

Planters Nat'l Bank

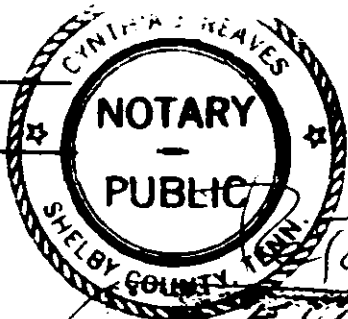
Elizabeth S. Call
Signature Assistant Vice Pres.

Certificate

Tennessee
Shelby

I, the undersigned, a Notary Public in and for the said State and County at
Duly commissioned and qualified, personally appeared
Elizabeth S. Call, with whom I am personally acquainted, and
on his (her) oath acknowledged himself (herself) to be
Vice President of the Planters National Bank the within
organizer, and that he executed the foregoing instrument for the purpose
intended. In witness whereof, I have hereunto set my hand and affixed my
seal at my office in Memphis, this 25th day of
April, 1994.

Notary Public Cynthia J. Reeves
Commission Expires 9-17-96



SHELBY COUNTY
REGISTER OF DEEDS
95 MAR -8 PM 2:35

EY6429
150
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03-08-95
2135

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45
1015

429

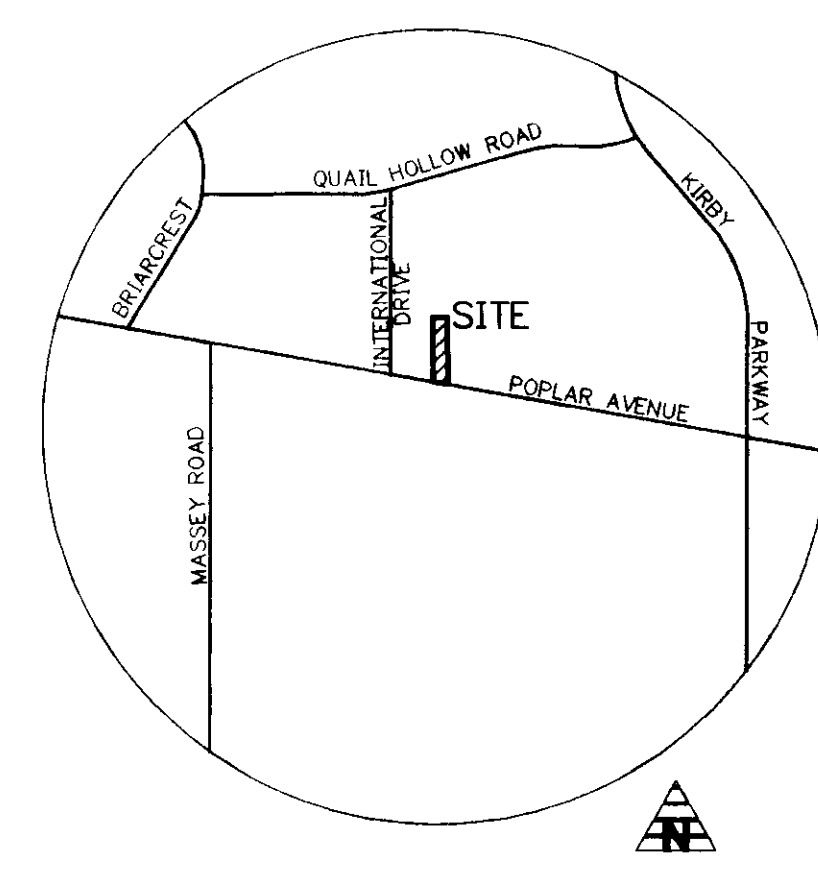
△ REVISED
FINAL PLAT-PHASE 2 PARCEL 80-8-453
P.D. 90-342
CROWN CENTRE PLANNED DEVELOPMENT

OWNER: ROBERT F. FOGELMAN
DEVELOPERS: JEFF and BEN PAPELL
0.968 ACRES 1 LOT
100 YEAR FLOOD ELEVATION 280.0
MEMPHIS, TENNESSEE
OCTOBER, 1994 SHEET 3 OF 3

REAVES & KEENEY
INCORPORATED
Planning & Architecture
518 PARK AVENUE
MEMPHIS, TENNESSEE 38117
761-2016

PRIVATE SEWER ESM'T
 S83°13'00"E 19 23
 N48 40 39 W 11 63'
 N73 13 00 W 9 80'
 S83°13'00"E 90 00'
 ROBERT FOGELMAN
 CA-9855
 14 61 ACRES
 CROWN CENTRE P.D.
 PL BK 133, PG 46
 FUTURE DEVELOPMENT

THE AREAS DENOTED BY "RESERVED FOR STORM WATER DETENTION" SHALL NOT BE USED AS A BUILDING SITE OR FILLED WITHOUT FIRST OBTAINING WRITTEN PERMISSION FROM THE CITY/COUNTY ENGINEER. THE STORM WATER DETENTION SYSTEMS IN THESE AREAS, EXCEPT FOR THOSE PARTS LOCATED IN A PUBLIC DRAINAGE EASEMENT, SHALL BE OWNED AND MAINTAINED BY THE PROPERTY OWNER AND/OR PROPERTY OWNER'S ASSOCIATION. SUCH MAINTENANCE SHALL BE PERFORMED SO AS TO ENSURE THAT THE SYSTEM OPERATES IN ACCORDANCE WITH THE APPROVED PLAN ON FILE IN THE CITY/COUNTY ENGINEER'S OFFICE. SUCH MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO, REMOVAL OF SEDIMENTATION, FALLEN OBJECTS, DEBRIS AND TRASH, MOWING, OUTLET CLEANING, AND REPAIR OF DRAINAGE STRUCTURES.



VICINITY MAP
 NTS

ROBERT FOGELMAN
 CA-9855
 14 61 ACRES
 CROWN CENTRE P.D.
 PL BK 133 PG 46
 FUTURE DEVELOPMENT

ROBERT FOGELMAN
 CA-9855
 1 595 ACRES
 PHASE 1 - CROWN CENTRE P.D.
 PL BK 145 PG 16

EXISTING APPLEBEE'S RESTAURANT

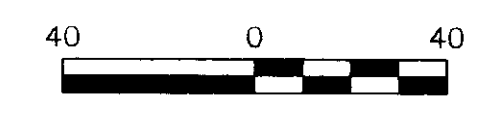
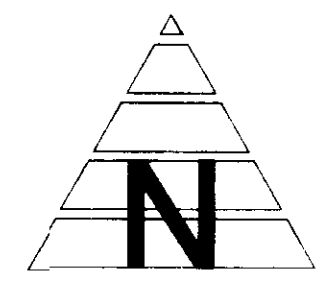
PLAN DATA

AREA OF LOT 42,151 S.F.
 BUILDING AREA 3,527 S.F.
 BUILDING HEIGHT 24'-9"
 NUMBER OF SEATS 98
 PARKING REQUIRED 49 TOTAL SPACES
 47 STANDARD SPACES
 2 HANDICAP SPACES
 PARKING PROVIDED 49 TOTAL SPACES
 47 STANDARD SPACES
 2 HANDICAP SPACES
 FAR = 0.08
 16% INTERIOR LANDSCAPING

REQUIRED SIDEWALKS

STREET NAME	S/W WIDTH	SIDE	LOCATION FROM CURBLINE
POPLAR AVENUE	5 FEET (EXIST)	NORTH	ADJACENT

THE REQUIRED SIDEWALKS SHALL BE INSTALLED ACROSS THE FRONTAGES OF EACH LOT BY THE BUILDING PERMIT HOLDER PRIOR TO USE AND OCCUPANCY OF THE BUILDING. EXISTING SIDEWALKS SHALL BE REPAIRED AS NECESSARY BY THE BUILDING PERMIT HOLDER ACROSS THE LOT FRONTAGE PRIOR TO OCCUPANCY OF THE BUILDING.

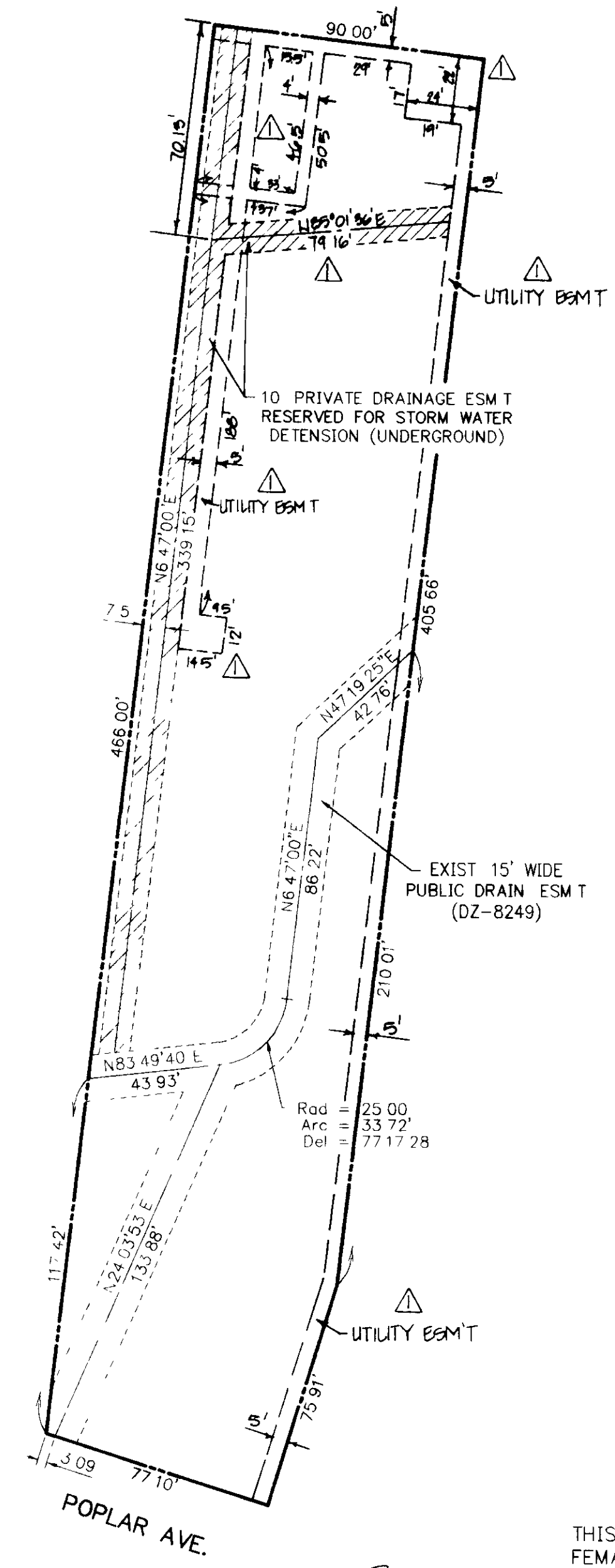
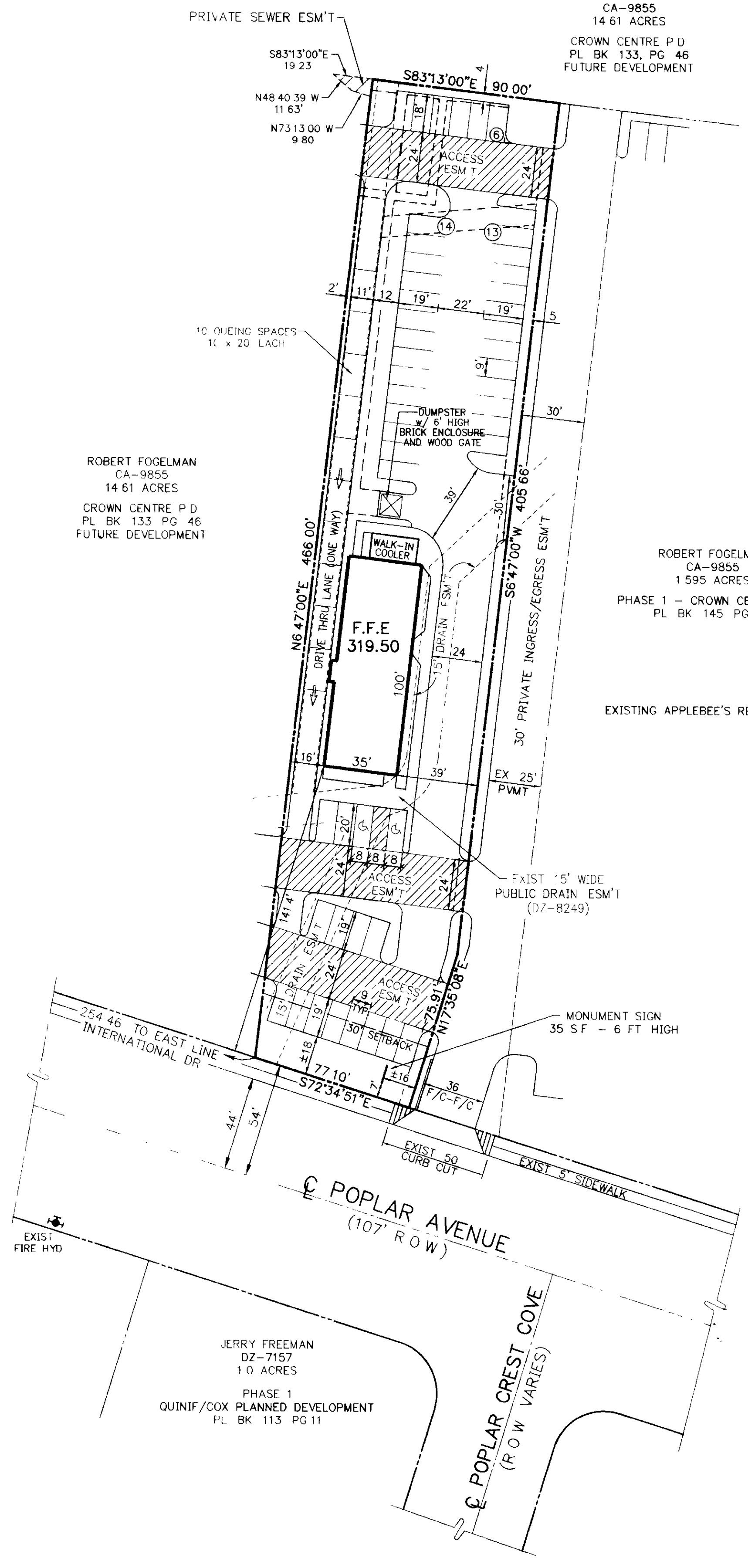


GRAPHIC SCALE IN FEET
 SCALE. 1"=40'

THIS PROPERTY DOES NOT LIE WITHIN THE 100 YEAR FLOOD PLAIN AS SHOWN ON FEMA PANEL 470177-60 DATED DEC 1, 1982 FOR MEMPHIS, TENNESSEE

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 MEMPHIS, TENNESSEE
 OCTOBER, 1994



DRAINAGE & UTILITY ESM'T DETAIL

Professional seals and stamps for the engineer and architect, including dates and signatures.

Professional seal and stamp for REAVES & SWEENEY, INCORPORATED, Engineering, Planning & Landscape Architecture.

MAY D 19 47 07 PLAT 1-17-94 6 11

- I Uses Permitted
 - A Any use permitted in the General Office (O-G) District, Planned Commercial (C-P) District, Multiple Family Uses and the following additional uses
 - 1 Residential Home for the Aged
 - 2 Hospital
 - 3 Communications Tower
 - 4 Laboratories
 - 5 Photo Finishing
 - 6 Telephone Service Center
- II Bulk Regulations
 - A A maximum 0.67 Floor Area Ratio (F A R) for office uses shall be permitted, or the F A R for other uses should not generate peak hour traffic volumes in excess of the traffic produced by office use at 0.67 F A R
 - B Maximum building height -150 feet maximum, plus height necessary for mechanical and architectural penthouses
 - C Minimum building setbacks
 - 1 A minimum of 30 feet from the Poplar Avenue and International Drive right-of-way for buildings 50 feet or less in height
 - 2 A minimum of 30 feet from the northern and eastern property line for buildings 50 feet or less in height
 - 3 For each 2 feet of building height in excess of 50 feet an additional one foot of setback shall be required

III Access and Circulation

A Dedicate the following for International Drive

Commencing at the intersection of the centerlines of Poplar Avenue (108 foot R O W) and International Drive (R O W varies), thence along the centerline of International Drive N12°11'09"E a distance of 54.23 feet to a point, thence S72°34'51"E a distance of 22.88 feet to a point on the west line of the Robert Fogelman property as recorded in Instrument Number AL-4244, said point being the point of beginning, thence along said west line N06°45'52"E a distance of 1,382.53 feet to the northwest corner of said Fogelman property, thence along the north line of said Fogelman property S83°00'48"E a distance of 24.50 feet to a point, thence S06°45'52"W a distance of 961.50 feet to a point of curvature, thence along an 800.50 foot radius curve to the left an arc distance of 68.16 feet (chord S04°19'30"W, 68.14 feet) to a point of reverse curvature, thence along an 855.50 foot radius curve to the right an arc distance of 153.80 feet (chord S07°02'09"W, 153.59 feet) to a point of tangency, thence S12°11'09"W a distance of 166.06 feet to a point, thence S77°48'51"E a distance of 9.50 feet to a point, thence along a 40.00 foot radius curve to the left an arc distance of 59.18 feet (chord S30°11'51"E, 53.93 feet) to a point on the north line of Poplar Avenue, thence along said north line N72°34'51"W a distance of 53.79 feet to the point of beginning and containing 33,853 square feet or 0.777 acres

Also grant the following 9.5 foot pedestrian and utility easement

Commencing at the intersection of the centerlines of Poplar Avenue (108 foot R O W) and International Drive (R O W varies), thence along the centerline of International Drive N12°11'09"E a distance of 54.23 feet to a point, thence S72°34'51"E a distance of 22.88 feet to a point on the west line of the Robert Fogelman property as recorded in Instrument Number AL-4244, thence along said west line N06°45'52"E a distance of 1,382.53 feet to the northwest corner of said Fogelman property, thence along the north line of said Fogelman property S83°00'48"E a distance of 24.50 feet to the point of beginning, thence S83°00'48"E a distance of 9.50 feet to a point, thence S06°42'52"W a distance of 961.38 feet to a point of curvature, thence along a 791.00 foot radius curve to the left an arc distance of 67.35 feet (chord S04°19'30"W, 67.33 feet) to a point of reverse curvature, thence along an 865.00 foot radius curve to the right an arc distance of 155.50 feet (chord S07°02'09"W, 155.29 feet) to a point of tangency, thence S12°11'09"W a distance of 166.06 feet to a point, thence N77°48'51"W a distance of 9.50 feet to a point, thence N12°11'09"E a distance of 166.06 feet to a point of curvature, thence along an 855.50 foot radius curve to the left an arc distance of 153.80 feet (chord N07°02'09"E, 153.59 feet) to a point of reverse curvature, thence along an 800.50 foot radius curve to the right an arc distance of 68.16 feet (chord N04°19'30"E, 68.14 feet) to a point of tangency, thence N06°45'52"E a distance of 961.50 feet to the point of beginning

- B The full length of International Drive shall be dedicated upon request by the City of Memphis along with the 9.5 foot easement and shall be improved by owner if a final plan is filed prior to the earlier of June 1, 1991 or the approval by the City Council of the 1991 Capital Improvements Program budget. Thereafter all improvements to International Drive shall be by the City of Memphis
- C Permit six (6) curb cuts on International Drive. The exact location and dimensions of curb cuts are subject to the approval of the City Engineer
- D Permit two curb cuts along the Poplar Avenue frontage in addition to International Drive
- E No curb cut along the Poplar Avenue frontage permitting ingress by left turn shall begin closer than 300 feet from the centerline of International Drive
- F Internal circulation shall be provided between all phases, sections and/or lots
- G Parking shall be provided in accordance with the Zoning Ordinance requirements

- IV Landscaping and Screening
 - A A landscaping plan shall be provided on the final plans and shall be subject to site plan review by the Land Use Control Board
 - B A tree survey shall be provided on the final plans differentiating between trees to be removed and those to be preserved. Existing trees shall be preserved wherever feasible
 - C Internal landscaping shall be provided at a ratio of 300 square feet of landscaped area and one shade tree per every 20 parking spaces
 - D Lighting shall be directed so as to not glare onto residential property
 - E Refuse containers shall be completely screened from view from adjacent property

- V Signs
 - A Permit one sign on each Poplar Avenue and International Drive with a maximum of 180 square feet and a maximum height of 30 feet
 - B Permit one additional sign in each phase with a maximum surface area of 35 square feet
 - C Such other directional, instructional, and identification signs as are needed shall be permitted within the development
 - D Signs shall have a minimum setback of 15 feet, except that signs having 35 square feet or less may be within 15 feet
 - E Portable and temporary signs shall not be permitted, except for real estate signs
 - F Additional signs may be approved during site plan review by the Land Use Control Board

- VI Drainage
 - A All drainage plans to be submitted to City Engineer(s) for review
 - B An overall drainage plan for the entire site shall be submitted to the City Engineer(s) prior to the approval of the first final plan
 - C Drainage improvements to be provided under contract in accordance with Subdivision Regulations, and the City of Memphis Drainage Design Manual
 - D Design of the storm water conveyance and management facilities for this project shall be in accordance with the "City of Memphis Drainage Design Manual". The manual requires on-site detention of storm water run-off, generated from this project, which exceeds the capacity of the down stream system. Drainage calculations performed in accordance with this manual shall be submitted verifying that adequate non-buildable areas have been provided for storm water detention facilities. For information concerning this requirement, please contact the City Engineer's Office
 - E All drainage emanating on-site shall be private. Easements will not be accepted

- VII Site Plan Review
 - A A site plan shall be submitted for the review, comment and recommendation of the Office of Planning and Development (OPD) and appropriate City agencies and approval of the Land Use Control Board prior to approval of any final plan
 - B The site plan review application shall be submitted at least 35 days prior to a Land Use Control Board meeting and shall include the names and addresses of adjacent property owners on gummed labels to provide for notification
 - C The site plan shall include
 - 1 The exact location and dimensions including height of all buildings
 - 2 The number, location and dimensions of parking spaces within proposed structures/lots
 - 3 A landscaping plan
 - 4 A survey of large groupings of trees and individual trees of more than 18 inches in diameter, differentiating between those to be preserved and those to be removed
 - D The site plan shall be reviewed based upon the following criteria
 - 1 Conformance with the outline plan conditions
 - 2 Compatibility with existing properties surrounding the site as well as a compatible internal arrangement of uses
 - 3 Elements of design such as building orientation, building mass and height, setback, access, parking and internal circulation, landscaping and lighting
 - 4 Adequate access shall be provided to the site as determined by the City Engineer

- VIII The Land Use Control Board may modify the bulk, parking, landscaping, and sign requirements if equivalent alternatives are presented, provided however, any adjacent property owner who is dissatisfied with the modifications of the Land Use Control Board hereunder may, within ten days of such action, file a written appeal to the director of the Office of Planning and Development, to have such action reviewed by the City Council
- IX A final plan shall be filed within fifteen years of approval of the outline plan. The Land Use Control Board may grant extensions at the request of the applicant

- X Any final plan shall include the following
 - A The outline plan conditions
 - B A standard subdivision contract as defined by the Subdivision Regulations for any needed public improvements
 - C The exact location and dimensions including height of all buildings or buildable areas, parking areas, drives, and required landscaping
 - D The number of parking spaces
 - E The location and ownership, whether public or private, of any easement
 - F The following note shall be placed on the final plat of any development requiring on site storm water detention facilities: "The areas denoted by 'Reserved for Storm Water Detention' shall not be used as a building site or filled without first obtaining written permission from the City and/or County Engineer. The storm water detention systems located in these areas, except for those parts located in a public drainage easement, shall be owned and maintained by the property owner and/or property owner's association. Such maintenance shall be performed so as to ensure that the system operates in accordance with the approved plan on file in the City/County Engineer's Office. Such maintenance shall include, but not be limited to removal of sedimentation, fallen objects, debris and trash, mowing, outlet cleaning, and repair of drainage structures"
 - XI Any subsequent owner of property within this Planned Development may request amendments to the Planned Development Conditions by Him/Her or It without the consent of other owners of property in the Planned Development

Engineer's Certificate

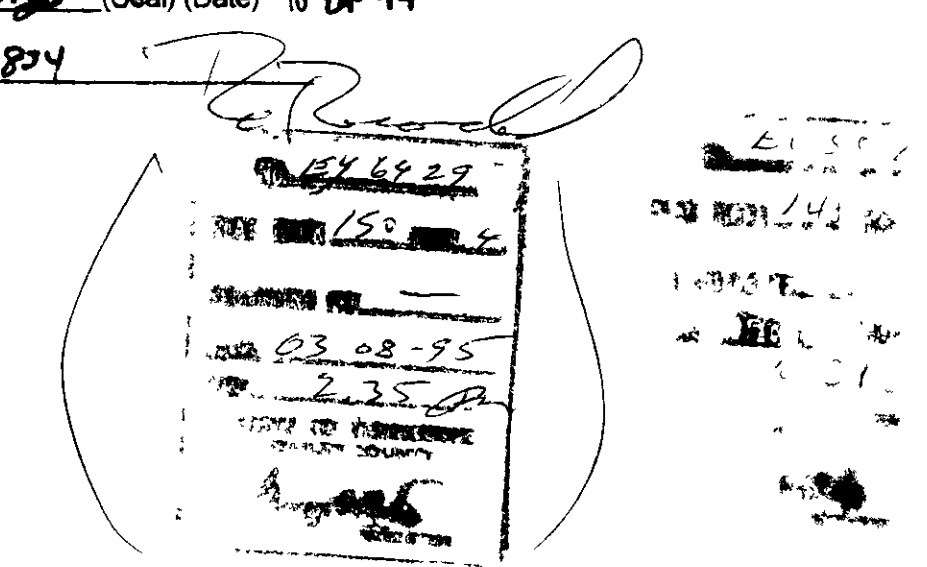
It is hereby certified that this plat is true and correct in conformance with the design requirements of the Zoning Ordinance, the Subdivision Regulations and the specific conditions imposed on this development, and takes into account all applicable federal, state and local building laws and regulations

By Robert M. Sweeney (Seal) (Date) 10-24-94
Tennessee Certificate No. 8568

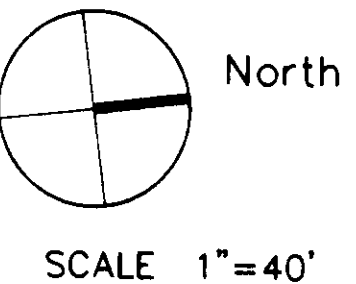
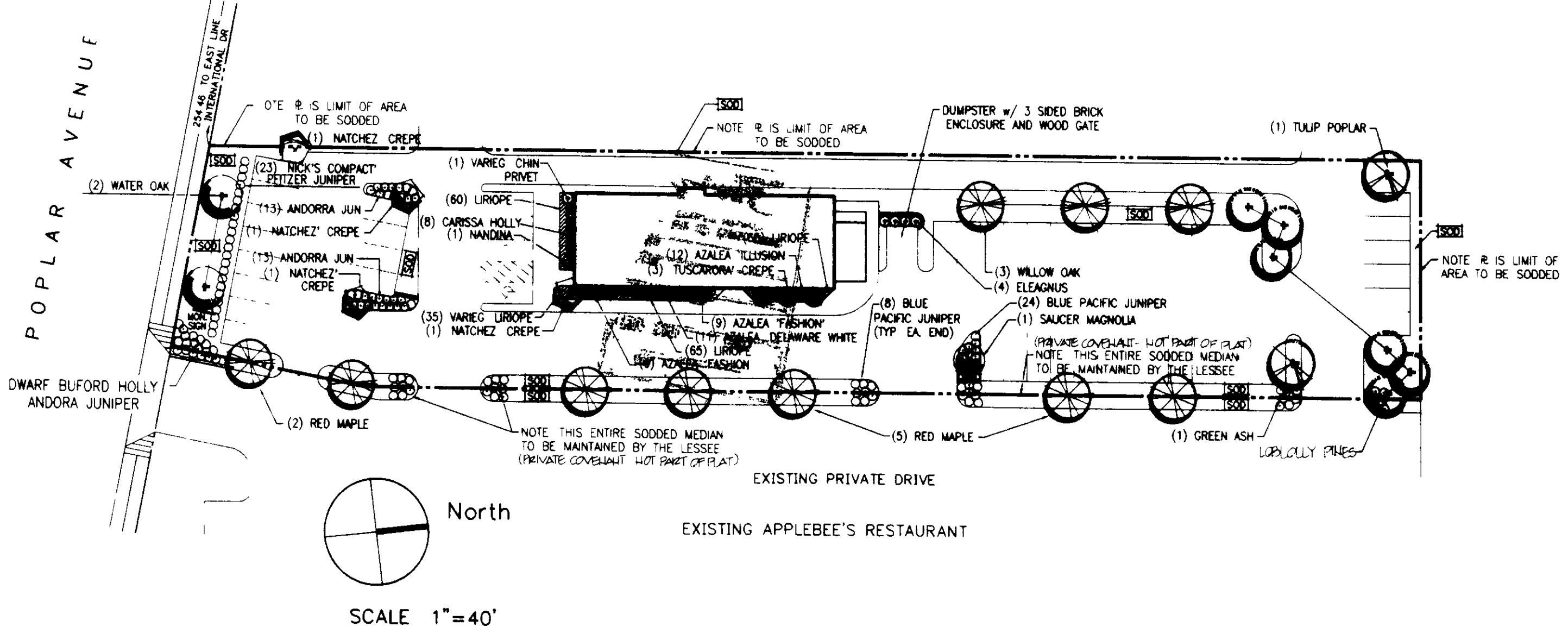
Surveyor's Certificate

I hereby certify that this is a category "I" survey and that the ratio of precision of the unadjusted survey is 1/5,000 or greater that this plat has been prepared by me or under my individual supervision and conforms with applicable State Laws and local Zoning Ordinances, Subdivision Regulations and the specific conditions imposed on this development relating to the practice of surveying

By Jack R. Campy (Seal) (Date) 10-24-94
Tennessee Certificate No. 874



REVISION
 PARCEL 80-8-453
 FINAL PLAT-PHASE 2 P D 90-342
CROWN CENTRE PLANNED DEVELOPMENT
 OWNER: ROBERT F. FOGELMAN
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 0.968 ACRES 1 LOT
 100 YEAR FLOOD ELEVATION 280.0
 MEMPHIS, TENNESSEE
 OCTOBER, 1994 SHEET 2 OF 3



PLANT MATERIALS LIST

Common Name	Quantity	Height	Caliper	Spread	Notes
OCTOBER GLORY RED MAPLE	7	12-14	2 1/2"	-	WELL-BRANCHED NO BRKN LDR
DELAWARE WHITE AZALEA	11	30"	-	30"	
FASHION AZALEA	18	24"	-	24"	
ILLUSION AZALEA	12	24"	-	24"	
ELEGNUS	4	36"	-	36"	
SEEDLESS ASH	14	12-14	2 1/2"	-	WELL BRANCHED
CARISSA HOLLY	8	24"	-	24"	
NICK'S COMP PFITZER JUNIPER	23	-	-	24"	
BLUE PACIFIC JUNIPER	64	-	-	18"	
ANDORRA JUNIPER	26	-	-	18"	
NATCHEZ CREPEMYRTLE	4	8-10	1 1/4"	-	3-TR MIN WELL-BRANCHED
TUSCARORA CREPEMYRTLE	3	6-8	3/4"	-	3-TR MIN WELL-BRANCHED
VARIEGATED CHINESE PRIVET	1	42"	-	42"	FULL
TULIP POPLAR	1	12-14	2 1/2"	-	WELL-BRANCHED
LIRIOPE	190	-	-	-	1-GAL ● 12" O.C
VARIEGATED LIRIOPE	35	-	-	-	1-GAL ● 12" O.C
SAUCER MAGNOLIA	1	8-10	1 1/4"	-	FULL TO GND UNIFORM SHAPE
MANDINA	1	42"	-	36"	FULL
LOBBLY PINE	6	12-14	3"	6-7'	WELL-BRANCHED
WATER OAK	2	12-14	2 1/2"	-	WELL-BRANCHED
WILLOW OAK	3	12-14	2 1/2"	-	WELL-BRANCHED

NOTE ON OCTOBER 13, 1994 THE LAND USE CONTROL BOARD APPROVED THE SITE PLAN FOR PHASE 2 WITH THE FOLLOWING CONDITIONS

- 1 RELOCATION OF SOUTHERNMOST ACCESS POINT ±40' NORTHWARD
- 2 RELOCATION OF CENTER ACCESS POINT ±9 FEET NORTHWARD
- 3 MODIFICATION OF LANDSCAPING
- 4 DUMPSTER SHALL BE SCREENED FROM VIEW OF MOTORING PUBLIC BY WALLED ENCLOSURE, HAVING A SIMILAR FINISH TO THAT OF PROPOSED BUILDING EXTERIOR

Office of Planning and Development Certificate
 Plan of development acted on by the Memphis and Shelby County Land Use Control Board on OCT. 11, 1992 Approved by the Memphis City Council on DEC. 15, 1992
 By Cynthia Buchanan Date 12/1/94
 Director, Office of Planning & Development

THIS PLAT IS BEING RE RECORDED TO ADD UTILITY EASEMENTS AND AN ADDITIONAL 10' WIDE PRIVATE DRAINAGE EASEMENT

By Cynthia Buchanan DATE 3/7/95
 DIRECTOR, OFFICE OF PLANNING AND DEVELOPMENT

Owner's Certificate

I/We Robert F Fogel the undersigned owner(s) of the property shown hereby adopt this plat as my/our plan of development and dedicate the streets rights-of-way, and grant the easements as shown and/or described to public use forever. I/We certify that I/We are the owner(s) of the said property in fee simple, duly authorized to act and that said property is not encumbered by any taxes which have become due and payable
Robert F Fogel

Notary's Certificate

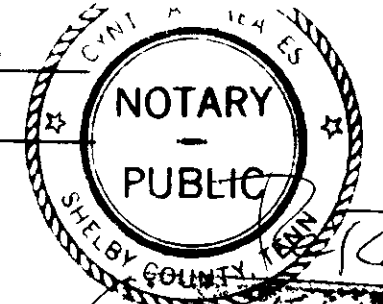
State of Tennessee
 County of Shelby
 Before me the undersigned a Notary Public in and for the said State and County at Memphis, Tenn. Duly commissioned and qualified personally appeared ROBERT F FOGELMAN with whom I am personally acquainted, and who upon his oath acknowledged himself OWNER to be the OWNER of the PROPERTY the within named bargainer, and that he executed the foregoing instrument for the purpose therein contained. In witness whereof I have hereunto set my hand and affixed my notarial seal at my office in Memphis this 24th day of OCTOBER 1994
 Notary Public John F. Fogle
 My Commission Expires MARCH 25, 1995

Mortgagee's Certificate

We, Union Planters Nat'l Bank the undersigned mortgagee of the property shown hereon, hereby consent and agree to the plan of development as submitted by Robert F. Fogelman owner(s) of the property
Union Planters Nat'l Bank Elizabeth S. Call
 Institution Signature Assistant Vice Pres

Notary's Certificate

State of Tennessee
 County of Shelby
 Before me, the undersigned a Notary Public in and for the said State and County at Memphis, Tenn. Duly commissioned and qualified personally appeared Elizabeth S. Call with whom I am personally acquainted, and who upon her (her) oath acknowledged herself Assistant Vice President to be the Assistant Vice President of the Union Planters Nat'l Bank the within named bargainer, and that he executed the foregoing instrument for the purpose therein contained. In witness whereof I have hereunto set my hand and affixed my notarial seal at my office in Memphis, this 25th day of October 1994
 Notary Public Elizabeth S. Call
 My Commission Expires 9-17-96



EY6429

REAVES & SWEENEY INCORPORATED
 Engineering Planning & Landscape Architecture
 SUITE 400 5118 PARK AVENUE
 MEMPHIS, TENNESSEE 38117
 901-761-2016

PARCEL 80-8-453
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