

FOR LEASE

BROOKSIDE CORPORATE CENTER

Class A Industrial Space

±24,250 SF industrial space

Quality location and excellent first impression property

Excellent central location in proximity to multiple I-80 ramps, services, & shipping hubs

Excellent access with large truck courts and driveways from three arterial streets

Office includes reception, open cubicle area, private offices, conference room, break room & restrooms

Four dock doors

One 12' x 14' grade-level door

BRAD LANCASTER, SIOR

Industrial Services - Kidder Mathews
775.690.0535

brad.lancaster@kidder.com

LIC B°0144389.CORP

CASEY PROSTINAK, SIOR

Vice President - Logic Commercial
775.813.2866

cprostinak@logiccre.com

LIC S°177148.LLC

KIDDER.COM

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1135 SOUTH ROCK BLVD
SUITE 330, RENO, NV



NEGOTIABLE

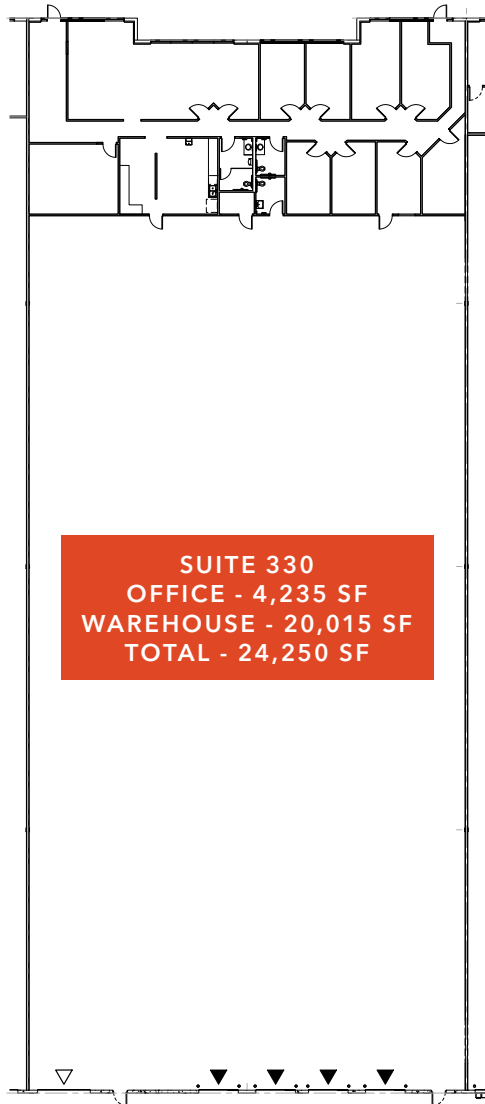
LEASE RATE

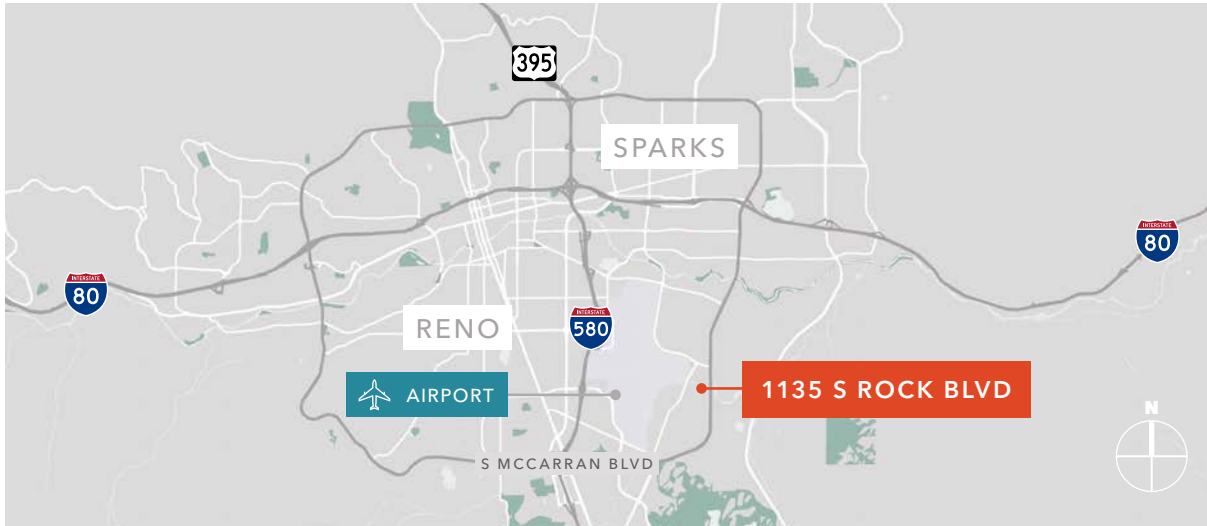
\$0.28/SF

2026 EST. NNN



FLOOR PLAN





Property Information

INDUSTRIAL SPACE	24,250 SF
POWER	200 amps, 480 volts, 3-phase power (tenant to verify)
DOCK DOORS	Four
GRADE-LEVEL DOOR	One 12' x 14'
SPRINKLER SYSTEM	ESFR
COLUMNS	50' x 60'
CLEAR HEIGHT	25'
CONSTRUCTED	In 2007

Location Advantages

- Proximity to I-80 and Hwy 395/I-580 on/off ramps
- Monument signage visibility from two arterial streets
- Located within desirable metro Industrial area
- Proximity to FedEx, UPS and other shipping hubs
- Access to large labor pool and services for employees
- Proximity to Reno-Tahoe International Airport private and commercial terminals
- Proximity to Tesla, Apple, Google, and many other high-profile corporate citizens

TRANSPORTATION

Ground	Miles
RENO-TAHOE INT’L AIRPORT	4.4
RENO-STEAD FBO	15.1
UPS REGIONAL	5.0
FEDEX EXPRESS	1.0
FEDEX GROUND	10.2
FEDEX LTL	3.4

DEMOGRAPHICS

2026	3 mi	5 mi	7 mi
POPULATION	56,810	211,075	320,205
HOUSEHOLDS	24,646	93,106	137,363
AVG HH INCOME	\$91,511	\$107,929	\$119,144
TOTAL EMPLOYEES	76,415	160,255	179,273

BUSINESS COST COMPARISONS

	NV	CA	AZ	UT	ID	OR	WA
TAX COMPARISONS							
STATE CORPORATE INCOME TAX	No*	8.84%	4.90%	4.90%	5.695%	6.6%-7.6%	No*
PERSONAL INCOME TAX	No	1%-13.3%	2.5% (Flat)	4.45%	5.695% (Flat)	4.75%-9.9%	No
PAYROLL TAX	1.17%>\$50K/Q (MBT)	1.1% SDI (no wage cap)	No	No	No	0.2% (Transit Tax)	0.74% PFML (2026)
MONTHLY PROPERTY TAX (BASED ON \$25M MARKET VALUE)	\$22,969	\$26,041	\$68,096	\$31,850	\$34,792	\$50,000	\$21,125
UNEMPLOYMENT TAX	0.25%-5.4%	1.5%-6.2%	0.03%-8.36%	0.10%-7.10%	0.5%-5.8%	0.07%-9.67%	0.13%-5.72%
CAPITAL GAINS TAX	No	13.3%	2.5%	4.45%	5.3%	9.9%	7%-9.9%*

Sources: Tax Foundation, SmartAsset, Patriot Software, State Revenue Departments (2026)
* NV/WA have no corporate income tax but impose gross receipts taxes (Commerce Tax & B&O Tax respectively)
* WA capital gains: 7% on gains \$278K-\$1M; 9.9% on gains above \$1M (long-term gains only; real estate exempt)

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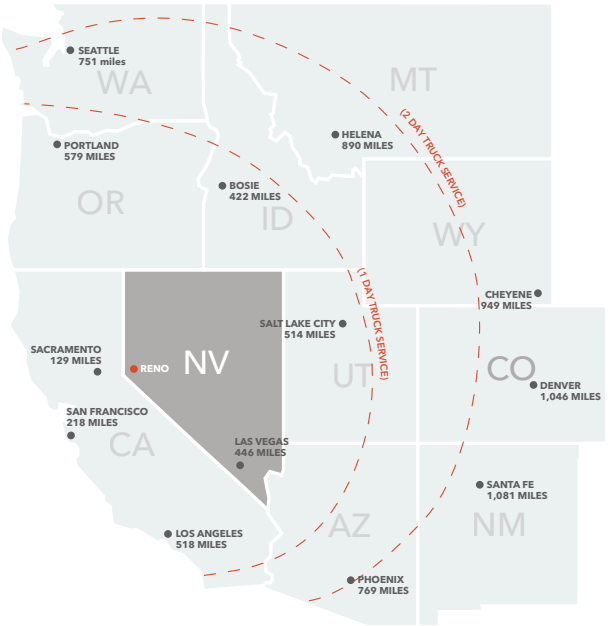
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NEVADA STATE INCENTIVES

No state, corporate or personal income tax
No estate tax, no inventory tax, no unitary tax, no franchise tax
Right-to-work state
Moderate real estate costs
Low workers’ compensation rates
State-qualified employee hiring incentive

HELPFUL LINKS

Business Costs	https://www.edawn.org/site-selector/business-relocation-advantages/
Business Incentives	https://goed.nv.gov/programs-incentives/incentives/
Cost of Living	https://www.nvenergy.com/publish/content/dam/nvenergy/brochures_arch/about-nvenergy/economic-development/costoflivingred.pdf
Quality of Life	http://edawn.org/live-play/



Source: NVEnergy
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