

CALGARY

# ALPINE PARK

CANADA



Convenience District - 98 Alpine Avenue SW

Service District - 15328 37 Street SW

Calgary, AB

# Prime retail opportunity in new SW Calgary grocery anchored development

- Located at the main access point to the community, with easy access to Stoney Trail and Fish Creek Blvd (which directly serves Evergreen).
- Prime location situated in a rapidly growing area of Calgary, servicing multiple communities such as Bridlewood, Evergreen, Woodbine, and Alpine Park
- Tenants can take advantage of upscale, alpine-modeled architectural controls, ensuring a unique and standout exterior for all retail premises.
- The immediate trade area provides a diversified client base, with Alpine Park offering everything from starter homes, to estate style properties.
- The development will be comprised of the Convenience District, Service District and Social District
- >3.5 stalls per 1,000 sq. ft.

## Demographics



**92,370**

Population  
Within 5 KM

**59,665**

Daytime Population  
Within 5 KM



**\$156,033**

Average Household Income  
Within 3 KM

**12,826**

Households  
Within 3 KM



**37 Years**

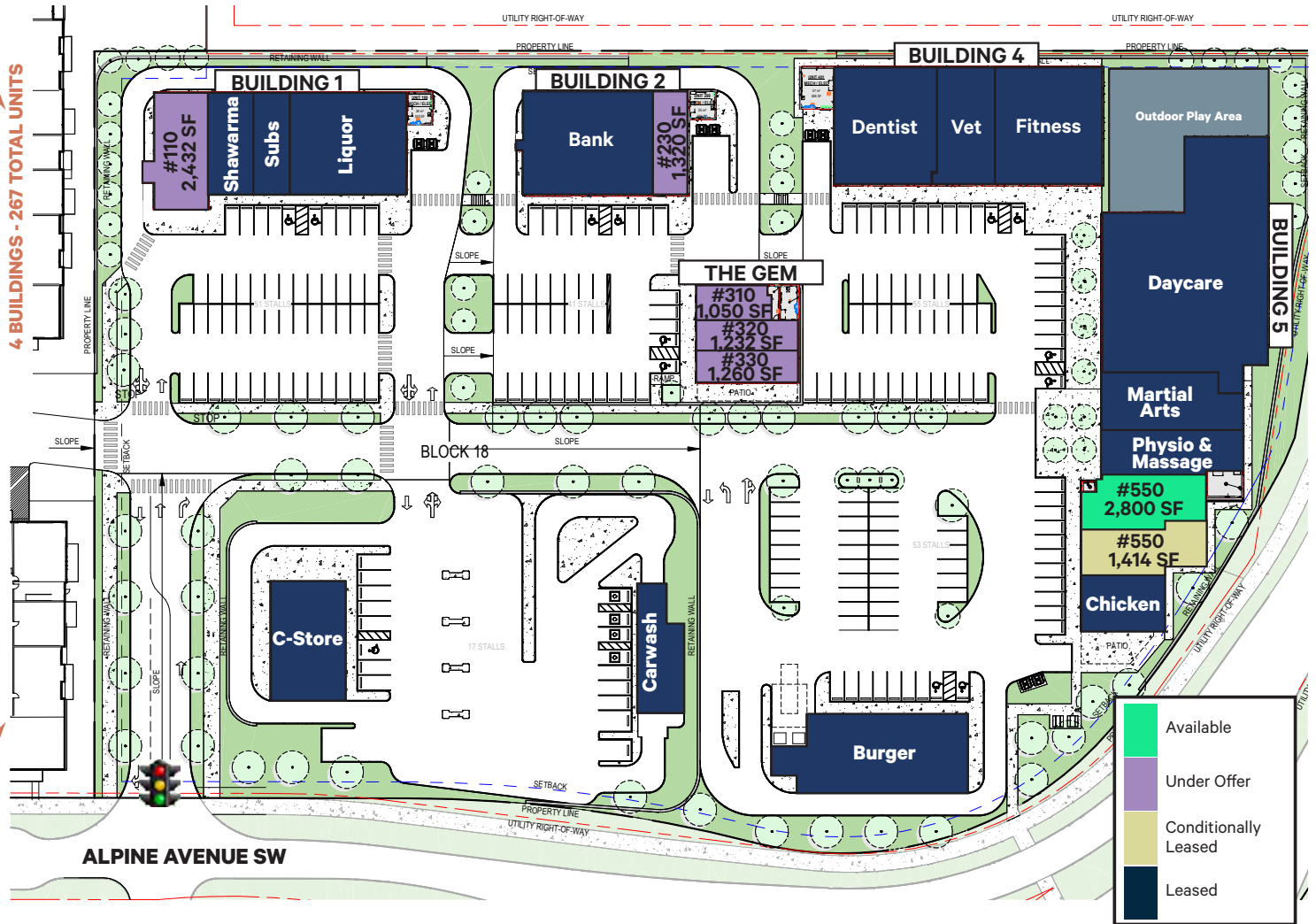
Median Age Within 5 KM



COMMUNITY	POPULATION	BUILD-OUT POPULATION
BRIDLEWOOD	13,079	—
EVERGREEN	19,321	—
WOODBINE	7,770	—
ALPINE PARK	1,445	20,600 +

# Convenience District Leasing Plan

CEDARGLEN LIVING OPENING SUMMER 2026



## Space Available

**Building 1:**  
2,432 sq. ft.

**The Gem:**  
1,050 sq. ft.  
1,232 sq. ft.  
1,260 sq. ft.

**Building 5:**  
2,800 sq. ft.

**Building 2:**  
1,320 sq. ft.

- BASIC RENT - Market
- OP COSTS & TAXES - TBD
- SIGNAGE - Pylon & Fascia
- POSSESSION - Q2 2026 (+/-)
- GLA - 60,601 sq. ft.
- ZONING - CC1

# Convenience District Renderings

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## Aerial Facing North



## Building 5



## The Gem



# Convenience District Aerials



# Convenience District Construction Photos

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**BUILDING 1**



**BUILDING 2**



**THE GEM**



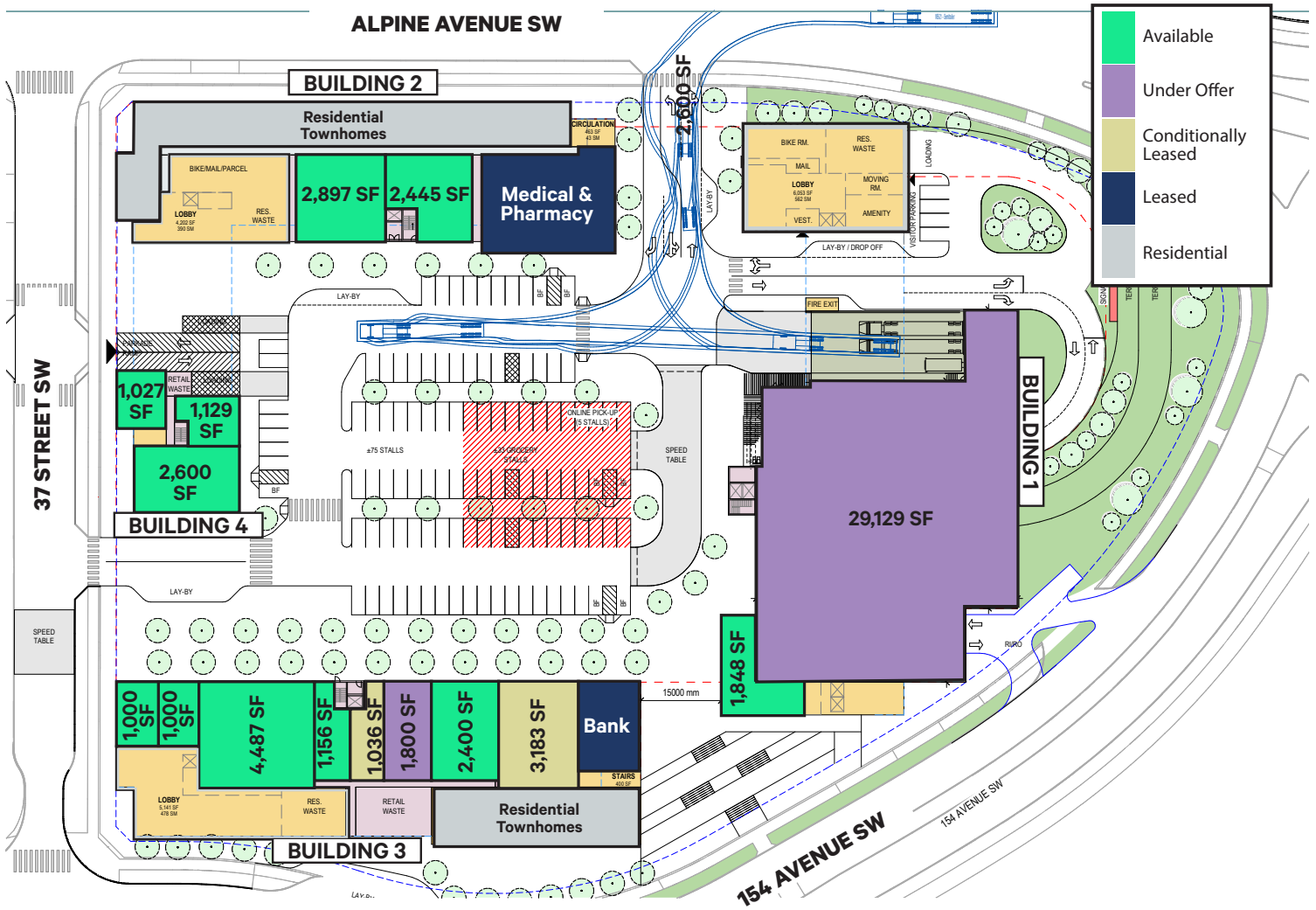
**BUILDING 4**



**BUILDING 5**



# Service District Leasing Plan



## Space Available

<b>Building 1:</b> 29,129 sq. ft. 1,848 sq. ft.	<b>Building 3:</b> 1,000 sq. ft. 1,000 sq. ft. 4,487 sq. ft. 1,156 sq. ft. 1,036 sq. ft. (C/L) 1,800 sq. ft. 2,400 sq. ft. 3,183 sq. ft. (C/L)	<b>Building 4:</b> 1,027 sq. ft. 1,129 sq. ft. 2,600 sq. ft.
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- BASIC RENT - Market
- OP COSTS & TAXES - TBD
- SIGNAGE - Pylon & Fascia
- POSSESSION - Q2 2028 (+)
- GLA - 67,215 sq. ft.
- ZONING - CC1



# Service District Renderings

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## Aerial Facing North



## Plaza Facing Grocery



## Plaza Facing Social District



# Service District Aerial

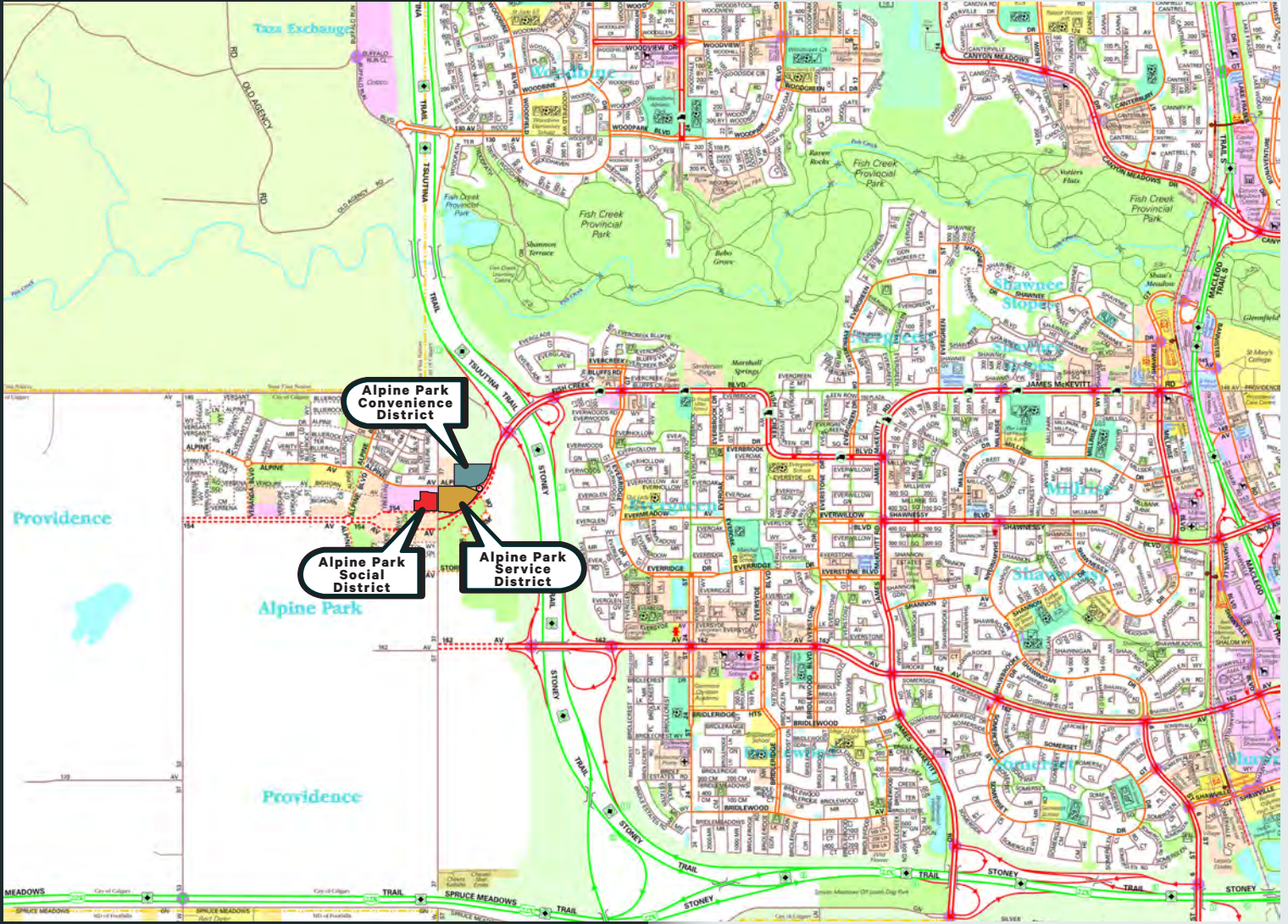


# Service & Convenience District Aerial





# Area & Nearby



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