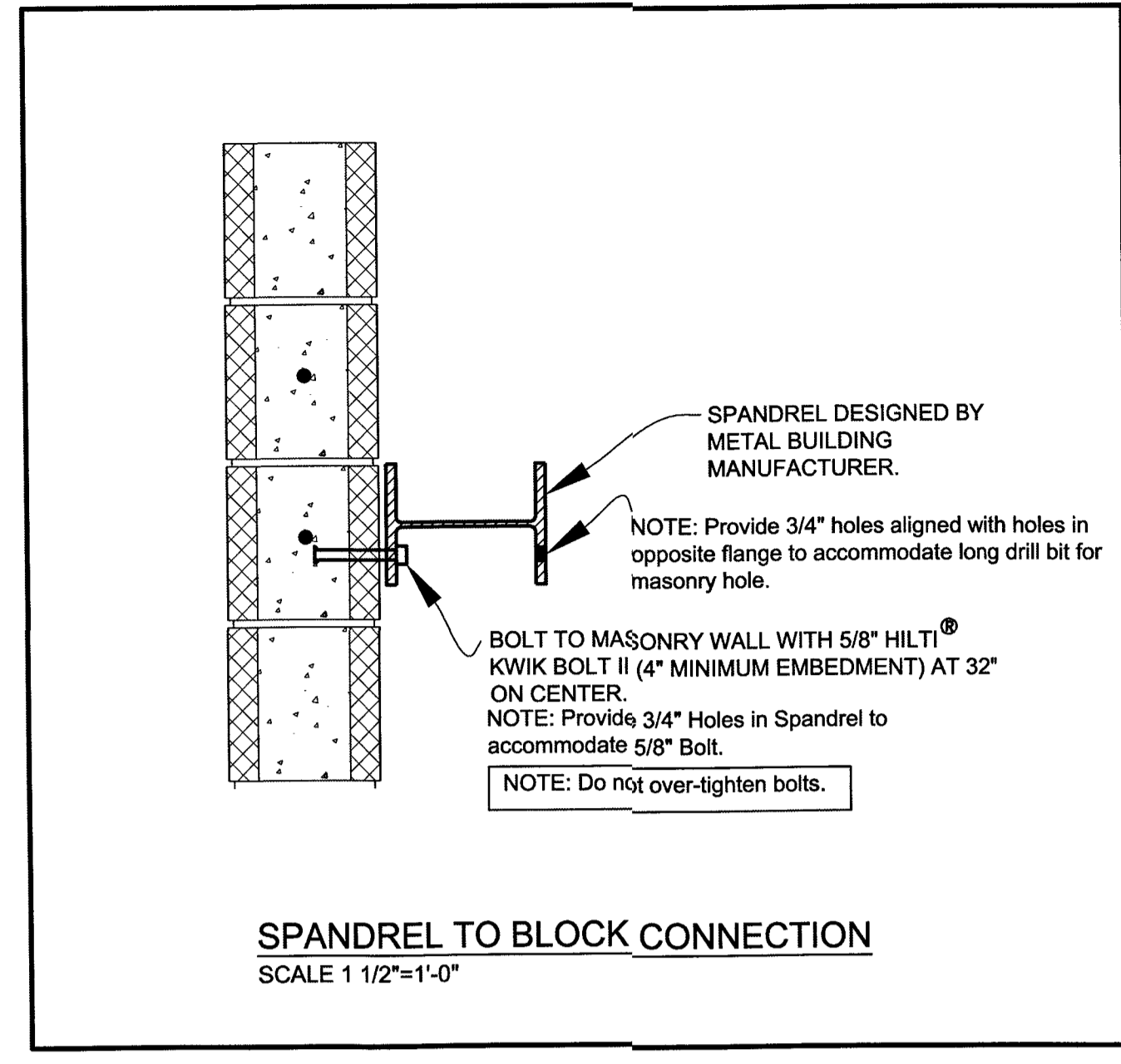
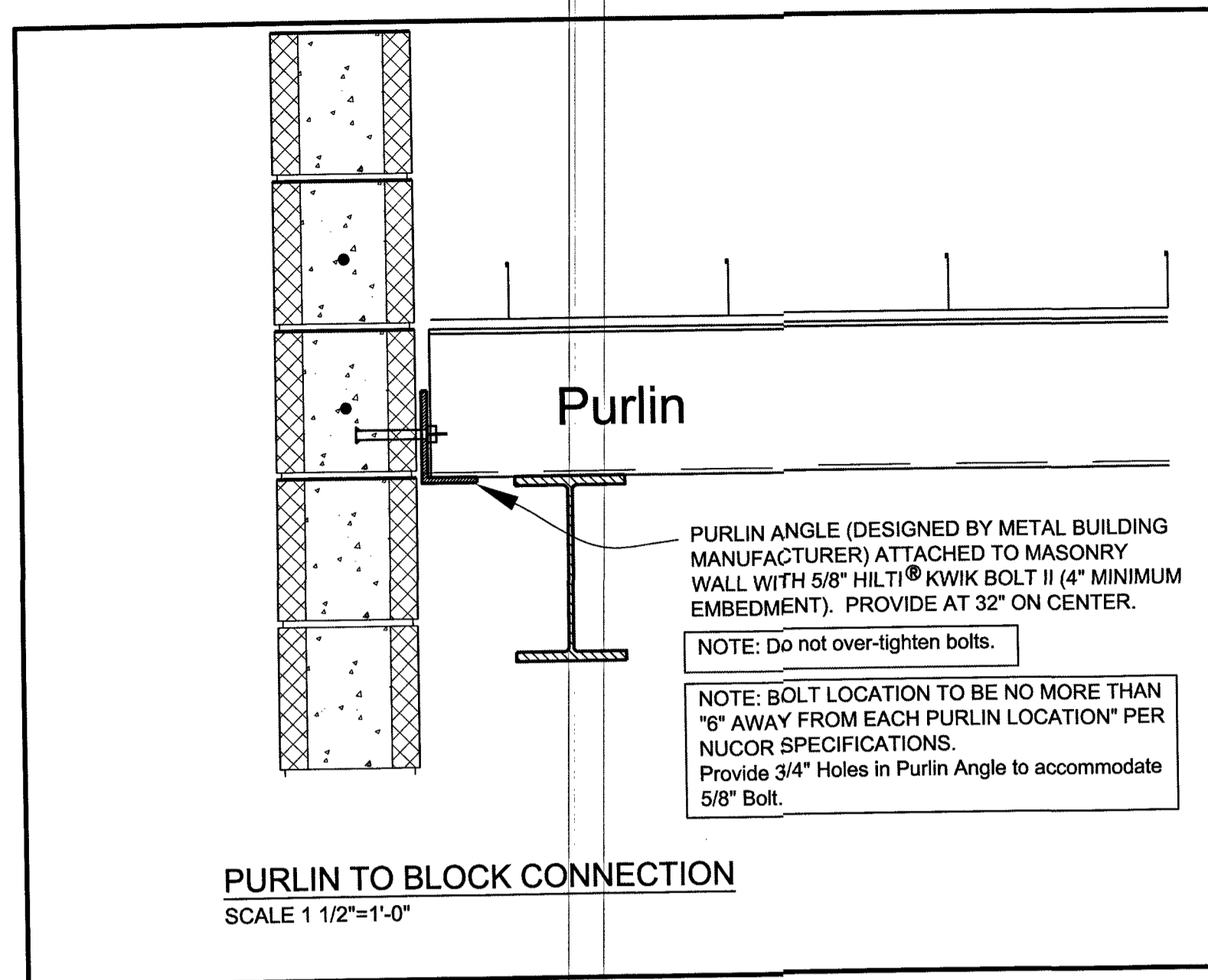
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SCALE: NOTED  
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3 OF 7 SHEETS

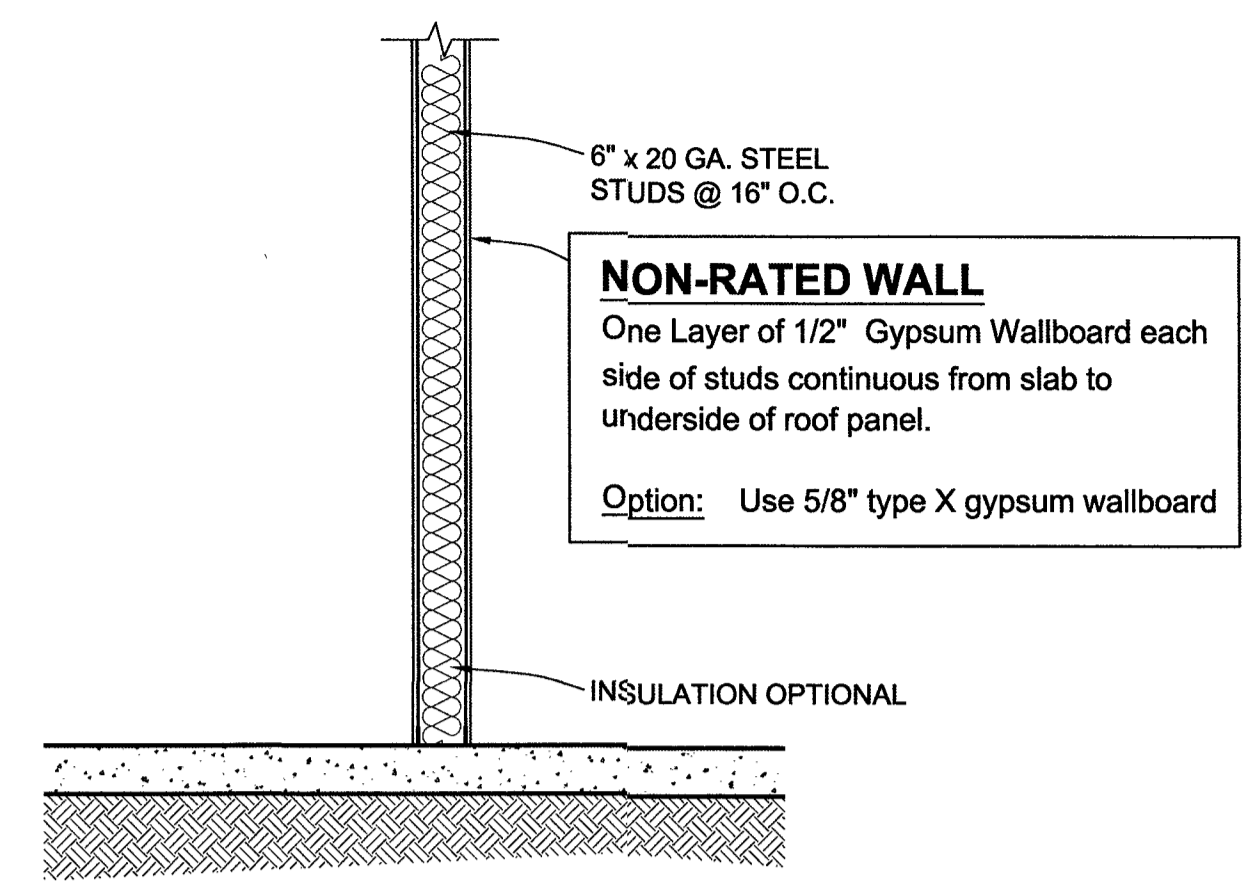
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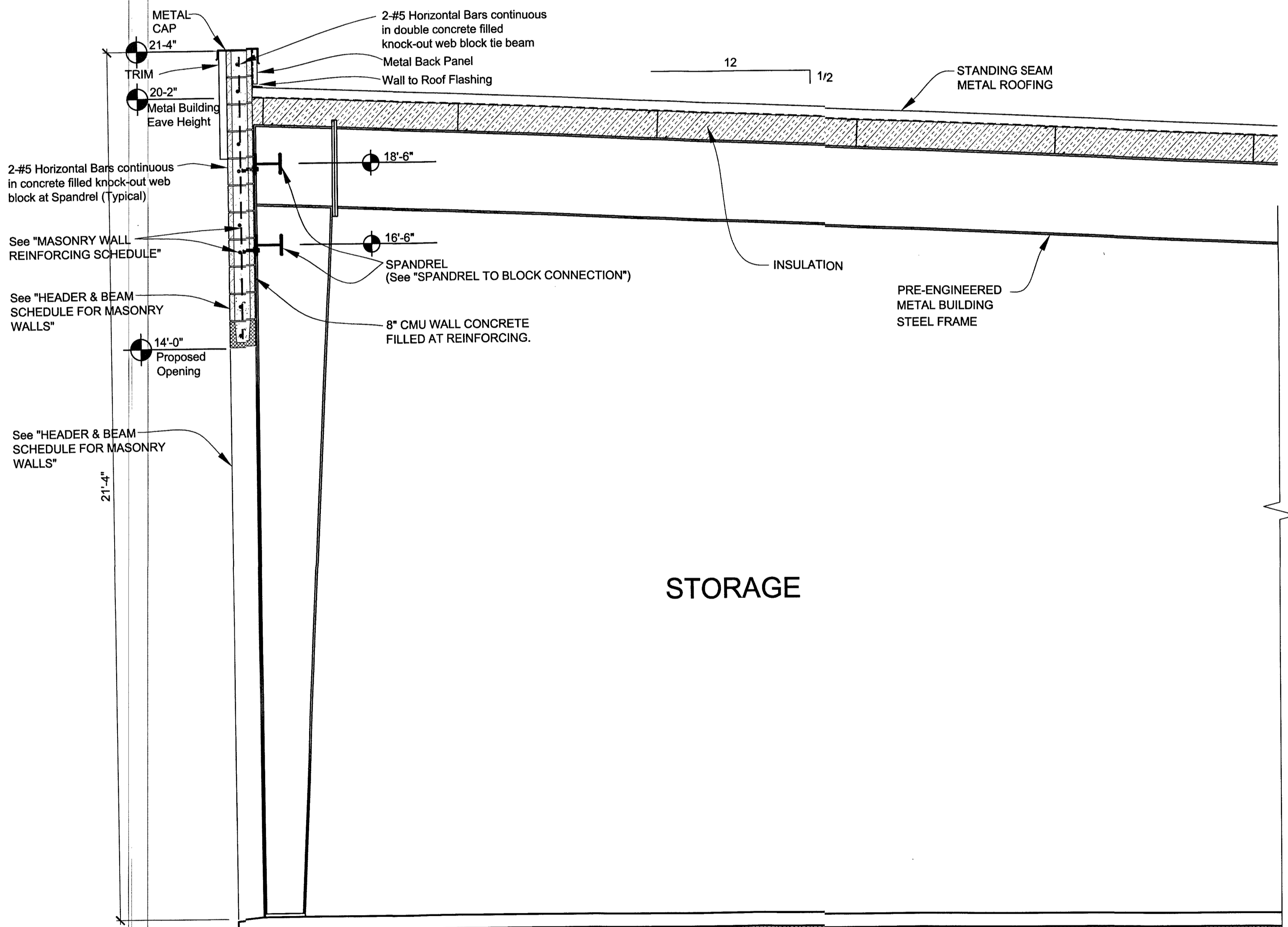
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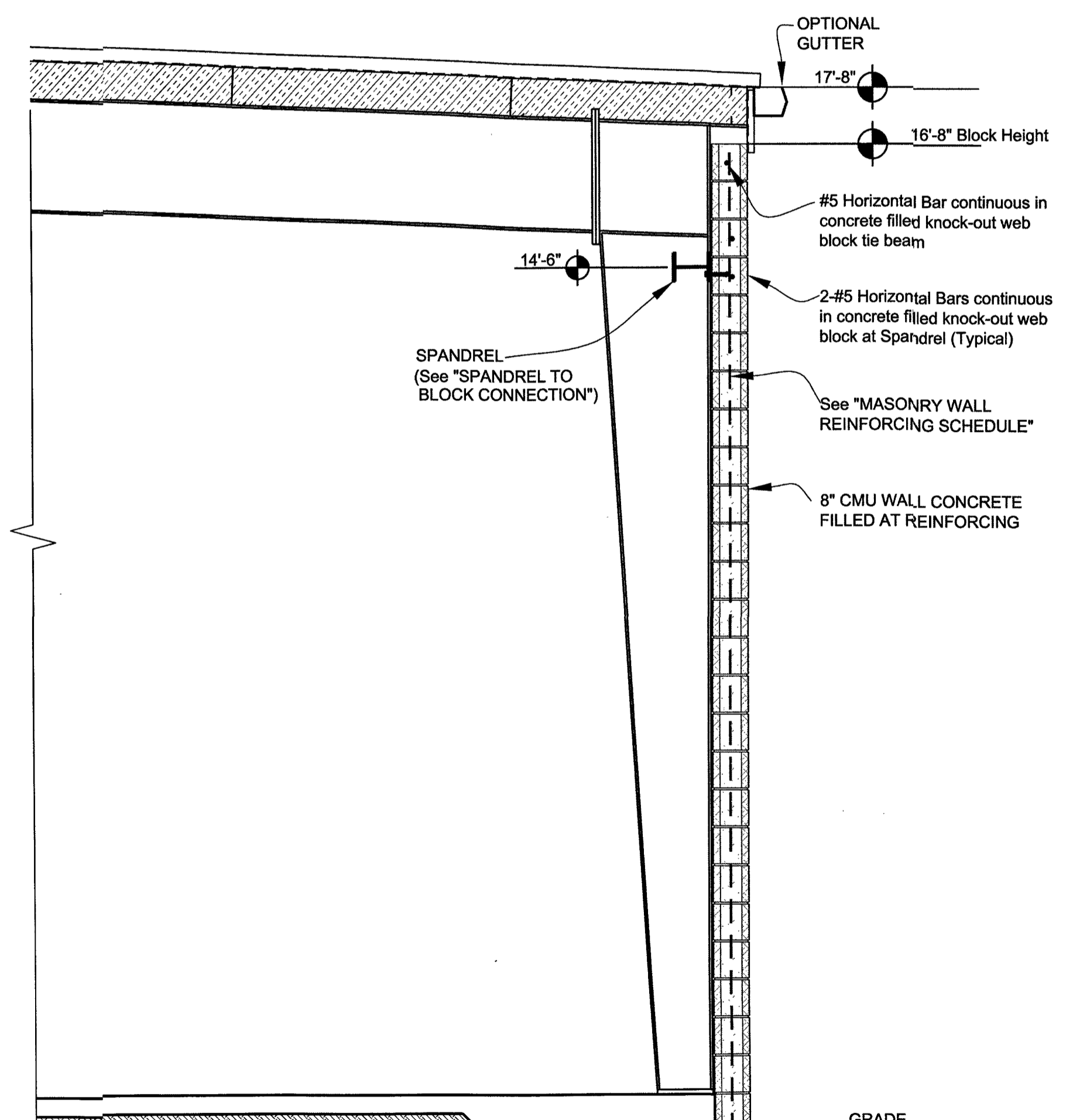
**ENDWALL SECTION**  
SCALE 1/2"=1'-0"  
Portions omitted for clarity



**PROPOSED 6" METAL STUD WALL SECTION**  
SCALE 1/2"=1'-0"  
TENANT SEPARATION WALL



**SIDEWALL SECTION**  
SCALE 1/2"=1'-0"  
(HIGH SIDE)  
Portions omitted for clarity



**SIDEWALL SECTION**  
SCALE 1/2"=1'-0"  
(LOW SIDE)  
Portions omitted for clarity

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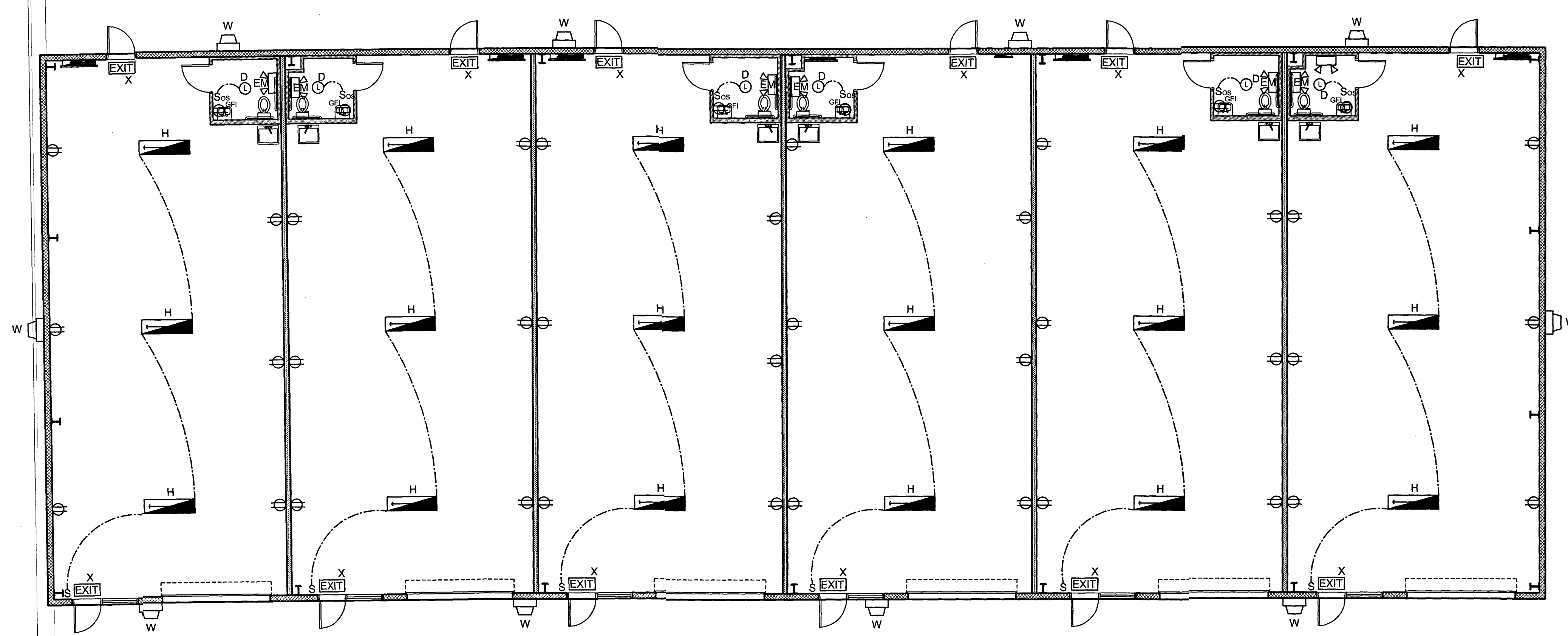
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4 OF 7 SHEETS

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**MECHANICAL NOTE:**  
 For the restrooms, provide mechanical ventilation thru Exhaust Fans to meet the requirements of the 2023 Florida Building Code, Mechanical.



**ELECTRICAL PLAN**  
 SCALE 1/8" = 1'-0"

**ELECTRICAL LEGEND**

SYMBOL	LABEL	DESCRIPTION	LLF	LUM WATTS
	D	EATON: SLD612840WH (PROVIDE FAN)	0.950	14.8
	H	LED Ceiling Fixture with Emergency Light and battery backup		
	W	EATON: XTOR3A	0.912	29.7
	X	EXIT SIGN (Emergi-Lite: ELXN400RN) with battery backup	-	-
	EM	EMERGENCY LIGHT (Emergi-Lite: EL-2LED) with battery backup	-	-
	S	SWITCH	-	-
	S <sub>OS</sub>	SWITCH with Occupancy Sensor	-	-
	S <sub>2</sub>	SWITCH 2 GANG	-	-
	O	OUTLET	-	-
	O <sub>GFI</sub>	OUTLET GFI	-	-
	OS	Occupancy Sensor (OAC-DT-2000-R) Requires Low Voltage Switch Pack (SP20-MV)	-	-

**ELECTRICAL LOAD CALCULATIONS**

OFFICE LIGHTING 3.5 VA x 10,000 SQ FT x 1.25= 43,750va  
 SIGN CIRCUIT 6x1200va= 7,200va  
 GP OUTLETS 36 x180va= 6,480va  
 57,430va

DUCTLESS SPLIT HEAT PUMP 25A x 240V x 1.25%= 7,500va  
 DUCTLESS SPLIT HEAT PUMP 5 x 25A x 240v = 30,000va  
 DRINKING FOUNTAIN 6x 1,440va= 8,640va  
 5,760 va  
 51,900va

TOTAL VOLT AMPS DIVIDED BY 240v = 240v  
 TOTAL AMPS 457 AMPS

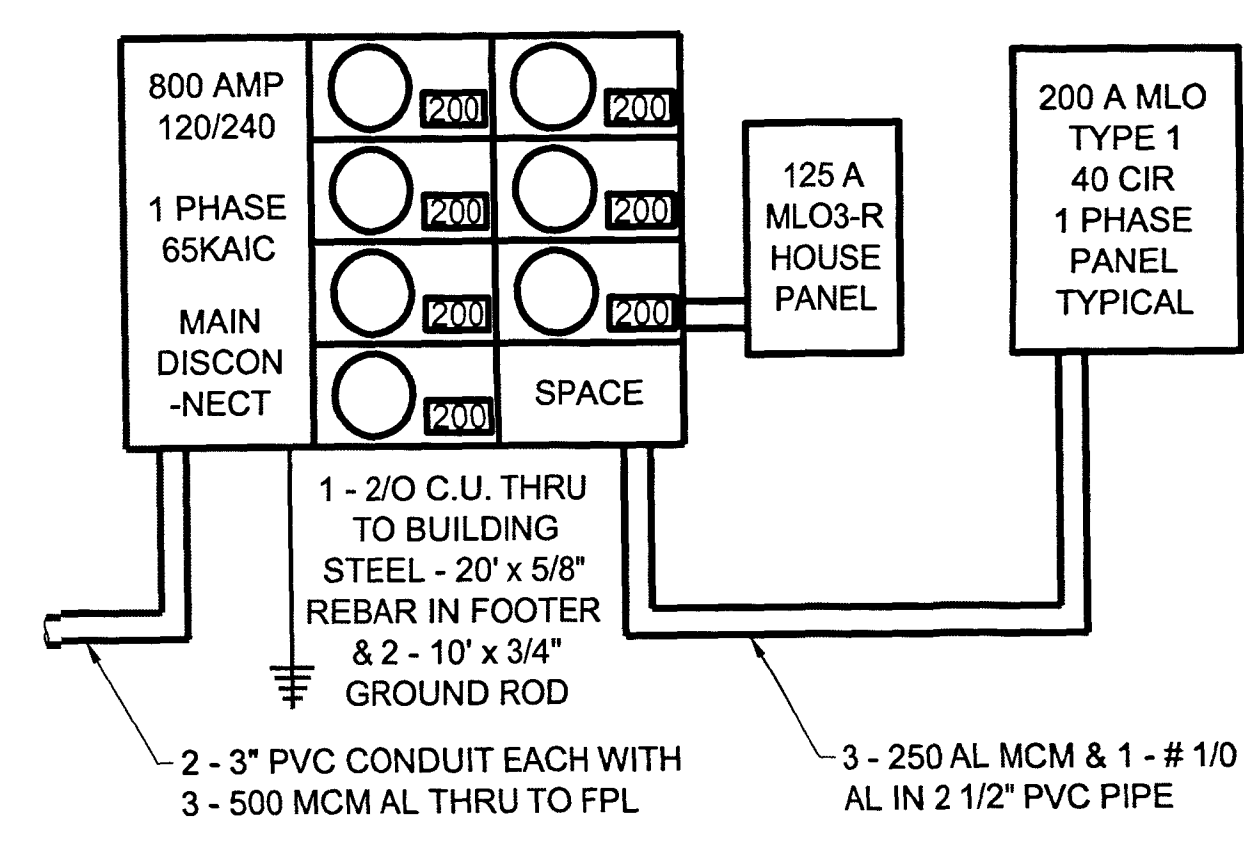
**TYPICAL PANEL SCHEDULE**  
 TENANT PANEL  
 120/240 V 200 AMP MLO

Cir	Description	TRIP	WIRE	Voltage	POLE	NEMA 1 SURFACE MOUNT				Description	Cir		
						A	B	POLE	Voltage				
1	DUCTLESS SPLIT	25	10	240	2	6000/540		1	120	12	20	WAREHOUSE OUTLETS	2
3	DUCTLESS SPLIT	25	10	240	2		6000/540	1	120	12	20	WAREHOUSE OUTLETS	4
5	WAREHOUSE LIGHTING	20	12	120	1	720/		1	120	12	20	SPARE	6
7	BATHROOM LIGHTING	20	12	120	1		/540	1	120	12	20	SPARE	8
9	WATER COOLER	20	12	120	1	1440/		1	120	12	20	SPARE	10
11	SPACE	20	-	120	1			1	120	-	20	SPACE	12
13	SPACE	20	-	120	1			1	120	-	20	SPACE	14
15	SPACE	20	-	120	1			1	120	-	20	SPACE	16
17	SPACE	20	-	120	1			1	120	-	20	SPACE	18
19	SPACE		-	120	1			1	120	-	20	SPACE	20
21	SPACE		-	120	1			1	120	-	20	SPACE	22
23	SPACE		-	120	1			1	120	-	20	SPACE	24
25	SPACE		-	120	1			1	120	-	20	SPACE	26
27	SPACE	20	-	120	1			1	120	-	20	SPACE	28
29	SPACE	20	-	120	1			1	120	-	20	SPACE	30
31	SPACE	20	-	120	1			1	120	-	20	SPACE	32
33	SPACE	20	-	120	1			1	120	-	20	SPACE	34
35	SPACE	20	-	120	1			1	120	-	30	SPACE	36
37	SPACE	20	-	120	1			1	120	-	30	SPACE	38
39	SPACE	20	-	120	1			1	-	-	20	SPACE	40
41	SPACE	20	-	120	1			1	-	-	20	SPACE	42
				8,700va									
				TOTAL VA									15,780
				VOLTS									240
				TOTAL CONNECTED AMPS									66

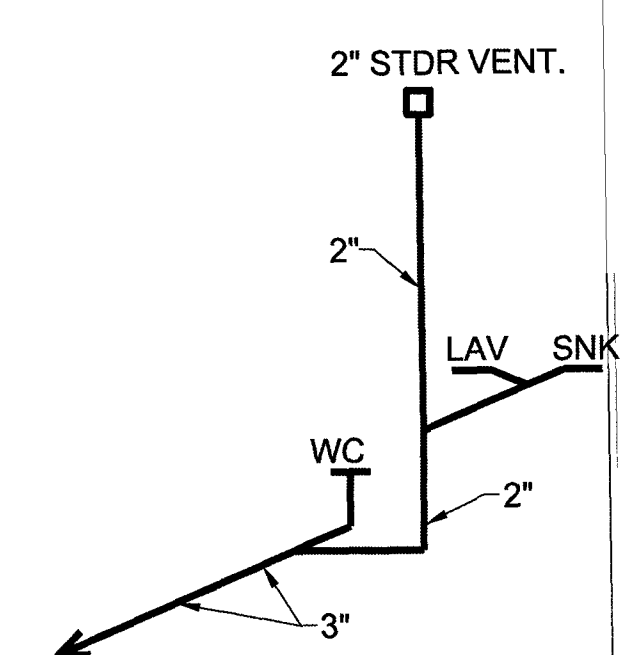
TOTAL BUILDING SPACE SERVICE SIZE RECOMMENDED 600 AMP 1 PHASE

VOLTAGE DROP CALCULATION ON SERVICE USING PARALLEL 500 ALUMINUM WIRE

$$\frac{L \times I \times R}{1000}$$

$$\frac{100 \times 457 \times .0212}{1000} = \frac{969}{1000} = .969 \text{ VOLTS}$$


**800 AMP, 1 PHASE E2M METER CENTER**  
 SCALE = N.T.S.



**PLUMBING ISOMETRIC**  
 SCALE = N.T.S.

**LAFLAM Design Group**  
 STRUCTURAL ENGINEERING  
 3125 US 1 South  
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 904-347-9396 laflamdesign@aol.com

CERTIFICATION: LAFLAM, P.E.  
 PROFESSIONAL ENGINEER  
 NOT VALID WITHOUT EMBOSSED SEAL  
 APR 2025  
 LICENSE NUMBER: 59690

CONTRACTOR: DiMare CONSTRUCTION CO.  
 3545 US 1 South  
 St. Augustine, Florida 32086  
 (904) 797-3328

JOB NAME: BUILDING #4:  
 50 Alsop Court  
 St. Augustine, FL 32095  
 OWNER: DJ's Cardinal, LLC  
 Ponte Vedra Beach, FL 32004

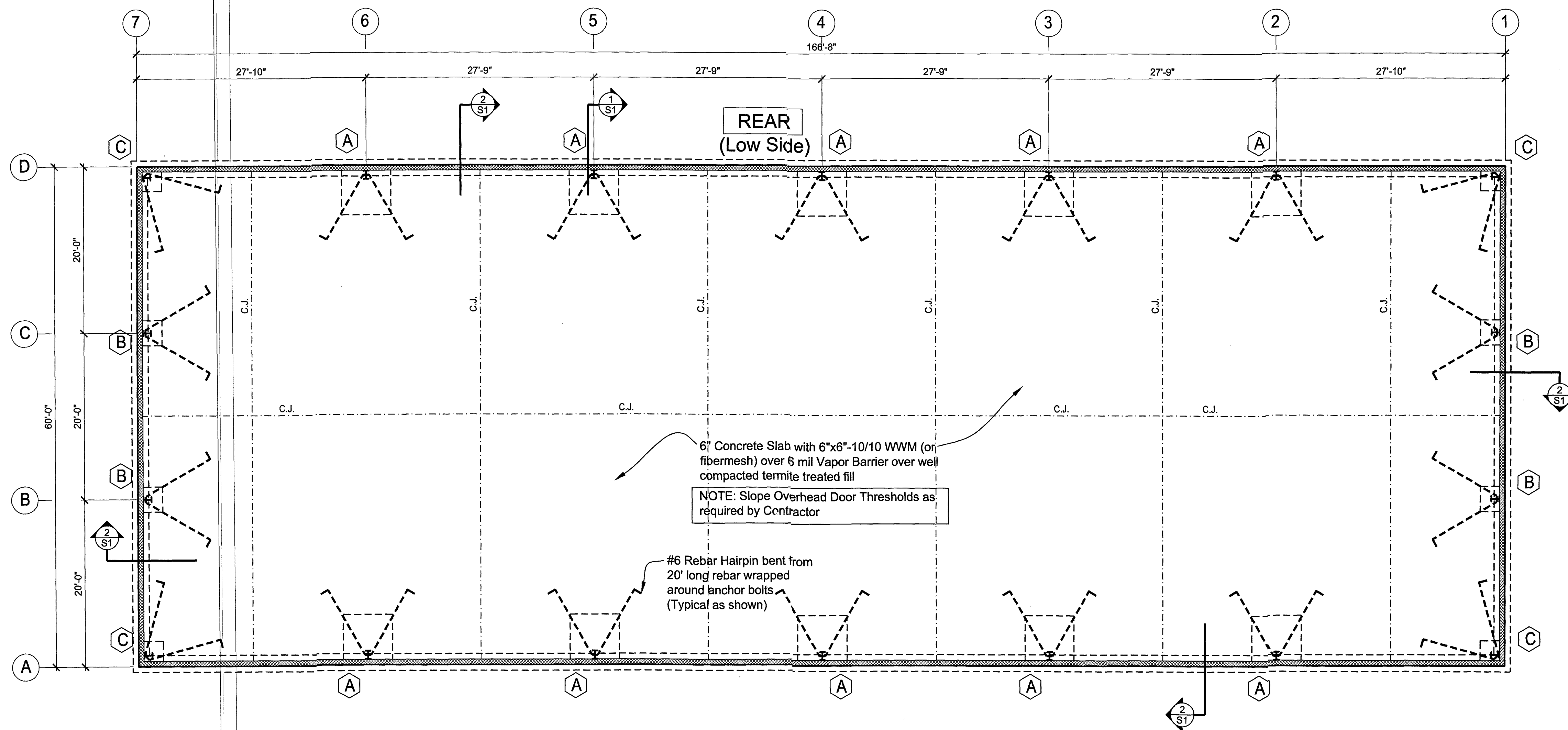
REVISIONS	BY

DRAWN	MCD TM
CHECKED	RKL
DATE	April 4, 2025
SCALE	NOTED
JOB NAME	
SHEET	

**MEP1**  
 5 OF 7 SHEETS

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 JOB COPY  
 REVIEWED SET OF PLANS  
 MUST BE ON JOB SITE ON DAY OF REQUESTED INSPECTION

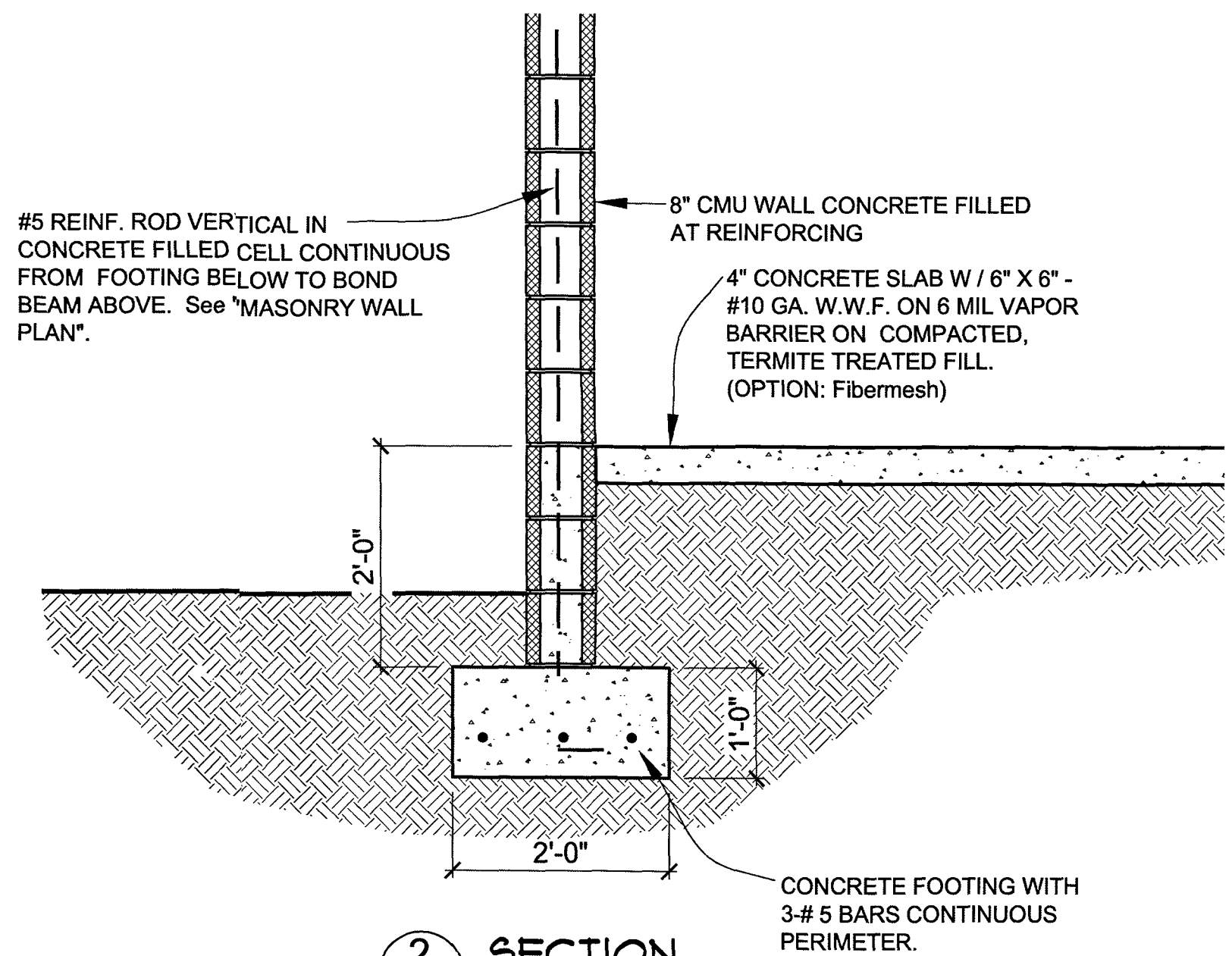
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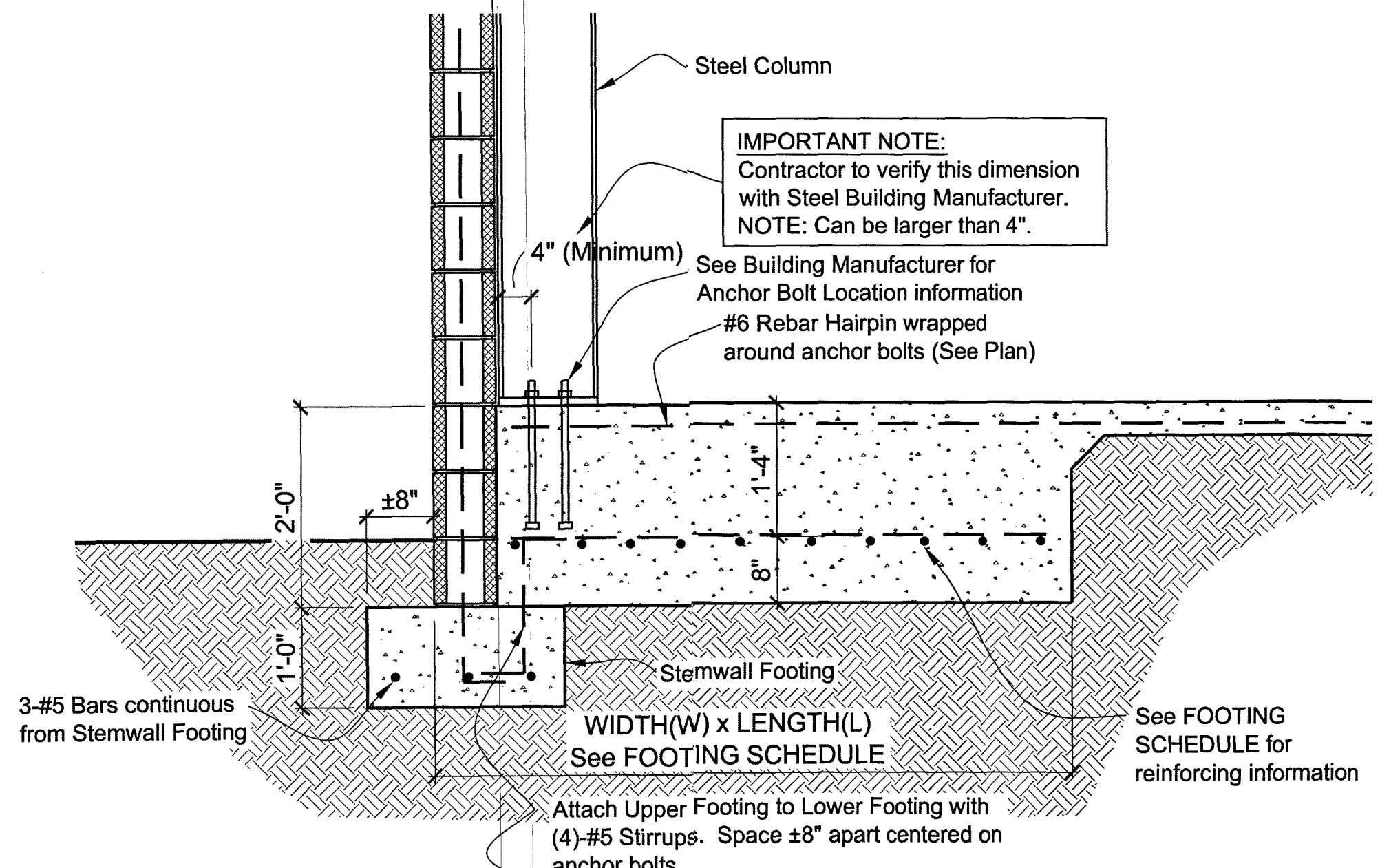
**FOUNDATION PLAN**

SCALE 1/8" = 1'-0"  
C.J. Indicates sawcut Control Joint

**FRONT (High Side)**



**SECTION 2 S1**  
Scale: 3/4" = 1'-0"  
Stemwall Footing (between Steel Columns)



**SECTION 1 S1**  
Scale: 3/4" = 1'-0"  
At Steel Columns

FOOTING SCHEDULE					
MARK	WIDTH (W)	LENGTH (L)	DEPTH (D)	REINFORCING	REFERENCE
A	6'-0"	6'-0"	See Section	12-#5 Bars Each Way	Section 1/S1
B	3'-0"	3'-0"	See Section	6-#5 Bars Each Way	Section 1/S1
C	3'-0"	3'-0"	See Section	6-#5 Bars Each Way	Section 1/S1

**LAF LAM**  
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KEITH LAF LAM, P.E.  
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APR 2015  
LICENSE NUMBER: 33660

CONTRACTOR:  
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St. Augustine, Florida 32086  
(904) 797-3328

JOB NAME:  
**BUILDING #4:**  
50 Aisop Court  
St. Augustine, FL 32095  
**OWNER:** D.J's Cardinal, LLC  
Ponte Vedra Beach, FL 32004

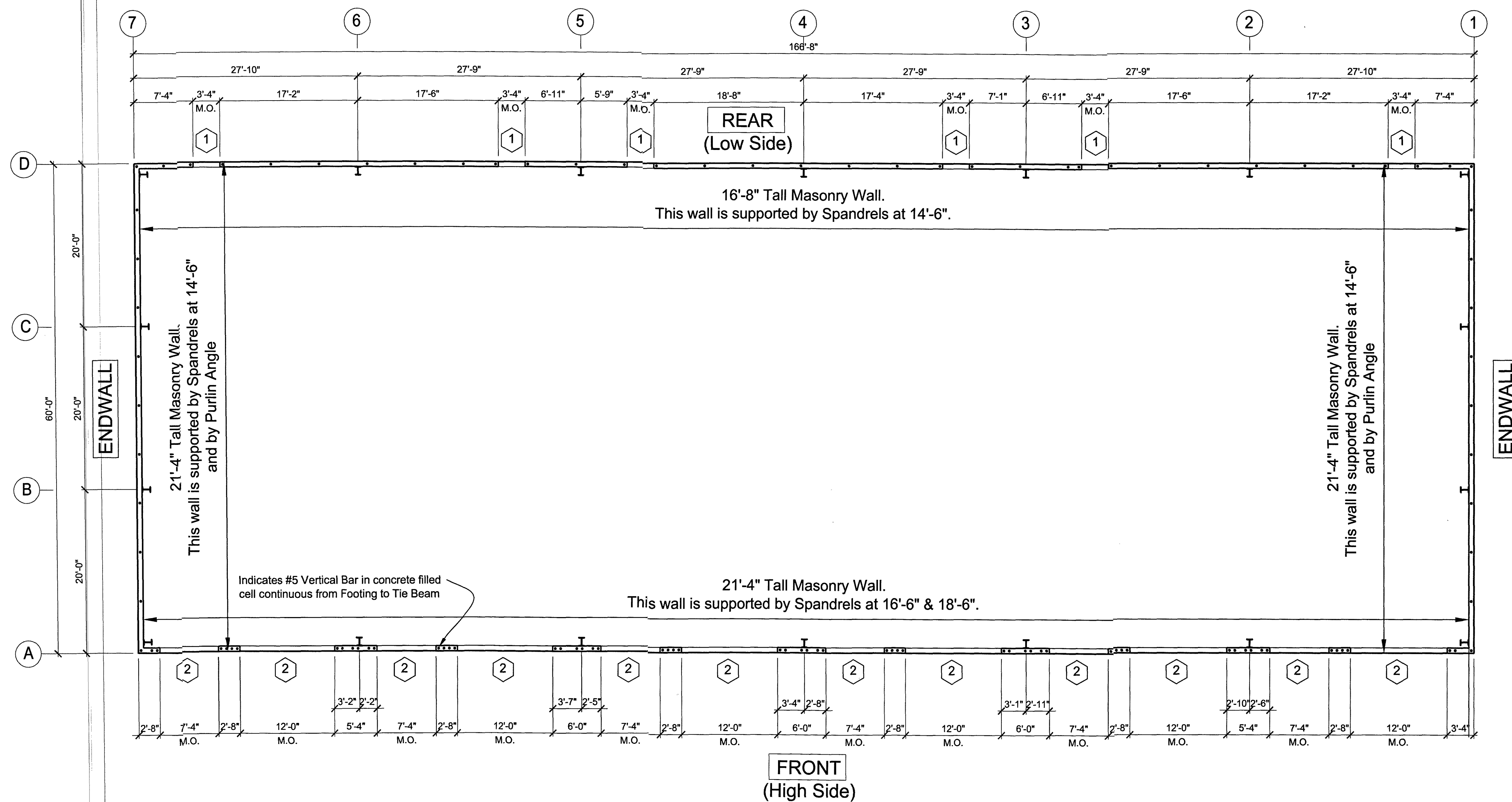
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CHECKED: RKL  
DATE: April 4, 2025  
SCALE: NOTED  
JOB NAME: SHEET  
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**MASONRY WALL PLAN**  
SCALE 1/8" = 1'-0"

MARK	SIZE	
1	8" Deep Header consisting of single precast high strength U Lintel by Cast-Crete®. Fill with concrete and provide 1-#5 bar continuous at bottom of precast lintel cavity.	
2	16" Deep Header consisting of single precast high strength U Lintel by Cast-Crete® at bottom 8" and single knock-out web block lintel at top 8". Fill with concrete and provide #5 bar at bottom of precast lintel cavity and #5 bar in knock-out web block lintel for a total of 2-#5 bars continuous.	

**MASONRY WALL REINFORCING NOTES:**

- Reinforcing bars to be centered in block. Masonry can be concrete filled only at reinforcing.
- At Contractor's Option, can epoxy set vertical rebars into footing with 7" of embedment.
- Vertical Reinforcing to be continuous from footing to top of block. Hook bar or epoxy set into footing below.
- Horizontal Reinforcing to be continuous in concrete filled knock-out web block.

**MASONRY WALL REINFORCING SCHEDULE:**

- Provide #5 Vertical Reinforcing in concrete filled cells continuous from Footing to top of block. Locate at corners, jambs, ends, at locations shown on this plan, and at 72" on center elsewhere. Hook bar into footing below.
- Provide 2-#5 Horizontal Reinforcing continuous in double concrete filled knock-out web block at points of lateral support (Spandrels and Purlin Angles), at top of wall, and at locations shown in the Wall Sections.
- Masonry wall to be concrete filled only at reinforcing.

0270183  
7/20/21  
10/20/21

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EMBOSSSED SEAL  
APR 1 2025  
LICENSE NUMBER: 36960

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JOB NAME:  
**BUILDING #4:**  
50 Alsop Court  
St. Augustine, FL 32095  
OWNER: DJ's Cardinal, LLC  
Ponte Vedra Beach, FL 32004

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SCALE: NOTED  
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