

LIBERTY STREET 2-FAMILY DWELLING

260 LIBERTY STREET, NEWBURGH, NY 12550
SECTION 18 BLOCK 6 LOT 30

SCOPE OF WORK NEW 2-FAMILY WOOD FRAMED DWELLING

2015 INTERNATIONAL RESIDENTIAL CODE
2017 UNIFORM CODE SUPPLEMENT NEW YORK STATE
2015 ENERGY CONSERVATION CODE WITH 2016 NEW YORK STATE SUPPLEMENT
CITY OF NEWBURGH ZONING CODE AND EAST END HISTORIC DISTRICT DESIGN GUIDELINES

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1 AREA PLAN
Scale: 1" = 50'-0"

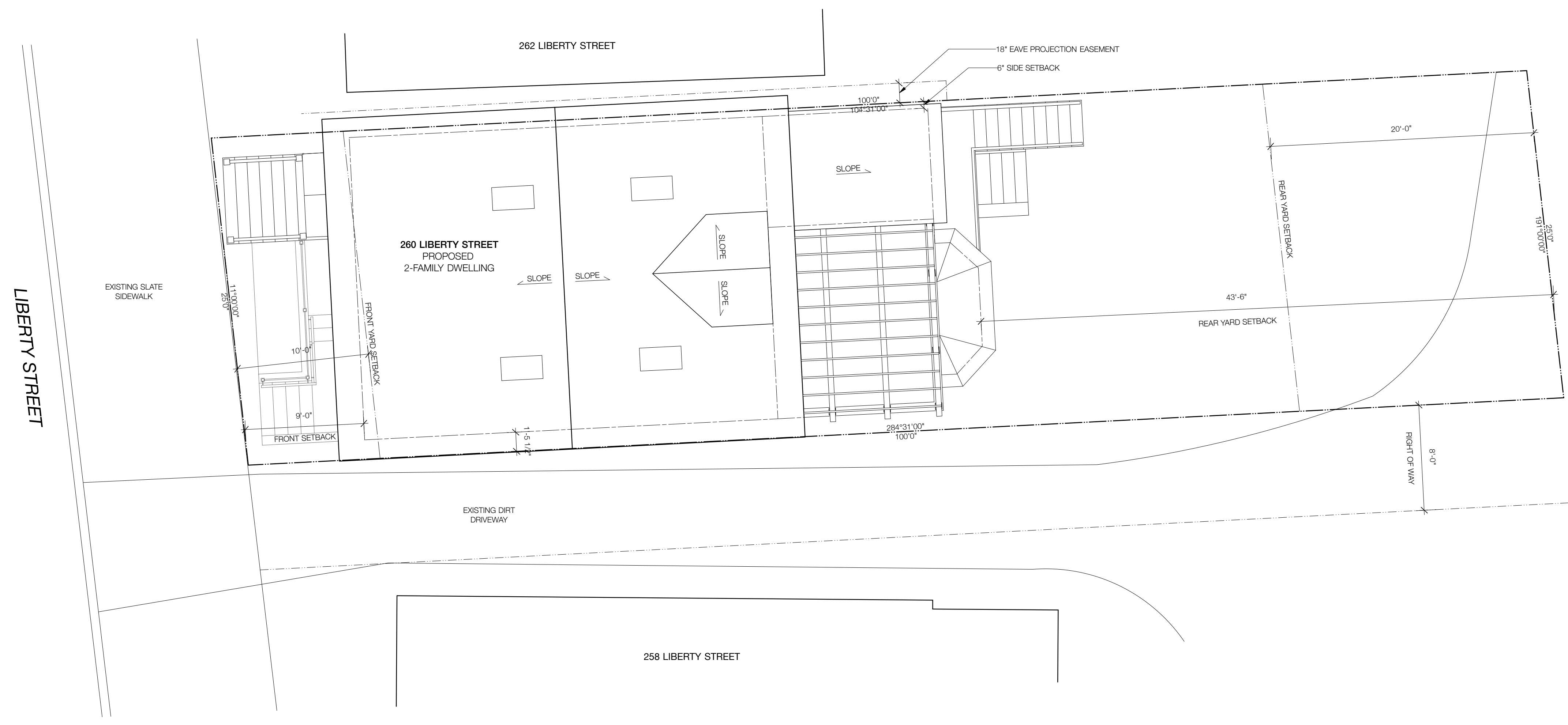
ZONING
TAX MAP ID # 18-6-30
Property Class 351 Residential Shell Building
Zoning District Residential Medium Density (RM)
New 2 1/2 Story Frame Dwelling
Gross Sq. Ft. 3,264 sq. ft.
Site 25' x 100' = 2,500 sq. ft. = 0.0574 acres

ZONING REQUIREMENTS
Applicable code City of Newburgh Zoning Code
Regulation for Residential Medium Density District

C. MINIMUM REQUIRED	REQUIRED	PROPOSED
MINIMUM LOT AREA	2,500 SQ. FT	2,500 SQ. FT (EXT'G)
MINIMUM LOT WIDTH	25 FT	25 FT (EXT'G)
MINIMUM LOT DEPTH	95 FT	100 FT (EXT'G)
FRONT YARD	10 FT	9 FT
SIDE YARD	5 FT (EA. SIDE)	0.5 FT NORTH 1.5 FT SOUTH
REAR YARD	20 FT	43.5 FT
OFF-STREET PARKING	2/DWELLING, TOTAL 4	0

D. MAXIMUM PERMITTED	ALLOWED	PROPOSED
HEIGHT	3 STORIES, 40 FT.	3 STORIES, 36.7 FT.
BUILDING % OF LOT COVERAGE	30%	1039.9 SF/ 2,500 SF. = 42%

VARIANCES GRANTED (4)
March 28, 2019
Appral #2019-07
Per Section 300-32 of the City of Newburgh Zoning Code:
- Front yard Setback permitted 8 ft.
- Side yard Setback permitted 0 ft each side.
- Lot Coverage of 42% permitted.
- Not Providing Off-street Parking permitted.



2 SITE PLAN
Scale: 3/16" = 1'-0"

project:
LIBERTY STREET 2 FAMILY DWELLING
260 Liberty Street, Newburgh, NY 12550

architect's seal:

Drawing Index
& Site Plan

GENERAL NOTES

- GENERAL CONTRACTOR SHALL DO THIS WORK IN ACCORDANCE WITH LOCAL LAWS AND ORDINANCES. THE BUILDING PERMIT SHALL BE SECURED BY THE GENERAL CONTRACTOR AND HE SHALL OBTAIN ALL OTHER PERMITS AND APPROVALS AS REQUIRED BY LAW FOR THE COMPLETION OF THE WORK.
- THE SUBMISSION OF A PROPOSAL BY THE GENERAL CONTRACTOR SHALL BE CONSTRUED AS EVIDENCE THAT A CAREFUL AND THOROUGH EXAMINATION OF THE PREMISES HAS BEEN MADE. IT SHALL ALSO CONSTITUTE A REPRESENTATION THAT THE CONTRACTOR HAS CHECKED AND VERIFIED ALL QUANTITIES, WORK AND MATERIALS INVOLVED AND THAT HE SHALL TAKE RESPONSIBILITY FOR ANY DEFICIENCIES THEREIN.
- BEFORE ORDERING ANY MATERIAL OR DOING ANY WORK, EACH TRADE SHALL VERIFY ALL DIMENSIONS AT THE BUILDING AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF SAME. NO EXTRA CHARGE OR COMPENSATION WILL BE ALLOWED ON ACCOUNT OF DIFFERENCE BETWEEN ACTUAL DIMENSIONS AND THE MEASUREMENTS INDICATED ON THE DRAWINGS; ANY DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS WHICH MAY BE FOUND SHALL BE SUBMITTED TO THE ARCHITECT FOR CONSIDERATION AND CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
- ALL OF THE ARCHITECTS DRAWINGS AND CONSTRUCTION NOTES ARE COMPLEMENTARY AND WHAT IS CALLED FOR BY EITHER WILL BE BINDING AS IF CALLED FOR BY ALL. ANY WORK SHOWN OR REFERRED TO ON ANY ONE DRAWING SHALL BE PROVIDED AS CALLED FOR ON ALL DRAWINGS. WHENEVER AN ITEM IS SPECIFIED AND/OR SHOWN ON THE DRAWINGS BY DETAIL OR REFERENCE IT SHALL BE CONSIDERED TYPICAL FOR OTHER ITEMS WHICH ARE OBVIOUSLY INTENDED TO BE THE SAME EVEN THOUGH NOT SO DESIGNATED OR SPECIALLY NAMED BUT DO SERVE THE SAME FUNCTION.
- THE WORK TO BE PERFORMED CONSISTS OF FURNISHING ALL LABOR, EQUIPMENT, TOOLS, TRANSPORTATION, SUPPLIES, FEES, MATERIALS AND SERVICES IN ACCORDANCE WITH THESE NOTES AND DRAWINGS AND PERFORMING ALL OPERATIONS NECESSARY TO CONSTRUCT AND INSTALL COMPLETE AND IN SATISFACTORY CONDITION THE VARIOUS MATERIALS AND EQUIPMENT AT THE LOCATIONS SHOWN. IT IS INTENDED THAT THE DRAWINGS INCLUDE EVERYTHING REQUISITE AND NECESSARY TO FINISH THE ENTIRE WORK PROPERLY NOTWITHSTANDING THE FACT THAT EVERY ITEM NECESSARILY INVOLVED MAY NOT BE SPECIFICALLY MENTIONED OR SHOWN. ANY ITEM WHICH MAY BE REASONABLY CONSTRUED AS INCIDENTAL TO THE PROPER AND SATISFACTORY COMPLETION OF THE WORK IN ACCORDANCE WITH THE INTEND OF THESE NOTES AND DRAWINGS IS HEREBY INCLUDED.
- THE GENERAL CONTRACTOR SHALL ABIDE BY AND COMPLY WITH THE TRUE INTENT AND MEANING OF THE DRAWINGS AND NOTES TAKEN AS A WHOLE. SHOULD ANY ERROR OR DISCREPANCY APPEAR OR ANY DOUBT ARISE AS TO THE TRUE MEANING OF THE DRAWINGS OR NOTES, THE GENERAL CONTRACTOR SHALL BRING SUCH ITEMS TO THE ATTENTION OF THE ARCHITECT BEFORE SUBMISSION OF PROPOSAL FOR EXPLANATION OR CORRECTION OF SAME.
- THE CHARACTER AND SCOPE OF THE WORK ARE ILLUSTRATED BY THE DRAWINGS AND NOTES. TO INTERPRET AND EXPLAIN THE DRAWINGS OTHER INFORMATION DEEMED NECESSARY BY THE ARCHITECT WILL BE FURNISHED TO THE CONTRACTOR WHEN AND AS REQUIRED BY THE WORK. AND IT IS TO BE UNDERSTOOD THAT SAID ADDITIONAL INFORMATION OR DRAWINGS ARE TO BE OF EQUAL FORCE WITH THESE DRAWINGS.
- FULL SIZE OR LARGE SCALE DETAILS DRAWINGS SHALL GOVERN OVER SMALL SCALE DRAWINGS WHICH THEY ARE INTENDED TO AMPLIFY. DETAILS OR CONDITIONS INDICATED FOR A PORTION OF THE WORK BUT NOT CARRIED OUT FULLY FOR OTHER PORTIONS SHALL APPLY THROUGHOUT TO ALL SIMILAR PORTIONS EXCEPT AS OTHERWISE SPECIFICALLY NOTED. IN EVERY CASE MORE EXPENSIVE ITEM OR METHOD SHALL BE ASSUMED OVER A LESS EXPENSIVE ONE AND DIMENSIONS SHALL BE FIGURED RATHER THAN DETERMINED BY RULE OR SCALE.
- THE PROJECT HAS BEEN DESIGNED AND DETAILED FOR THE SPECIFIC MATERIALS AND EQUIPMENT SPECIFIED. NO SUBSTITUTIONS SHALL BE MADE WITHOUT THE EXPRESS WRITTEN CONSENT OF THE ARCHITECT AND OWNER. IF THE SPECIFIED MATERIAL IS NOT AVAILABLE, THE GENERAL CONTRACTOR SHALL PROPOSE AND ALTERNATE MATERIAL AND SHALL PROVIDE DRAWINGS, SAMPLES, SPECIFICATIONS, MANUFACTURER'S LITERATURE, PERFORMANCE DATE, ETC. IN ORDER THAT THE ARCHITECT CAN EVALUATE THE PROPOSED SUBSTITUTION. IF THE SUBSTITUTION AFFECTS A CORRELATED FUNCTION, ADJACENT CONSTRUCTION, OR THE WORK OF ANY OTHER CONTRACTOR OR TRADE, THE NECESSARY CHANGES AND MODIFICATIONS TO THE AFFECTED WORK SHALL BE ACCOMPLISHED BY THE GENERAL CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER. NO REQUESTS FOR SUBSTITUTES WILL BE ENTERTAINED BY THE ARCHITECT DUE TO GENERAL CONTRACTOR'S FAILURE TO ORDER MATERIALS IN A TIMELY MANNER.
- THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IF HE CANNOT FOR ANY REASON COMPLY WITH ALL THE REQUIREMENTS OF THESE NOTES AND DRAWINGS.
- THE GENERAL CONTRACTOR SHALL COORDINATE AND SUPERVISE THE WORK OF ALL CONTRACTORS AND SUB-CONTRACTORS. HE SHALL BE RESPONSIBLE FOR GIVING ALL TRADES SUCH INFORMATION, PLANS OR DETAILS AS MAY BE REQUIRED FOR THE PROPER INSTALLATION AND COMPLETION OF THEIR WORK.
- THE GENERAL CONTRACTOR SHALL SUBMIT ALL FABRICATION SHOP DRAWINGS, SAMPLES AND VENTURE CUTS FOR THE ARCHITECT'S REVIEW AS REQUIRED AND/OR INDICATED ON DRAWINGS. THE ARCHITECT'S REVIEW SHALL NOT BE CONSTRUED AS AN INDICATION THAT SUBMITTAL IS CORRECT OR SUITABLE NOR THAT WORK REPRESENTED BY SUBMITTAL COMPLIES WITH DRAWINGS, EXCEPT AS TO MATTERS OF FINISH, COLOR AND OTHER ESTHETIC MATTERS. ACTION NOTED ABOVE DOES NOT RELIEVE THE GENERAL CONTRACTOR FROM RESPONSIBILITY TO COORDINATE ALL TRADES AND TO CHECK QUANTITIES AND DIMENSIONS AGAINST CONDITIONS IN THE FIELD. GENERAL CONTRACTOR AND VENDORS SHALL ASSUME RESPONSIBILITY FOR ALL ERRORS ON THEIR DRAWINGS.
- ALL MATERIALS REQUIRED FOR THE PERFORMANCE OF THIS CONTRACT SHALL BE NEW AND OF ITS BEST QUALITY OF KINDS SPECIFIED, ALL SUBJECT TO THE APPROVAL OF THE ARCHITECT. THE USE OF OLD OR SECOND-HAND MATERIALS IS STRICTLY FORBIDDEN. THE GENERAL CONTRACTOR SHALL, IF REQUIRED, FURNISH SATISFACTORY EVIDENCE AS TO THE KIND AND QUALITY MATERIALS AND WORKMANSHIP MATERIALS SHALL BE USED IN ACCORDANCE WITH MANUFACTURER'S PRINTED INSTRUCTIONS. UPON REQUEST, THE MANUFACTURER'S REPRESENTATIVE SHALL GO TO THE SITE AND INSTRUCT THE MECHANIC IN THE USE OF THE MATERIALS OR SHALL SUPERVISE THEIR USE.
- FOR THE EXECUTION OF THE WORK TO BE PERFORMED UNDER THIS CONTRACT AND FOR THE MANUFACTURE OR TRANSPORTATION OF ANY OF THE MATERIALS OR EQUIPMENT TO BE USED OR INSTALLED, THE GENERAL CONTRACTOR SHALL EMPLOY ONLY SUCH LABOR THROUGHOUT AS WILL NOT INTERFERE WITH THE SPEEDY AND UNINTERRUPTED COMPLETION OF THE PROJECT. ALL WORK SHALL BE DONE BY MECHANICS SKILLED IN THEIR TRADE AND SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER IN ACCORDANCE WITH THE BEST TRADE PRACTICES.
- ANY MATERIALS DELIVERED OR WORK PERFORMED, CONTRARY TO THE DRAWINGS AND SPECIFICATIONS AND APPROVED SHOP DRAWINGS, SHALL BE REMOVED BY THE CONTRACTOR AT HIS OWN EXPENSE, AND THE SAME SHALL BE REPLACED WITH OTHER MATERIALS OR WORK SATISFACTORY TO THE ARCHITECT. THE CONTRACTOR SHALL ALSO ASSUME THE COST OF REPLACING THE WORK WHICH MAY BE DISTURBED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY AND ACCURATELY LAYING OUT THE WORK AND FOR THE LINES AND MEASUREMENTS HEREIN. HE SHALL ESTABLISH NECESSARY REFERENCE LINES AND PERMANENT BENCH MARKS FROM WHICH BUILDING LINES AND ELEVATIONS SHALL BE TAKEN. ELEVATION HEIGHTS OF ALL WORK INCLUDING BUT NOT LIMITED TO SOFFITS, CEILINGS, DOORS, HOLLOW METAL SHALL BE TRUE AND LEVEL WITHIN A MAXIMUM TOLERANCE OF 1/8" OVERALL THE ENTIRE PROJECT.
- A. THE PREMISES AND THE JOB SITE SHALL BE MAINTAINED IN A REASONABLY NEAT AND ORDERLY CONDITION AND KEPT FREE FROM ACCUMULATIONS OF WASTE MATERIALS AND RUBBISH DURING THE ENTIRE CONSTRUCTION PERIOD. REMOVE GRATES, CARTONS AND OTHER FLAMMABLE WASTE MATERIALS OR TRASH FROM THE WORK AREAS AT THE END OF EACH WORKING DAY.
 - ELECTRICAL CLOSETS, PIPE AND DUCT SHAFTS, CHASES, FURRED SPACES AND SIMILAR SPACES WHICH ARE GENERALLY UNFINISHED SHALL BE CLEANED AND LEFT FREE FROM RUBBISH, LOOSE PLASTER, MORTAR DRIPPINGS, EXTRANEOUS CONSTRUCTION MATERIALS, DIRT AND DUST.
 - CARE SHALL BE TAKEN BY WORKMEN NOT TO MARK, SOIL OR OTHERWISE DEFACE FINISHED SURFACES. IN THE EVENT THAT FINISHED SURFACES BECOME DEFACTED, CLEAN AND RESTORE SUCH SURFACES TO THEIR ORIGINAL CONDITION. IF THIS IS NOT POSSIBLE, DAMAGED SURFACES SHALL BE REPLACED AT THE EXPENSE OF THE GENERAL CONTRACTOR.
 - CLEAN UP IMMEDIATELY UPON COMPLETION OF EACH TRADE'S WORK.
 - ELEAN AREAS OF THE BUILDING IN WHICH PAINTING OF FINISHING WORK IS TO BE PERFORMED JUST PRIOR TO THE START OF THE WORK, AND MAINTAIN THESE AREAS IN SATISFACTORY CONDITION BEFORE PAINTING AND FINISHING.
 - THIS CLEANING INCLUDES THE REMOVAL OF TRASH AND RUBBISH FROM THESE AREAS, BROOM CLEANING OF FLOORS; THE REMOVAL OF ANY PLASTER, MORTAR, DIRT AND EXTRANEOUS MATERIALS FROM FINISH SURFACES, INCLUDING BUT NOT LIMITED TO MISCELLANEOUS METAL, WOODWORK, PLASTER, GYPSUM DRYWALL, MASONRY, CONCRETE, MECHANICAL AND ELECTRICAL EQUIPMENT, PIPING, DUCTWORK, HOLLOW METAL AND SURFACES VISIBLE AFTER GRILLERS, REGISTERS AND OTHER SUCH FIXTURES OR DEVICES ARE IN PLACE.
 - IN ADDITION TO THE CLEANING SPECIFIED ABOVE AND THE MORE SPECIFIC CLEANING WHICH MAY BE REQUIRED IN VARIOUS SECTIONS OF THE SPECIFICATIONS, THE PREMISES SHALL BE PREPARED FOR OCCUPANCY BY:
 - A THOROUGH CLEANING THROUGHOUT INCLUDING WASHING OR CLEANING BY OTHER APPROVED METHODS OF ALL FLOORS AND SURFACES ON WHICH DIRT OR DUST HAS COLLECTED AND BY WASHING GLASS, REMOVING ALL PAINT, PUTTY AND STAINS THEREFROM
 - PROVIDING AND MAINTAINING ADEQUATE FLOOR PROTECTION ON FINISHED FLOORS AS REQUIRED.
 - LEAVING ALL FIXTURES AND EQUIPMENT IN AN UNDAMAGED, BRIGHT, POLISHED CONDITION.
 - CLEAN AND POLISH ALL HARDWARE AND OTHER METAL WORK.
 - DO ALL OTHER CLEANING AS REQUIRED TO TURN THE BUILDING AND PREMISED OVER TO THE OWNER IN A SPOTLESS AND ORDERLY CONDITION.
- THE GENERAL CONTRACTOR SHALL KEEP THE ARCHITECT INFORMED OF THE PROGRESS OF HIS WORK. NO WORK SHALL BE CLOSED OR COVERED UNTIL IT HAS BEEN DULY INSPECTED AND APPROVED. SHOULD UNINSPECTED WORK BE COVERED, THE GENERAL CONTRACTOR SHALL AT HIS OWN EXPENSE, UNCOVER ALL SUCH WORK SO THAT IT CAN BE PROPERLY INSPECTED AND AFTER SUCH INSPECTION, HE SHALL PROPERLY REPAIR AND REPLACE ALL WORK INTERFERED WITH.

- ALL WORK SHALL BE SUBJECT TO FINAL INSPECTION BY THE ARCHITECT AND ACCEPTANCE BY THE OWNER.
- PROTECT OWNER'S PROPERTY, EQUIPMENT, RESIDENTS AND EMPLOYEES FROM INJURY AND DAMAGE.
- ALL HVAC, PLUMBING, SPRINKLER AND ELECTRICAL LINES ARE TO BE COORDINATED SO THAT NO CONFLICTS OCCUR. ANY CONFLICTS WHICH RESULT IN A RELOCATION OF A FINISHED SURFACE WILL BE DONE WITH MINIMUM DISRUPTION TO THE OPERATIONS OF THE EXISTING FACILITY DURING CONSTRUCTION RENOVATION AND MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT OR ENGINEER PRIOR TO INSTALLATION.
- GENERAL CONTRACTOR SHALL CONSULT WITH PLUMBING AND ELECTRICAL SUBCONTRACTORS FOR LOCATIONS OF CONDUIT AND PIPES IN FOUNDATION, SLABS ON GRADE AND EXTERIOR WALLS AND SHALL INSTALL WATERIGHT PIPE SLEEVES AT THEIR RESPECTIVE LOCATIONS.
- A SET OF THE INSTRUCTION MANUALS AND INSTALLATION INSTRUCTIONS OF ALL EQUIPMENT AND ACCESSORIES INSTALLED IN THIS JOB SHALL BE KEPT BY THE GENERAL CONTRACTOR AND TURNED OVER TO THE OWNER AT THE COMPLETION OF THE JOB. THE GENERAL CONTRACTOR SHALL PROVIDE THE OWNER WITH DEMONSTRATIONS OF NEW EQUIPMENT START-UP AND MAINTENANCE INSTRUCTIONS.
- THE GENERAL CONTRACTOR IS TO PROVIDE LOOSE ANGLE IRON OR C/M/L UNTELS OVER ALL DUCTS PASSING THROUGH MASONRY PARTITIONS.
- PROVIDE ADEQUATE BACKUP AND BLOCKING FOR ALL WALL OR CEILING MOUNTED EQUIPMENT, ARCHITECTURAL WOODWORK, HANDRAILS, LIGHTING OR OTHER MISCELLANEOUS ITEMS AS SHOWN ON DRAWINGS TO ASSURE A SECURE INSTALLATION.
- FOR ALL PARTITIONS REFER TO PARTITION SYMBOLS ON DRAWINGS AND THE PARTITION TYPE SCHEDULE WHICH SHOWS PARTITION CORES AND FINISHES.
- AT ALL ROOMS WITH FLOOR DRAINS: PITCH FINISHED FLOOR TO DRAINS.
- MAINTAIN ACCESS TO ALL POINTS OF EGRESS DURING ENTIRE CONSTRUCTION PERIOD.
- FIELD MEASUREMENTS SHALL BE TAKEN AT THE SITE BY THE GENERAL CONTRACTOR TO VERIFY AND SUPPLEMENT ALL DIMENSIONS AND ADDITIONS AFFECTED BY EXISTING WORK OR NEW WORK THAT HAS ALREADY BEEN INSTALLED. ANY DISCREPANCIES FROM THE INFORMATION SHOWN ON PLANS SHALL BE REPORTED TO AND COORDINATED WITH THE ARCHITECT.

FIRESTOPPING NOTES

FIREBLOCKING SHALL BE PROVIDED IN WOOD-FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:

- IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS. CONCEALED HORIZONTAL FURRED SPACES SHALL ALSO BE FIREBLOCKED AT INTERVALS NOT EXCEEDING 10 FEET. BATTS OR BLANKETS OF MINERAL OR GLASS FIBER SHALL BE ALLOWED AS FIREBLOCKING IN WALLS CONSTRUCTED USING PARALLEL ROWS OF STUDS OR STAGGERED STUDS.
- AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCURS AT SOFFITS, DROPPED CEILINGS AND COVE CEILING.
- IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN. ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH CURRENT NYS RESIDENTIAL CODE.
- AT OPENINGS AROUND VENTS, PIPES AND DUCTS AT CEILING AND FLOOR LEVEL, TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION.
- AT CHIMNEYS AND FIREPLACES AS REQUIRED BY CURRENT NYS CODE. SEE SECTION R1001.16
- AT FIRE RATED WALL (5/8" GWB) TO BE APPLIED TO ALL WALLS, ABOVE AND AROUND ALL HEATING APPLIANCES.

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MECHANICAL AND FUEL GAS NOTES

ALL APPLIANCES SHALL BE PROPERLY VENTED IN ACCORDANCE WITH CHAPTER 15 OF THE INTERNATIONAL BUILDING CODE.

2. EXHAUST FANS TO BE 100 CFM MINIMUM.

HVAC NOTES

- HVAC SUBCONTRACTOR TO PROVIDE HEATING AND HVAC FINAL SYSTEM LAYOUT DRAWING AND SUBMIT TO THE ARCHITECT FOR FINAL REVIEW AND APPROVAL.
- HVAC SUBCONTRACTOR TO FULLY COORDINATE ALL SYSTEM DATA AND REQUIREMENTS WITH THE EQUIPMENT SUPPLIER.
- HVAC SUBCONTRACTOR IS RESPONSIBLE FOR ADHERING TO ALL APPLICABLE CODES AND SAFETY REQUIREMENTS.
- DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE AS PER N1103.3.3 (P403.3.3)
- HEATING SYSTEM SHALL BE DESIGNED IN ACCORDANCE WITH THE INTERNATIONAL MECHANICAL CODE AS SUPPLEMENTED BY NEW YORK STATE AND SHALL BE CAPABLE OF MAINTAINING AN INDOOR TEMPERATURE OF NOT LESS THAN 68 DEGREES AT A POINT 3 FEET ABOVE THE FLOOR ON THE DESIGN HEATING DAY IN ALL SPACES INTENDED FOR HUMAN OCCUPANCY.
- HEATING AND COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH ACCA MANUAL S OR OTHER APPROVED SIZING METHOD.
- APPLIANCES FOR HEATING AND COOLING SHALL BE LOCATED ABOVE THE FLOOR PLAIN ELEVATION AND SHALL BE PLACED IN A MANNER THAT ALLOWS FOR MAINTENANCE WITHOUT THE REMOVAL OF PERMANENT CONSTRUCTION.

MECHANICAL VENTILATION NOTES

1. R303.4 MECHANICAL VENTILATION, WHERE THE AIR INFILTRATION RATE OF A DWELLING UNIT IS 5 AIR CHANGES PER HOUR OR LESS WHERE TESTED WITH A BLOWER DOOR AT A PRESSURE OF 0.2 INCH W.G. @ 90 IN. IN ACCORDANCE WITH SECTION N1102.4.1.2, THE DWELLING UNIT SHALL BE PROVIDED WITH WHOLE-HOUSE MECHANICAL VENTILATION IN ACCORDANCE WITH SECTION M1507.3.

PLUMBING NOTES

- PLUMBING INSTALLATION SHALL BE IN ACCORDANCE WITH THE APPLICATION PROVISIONS OF THE INTERNATIONAL RESIDENTIAL CODE AND NYS CONSTRUCTION CODE.
- IF WALL STUDS, PLATES OR JOISTS ARE CUT OUT DURING INSTALLATION FOR PLUMBING RELATED WORK, PROVIDE ADEQUATE BRACING AND PLATES TO PROTECT AND SECURE THE STRUCTURE. VERIFY WITH THE STATE CODE AND MANUFACTURE'S RECOMMENDATION FOR MAXIMUM HOLE SIZE AND SPACING PERMITTED.
- ALL PLASTIC PIPE MATERIAL FOR SUPPLY OR WASTE SHALL BE IDENTIFIED AND LISTED IN ACCORDANCE WITH THE APPROPRIATE CERTIFICATIONS.
- ONLY CODE COMPLIANT FIXTURES MAY BE USED.

STAIR NOTES

- WOOD STAIRS AND RAILINGS AS PER 2017 NY STATE SUPPLEMENT

R311.7.1 WIDTH. STAIRWAYS SHALL BE NOT LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT AND BELOW THE REQUIRED HEADROOM HEIGHT. HANDRAILS SHALL NOT PROJECT MORE THAN 4 1/2 INCHES ON EITHER SIDE OF THE STAIRWAY AND THE CLEAR WIDTH OF THE STAIRWAY AT AND BELOW THE HANDRAIL HEIGHT, INCLUDING TREADS AND LANDINGS, SHALL BE NOT LESS THAN 31 1/2 INCHES. WHERE A HANDRAIL IS INSTALLED ON ONE SIDE AND 27 INCHES WHERE HANDRAILS ARE PROVIDED ON BOTH SIDES.

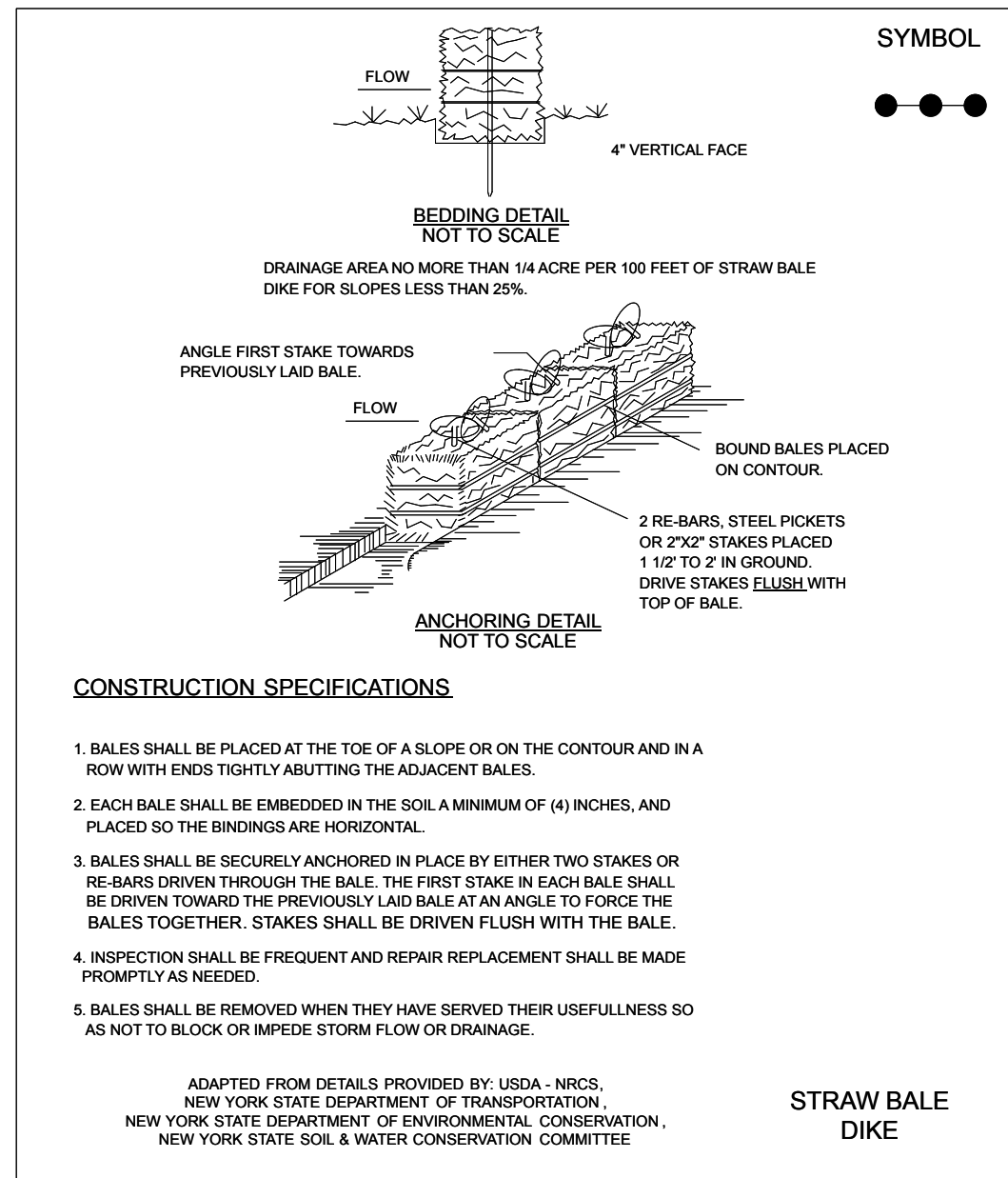
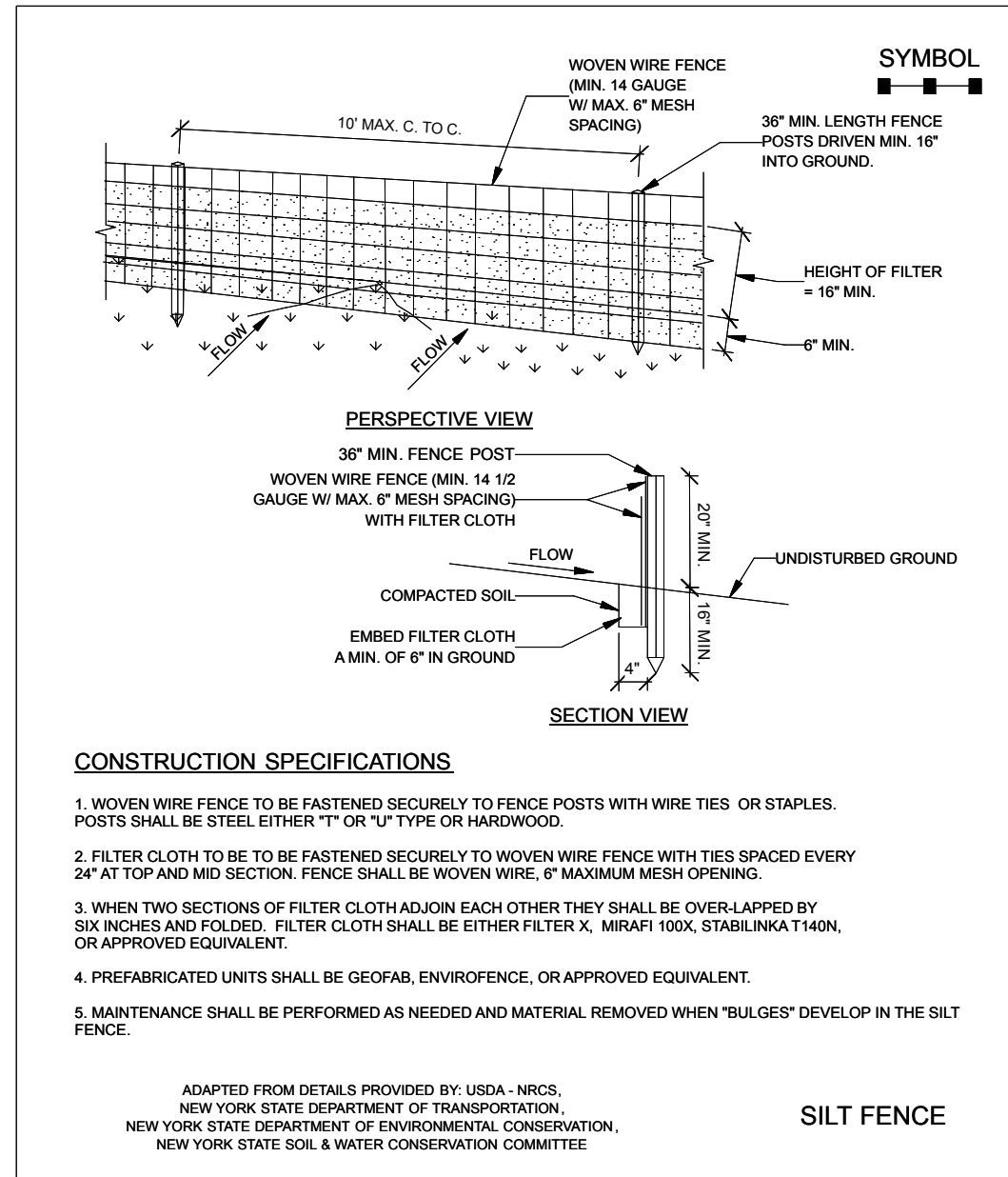
R311.7.5.1 RISERS. THE RISER HEIGHT SHALL BE NOT MORE THAN 8 INCHES. THE RISER SHALL BE MEASURED VERTICALLY BETWEEN LEADING EDGES OF THE ADJACENT TREADS. THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH. RISERS SHALL BE VERTICAL OR SLOPED FROM THE UNDERSIDE OF THE NOSING OF THE TREAD ABOVE AT AN ANGLE NOT MORE THAN 30 DEGREES FROM THE VERTICAL. OPEN RISERS ARE PERMITTED PROVIDED THAT THE OPENINGS LOCATED MORE THAN 30 INCHES, AS MEASURED VERTICALLY, TO THE FLOOR OR GRADE BELOW DO NOT PERMIT THE PASSAGE OF A 4-INCH-DIAMETER SPHERE.

R311.7.5.2 TREADS. THE TREAD DEPTH SHALL BE NOT LESS THAN 9 INCHES. THE TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AND AT A RIGHT ANGLE TO THE TREAD'S LEADING EDGE. THE GREATEST TREAD DEPTH WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH.

FINISH NOTES

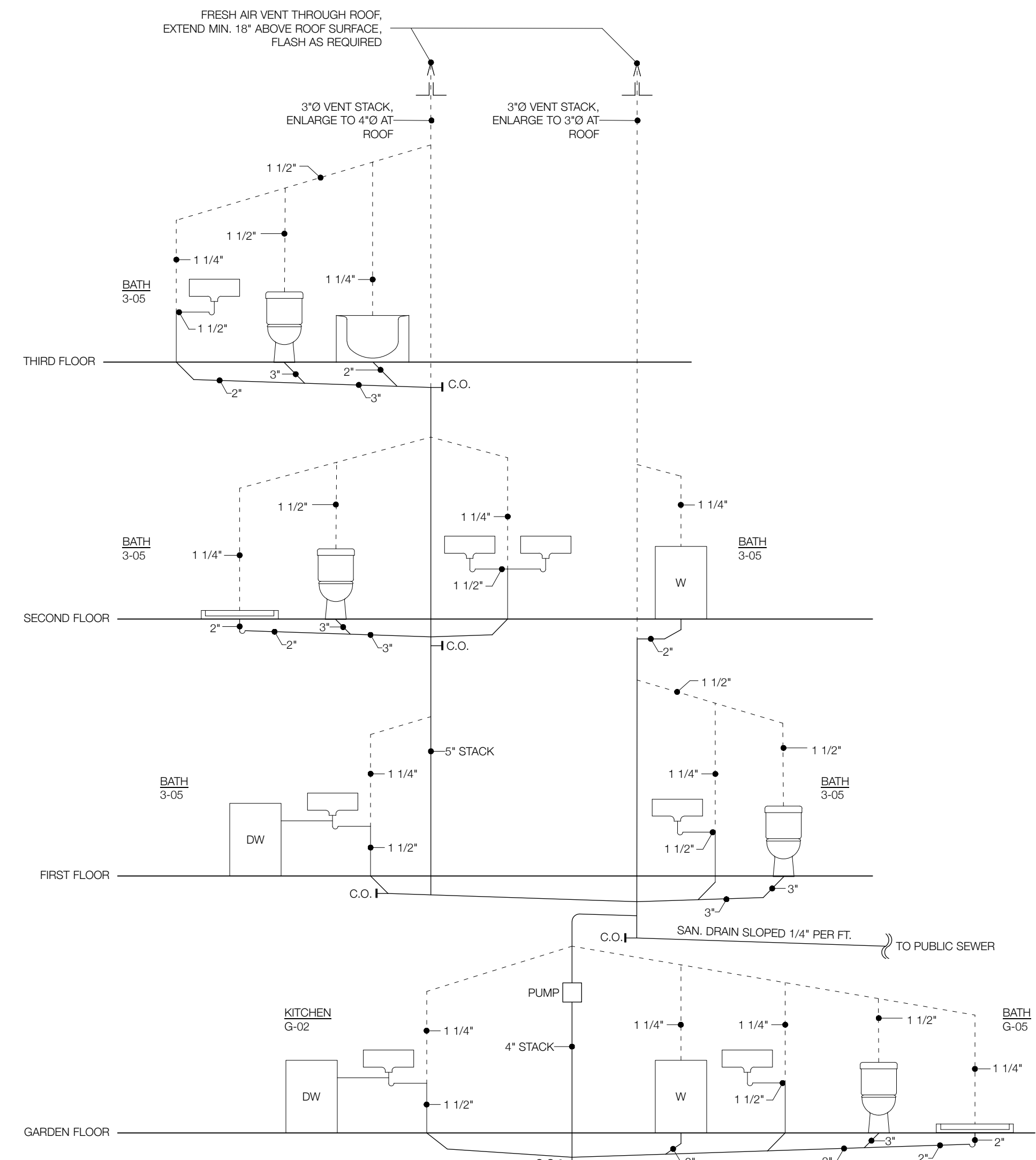
- ALL GWB TO BE OF TYPE AND THICKNESS SHOWN. TAPED AND SPACKLED 3 COATS, AND SANDED TO A SMOOTH FINISH.

WALLS UNON 5/8"
CEILING 5/8"
BATHROOM 5/8" MOISTURE RESISTANT



EROSION, SEDIMENT AND POLLUTION CONTROL NOTES

- SITE DISTURBANCE SHALL BE LIMITED TO THE MINIMUM NECESSARY GRADING AND VEGETATION REMOVAL REQUIRED FOR CONSTRUCTION.
- EXISTING VEGETATION TO REMAIN SHALL BE PROTECTED BY INSTALLATION OF CONSTRUCTION FENCE OR OTHER APPROVED MEANS AND SHALL REMAIN UNDISTURBED.
- CLEARING AND GRADING SHALL BE SCHEDULED SO AS TO MINIMIZE THE EXTENT OF EXPOSED AREAS AND THE LENGTH OF TIME THE AREAS ARE EXPOSED.
- ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED AS SOON AS PRACTICAL FOLLOWING DISTURBANCE FOR GRADING AND CONSTRUCTION.
- THE LENGTH AND STEEPNESS OF CLEARED SLOPES SHALL BE MINIMIZED TO REDUCE RUNOFF VELOCITIES. RUNOFF SHALL BE DIVERTED AWAY FROM CLEARED SLOPES.
- SEDIMENT SHALL BE TRAPPED ON-SITE AND NOT BE PERMITTED TO ENTER ADJACENT PROPERTIES, PUBLIC ROADS OR DRAINAGE SYSTEMS.
- ALL RUNOFF SHALL BE RETAINED ON SITE IN ACCORDANCE WITH LOCAL REGULATIONS AND APPROVALS. DRAINAGE INLETS INSTALLED ON-SITE SHALL BE PROTECTED FROM SEDIMENT BUILDUP THROUGHOUT THE APPROPRIATE INLET PROTECTION.
- APPROPRIATE MEANS SHALL BE USED TO CONTROL DUST DURING CONSTRUCTION.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED BY THE CONTRACTOR PERIODICALLY AND FOLLOWING HEAVY OR PROLONGED STORMS. MAINTENANCE AND REPAIRS SHALL BE PROMPTLY PERFORMED TO MAINTAIN PROPER FUNCTION.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL COMPLY WITH LOCAL REGULATIONS CONCERNING THE DISPOSAL OF SOLID WASTE, DEBRIS, TOXIC AND HAZARDOUS WASTE AS WELL AS SANITARY SEWER AND SEPTIC REGULATIONS.
- UNLESS OTHERWISE DIRECTED BY THE OWNER, THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE NECESSARY RECORDS OF CONSTRUCTION ACTIVITIES, PREPARATION OF INSPECTION REPORTS AND REPORTING RELEASE OF POLLUTANTS TO THE PROPER AUTHORITIES AS NECESSARY.
- NEW YORK 811 DIG SAFELY. BY LAW, EXCAVATORS + CONTRACTORS WORKING IN NEW YORK MUST CONTACT NEW YORK 811 AT LEAST 48 HOURS PRIOR TO DIGGING BY DIALING 811.
- SEE V-01 FOR LOCATIONS OF SILT FENCING AND HAY BALES.



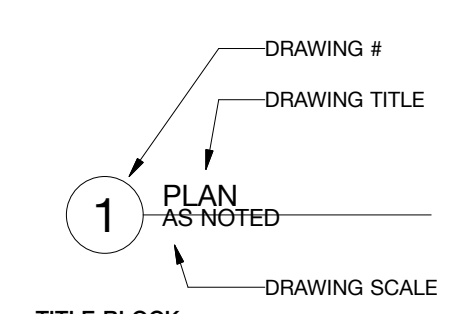
GENERAL ABBREVIATIONS

- AFF ABOVE FINISHED FLOOR
- BO BOTTOM OF
- CL CENTER LINE
- CONC CONCRETE
- DIM DIMENSION
- EP ELECTRICAL PANEL
- EQ EQUAL
- EXT'G EXISTING
- FTG FOOTING
- GC GENERAL CONTRACTOR
- GWB GYPSUM WALL BOARD
- NIC NOT IN CONTRACT
- OC ON CENTER
- PLY PLYWOOD
- PTD PAINTED
- REC'D REQUIRED
- SIM SIMILAR
- TO TOP OF
- TYP TYPICAL
- UNO UNLESS NOTED OTHERWISE
- VF VERIFY IN FIELD
- WDW WINDOW
- W/ WITH

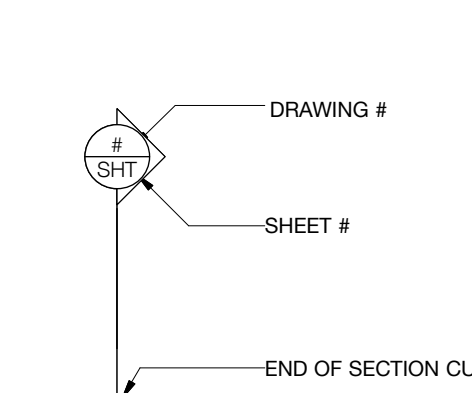
FILL KEY

- EARTH+COMPACTED FILL
- COMPACTED CRUSHED STONE
- CONCRETE
- BRICK
- MASONRY BLOCK
- STEEL
- FINISHED WOOD/MILLWORK
- PLYWOOD
- BATT INSULATION
- SPRAYFOAM INSULATION
- RIGID INSULATION
- GYPSUM WALL BOARD

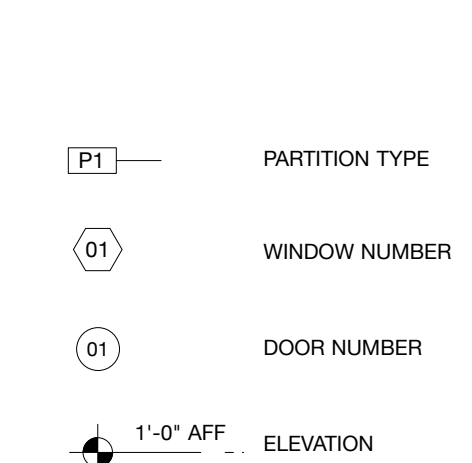
SYMBOL KEY



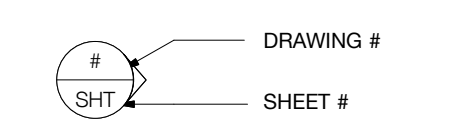
TITLE BLOCK



SECTION SYMBOL



ELEVATION MARKER



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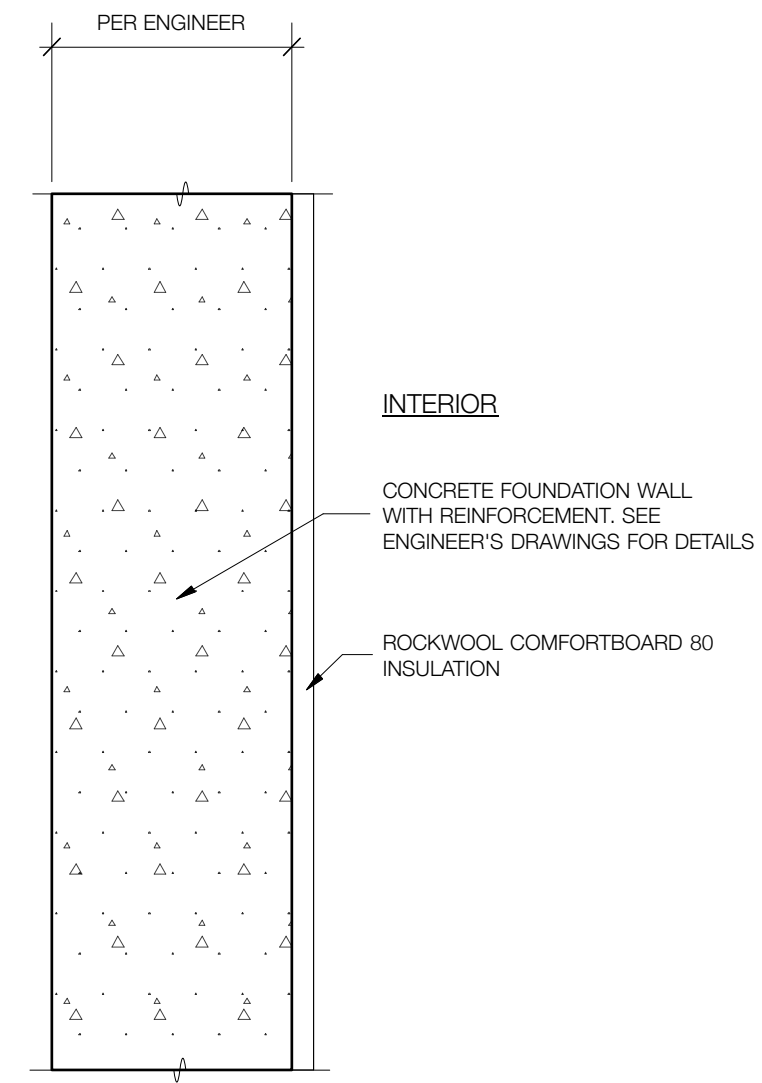
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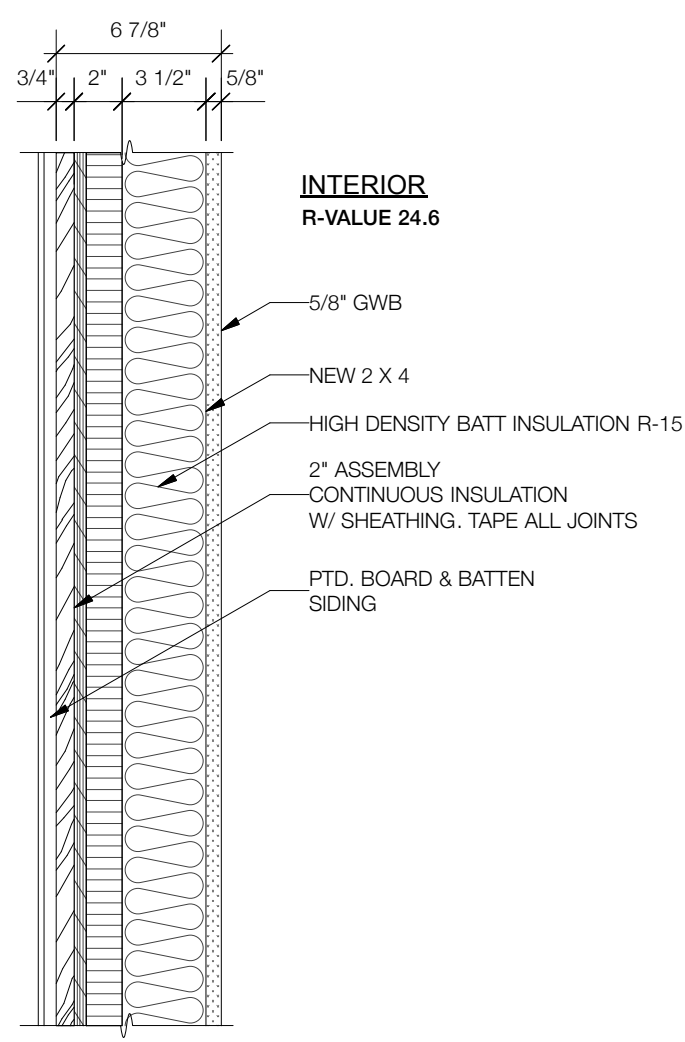
General Notes

G-01

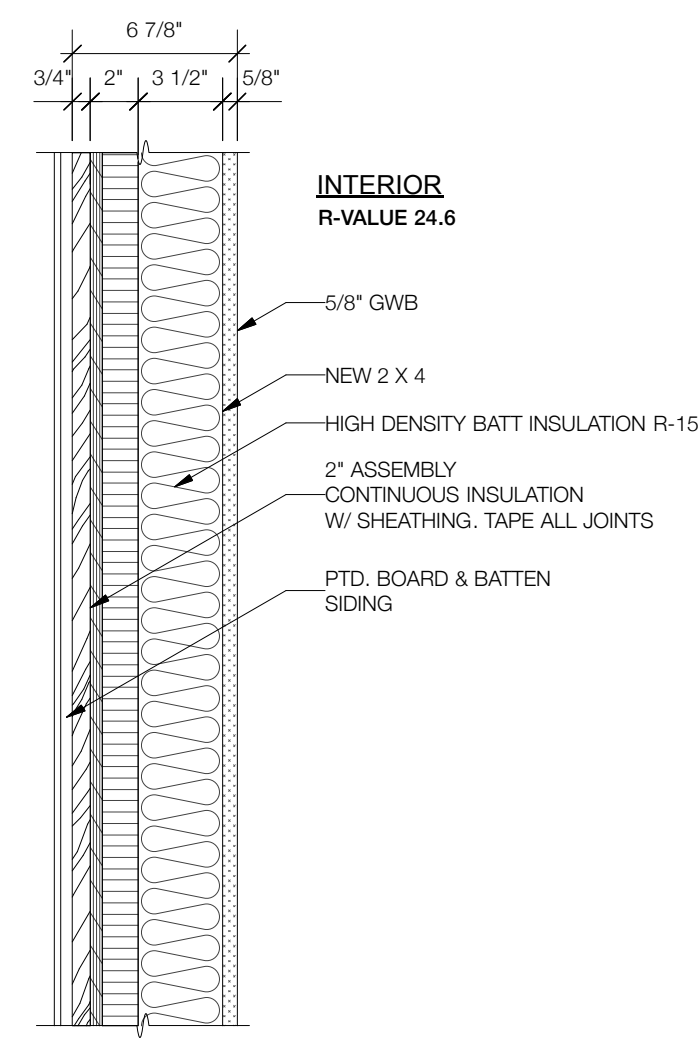
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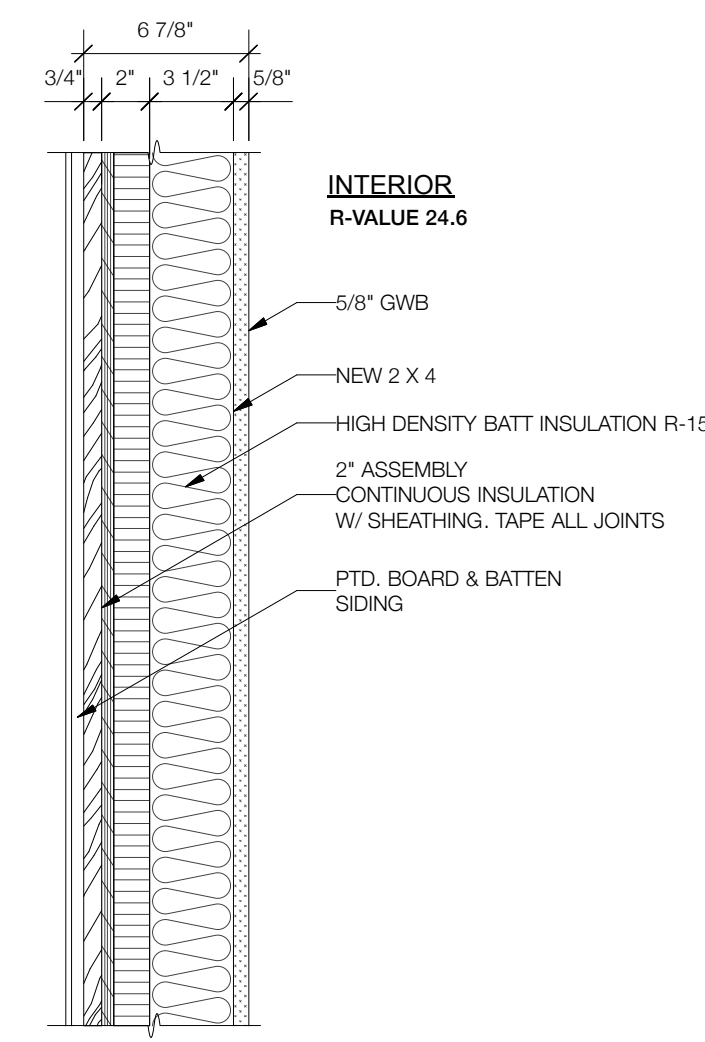
F1 CONCRETE FOUNDATION WALL



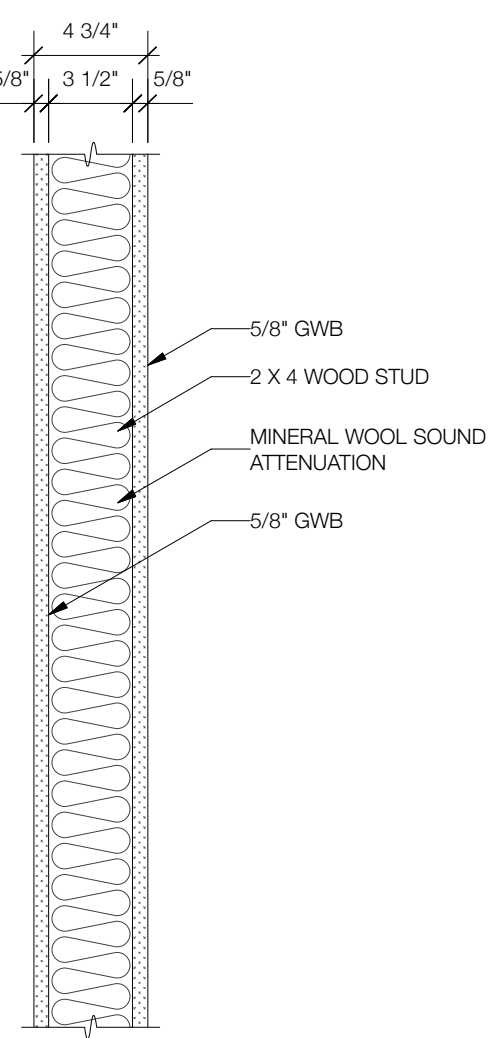
E1 EXTERIOR WALL w/ SIDING



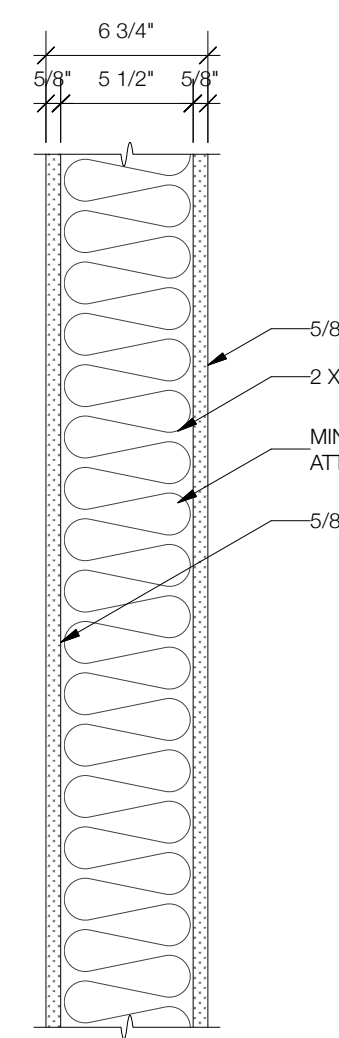
E2 EXTERIOR WALL at PROP LINE



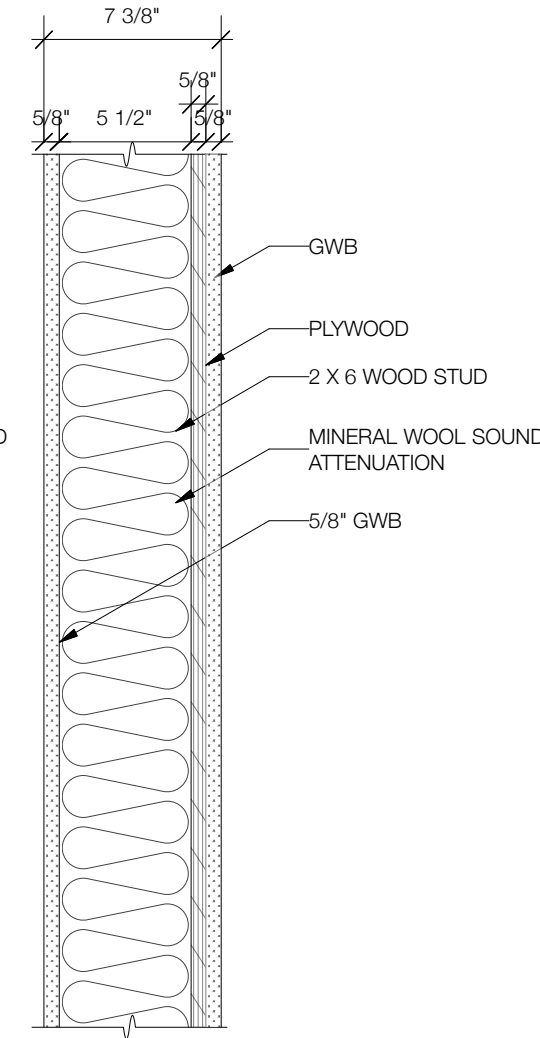
E3 EXTERIOR WALL at BAY



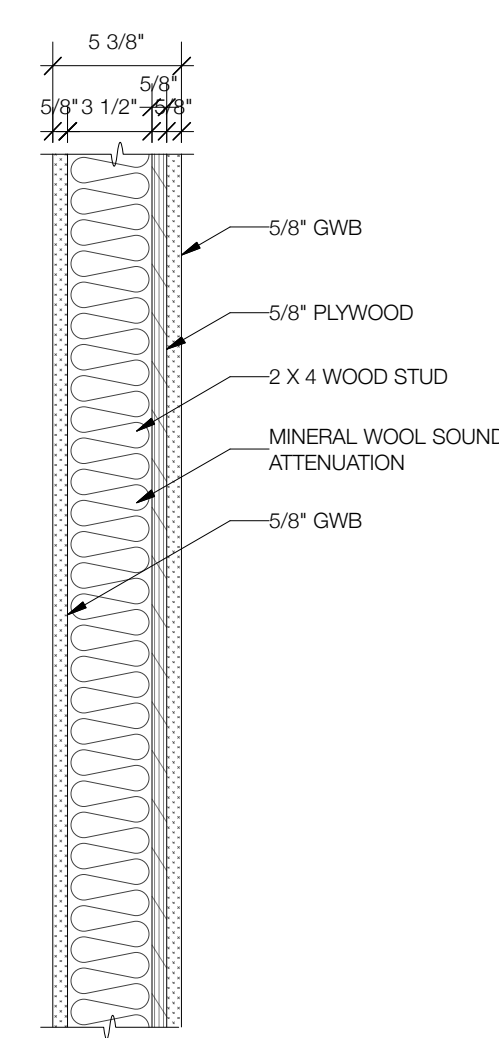
P1 2x4 PARTITION



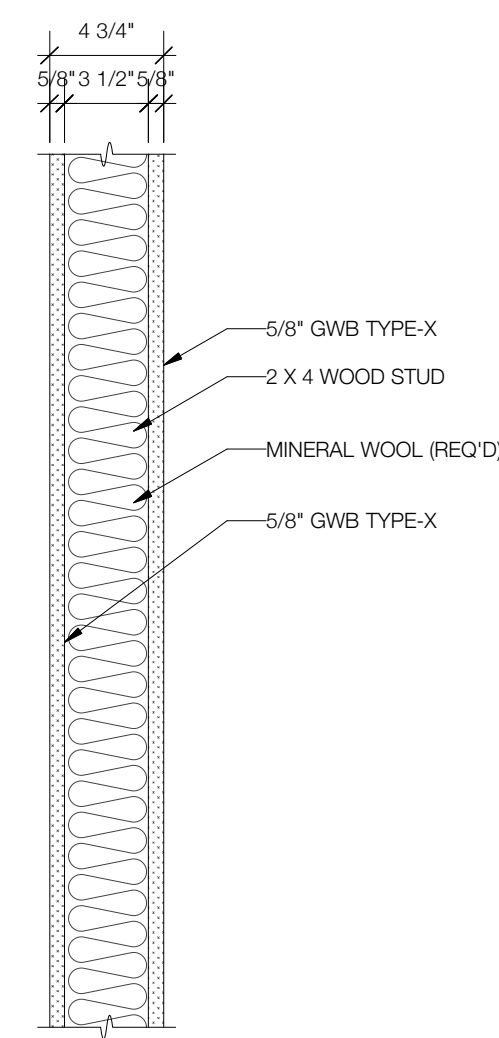
P2 2x6 PARTITION



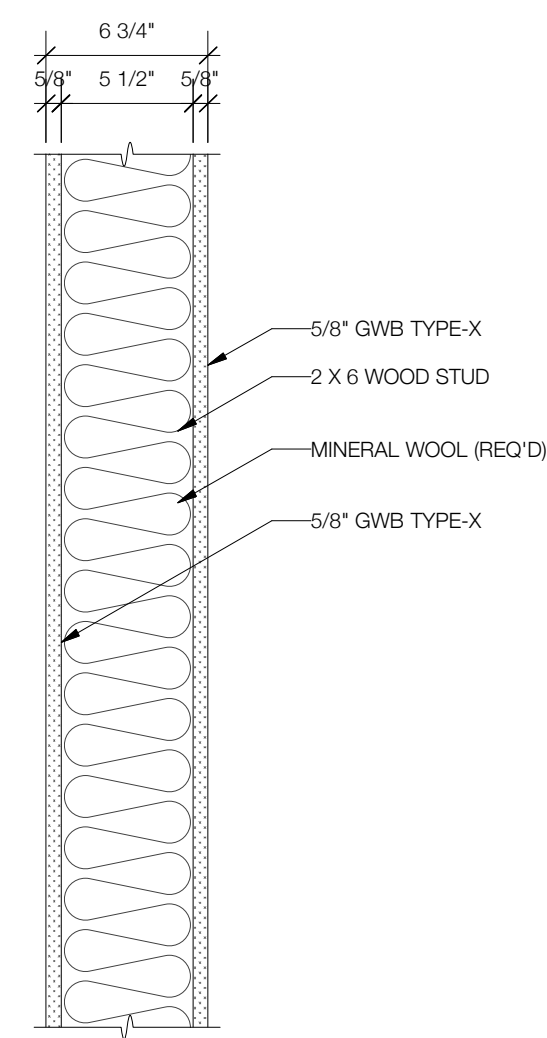
P3 PARTITION w/ BLOCKING



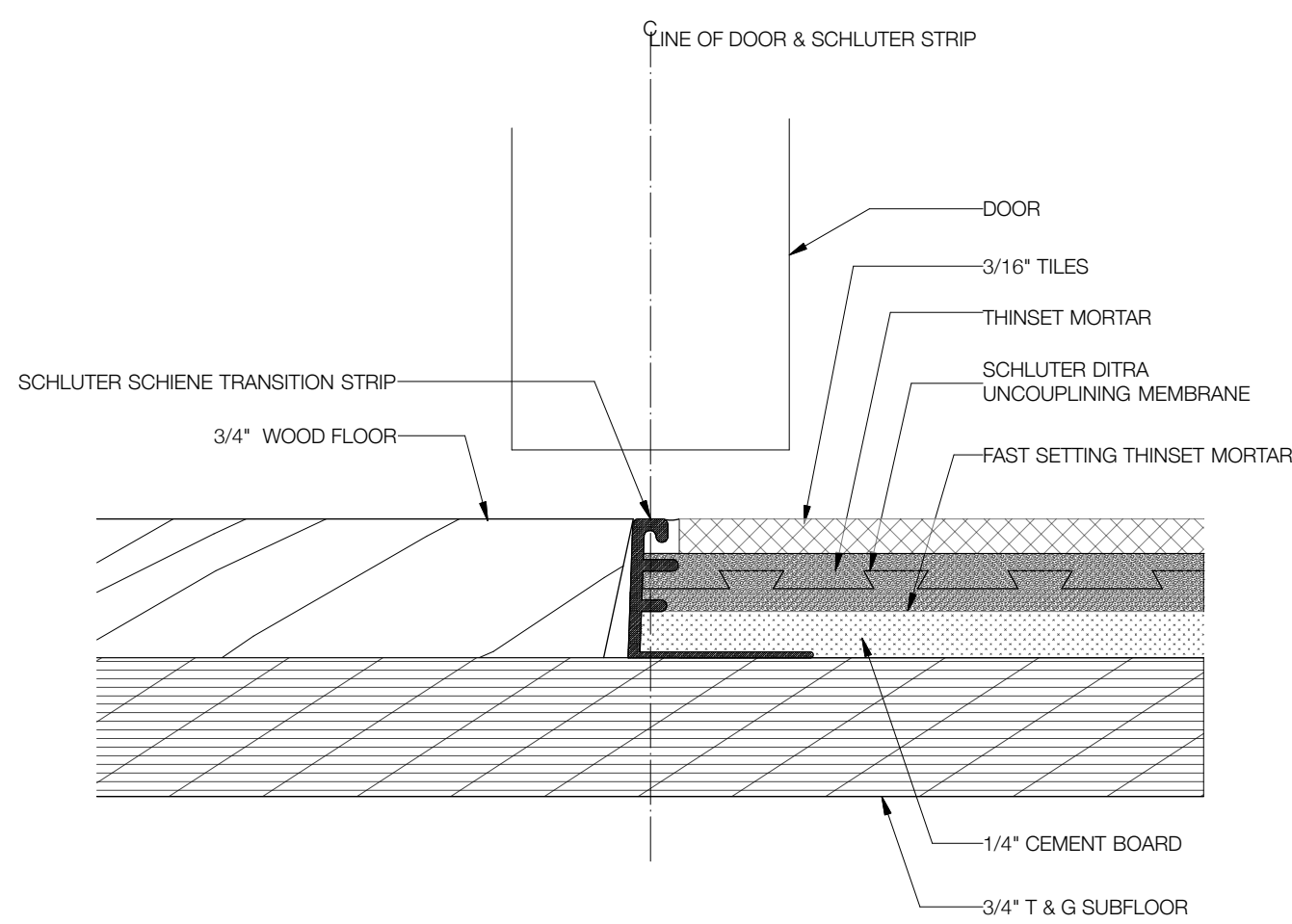
P4 PARTITION w/ BLOCKING



P5 FIRE RATED PARTITION



P6 FIRE RATED PARTITION



1 FLOOR TRANSITION DETAIL
Scale: Actual Size

ENERGY ANALYSIS FOR NEW CONSTRUCTION IN CLIMATE ZONE 5A
Single Family Residence at 260 Liberty St, Newburgh, NY (Orange County)

Scope of Work	Proposed Design Value	Code Prescriptive Value	Documentation
BUILDING THERMAL ENVELOPE 402			
FENESTRATIONS	DOUBLE HUNG W/ INSULATED GLAZING, LOW-E3, ARGON FILLED U-0.29 SHGC 0.19	FENESTRATION U-FACTOR 0.35 TABLE 402.1.1 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT	A-01, WINDOW SCHEDULE
WALL	2 X 6 WOOD STUD WALL W/ SPRAY FOAM INSULATION BTW STUDS, 1/2" GWB INTERIOR, SHEATHING, TYVEK, AIR SPACE & SIDING BY OWNER	WOOD FRAME WALL R-VALUE 20 TABLE 402.1.1 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT	A-01, G-01, WALL TYPES, DETAIL A-30
CEILING	2 X 8 FRAMING W/ SPRAY FOAM INSULATION BTW JOISTS - 7.5" @ R-7 PER INCH = R-52.5	CEILING R-VALUE 49 TABLE 402.1.1 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT	DETAIL AND BUILDING SECTION, SHEET A-30
AIR BARRIER	CONTINUOUS AIR BARRIER INSTALLED AS PER TABLE R402.4.1.1	R402.4.1.2 TESTING. THE BUILDING OR DWELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING THREE AIR CHANGES PER HOUR IN CLIMATE ZONES 3 THROUGH 5.	WALL DETAIL BLOWER DOOR TEST
SECTION SYSTEMS 403			
HEATING/ COOLING	PROGRAMMABLE THERMOSTATS. SEE HVAC NOTES FOR REQUIREMENTS	SECTION R-403 R403.1.1 PROGRAMMABLE THERMOSTAT R403.6 MECHANICAL VENTILATION	HEATING & HVAC DESIGN TO BE PROVIDED BY OWNER. HVAC NOTES
ELECTRICAL POWER AND LIGHTING SYSTEMS 404			
FIXTURES	75% OF ALL FIXTURE TO BE FLORESCENT OR LED	404.1 LIGHTING EQUIPMENT A MINIMUM OF 75 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.	RCP A-111 & A-112

"TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGMENT THIS APPLICATION IS IN COMPLIANCE WITH ECCCNY'S"

DO NOT SCALE DRAWINGS

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Wall Types &
Typical Details

G-02

page number 3 of x

DRAWING KEY

- ABOVE
- BELOW/BEYOND
- PROPERTY LINE
- ===== NEW CONSTRUCTION
- ===== 1-HOUR FIRE-RATING
- BLOCKING

DIMENSIONING NOTES

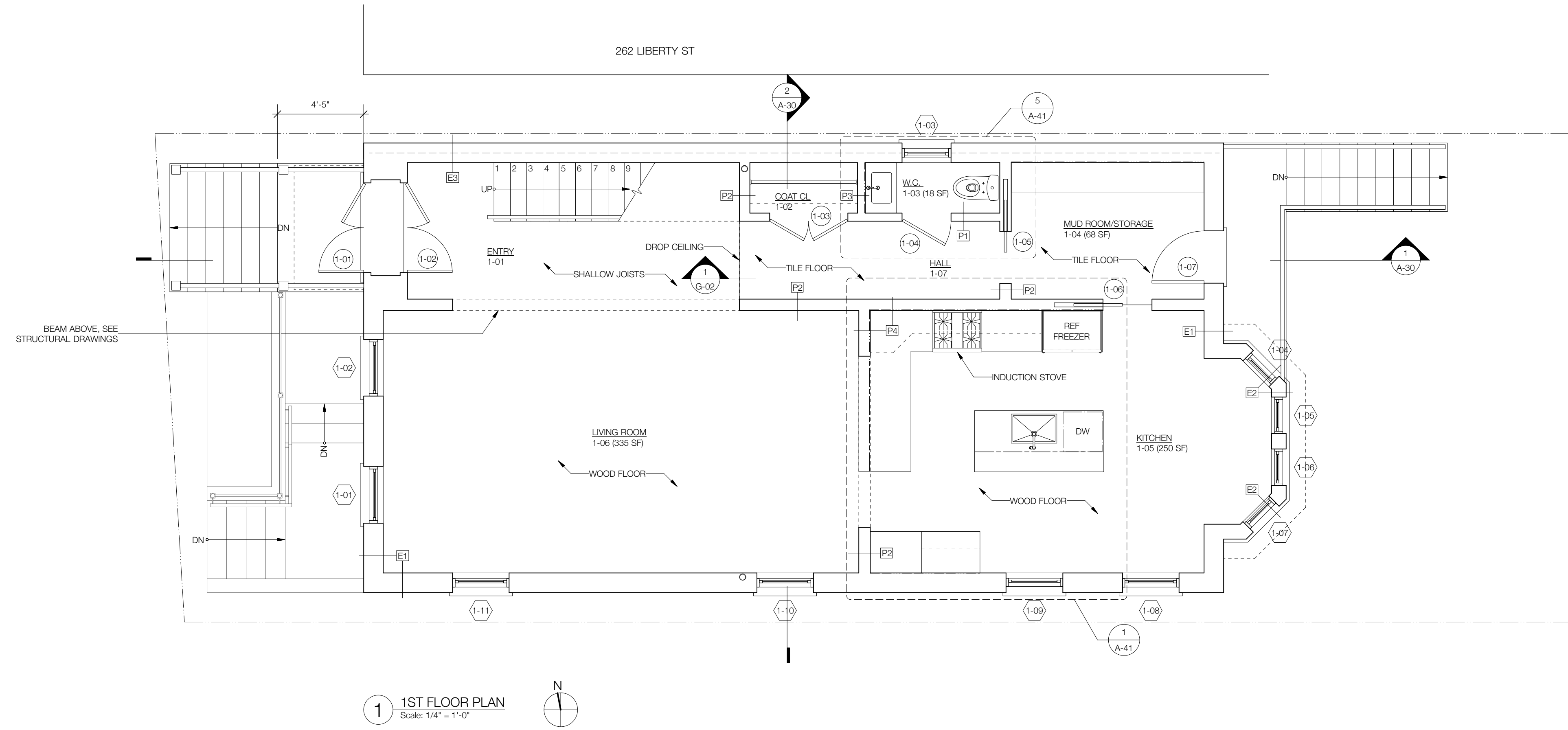
1. ALL LAYOUT START POINTS ARE TO BE ESTABLISHED USING
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LIGHT AND AIR

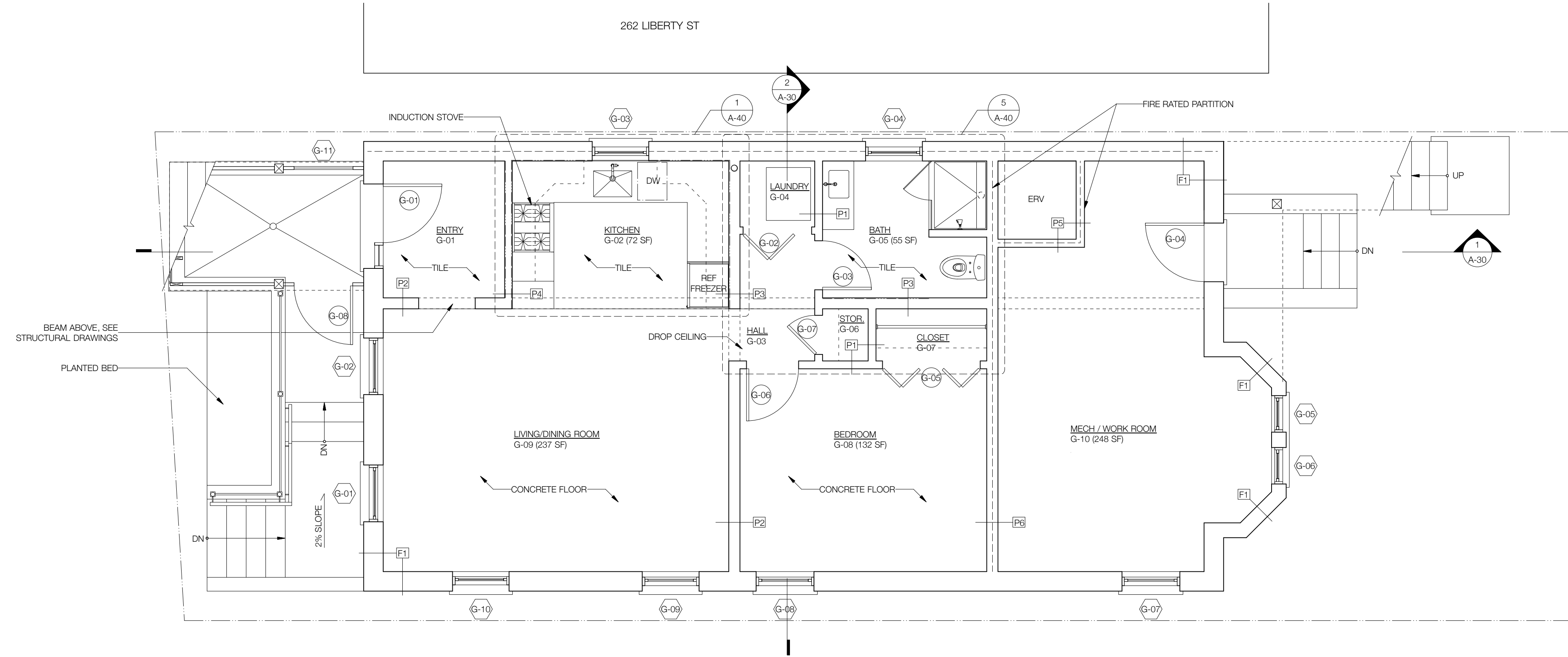
RM. #	Rm. Name	Floor Area	W/D #	Frame Size W x H	LIGHT	AIR
GARDEN FLOOR APARTMENT						
G-02/9	KITCHEN & D.R./LIVING ROOM	309 sq. ft.	G-01 Window G-02 Window G-03 Window G-09 Window G-10 Window	2'-11" x 4'-9" 2'-11" x 4'-9" 2'-11" x 3'-6" 2'-11" x 3'-6" 2'-11" x 3'-6"	10.83 sq. ft. 10.83 sq. ft. 7.71 sq. ft. 9.68 sq. ft. 7.71 sq. ft. 9.68 sq. ft. 41.32 sq. ft. 14.49%	6.14 sq. ft. 6.14 sq. ft. 9.68 sq. ft. 9.68 sq. ft. 9.68 sq. ft. 9.68 sq. ft. 41.32 sq. ft. 13.37%
G-08	BEDROOM	132 sq. ft.	G-04 Window	2'-6" x 4'-2"	9.16 sq. ft. 6.94%	10.83 sq. ft. 8.20%
FIRST FLOOR						
1-06	LIVING ROOM	335 sq. ft.	1-01 Window 1-02 Window 1-10 Window 1-11 Window	2'-7" x 7'-2" 2'-7" x 7'-2" 2'-7" x 6'-0" 2'-7" x 6'-0"	13.28 sq. ft. 13.28 sq. ft. 10.86 sq. ft. 10.86 sq. ft. 48.28 sq. ft. 34.64 sq. ft. 14.41%	9.14 sq. ft. 9.14 sq. ft. 7.68 sq. ft. 7.68 sq. ft. 34.64 sq. ft. 34.64 sq. ft. 10.34%
1-05	KITCHEN	250 sq. ft.	1-04 Window 1-05 Window 1-06 Window 1-07 Window 1-08 Window 1-09 Window	2'-0" x 4'-2" 2'-0" x 4'-2" 2'-0" x 4'-2" 2'-0" x 4'-2" 2'-7" x 5'-2" 2'-7" x 5'-2"	5.29 sq. ft. 5.29 sq. ft. 5.29 sq. ft. 5.29 sq. ft. 9.73 sq. ft. 9.73 sq. ft. 40.62 sq. ft. 16.25%	4.07 sq. ft. 4.07 sq. ft. 4.07 sq. ft. 4.07 sq. ft. 6.75 sq. ft. 6.75 sq. ft. 29.74 sq. ft. 11.90%
SECOND FLOOR						
2-06	OFFICE	130 sq. ft.	2-01 Window 2-02 Window 2-06 Window (Egress)	2'-7" x 5'-11" 2'-7" x 5'-11" 2'-7" x 5'-6"	9.26 sq. ft. 9.26 sq. ft. 9.65 sq. ft. 28.17 sq. ft. 21.67%	6.7 sq. ft. 6.7 sq. ft. 6.94 sq. ft. 20.34 sq. ft. 15.65%
2-03	M. BEDROOM	150 sq. ft.	2-04 Window 2-03 Door (Egress)	2'-7" x 5'-6" 5'-0" x 7'-0"	9.65 sq. ft. 18.56 sq. ft. 28.21 sq. ft. 18.81%	6.7 sq. ft. N/A N/A 4.47%
THIRD FLOOR						
3-06	BEDROOM	210 sq. ft.	3-01 Window 3-02 Window 3-03 Window 3-08 Window (Egress)	2'-7" x 1'-8" 2'-7" x 1'-8" 2'-7" x 1'-8" 2'-7" x 5'-6"	2.94 sq. ft. 2.94 sq. ft. 2.94 sq. ft. 9.65 sq. ft. 18.47 sq. ft. 8.90%	3.95 sq. ft. 3.95 sq. ft. 3.95 sq. ft. 6.94 sq. ft. 22.74 sq. ft. 10.83%
3-01	GUEST ROOM	199 sq. ft.	3-05 Window 3-06 Window (Egress) S-01 Sky Light S-02 Sky Light	2'-7" x 2'-7" 2'-7" x 5'-6" 1'-9" x 3'-2" 1'-9" x 3'-2"	4.76 sq. ft. 9.65 sq. ft. 4.50 sq. ft. 4.50 sq. ft. 23.41 sq. ft. 11.76%	5.76 sq. ft. 6.94 sq. ft. N/A N/A 12.70 sq. ft. 6.38%

- All bedrooms to be provided with min. (1) egress window, min. opening area of 5.7 sq. ft.
- Habitable areas with natural light of less than 6% floor area shall be provided with artificial light.
- Habitable areas with natural ventilation of less than 4% floor area shall be provided with mechanical ventilation.
- Bathing rooms shall be provided with min. 50 cfm mechanical ventilation.
- Whole house mechanical ventilation is included in this scope.

DO NOT SCALE DRAWINGS



1 1ST FLOOR PLAN
Scale: 1/4" = 1'-0"



2 GARDEN FLOOR PLAN
Scale: 1/4" = 1'-0"

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Plan
A-01
page number x of x

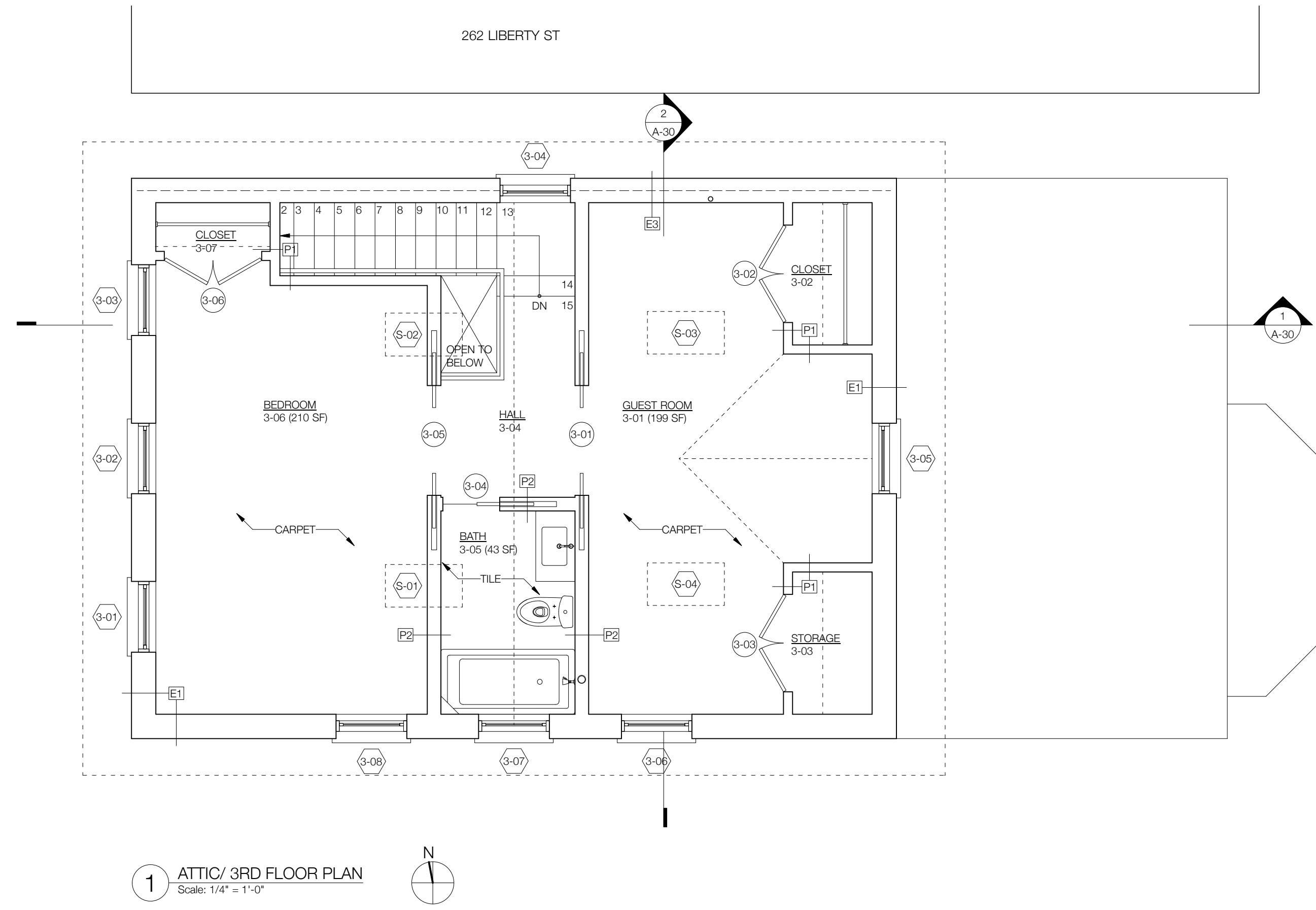
DRAWING KEY

- ABOVE
- BELOW/ BEYOND
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- ===== NEW CONSTRUCTION
- ===== 1-HOUR FIRE-RATING
- BLOCKING

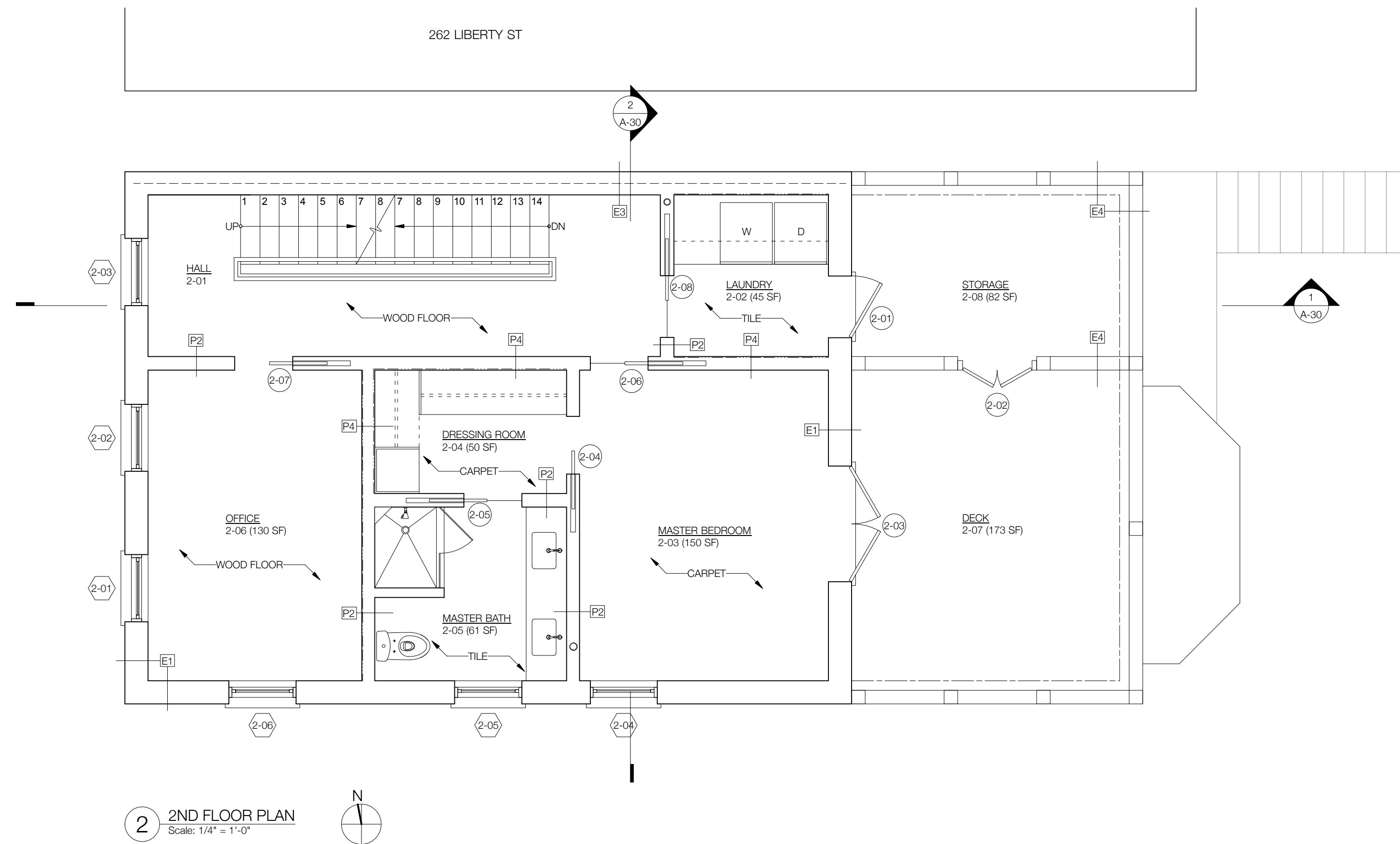
DIMENSIONING NOTES

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1 ATTIC/ 3RD FLOOR PLAN
Scale: 1/4" = 1'-0"



2 2ND FLOOR PLAN
Scale: 1/4" = 1'-0"

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LIBERTY STREET 2 FAMILY DWELLING

260 Liberty Street, Newburgh, NY 12550

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Plans

A-02

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Basement Reflected
Ceiling Plan and Key

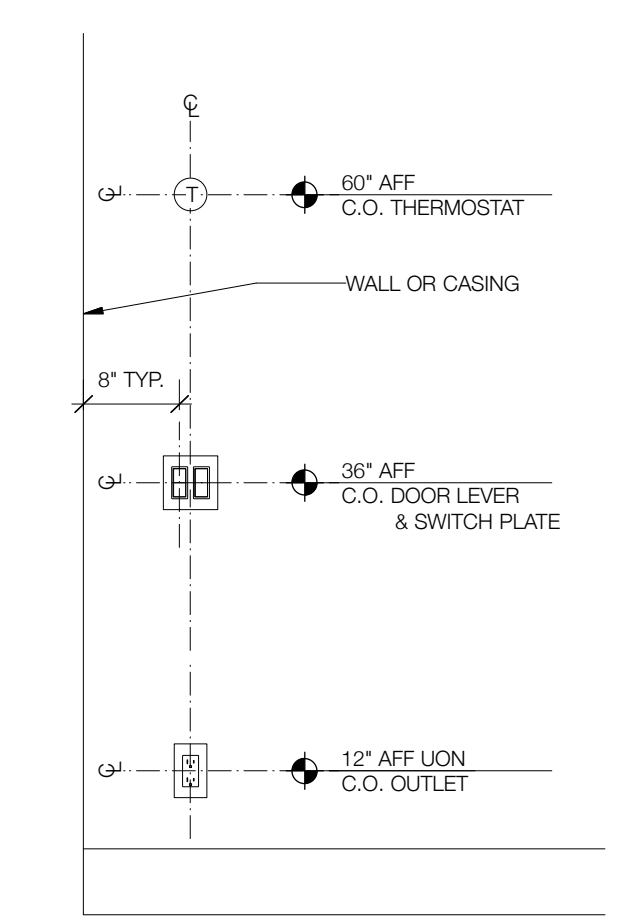
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- ELECTRICAL NOTES**
1. ALL ELECTRICAL WORK TO BE PERFORMED BY A LICENSED ELECTRICIAN.
 2. ALL ELECTRICAL SHOWN ON PLAN IS NEW. EXISTING ELECTRICAL IN WORK AREAS SHALL BE REMOVED AS NEEDED, UNLESS NOTED OTHERWISE.
 3. ELECTRICIAN TO VERIFY SUFFICIENT OUTLETS AS PER CODE
 4. AFCI OUTLETS TO BE USED ON ALL CIRCUITS AS REQUIRED BY NEC.
 5. AFCI PROTECTION OF 125V, 12A OR 20A BRANCH CIRCUITS SERVING OUTLETS & DEVICES IN ALL AREAS OF WORK.
 6. GFCI OUTLETS TO BE INSTALLED IN ALL WET AREAS TO CODE, BATHROOMS, KITCHENS, LAUNDRY AREAS, BASEMENTS, GARAGES AND OUTDOOR AREAS.
 7. ALL FIXTURES TO BE SUPPLIED BY OWNER.
 8. ALL EXTERIOR FIXTURES TO BE DARK SKY COMPLIANT.
 9. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE DEVICE/FIXTURE.
 10. SMOKE AND CARBON MONOXIDE DETECTORS SHALL BE INTEGRATED HARDWIRED WITH BATTERY BACKUP.

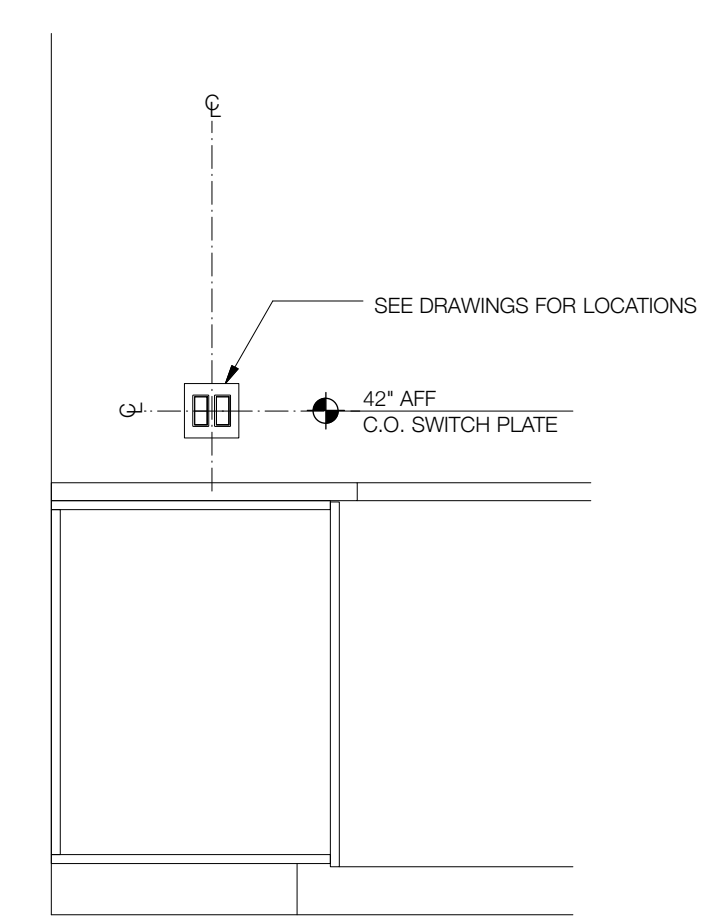
- HVAC NOTES**
1. SEE MECHANICAL DRAWINGS
 2. ALL APPLIANCES SHALL BE PROPERLY VENTED IN ACCORDANCE WITH CHAPTER 15 OF THE 2015 INTERNATIONAL BUILDING CODE.

- DEVICE KEY**
- | | | | |
|-----|--|-------|---------------------------|
| ⊕ | SURFACE MOUNTED LED FIXTURE | ⊕T | PROGRAMMABLE THERMOSTAT |
| ⊕ | PENDANT FIXTURE | ⊕S | SPRINKLER HEAD |
| ○ | RECESSED LED FIXTURE | ⊕ | DUPLEX OUTLET |
| ○WP | RECESSED LED FIXTURE WATERPROOF | ⊕WB | DUPLEX OUTLET W/ USB |
| ⊕WP | SURFACE MOUNTED LED FIXTURE WATERPROOF | ⊕E | ETHERNET OUTLET |
| ⊕ | WALL MOUNTED FIXTURE | ⊕ | QUAD OUTLET |
| ⊕WP | WALL MOUNTED FIXTURE WATERPROOF | ⊕ | FLUSH FLOOR OUTLET |
| UC | UNDER CABINET FIXTURE | ⊕GFCI | GFCI OUTLET |
| ⊕ | SWITCH | ⊕WP | WEATHERPROOF OUTLET |
| ⊕3 | 3-WAY SWITCH | ⊕ | DEDICATED CIRCUIT |
| ⊕ | DIMMER SWITCH | ⊕ | PHONE RECEPTACLE |
| ⊕S | DOOR SWITCH | ⊕ | CABLE OUTLET |
| ⊕ | EXHAUST FAN SWITCH | WAP | WIRELESS ACCESS PORTAL |
| ⊕ | ERV BOOSTER MS ON TIMMER | SPK | SPEAKER |
| ⊕ | SMOKE DETECTOR/CO | JB | JUNCTION BOX LOCATION |
| ⊕ | CARBON MONOXIDE DETECTOR | SA | SECURITY ALARM PANEL |
| ⊕ | DOOR BELL | PB | PANEL BOX |
| ⊕ | DOOR BELL CHIME | E | ELECTRICAL METER |
| ERV | ERV EXTRACTION | → | OVERHEAD ELECTRIC SERVICE |
| --- | CIRCUIT | --- | CENTER LINE |

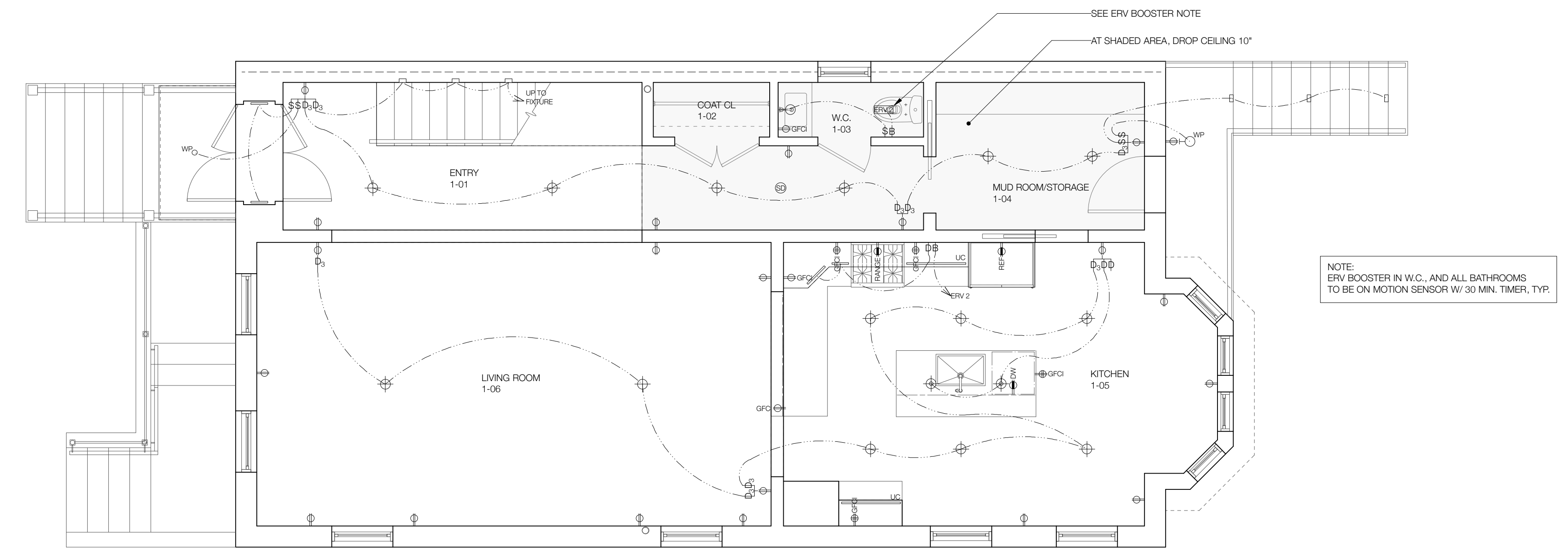
DO NOT SCALE DRAWINGS



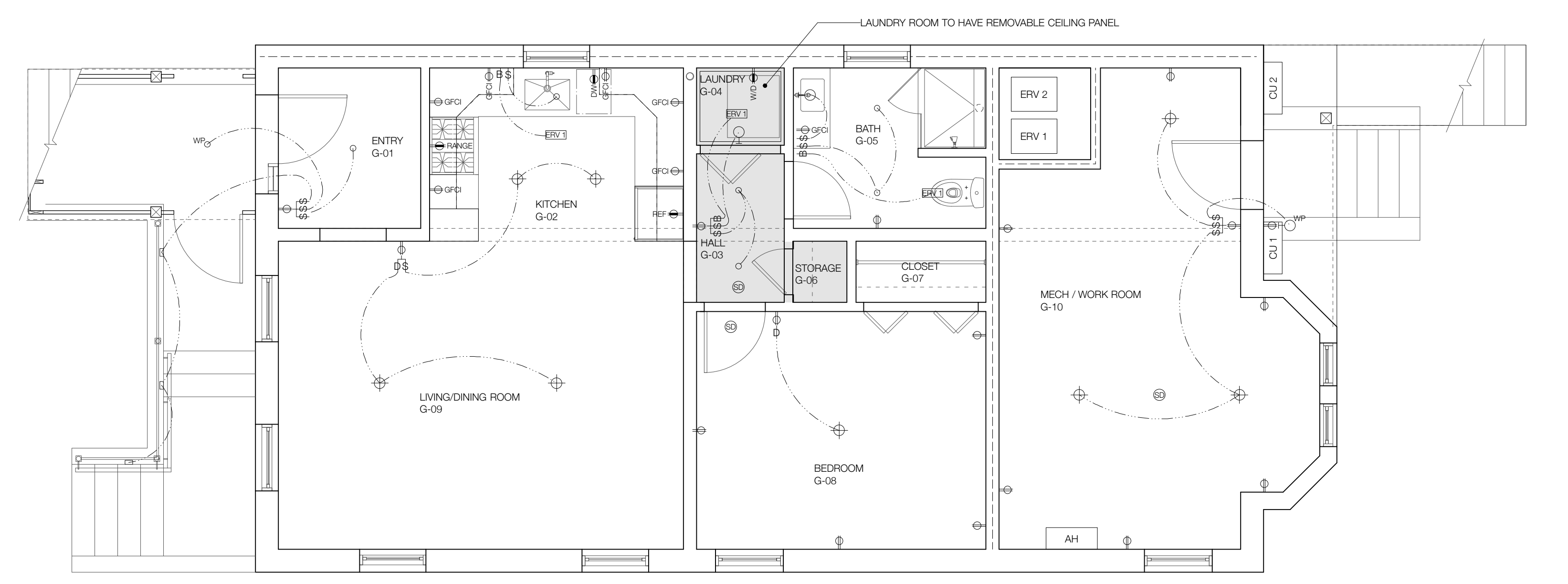
2 TYPICAL DEVICE HEIGHTS
Scale: 3/4" = 1'-0"



3 TYPICAL DEVICE HEIGHT AT KITCHEN
Scale: 3/4" = 1'-0"



1 FIRST FLOOR REFLECTED CEILING PLAN
Scale: 1/4" = 1'-0"



2 GARDEN FLOOR REFLECTED CEILING PLAN
Scale: 1/4" = 1'-0"

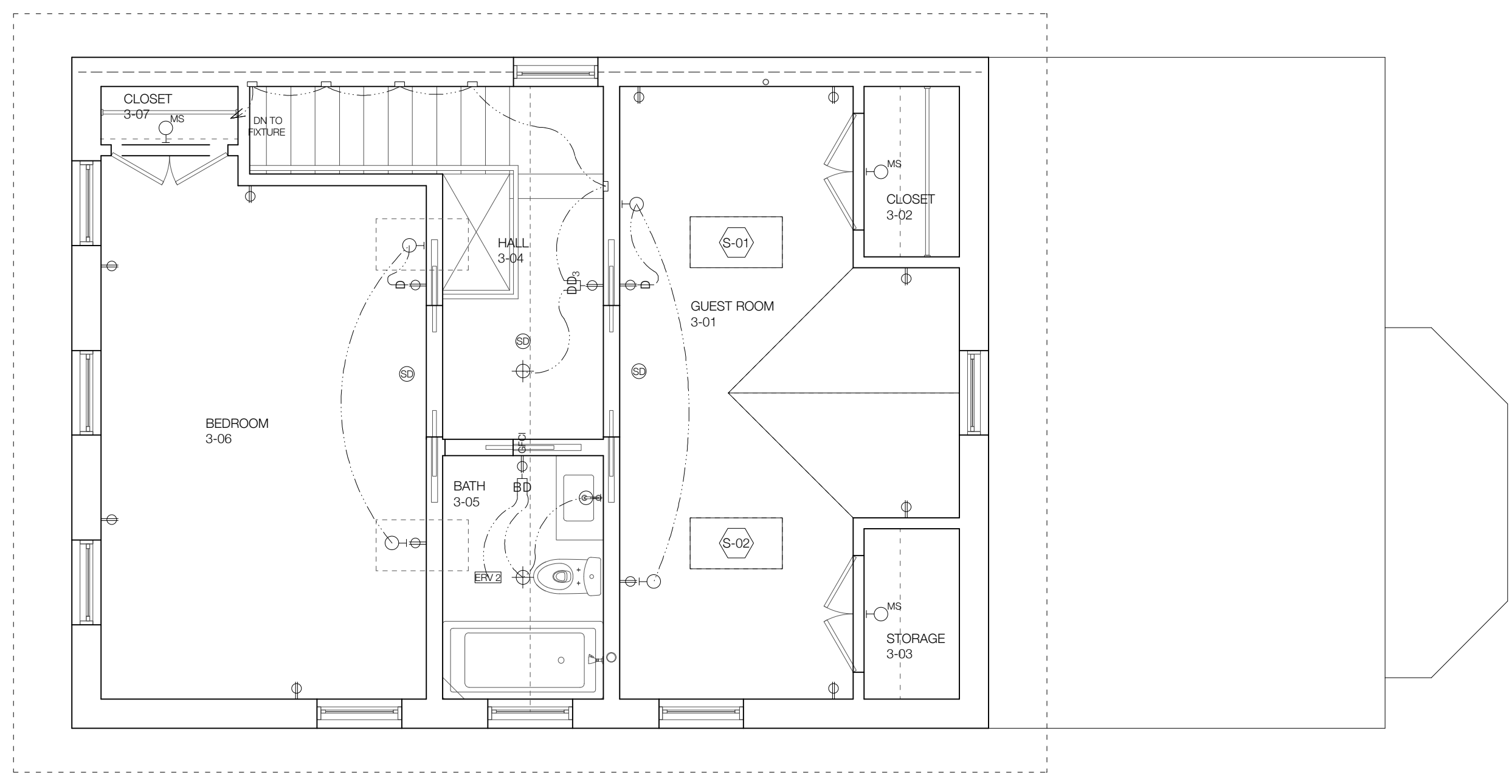
- DRAWING KEY**
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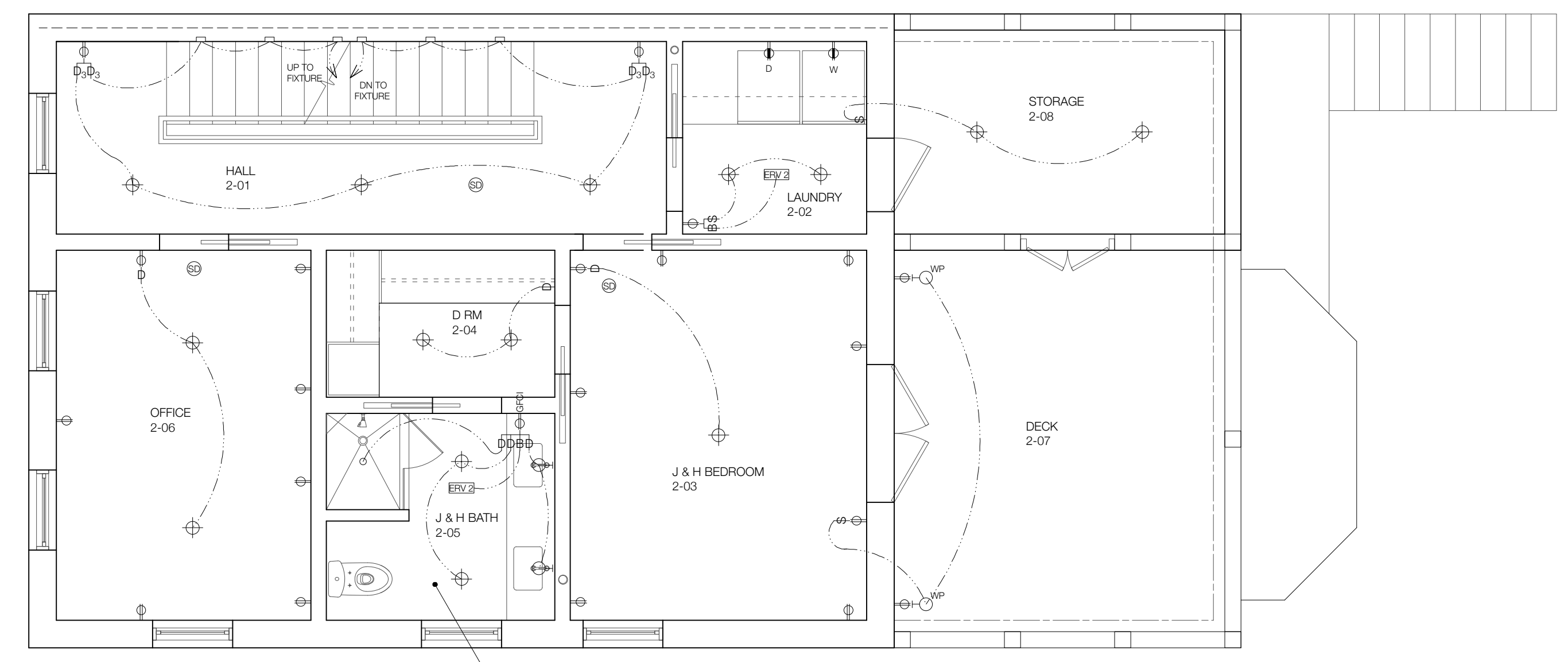
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| ○ | RECESSED LED FIXTURE | ⊕ | DUPLEX OUTLET |
| ○WP | RECESSED LED FIXTURE WATERPROOF | ⊕USB | DUPLEX OUTLET W/ USB |
| ⊕WP | SURFACE MOUNTED LED FIXTURE WATERPROOF | ⊕E | ETHERNET OUTLET |
| ⊕ | WALL MOUNTED FIXTURE | ⊕ | QUAD OUTLET |
| ⊕WP | WALL MOUNTED FIXTURE WATERPROOF | ⊕ | FLUSH FLOOR OUTLET |
| ⊕C | UNDER CABINET FIXTURE | ⊕GFCI | GFCI OUTLET |
| ⊕ | SWITCH | ⊕WP | WEATHERPROOF OUTLET |
| ⊕3 | 3-WAY SWITCH | ⊕ | DEDICATED CIRCUIT |
| ⊕ | DIMMER SWITCH | ⊕ | PHONE RECEPTACLE |
| ⊕S | DOOR SWITCH | ⊕ | CABLE OUTLET |
| ⊕ | EXHAUST FAN SWITCH | ⊕WAP | WIRELESS ACCESS PORTAL |
| ⊕SD | SMOKE DETECTOR/CO | ⊕SPK | SPEAKER |
| ⊕CO | CARBON MONOXIDE DETECTOR | ⊕JB | JUNCTION BOX LOCATION |
| ⊕B | DOOR BELL | ⊕SA | SECURITY ALARM PANEL |
| ⊕DB | DOOR BELL CHIME | ⊕PB | PANEL BOX |
| ⊕ERV | ERV EXTRACTION | ⊕E | ELECTRICAL METER |
| ⊕ | CIRCUIT | ⊕ | OVERHEAD ELECTRIC SERVICE |
| | | ⊕ | CENTER LINE |



1 THIRD FLOOR REFLECTED CEILING PLAN
Scale: 1/4" = 1'-0"



1 SECOND FLOOR REFLECTED CEILING PLAN
Scale: 1/4" = 1'-0"

ALTERNATE: ELECTRIC HEAT MAT AT MASTER BATHROOM FLOOR

architect:
SIGLER HENDERSON STUDIO LLC
11 SPRING STREET, 2H, NEWBURGH, NY 12550 P: 845.372.3499 W: siglerhendersonstudio.com

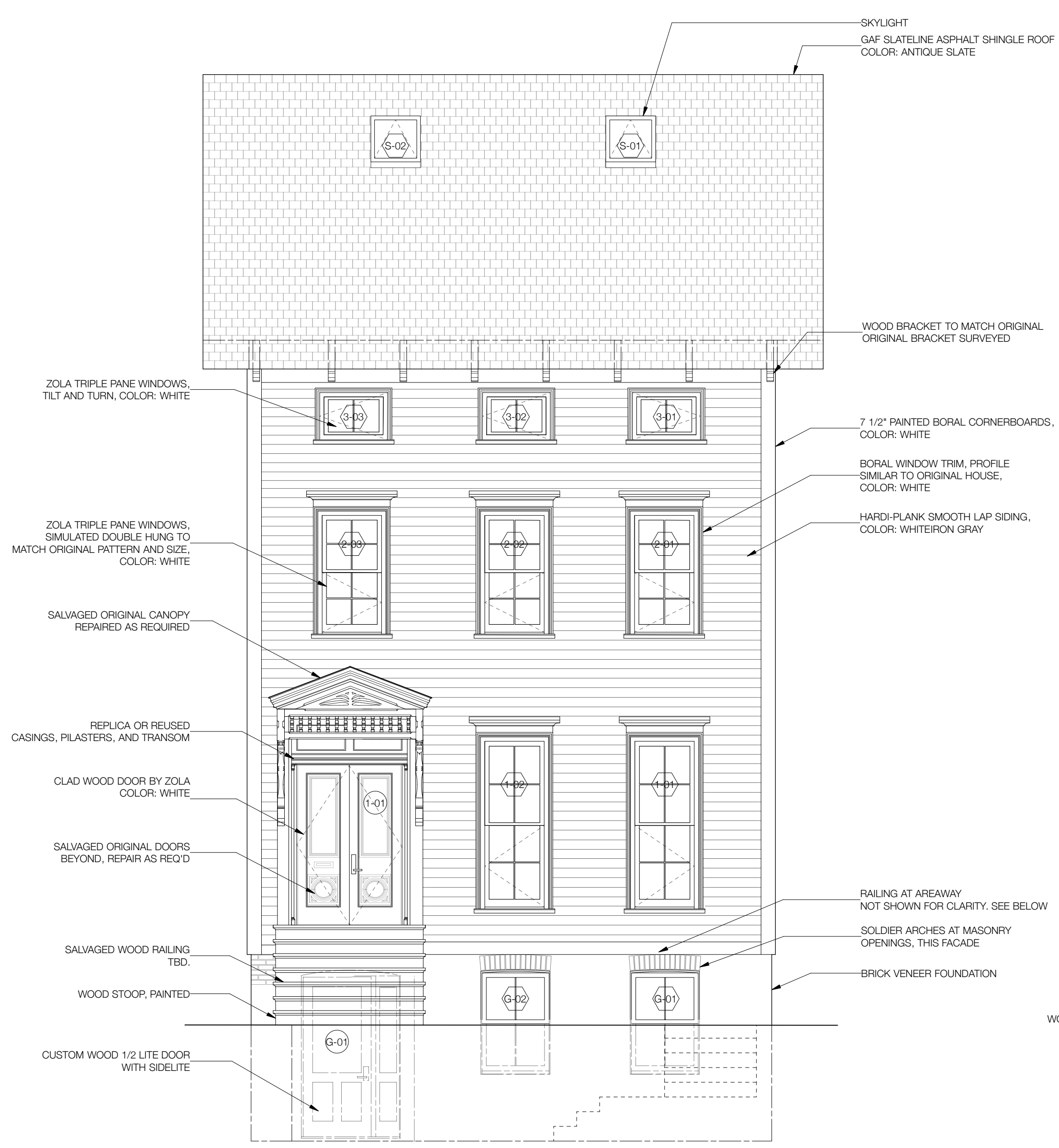
structural engineer:
MARTOS ENGINEERING 15 N. MILL STREET, SUITE 207, NYACK, NY 10960 P: 646.543.1940

mechanical engineer:
BAUKRAFT ENGINEERING 102 CATHERINE STREET, BEACON, NY 12508 P: 347.674.4287

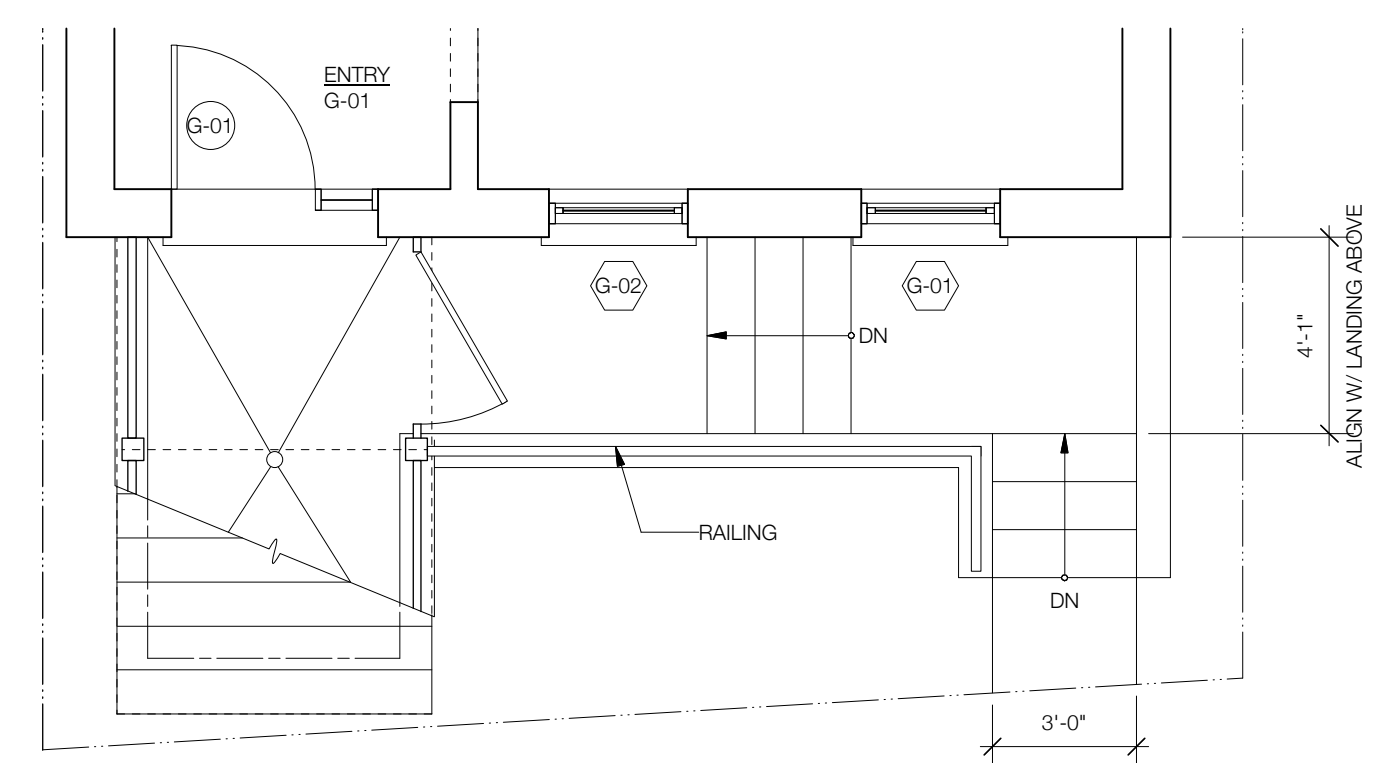
project:
LIBERTY STREET 2 FAMILY DWELLING
260 Liberty Street, Newburgh, NY 12550

architect's seal:

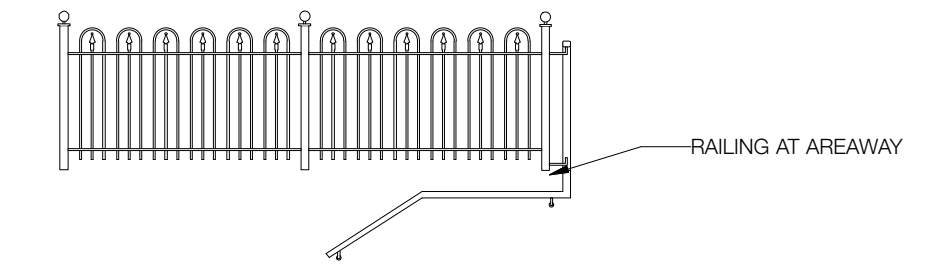
Exterior Elevations



1 WEST FACADE
Scale: 1/4" = 1'-0"



3 AREA WAY PLAN
Scale: 1/4" = 1'-0"



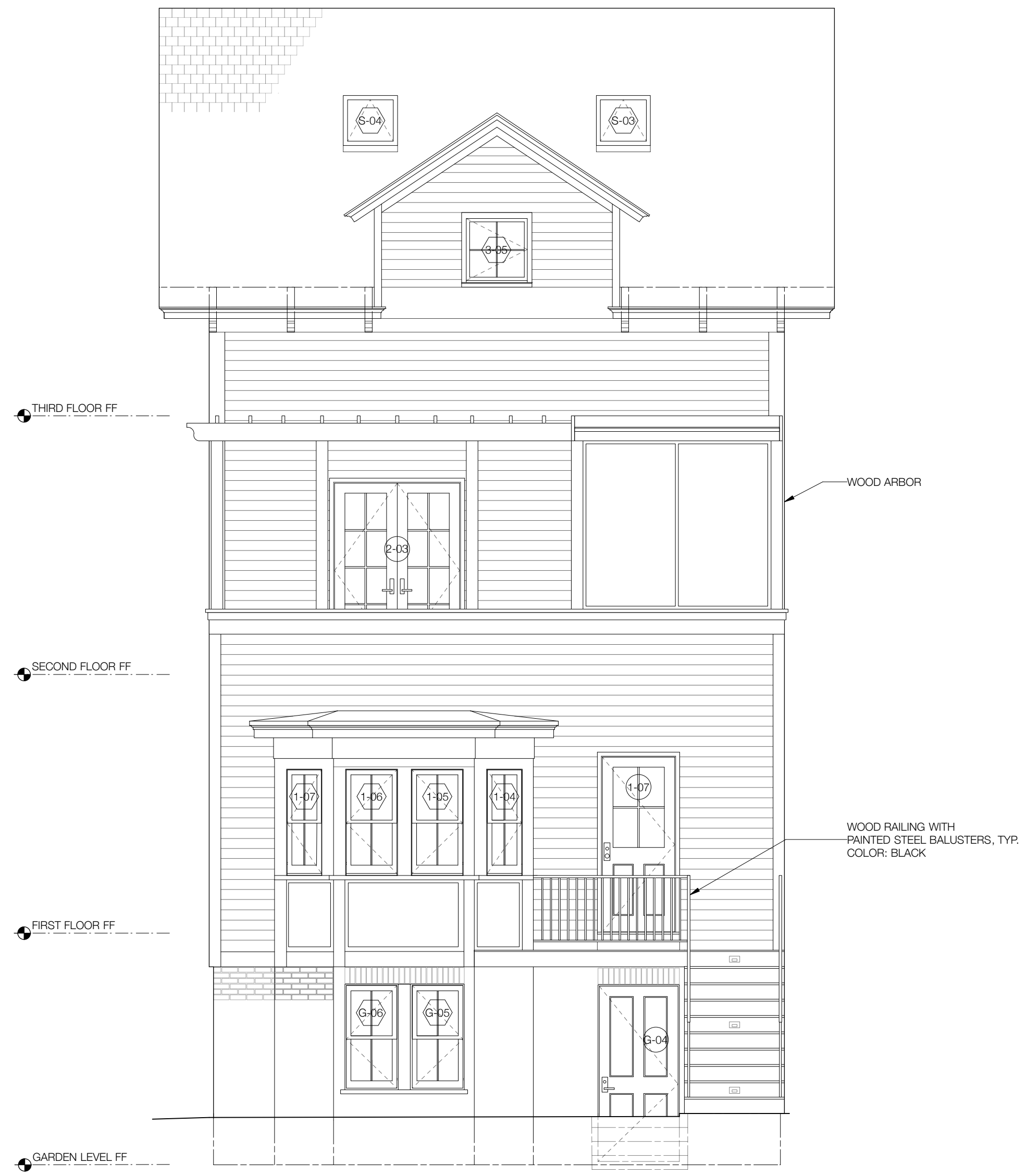
2 NORTH FACADE
Scale: 1/4" = 1'-0"

architect:
SIGLER HENDERSON STUDIO LLC
11 SPRING STREET, 2H, NEWBURGH, NY 12550 P: 845.372.3499 W: siglerhendersonstudio.com
structural engineer:
MARTOS ENGINEERING 15 N. MILL STREET, SUITE 207, NYACK, NY 10960 P: 646.543.1940
mechanical engineer:
BAUKRAFT ENGINEERING 102 CATHERINE STREET, BEACON, NY 12508 P: 347.674.4287

project:
LIBERTY STREET 2 FAMILY DWELLING
260 Liberty Street, Newburgh, NY 12550

architect's seal:

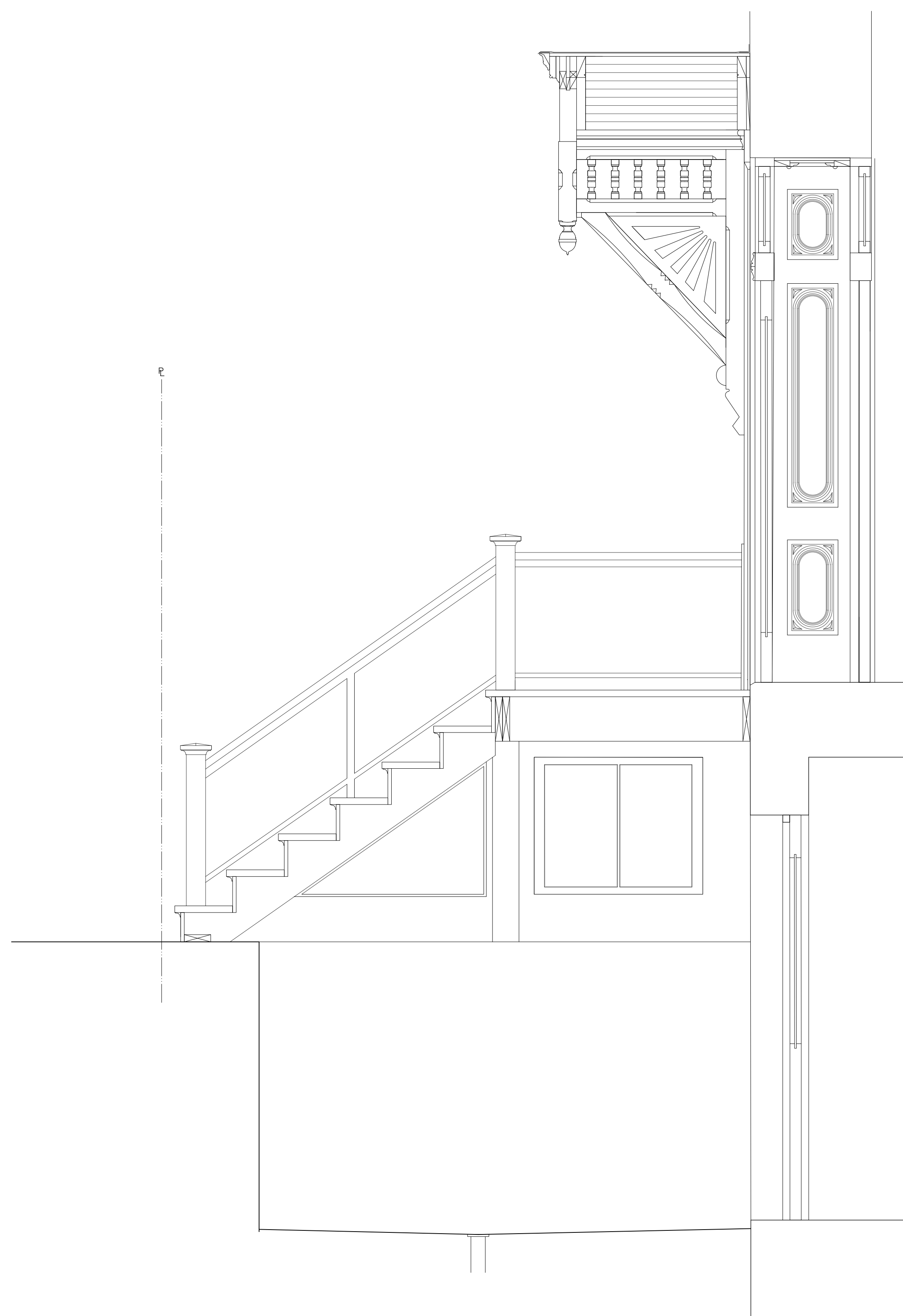
Exterior Elevations



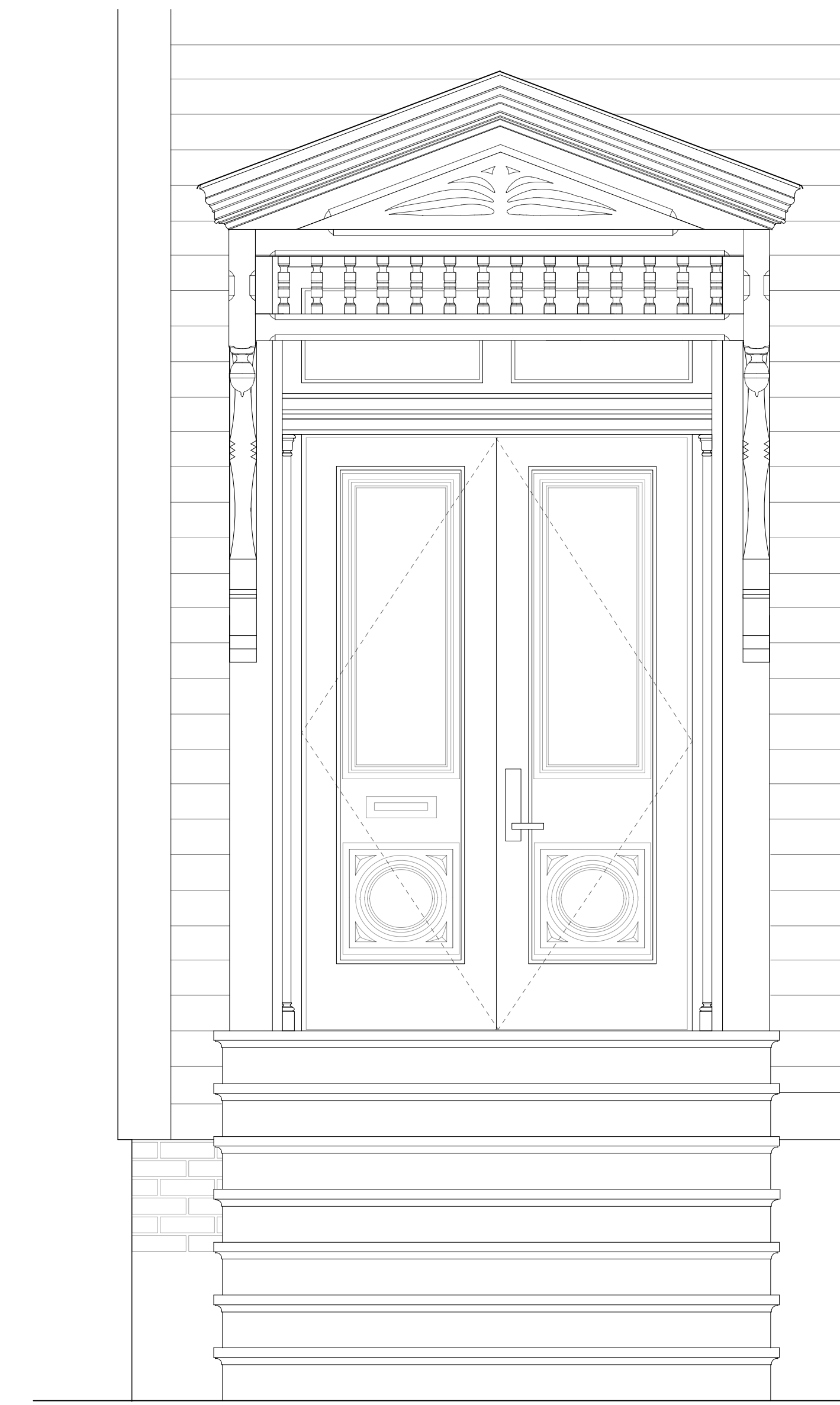
1 EAST FACADE
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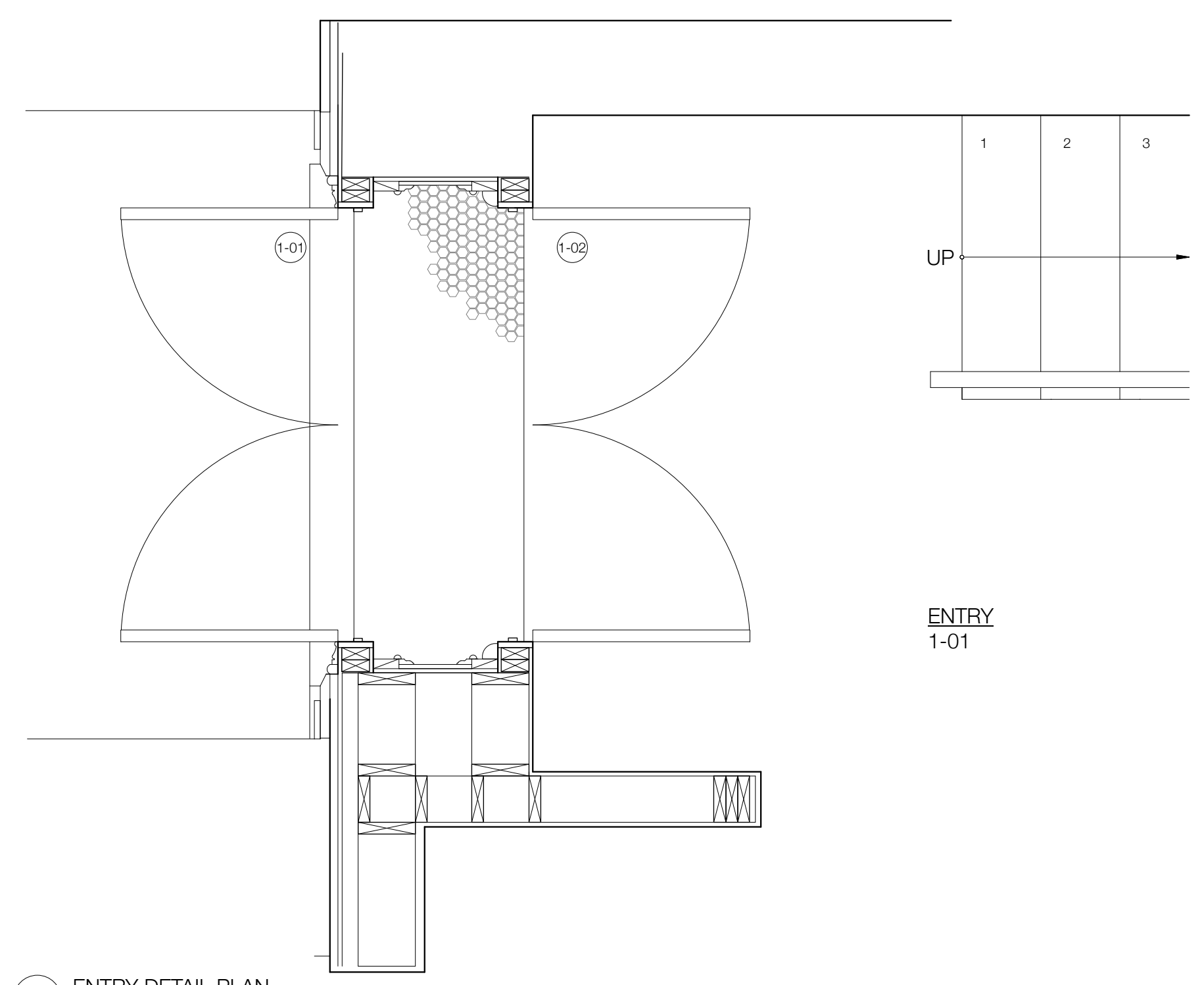
2 SOUTH FACADE
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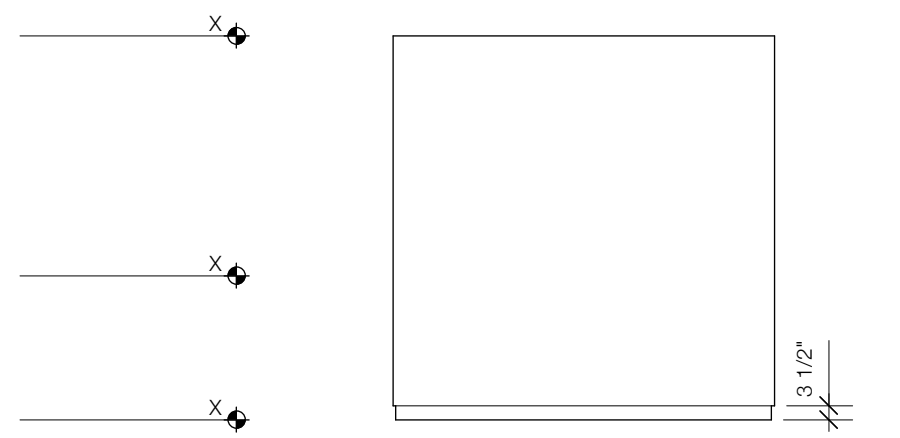
1 CANOPY/ENTRY SECTION
Scale: 3/4" = 1'-0"



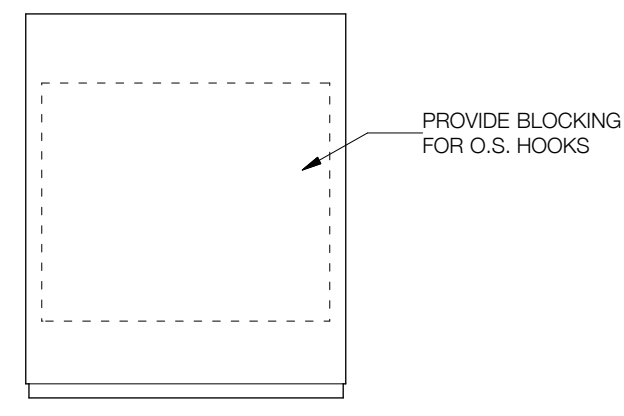
2 ENTRY DETAIL ELEVATION
Scale: 3/4" = 1'-0"



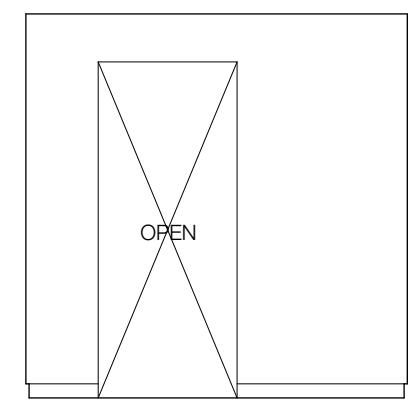
3 ENTRY DETAIL PLAN
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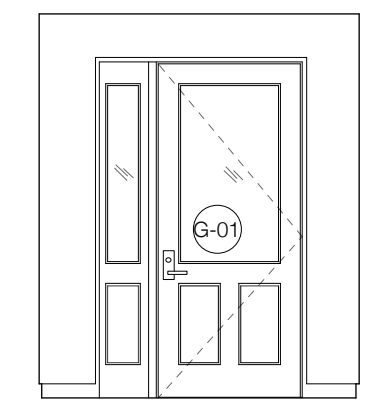
1 GARDEN FL ENTRY ELEVATION
Scale: 1/4" = 1'-0"



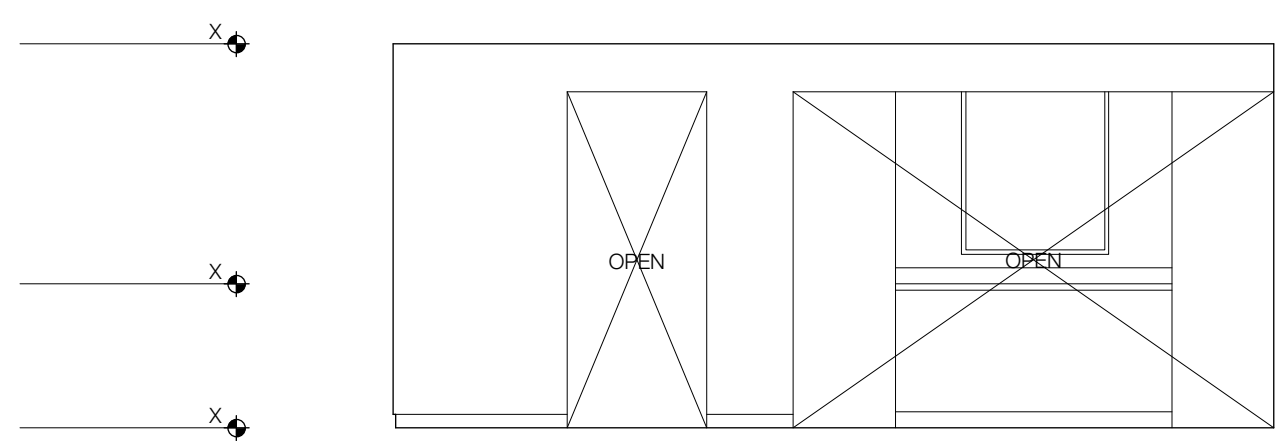
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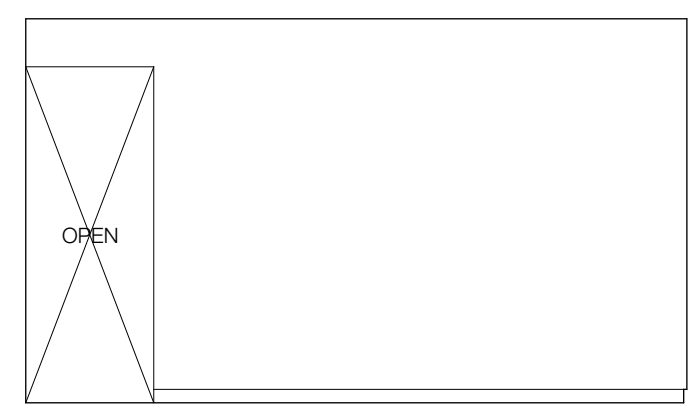
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Scale: 1/4" = 1'-0"



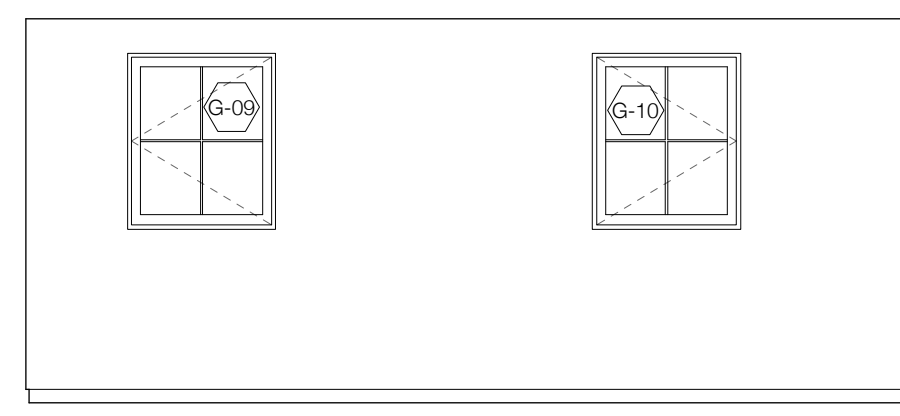
4 GARDEN FL ENTRY ELEVATION
Scale: 1/4" = 1'-0"



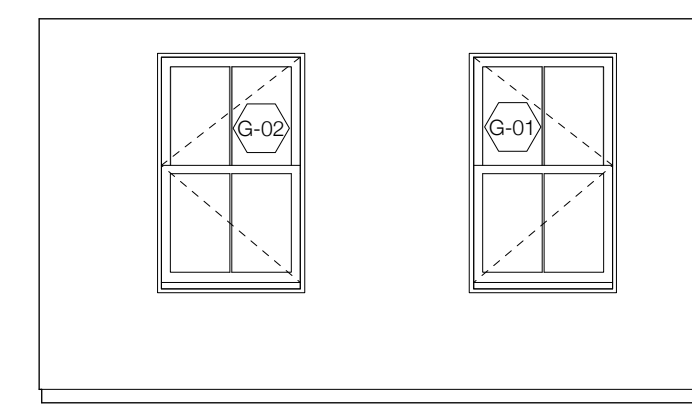
5 GARDEN FL LR ELEVATION
Scale: 1/4" = 1'-0"



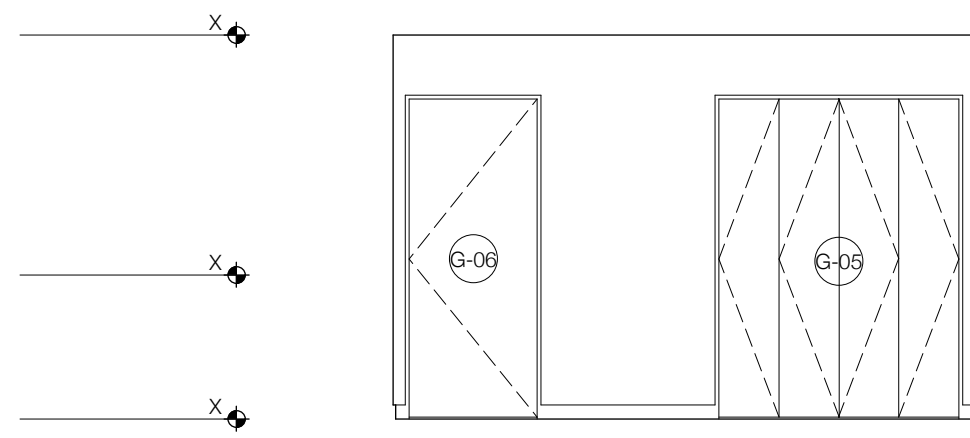
6 GARDEN FL LR ELEVATION
Scale: 1/4" = 1'-0"



7 GARDEN FL LR ELEVATION
Scale: 1/4" = 1'-0"



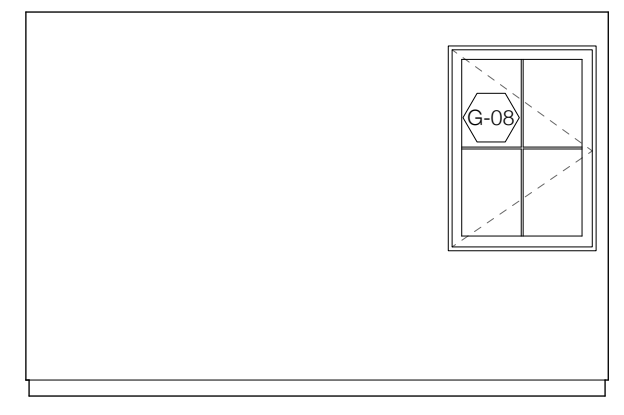
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Scale: 1/4" = 1'-0"



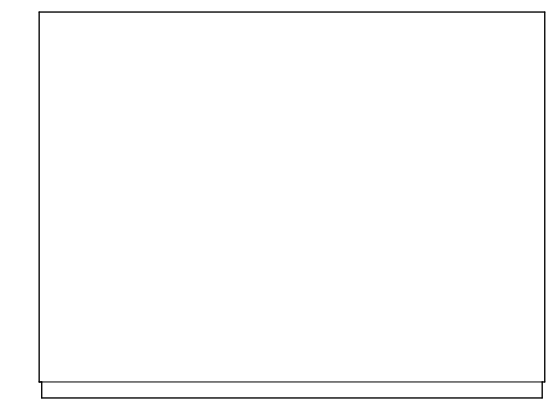
9 GARDEN FL BEDROOM ELEVATION
Scale: 1/4" = 1'-0"



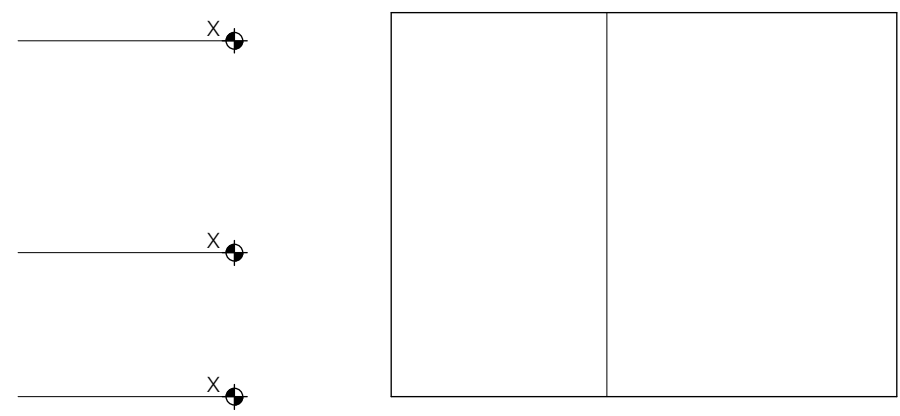
10 GARDEN FL BEDROOM ELEVATION
Scale: 1/4" = 1'-0"



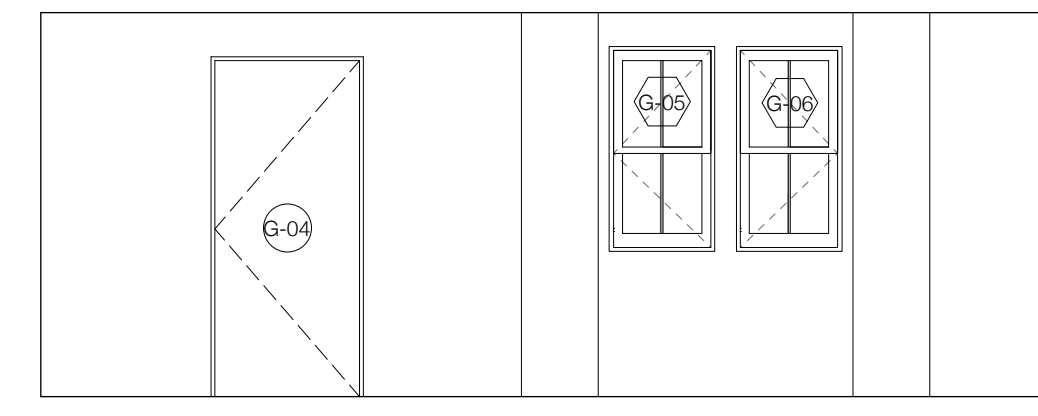
11 GARDEN FL BEDROOM ELEVATION
Scale: 1/4" = 1'-0"



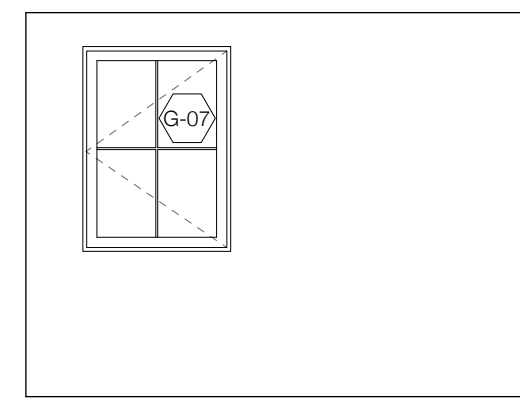
12 GARDEN FL BEDROOM ELEVATION
Scale: 1/4" = 1'-0"



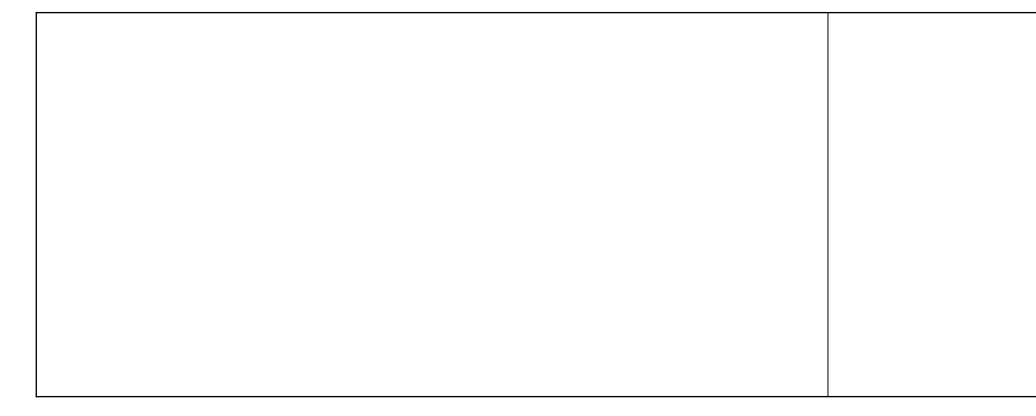
13 GARDEN FL MECH RM ELEVATION
Scale: 1/4" = 1'-0"



14 GARDEN FL MECH RM ELEVATION
Scale: 1/4" = 1'-0"

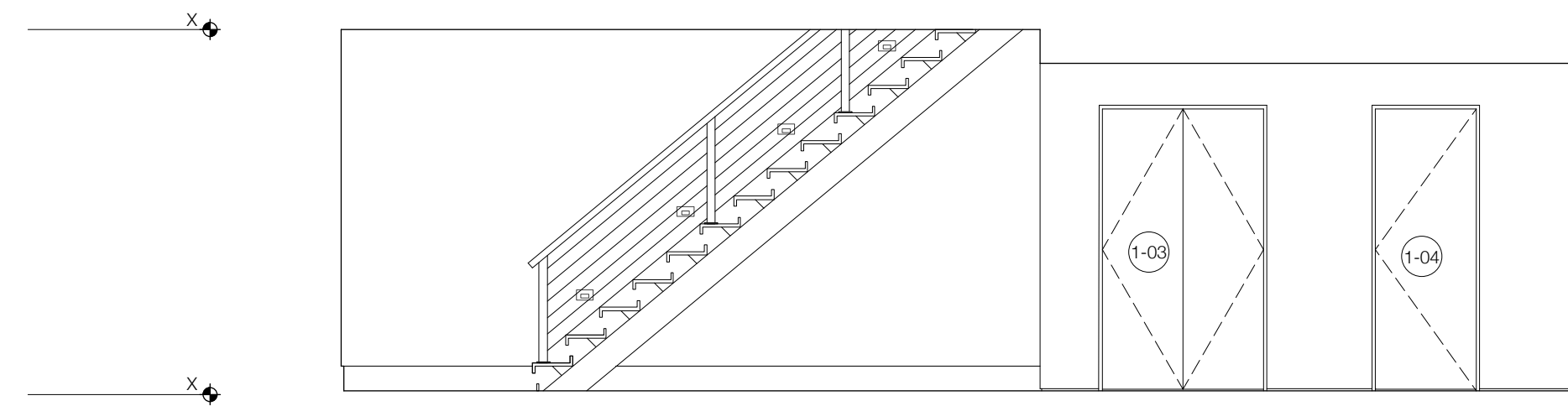


15 GARDEN FL MECH RM ELEVATION
Scale: 1/4" = 1'-0"

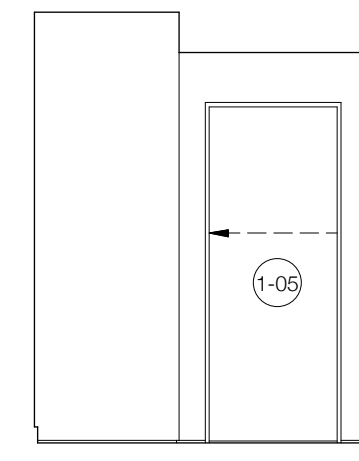


16 GARDEN FL MECH RM ELEVATION
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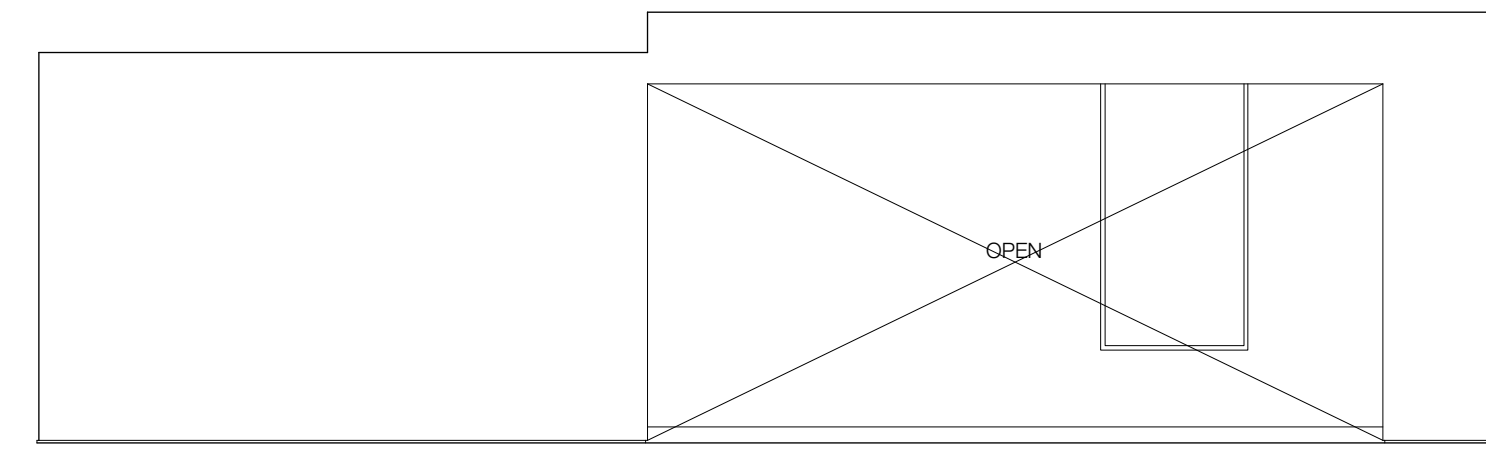
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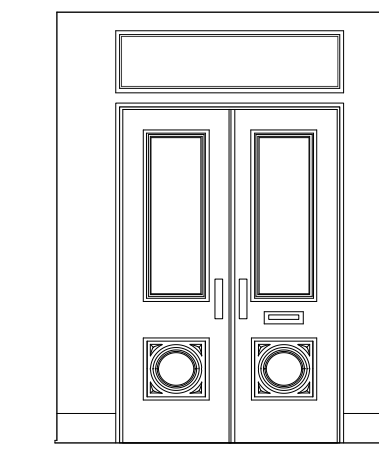
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Scale: 1/4" = 1'-0"



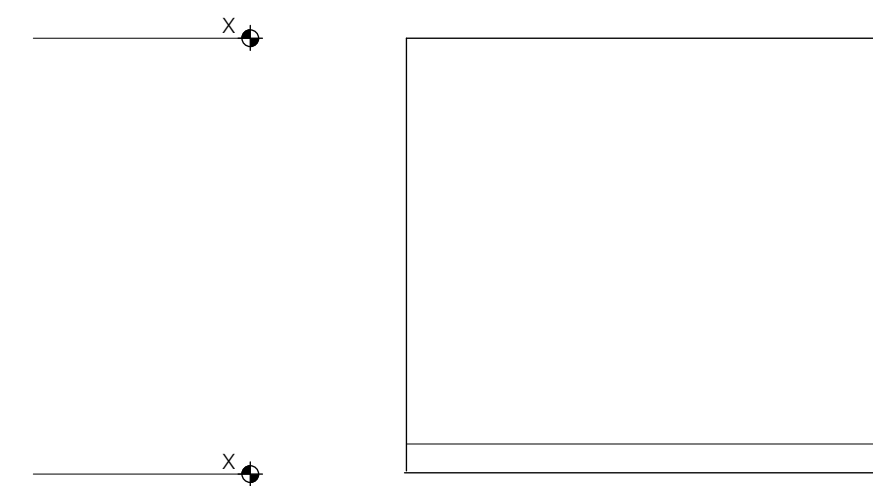
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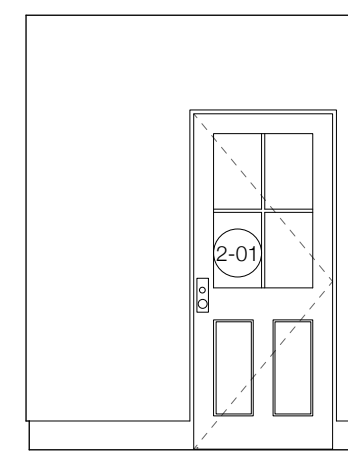
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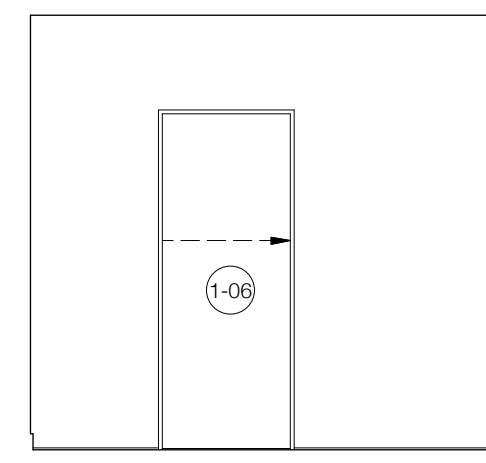
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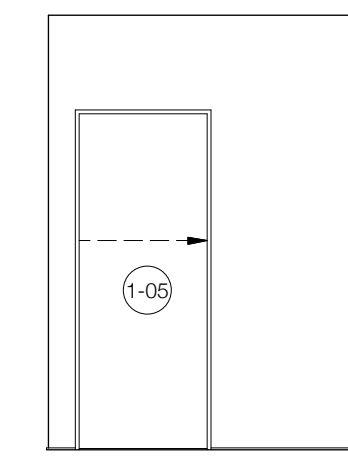
5 1ST FL MUDROOM ELEVATION
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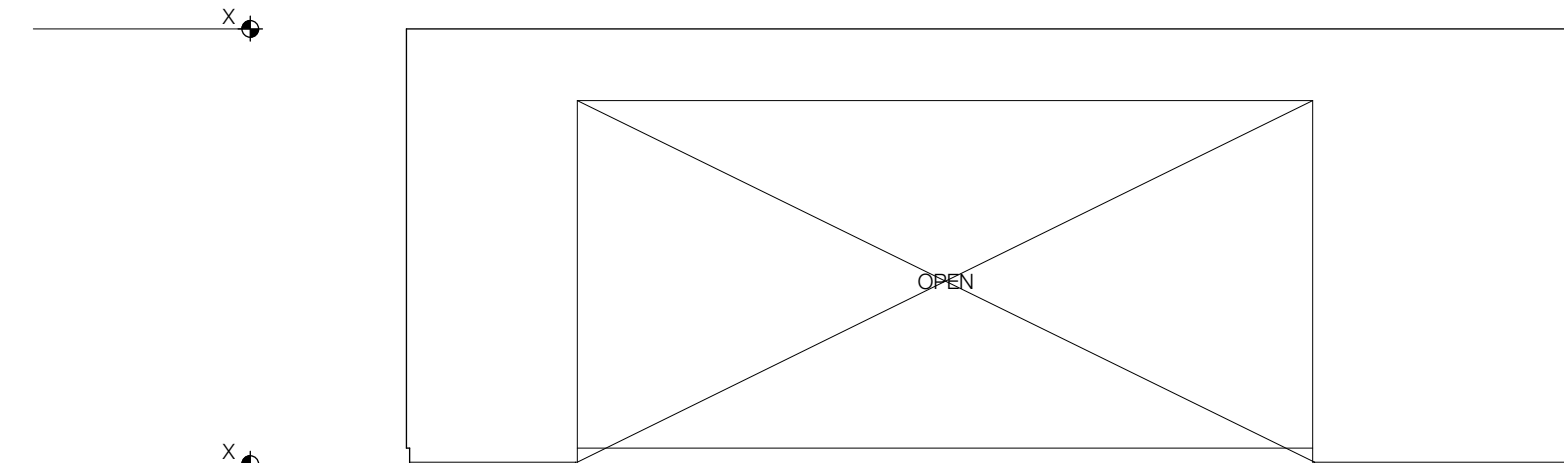
6 1ST FL MUDROOM ELEVATION
Scale: 1/4" = 1'-0"



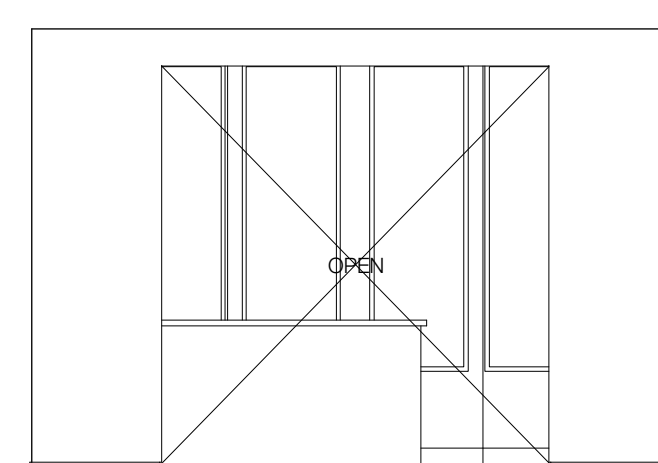
7 1ST FL MUDROOM ELEVATION
Scale: 1/4" = 1'-0"



8 1ST FL MUDROOM ELEVATION
Scale: 1/4" = 1'-0"



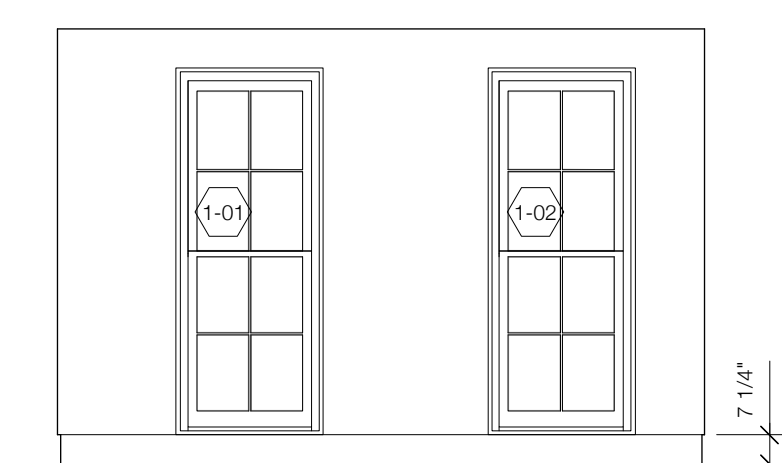
9 1ST FL LR ELEVATION
Scale: 1/4" = 1'-0"



10 1ST FL LR ELEVATION
Scale: 1/4" = 1'-0"

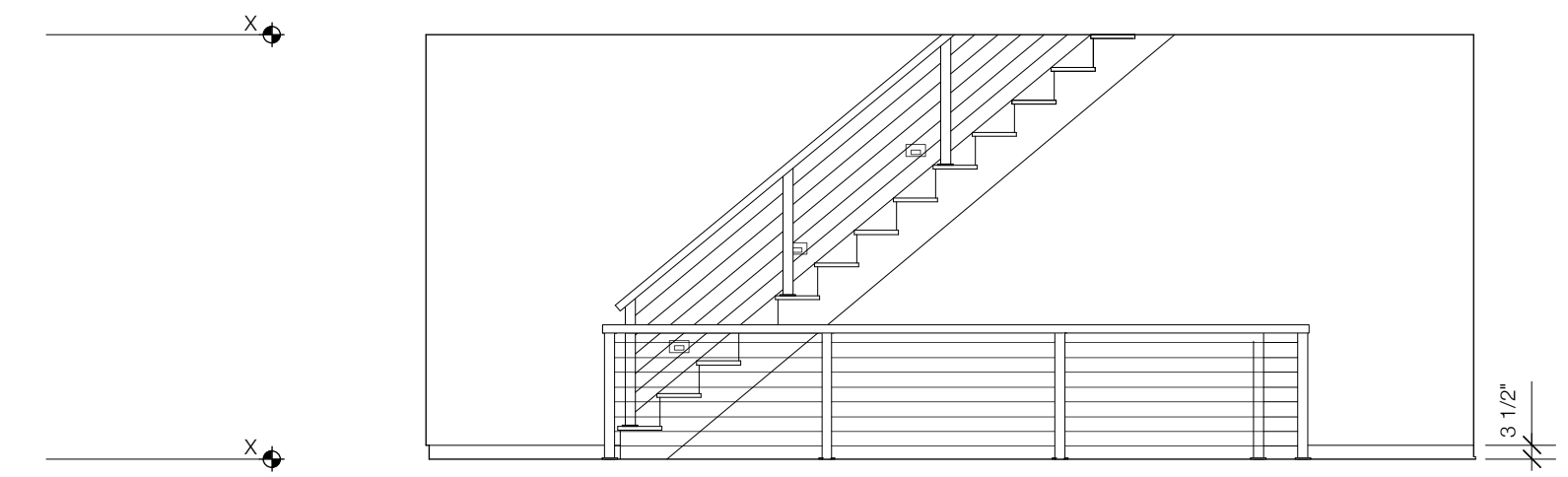


11 1ST FL LR ELEVATION
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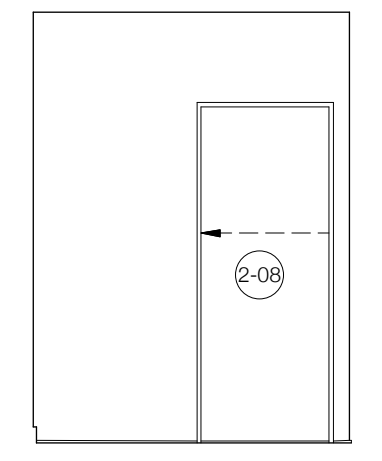


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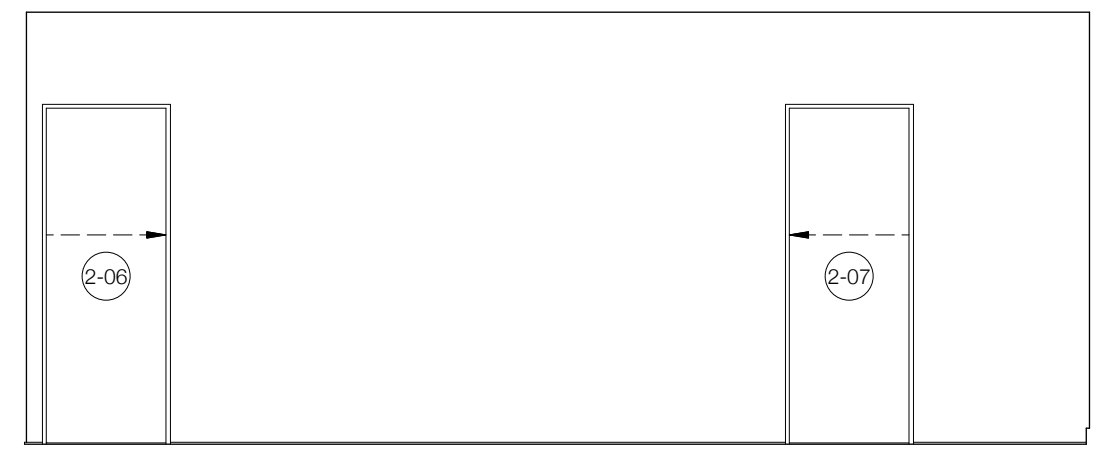
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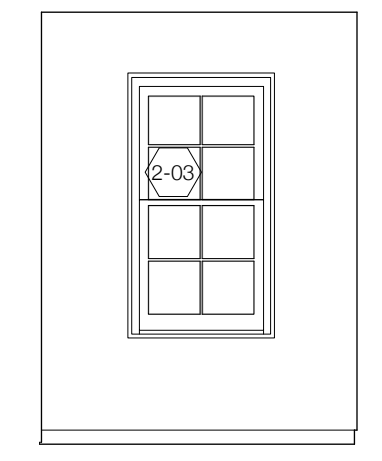
1 2ND FL HALL ELEVATION
Scale: 1/4" = 1'-0"



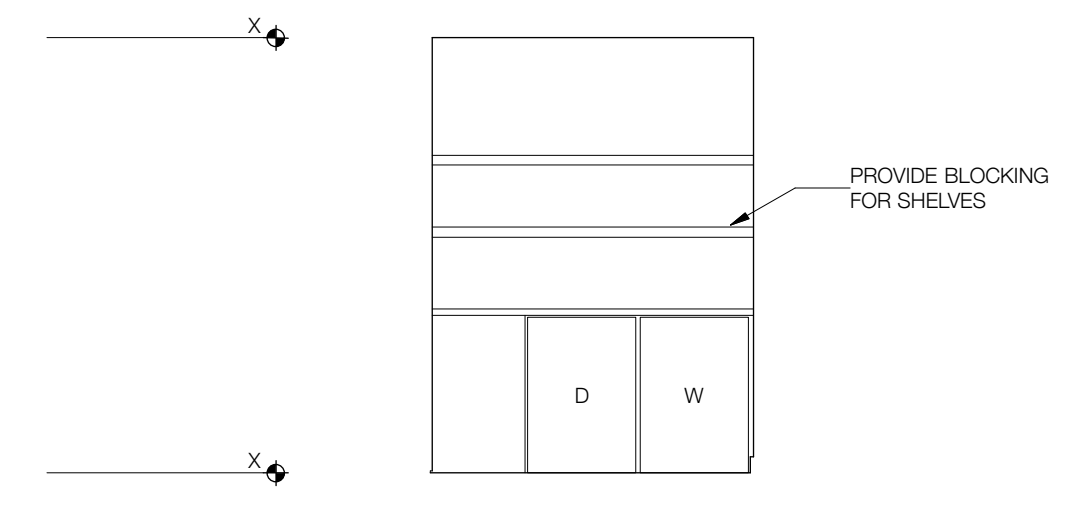
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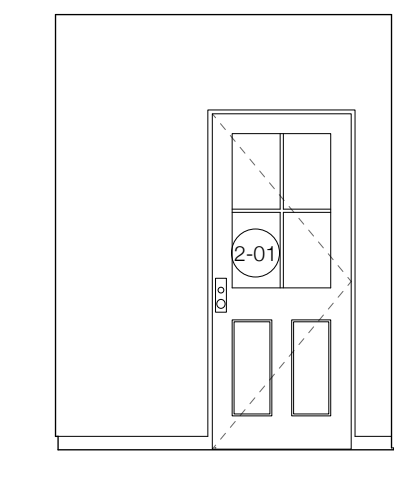
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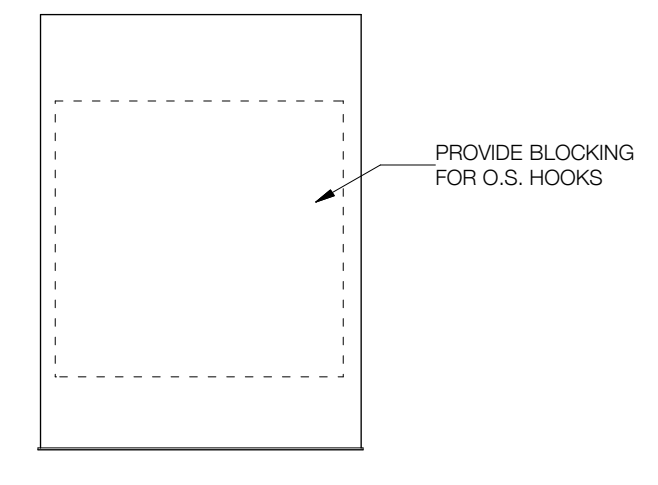
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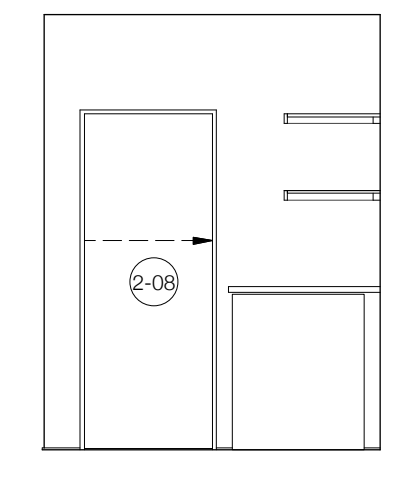
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Scale: 1/4" = 1'-0"



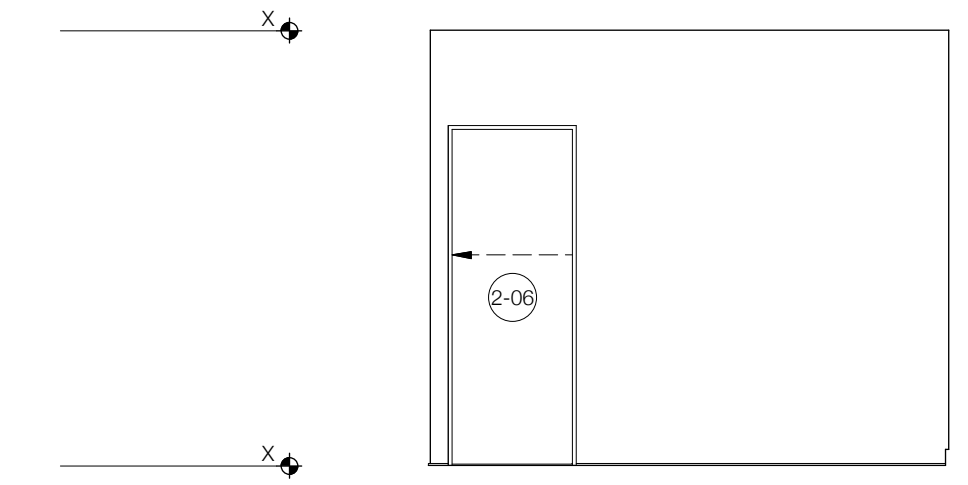
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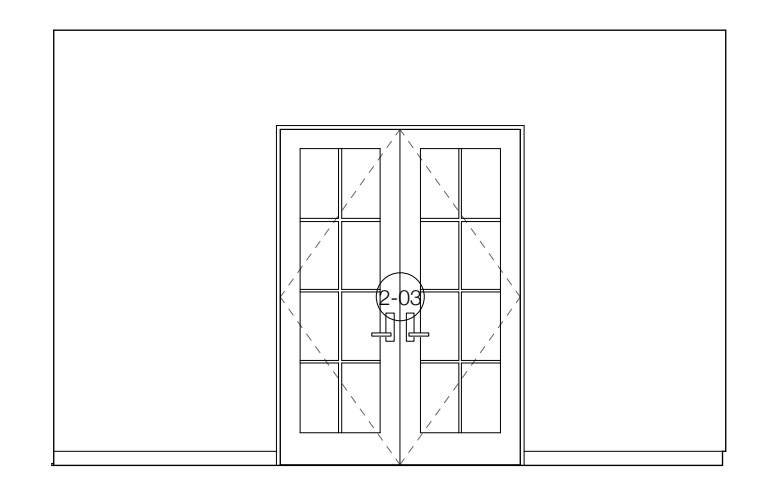
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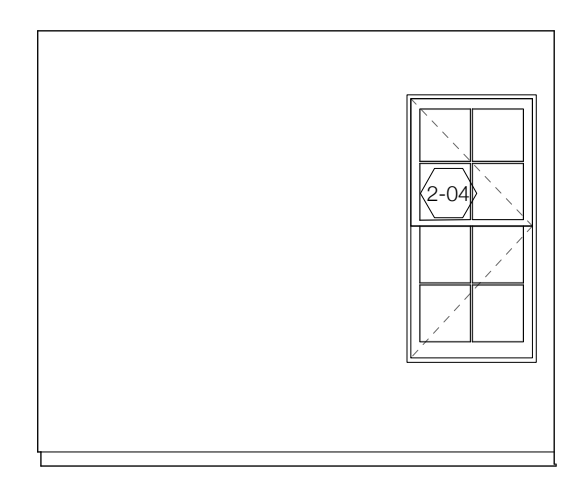
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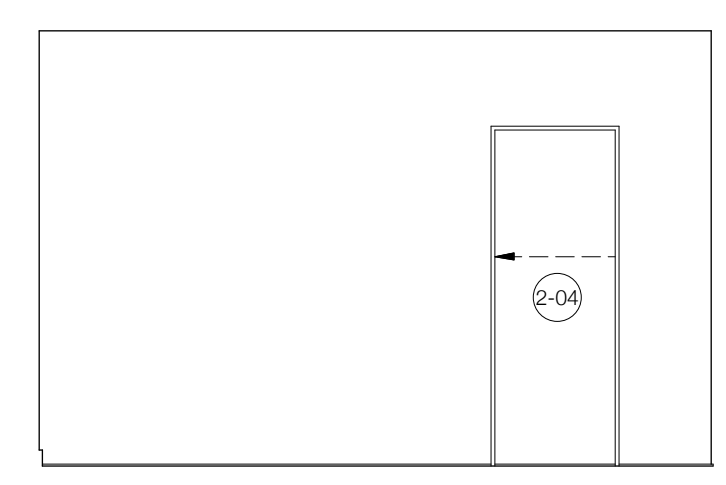
9 2ND FL J & H ELEVATION
Scale: 1/4" = 1'-0"



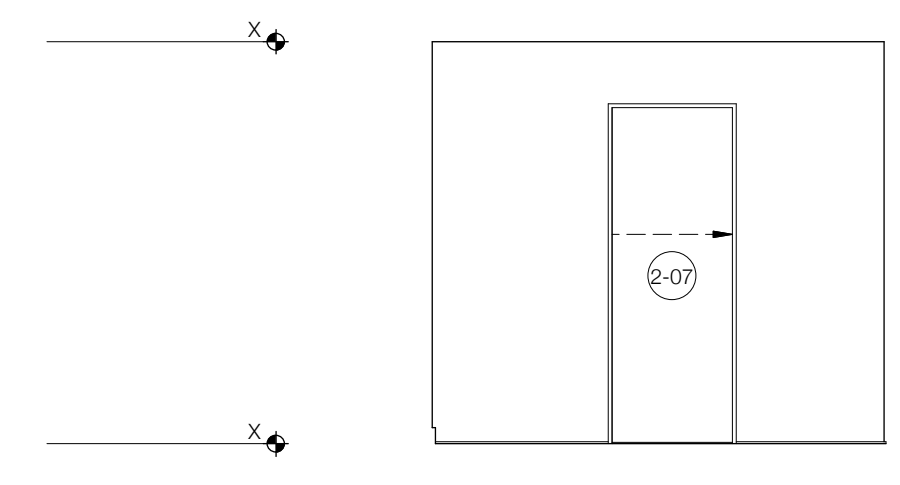
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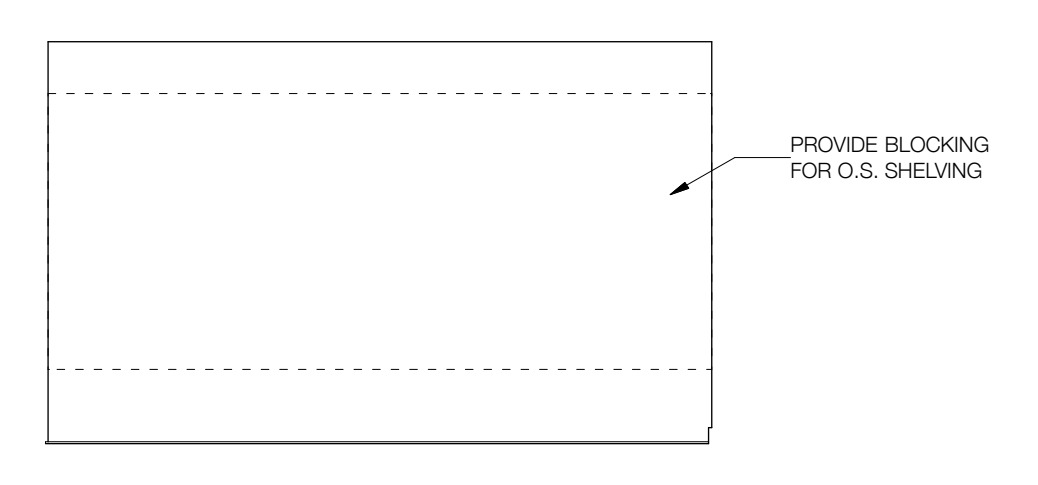
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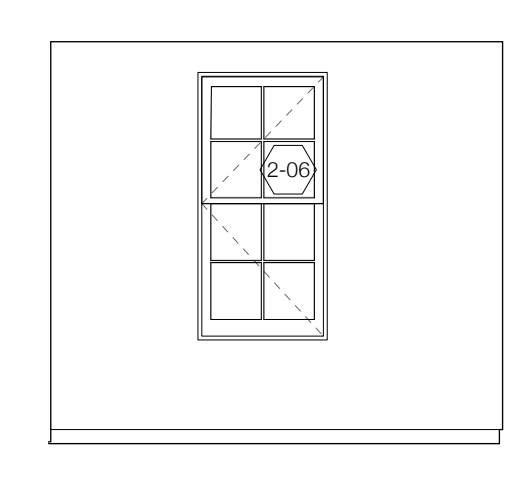
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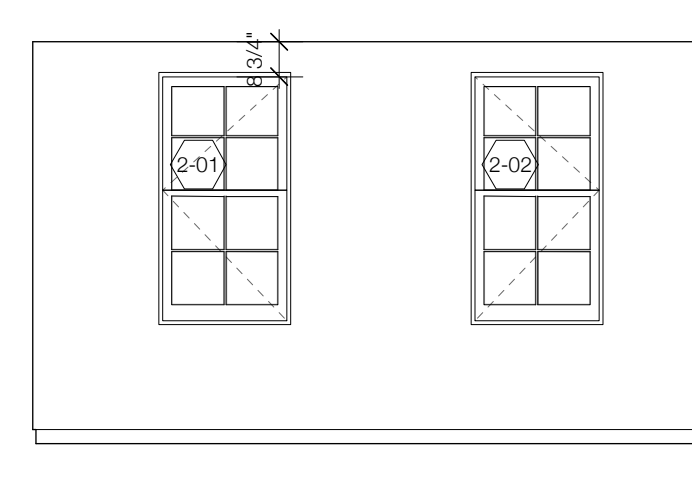
13 2ND FL OFFICE ELEVATION
Scale: 1/4" = 1'-0"



14 2ND FL OFFICE ELEVATION
Scale: 1/4" = 1'-0"

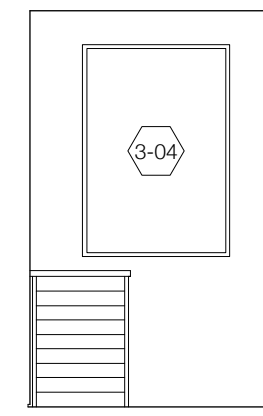
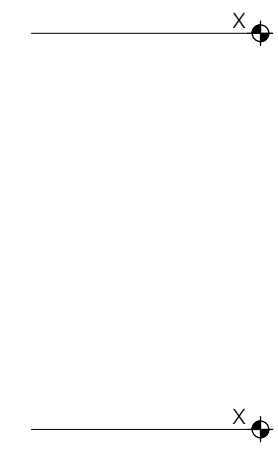


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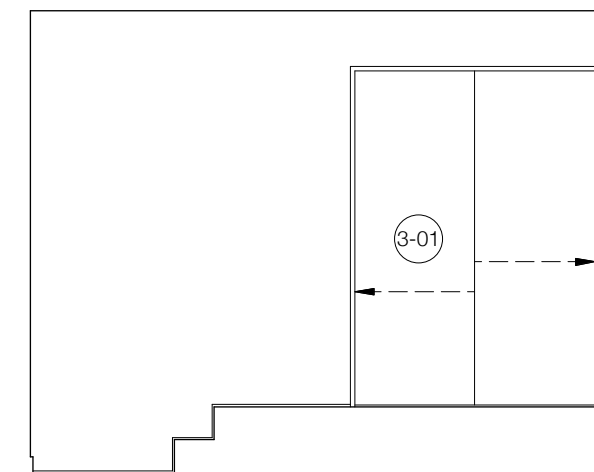


16 2ND FL OFFICE ELEVATION
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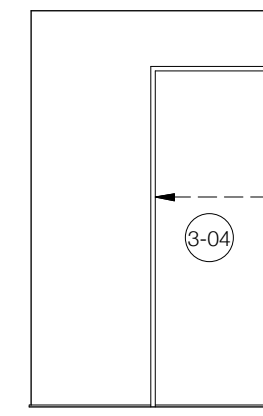
DO NOT SCALE DRAWINGS



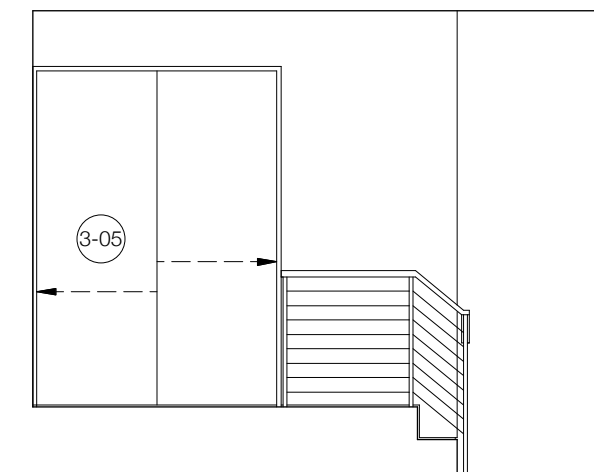
1 3RD FL HALL ELEVATION
Scale: 1/4" = 1'-0"



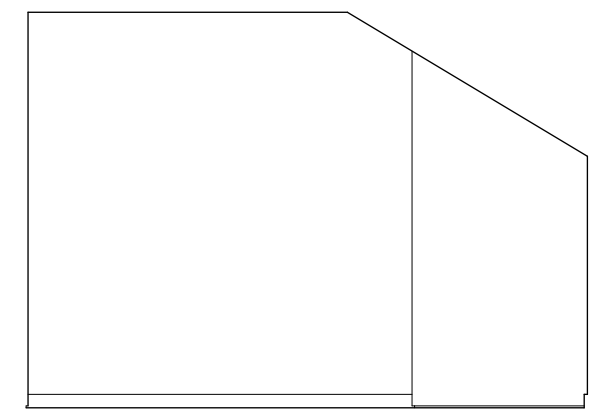
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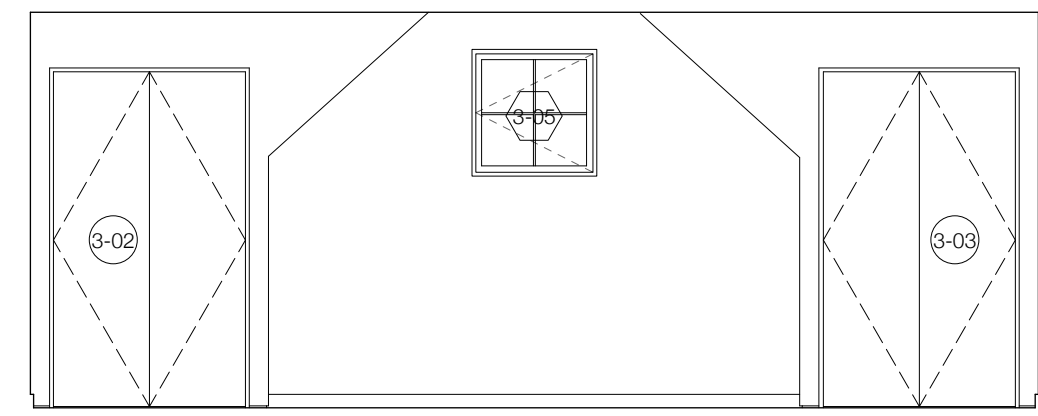
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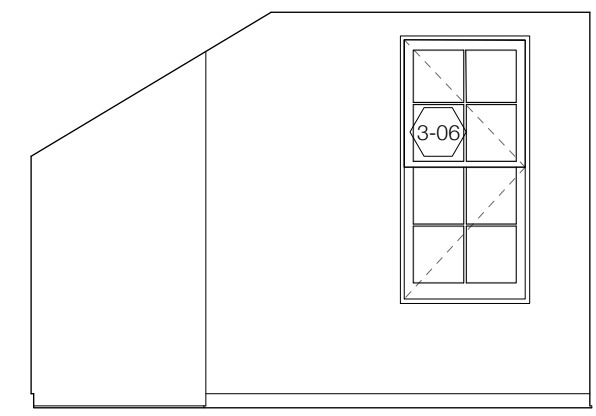
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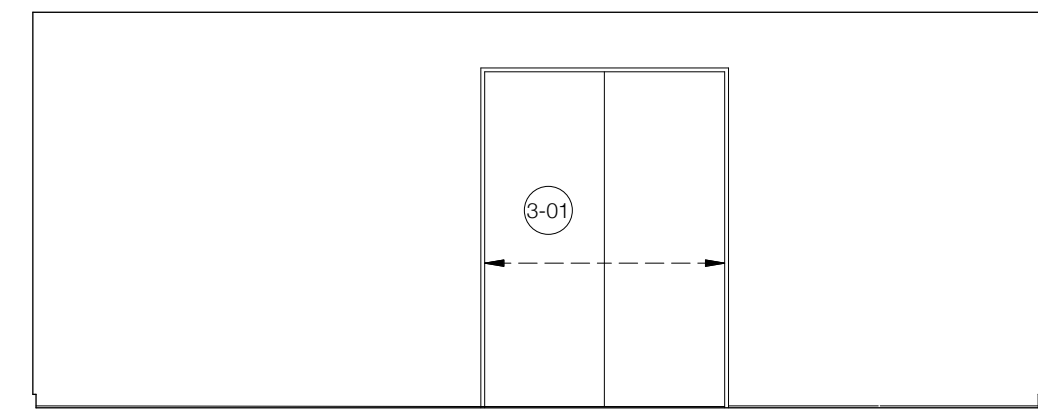
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Scale: 1/4" = 1'-0"



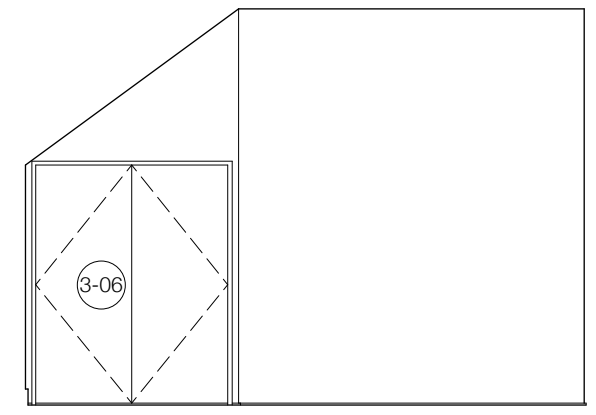
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Scale: 1/4" = 1'-0"



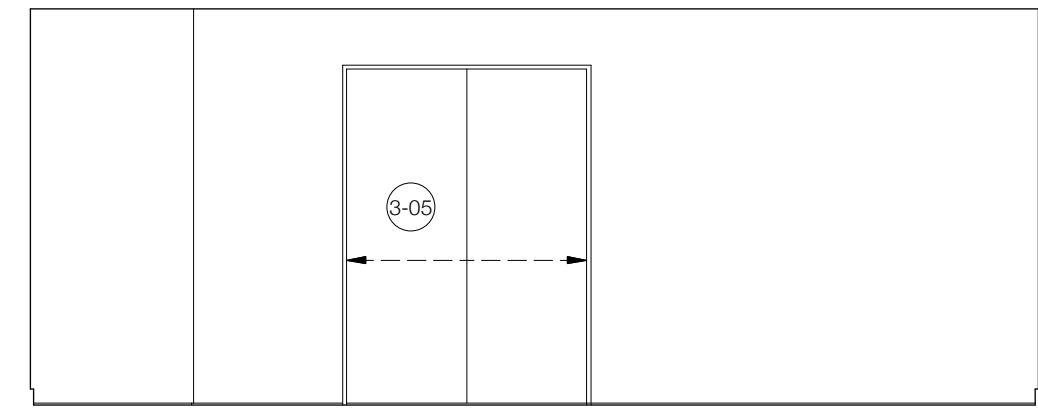
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Scale: 1/4" = 1'-0"



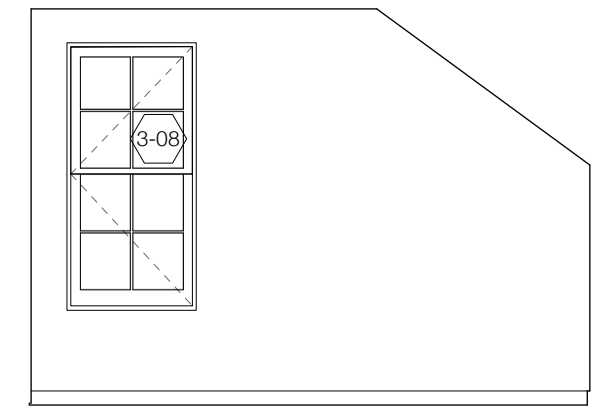
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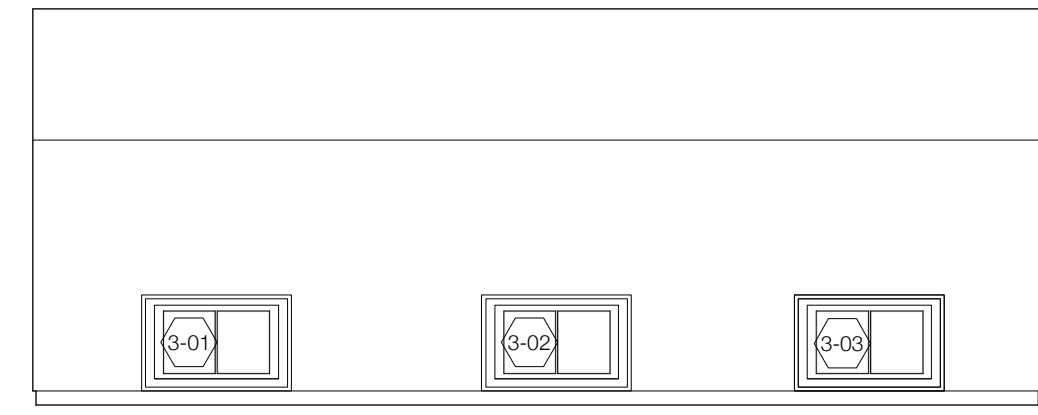
9 3RD FL BEDROOM ELEVATION
Scale: 1/4" = 1'-0"



10 3RD FL BEDROOM ELEVATION
Scale: 1/4" = 1'-0"



11 3RD FL BEDROOM ELEVATION
Scale: 1/4" = 1'-0"



12 3RD FL BEDROOM ELEVATION
Scale: 1/4" = 1'-0"

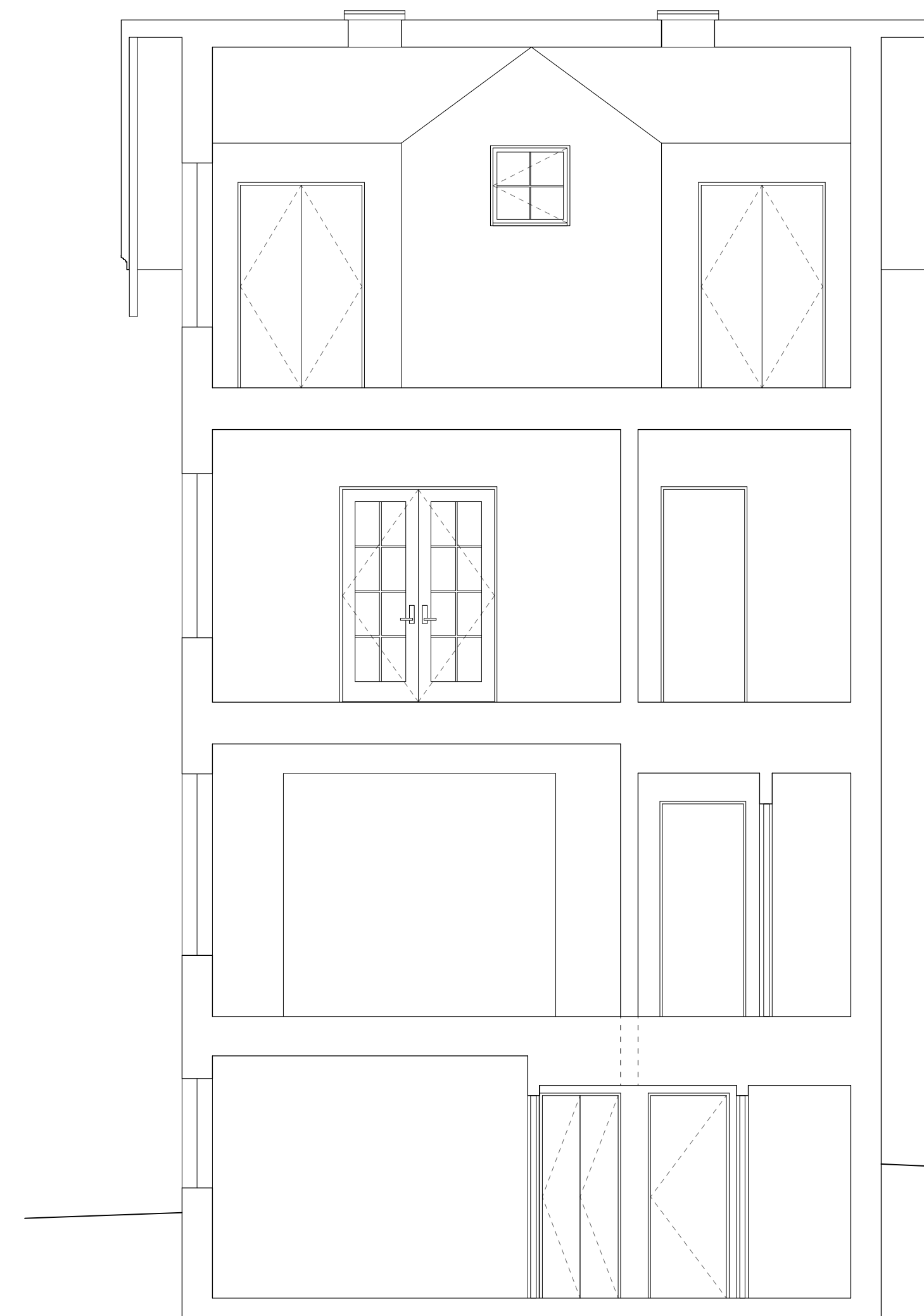
DO NOT SCALE DRAWINGS

DRAWING KEY

DRAWING NOTES NOTES
1. XXXXX



1 BUILDING SECTION
Scale: 1/4" = 1'-0"



2 BUILDING SECTION
Scale: 1/4" = 1'-0"

DO NOT SCALE DRAWINGS

issue date:
01.03.2020

01.03.2020 DD SET
date issue/revision

architect:
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mechanical engineer:
BAUKRAFT ENGINEERING 102 CATHERINE STREET, BEACON, NY 12508 P: 347.674.4287

project:
LIBERTY STREET 2 FAMILY DWELLING

260 Liberty Street, Newburgh, NY 12550

architect's seal:

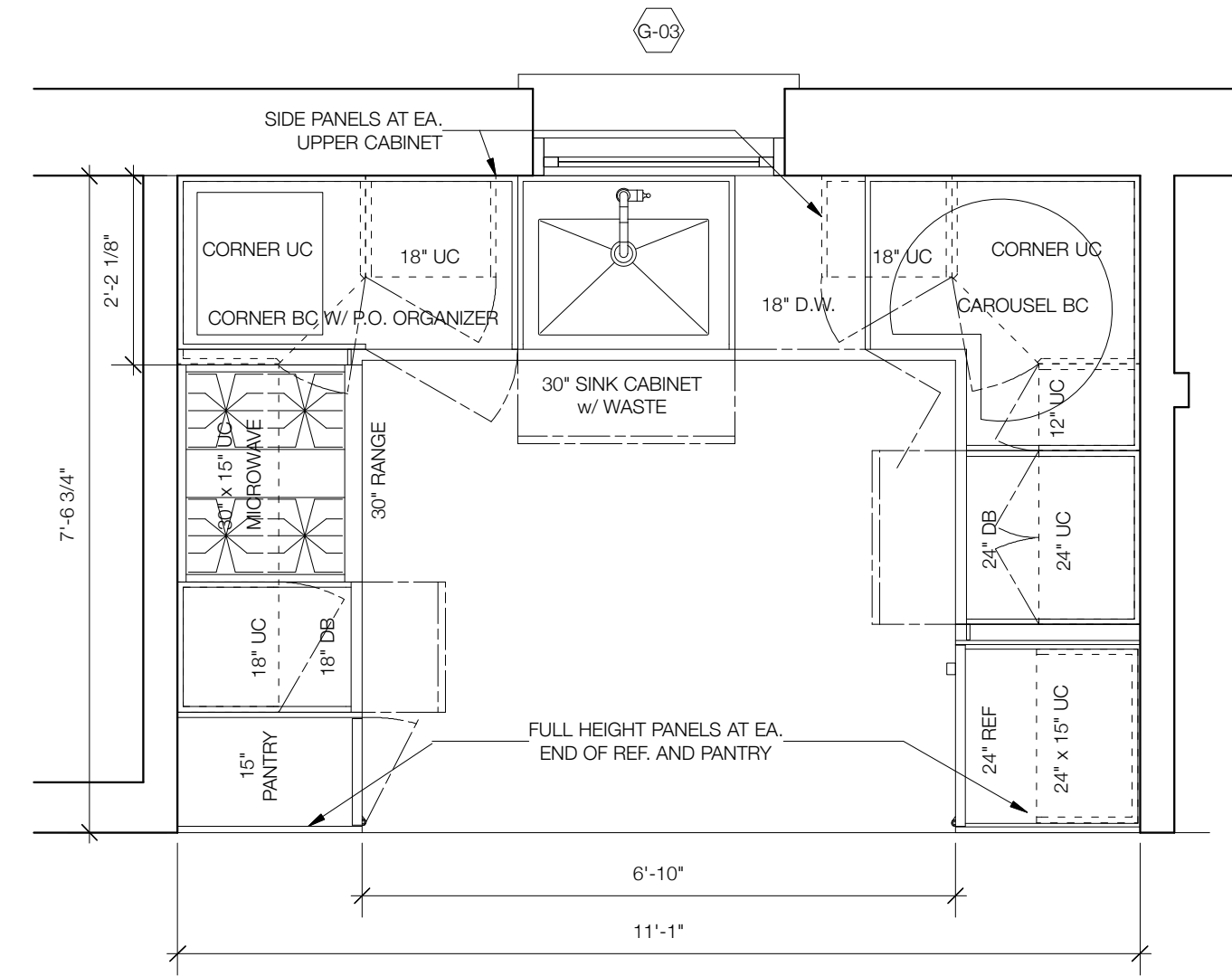
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Section

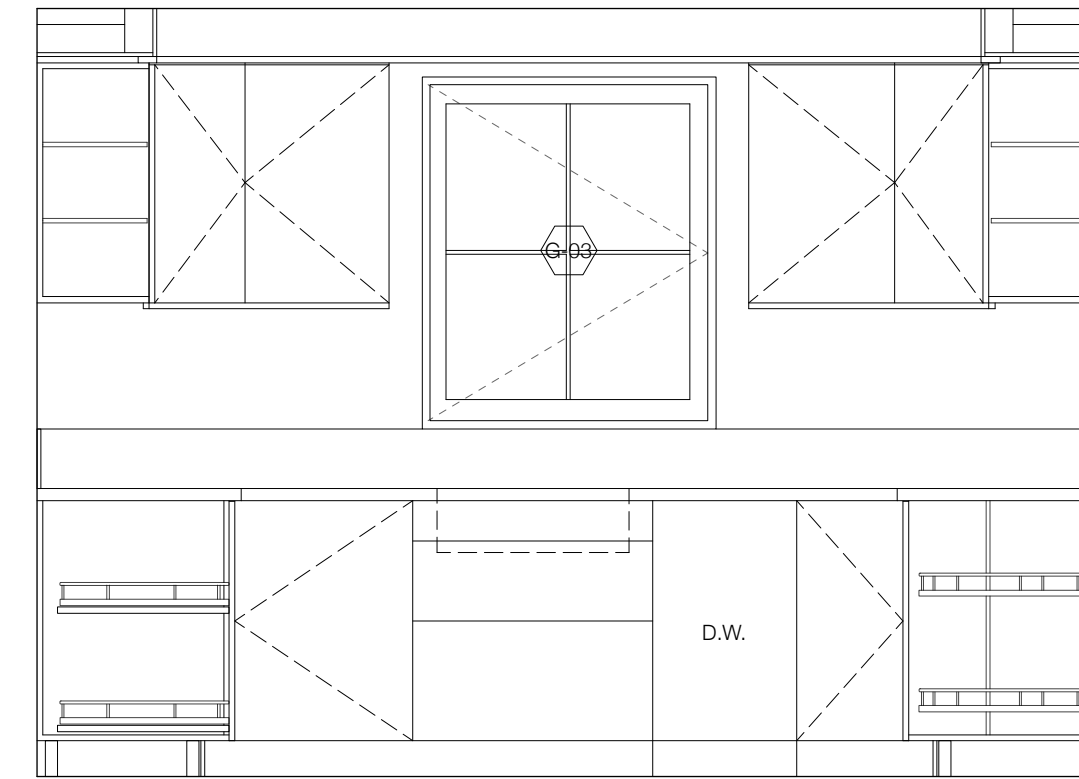
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page number x of x

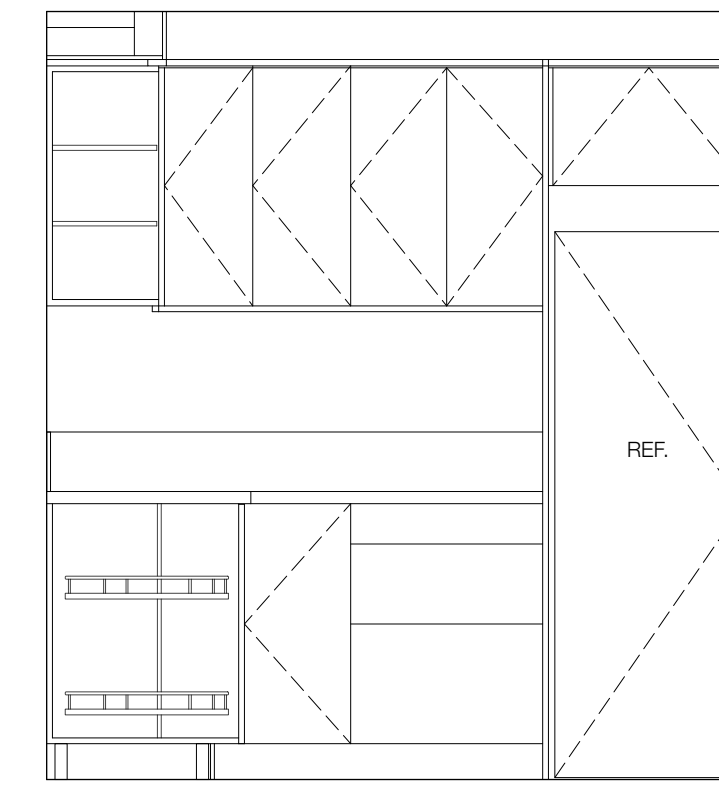
DRAWING KEY
DRAWING NOTES
1.



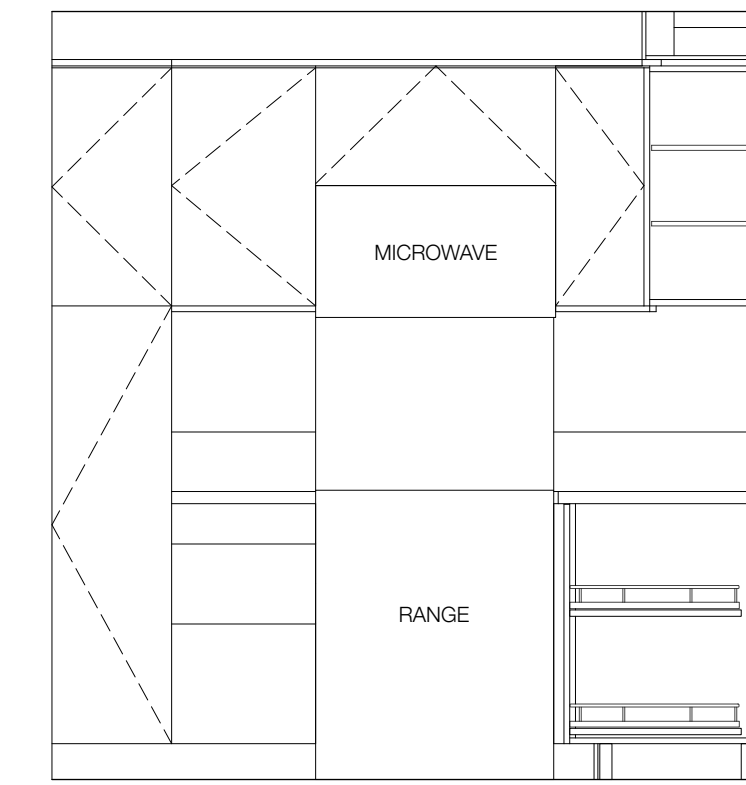
1 GARDEN FL KITCHEN PLAN
Scale: 1/2" = 1'-0"



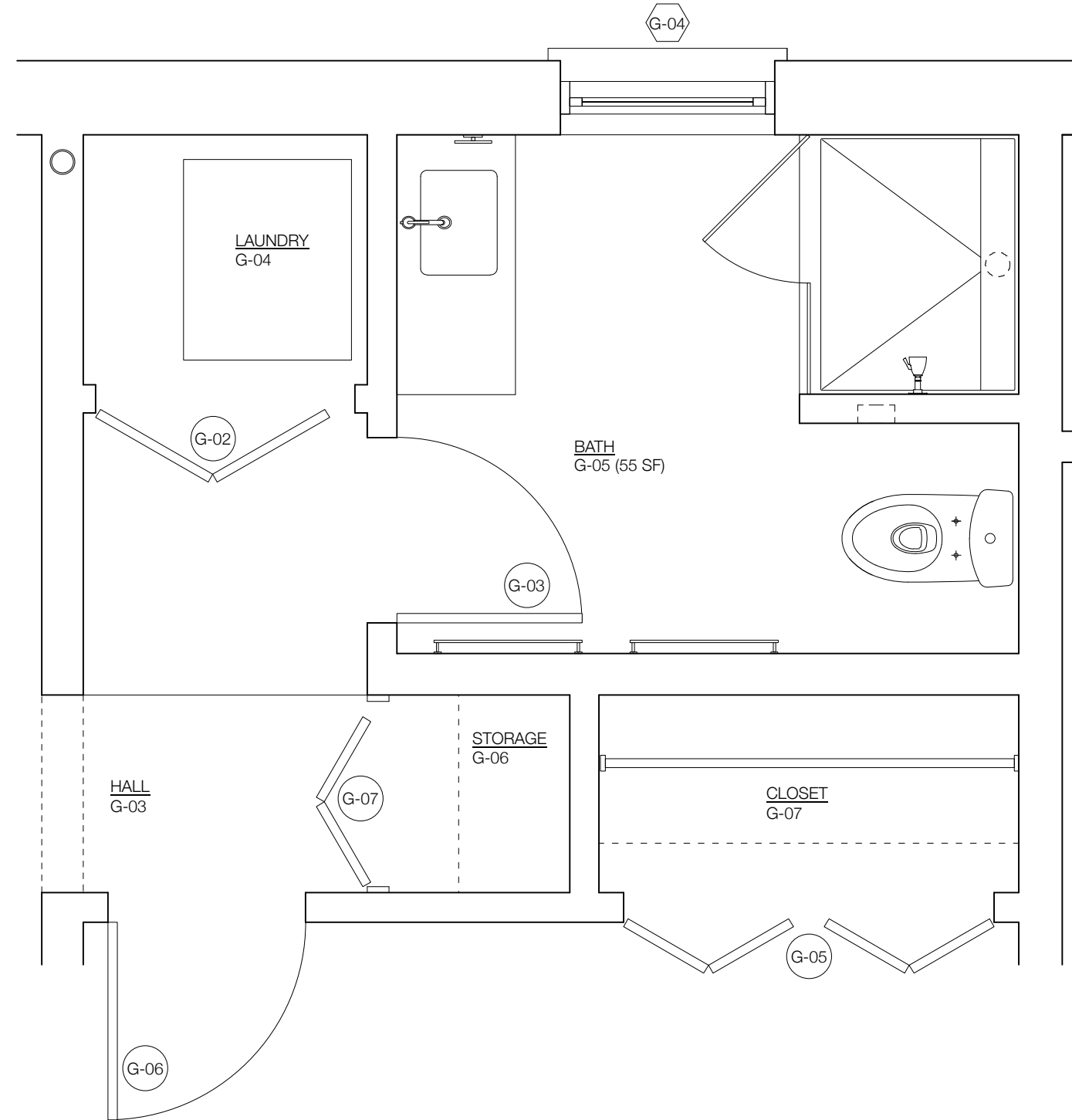
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Scale: 1/2" = 1'-0"



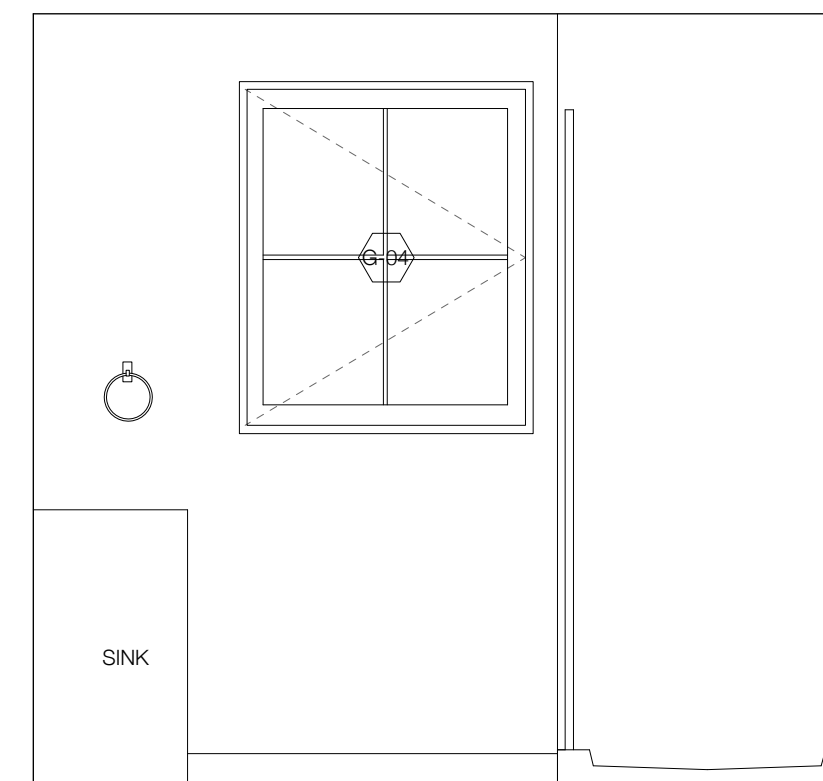
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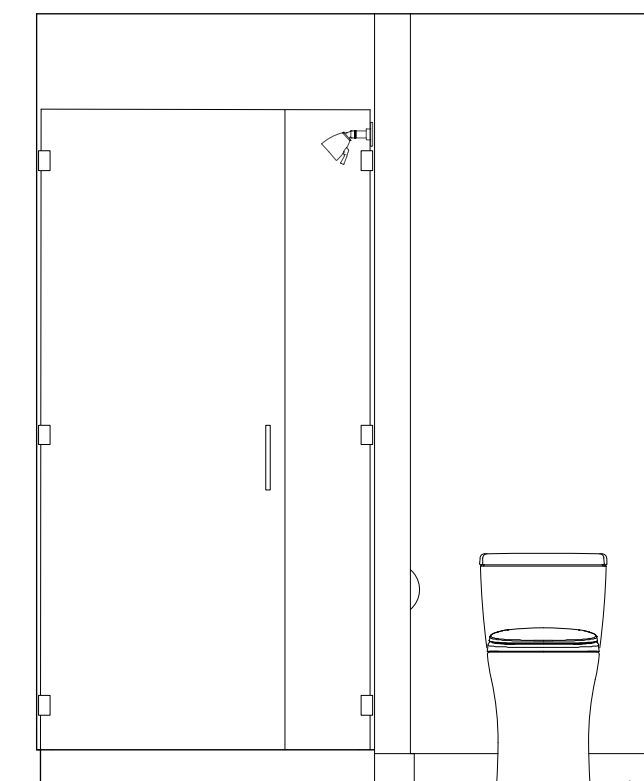
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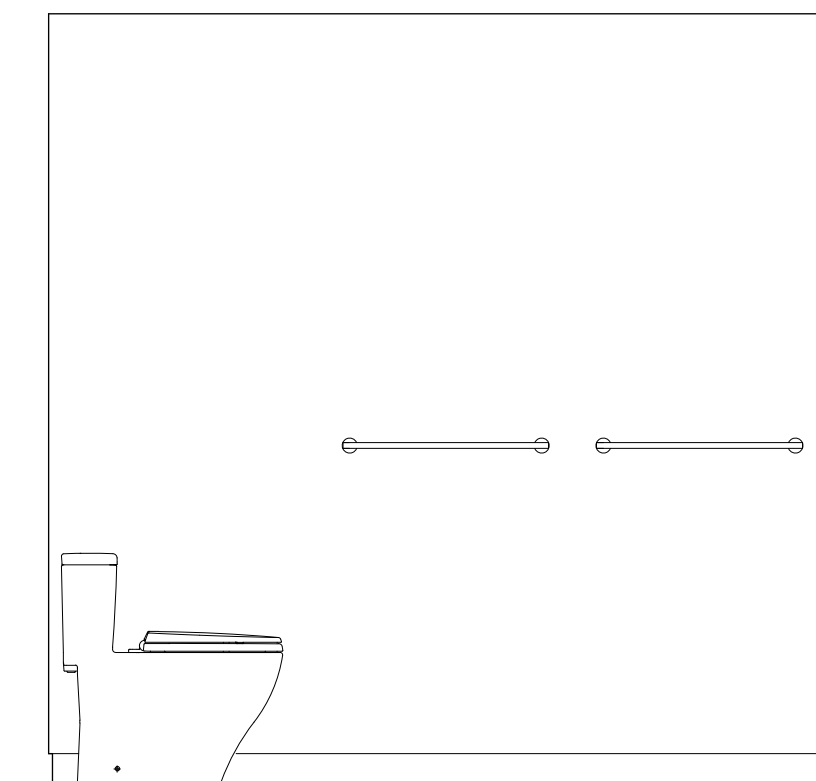
5 GARDEN FL BATH PLAN
Scale: 1/2" = 1'-0"



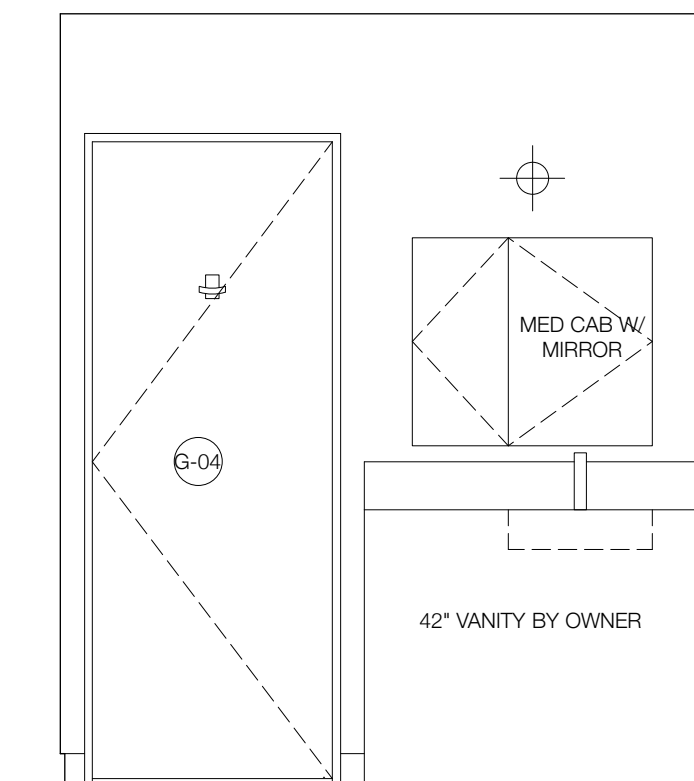
6 GARDEN FL BATH ELEVATION
Scale: 1/2" = 1'-0"



7 GARDEN FL BATH ELEVATION
Scale: 1/2" = 1'-0"



8 GARDEN FL BATH ELEVATION
Scale: 1/2" = 1'-0"



9 GARDEN FL BATH ELEVATION
Scale: 1/2" = 1'-0"

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Detail Plan &
Elevations

A-40
page number x of x

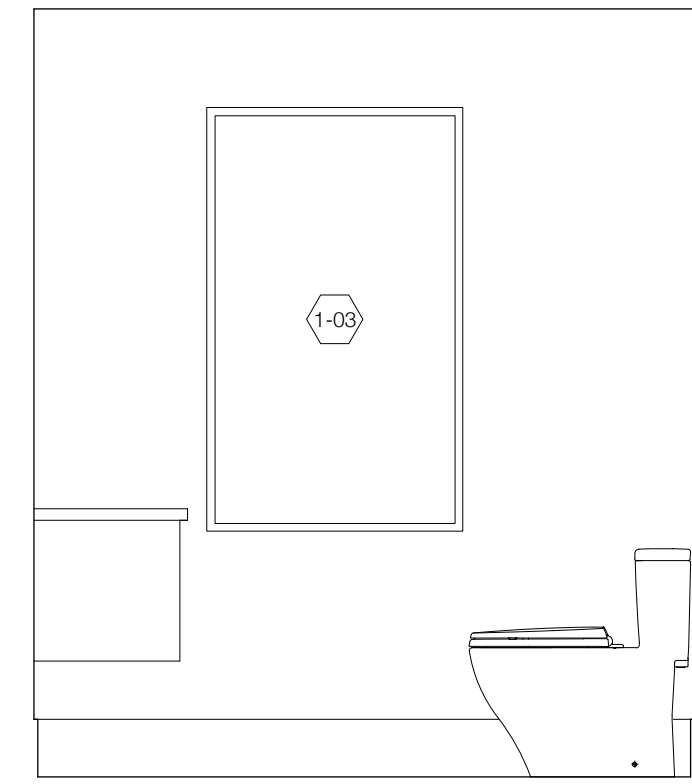
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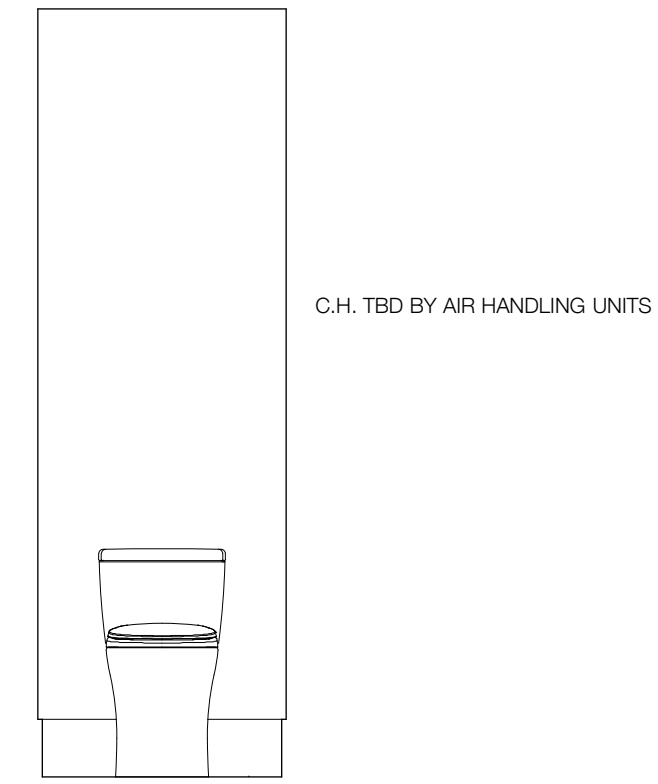
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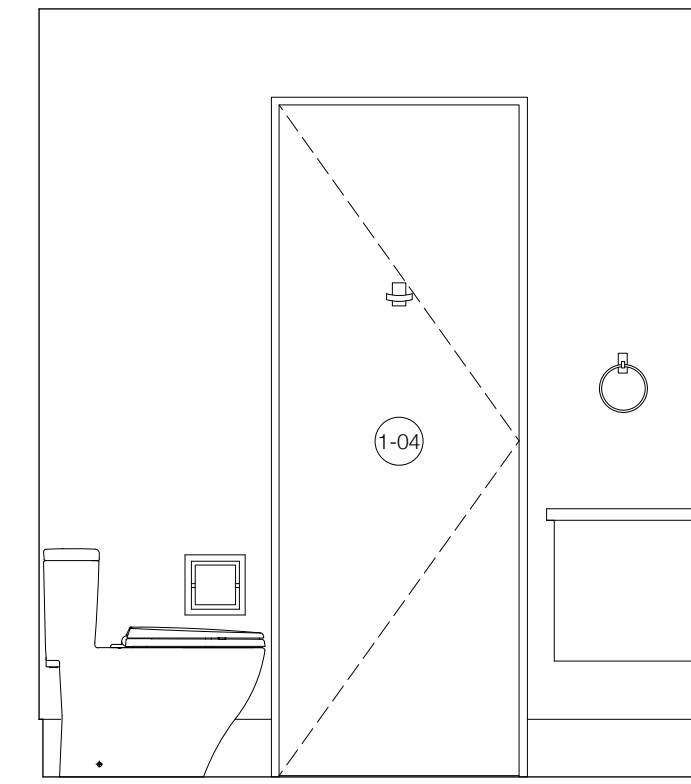
mechanical engineer:
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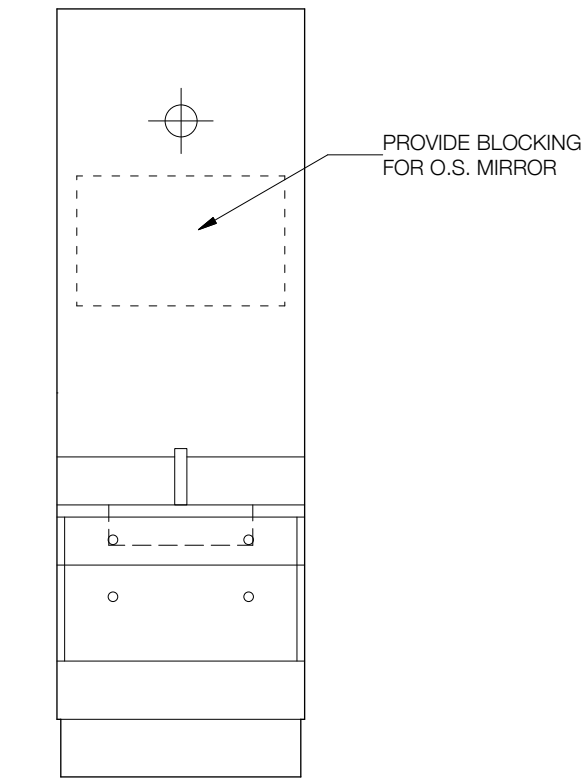
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Scale: 1/2" = 1'-0"



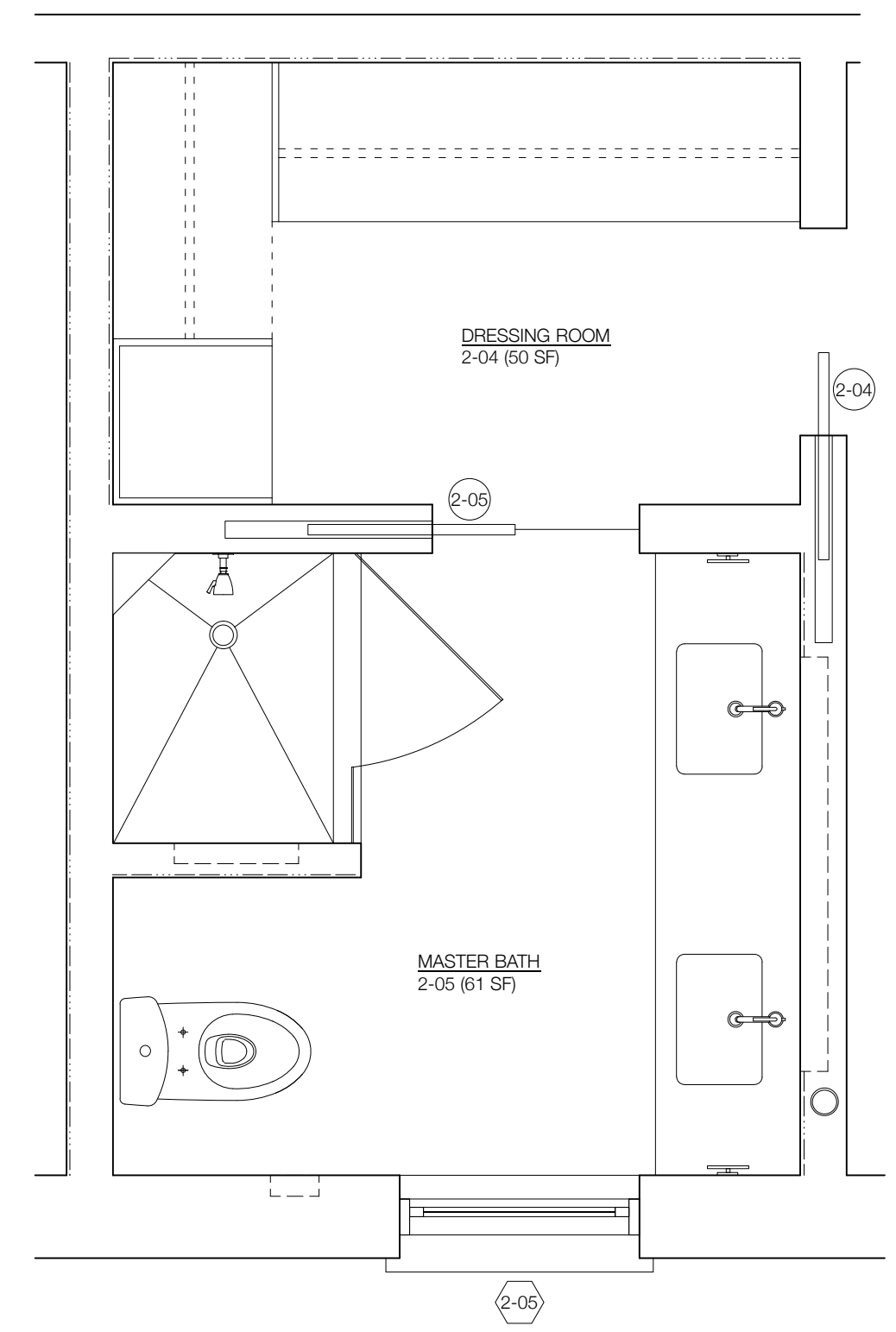
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Scale: 1/2" = 1'-0"



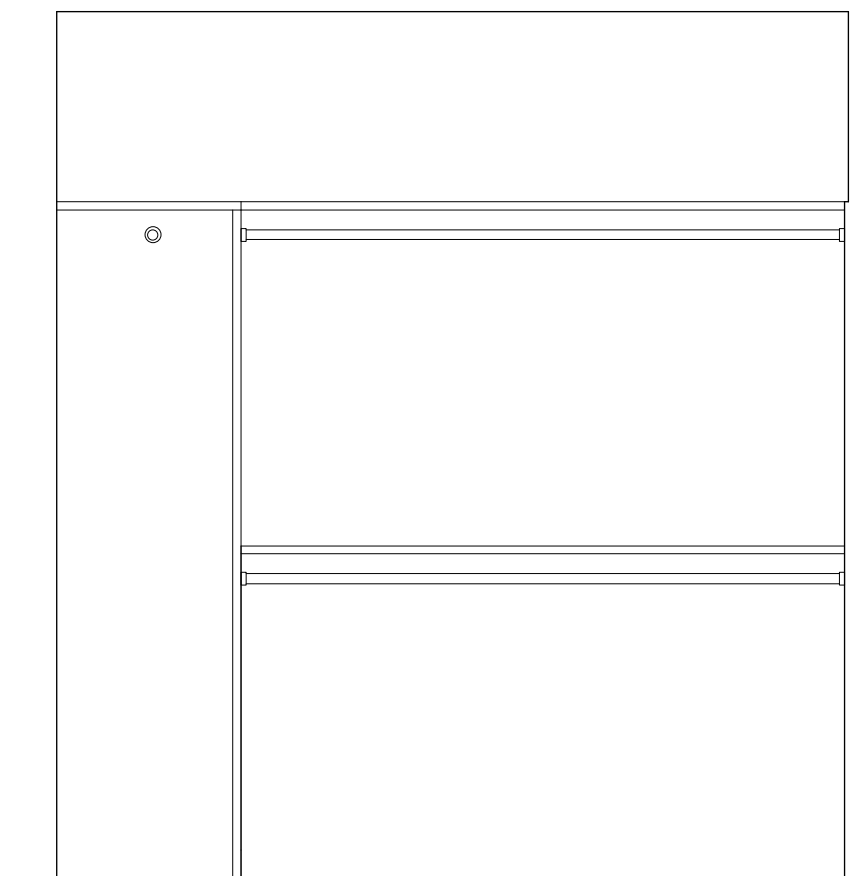
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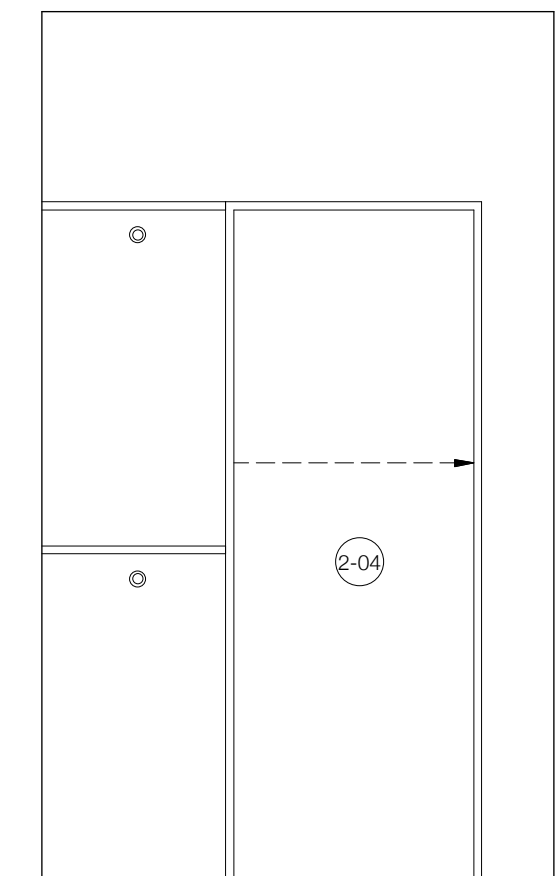
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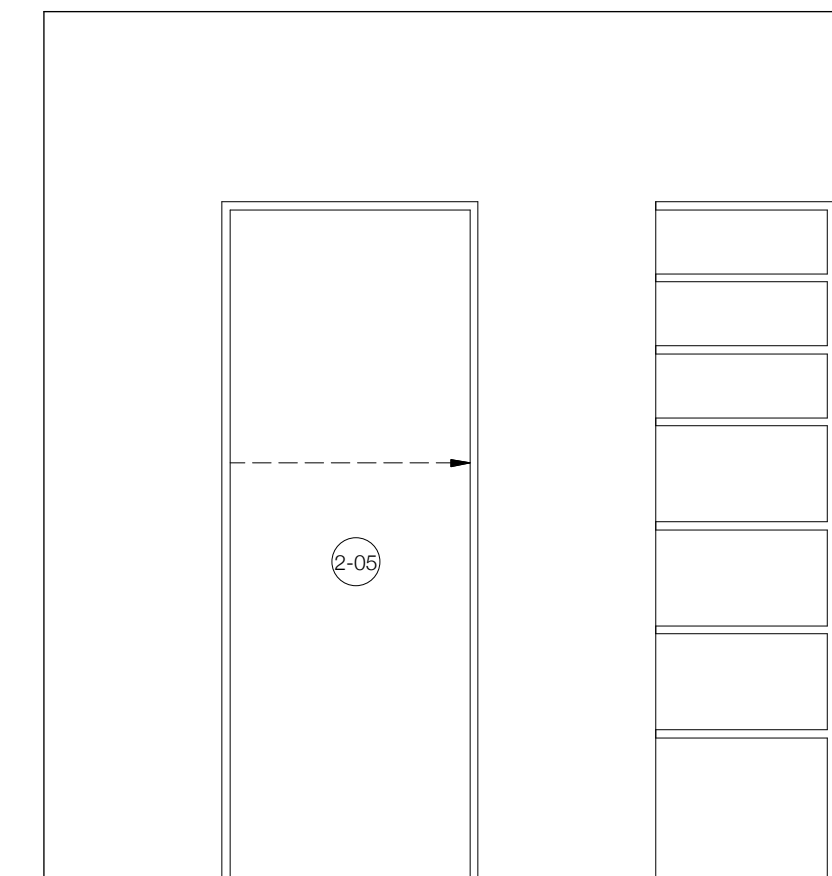
1 DRESSING/MASTER BATHROOM PLAN
Scale: 1/2" = 1'-0"



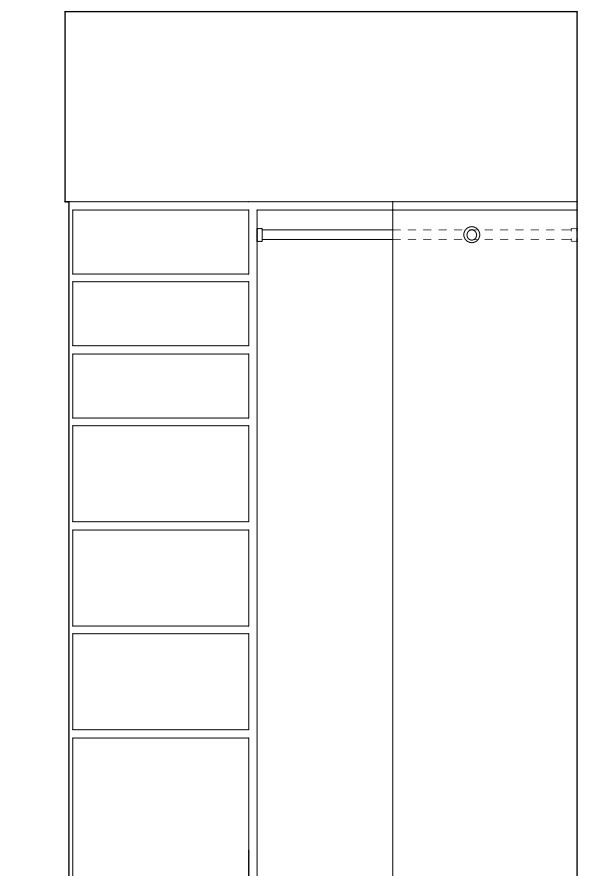
13 2ND FL DRESSING ROOM ELEVATION
Scale: 1/2" = 1'-0"



14 2ND FL DRESSING ROOM ELEVATION
Scale: 1/2" = 1'-0"



13 2ND FL DRESSING ROOM ELEVATION
Scale: 1/2" = 1'-0"



14 2ND FL DRESSING ROOM ELEVATION
Scale: 1/2" = 1'-0"

project:
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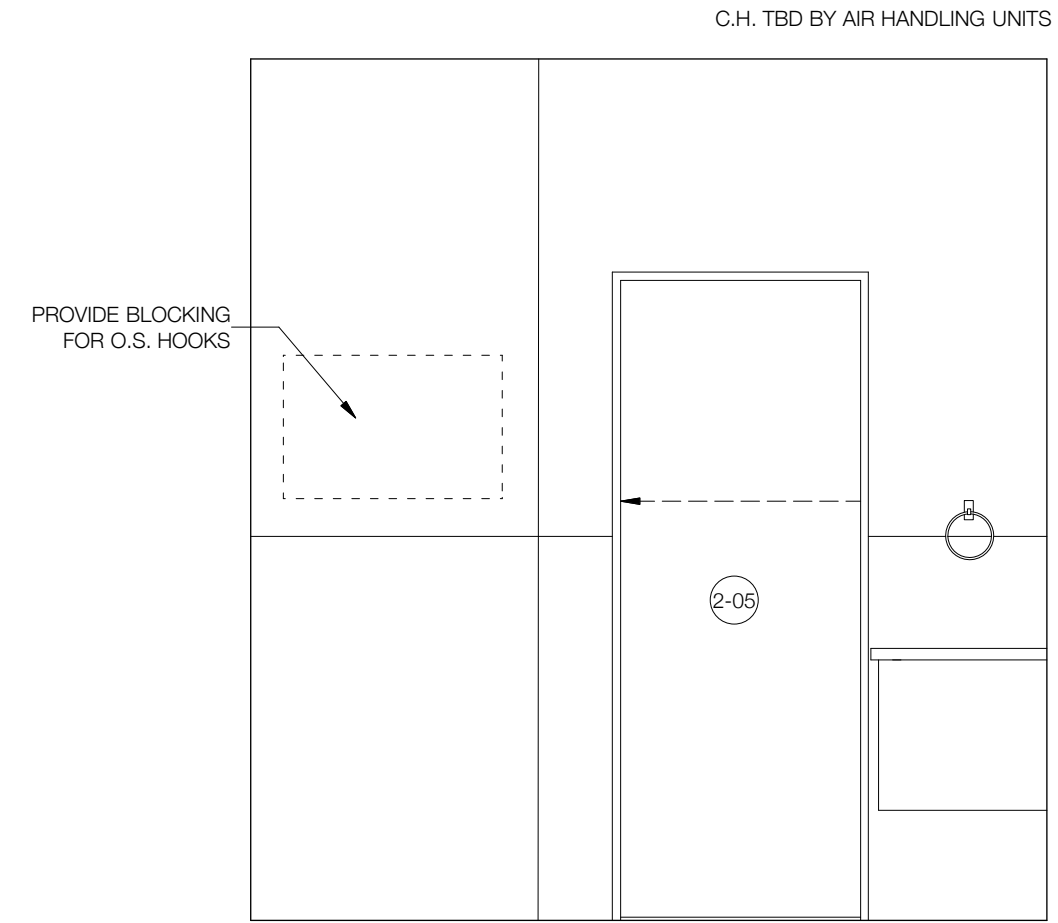
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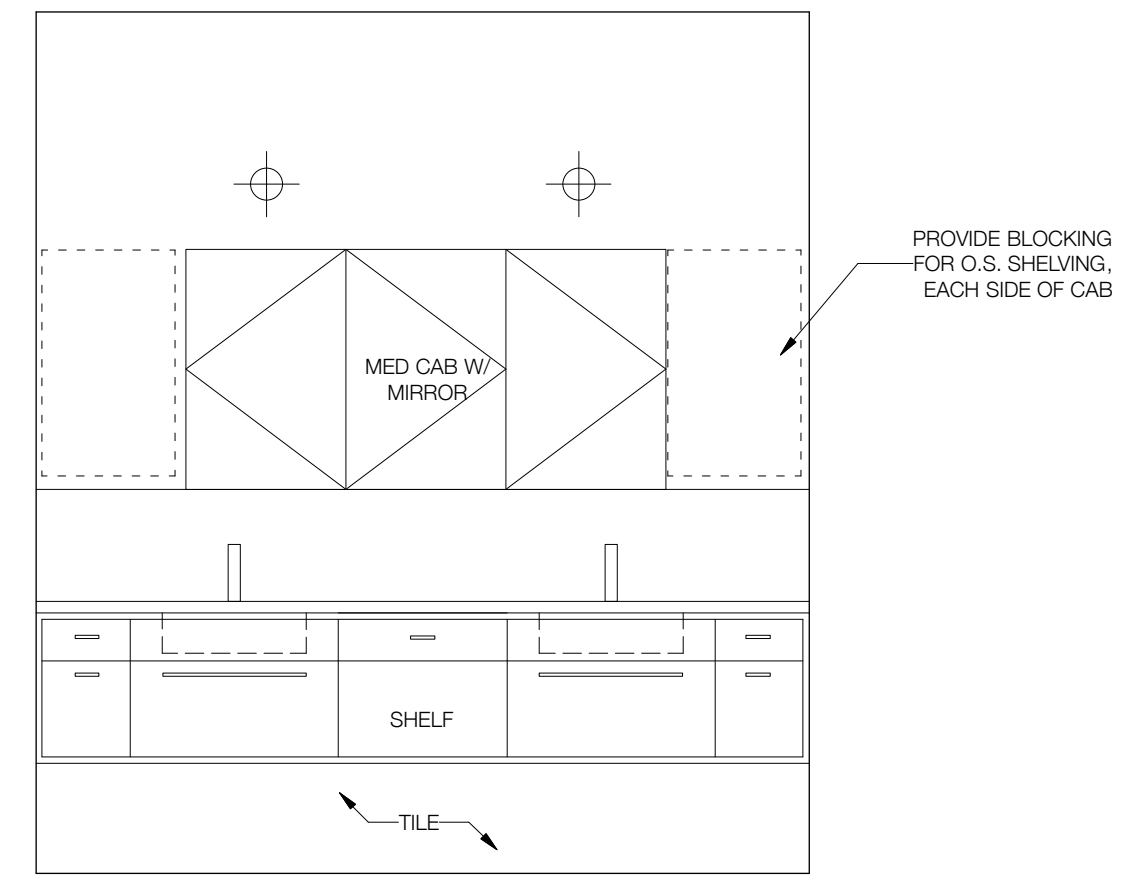
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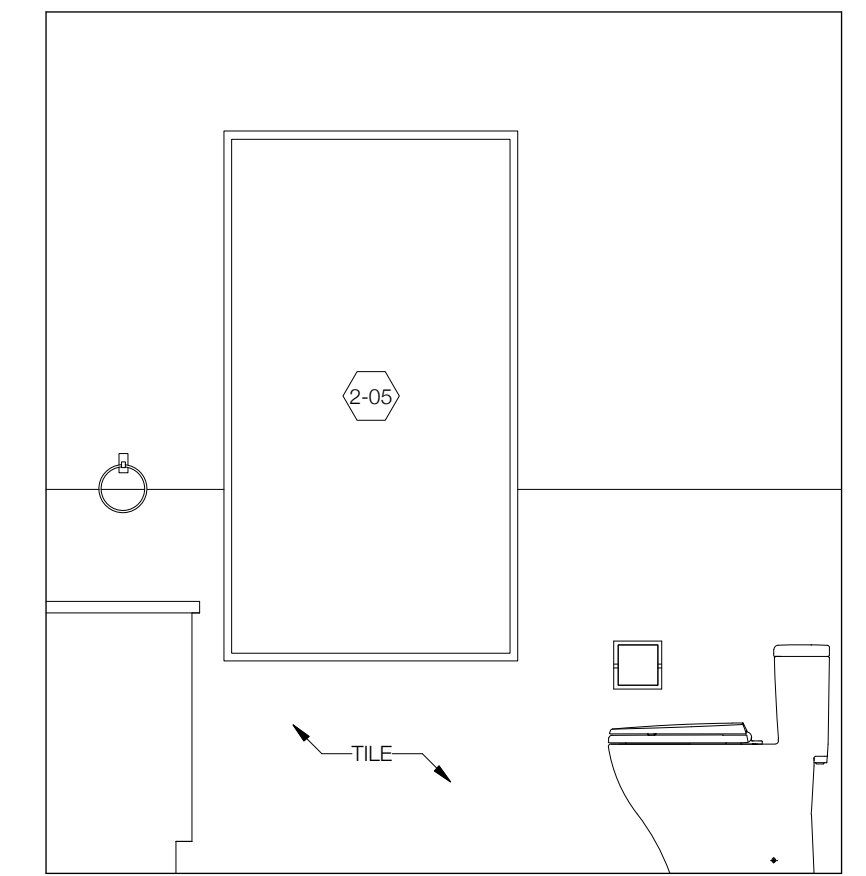
Detail Plan &
Elevations



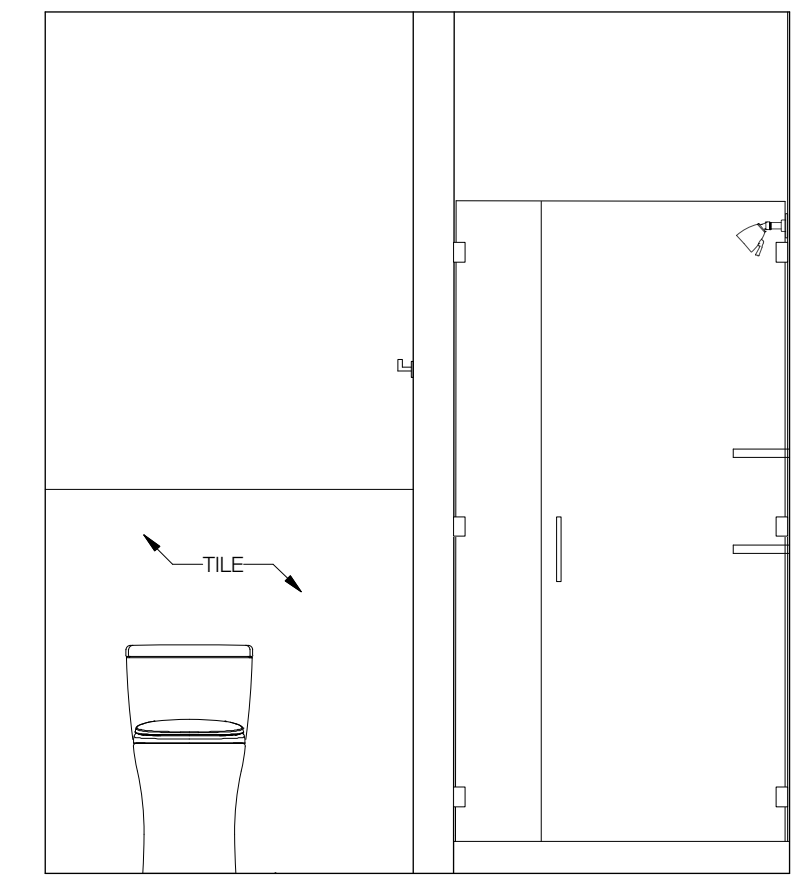
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Scale: 1/2" = 1'-0"



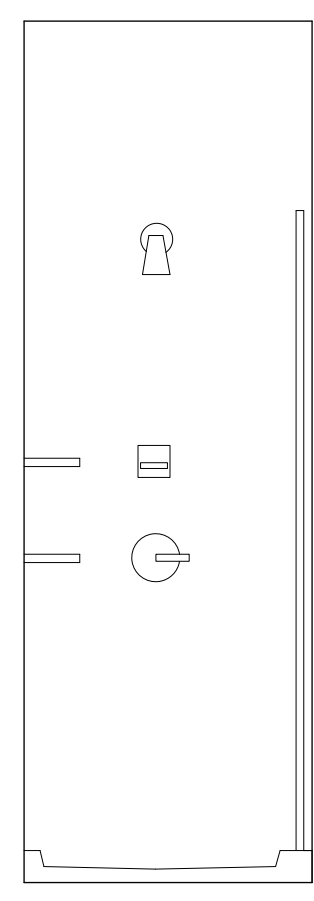
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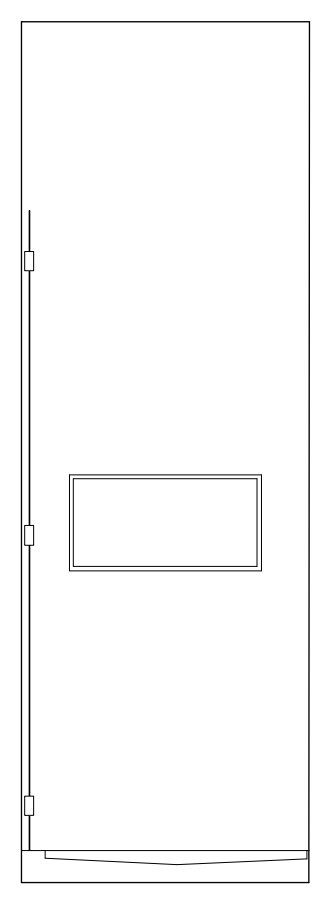
MASTER BATHROOM ELEVATION
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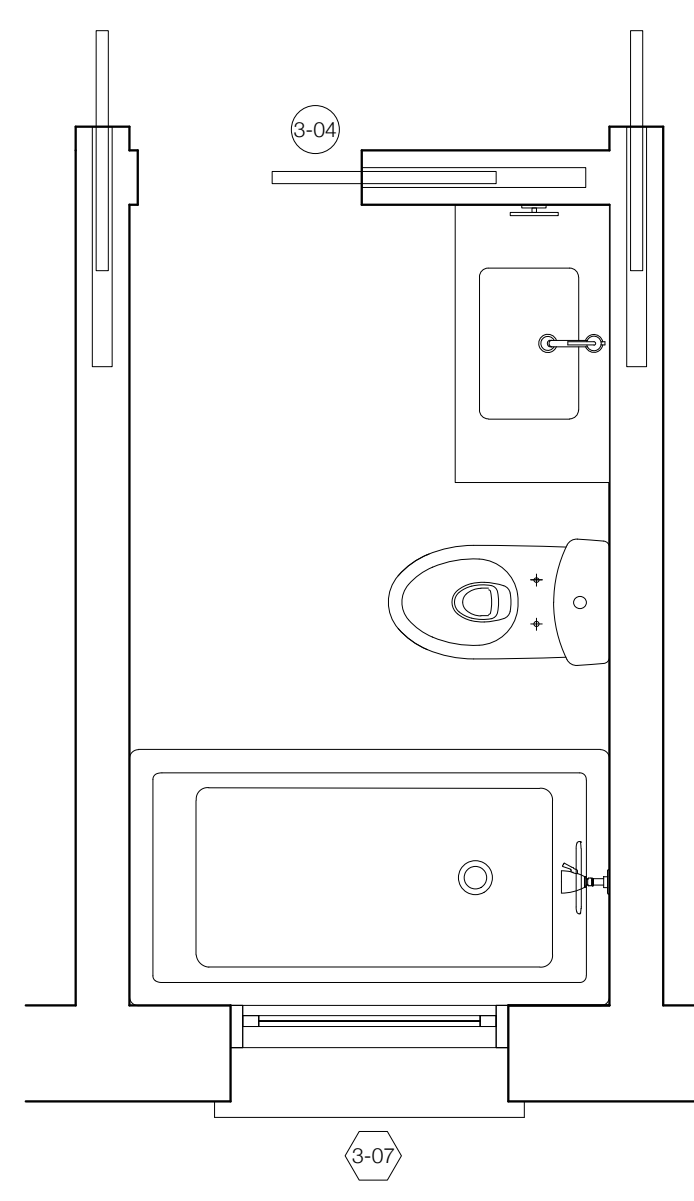
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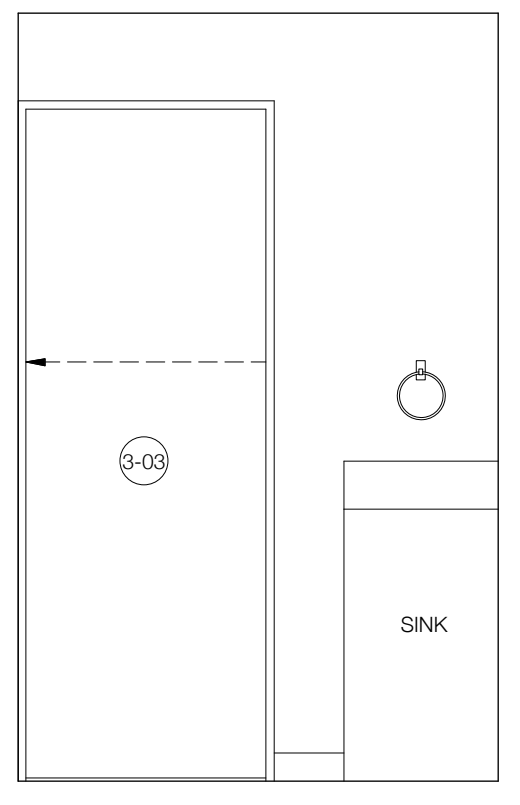
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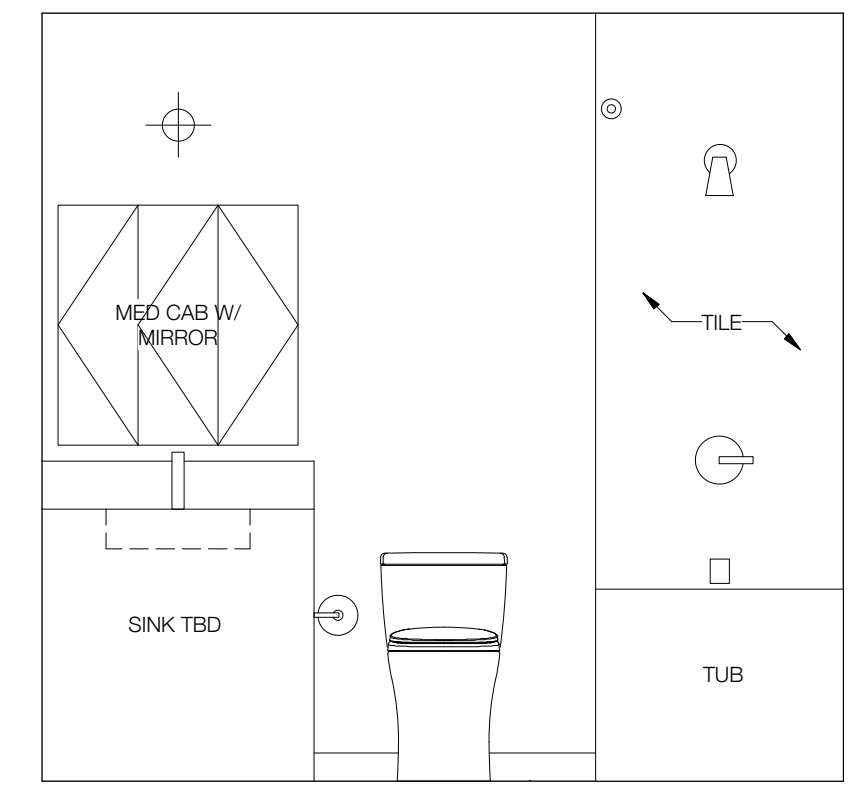
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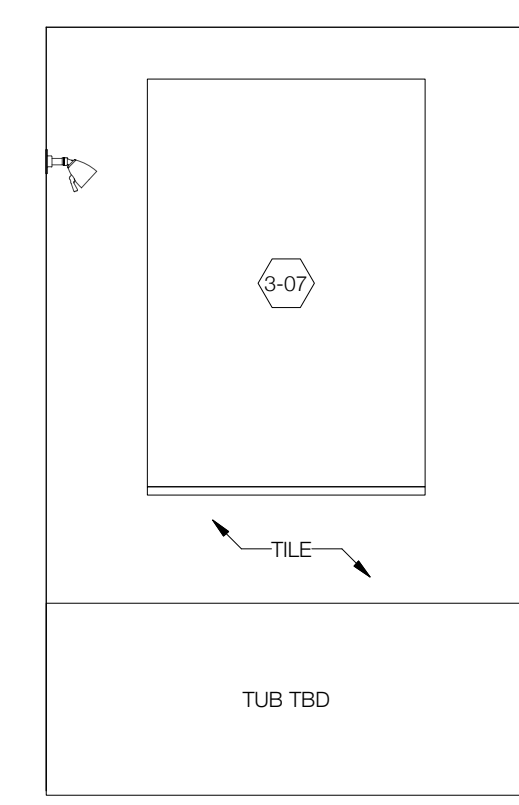
6 THIRD FL BATHROOM PLAN
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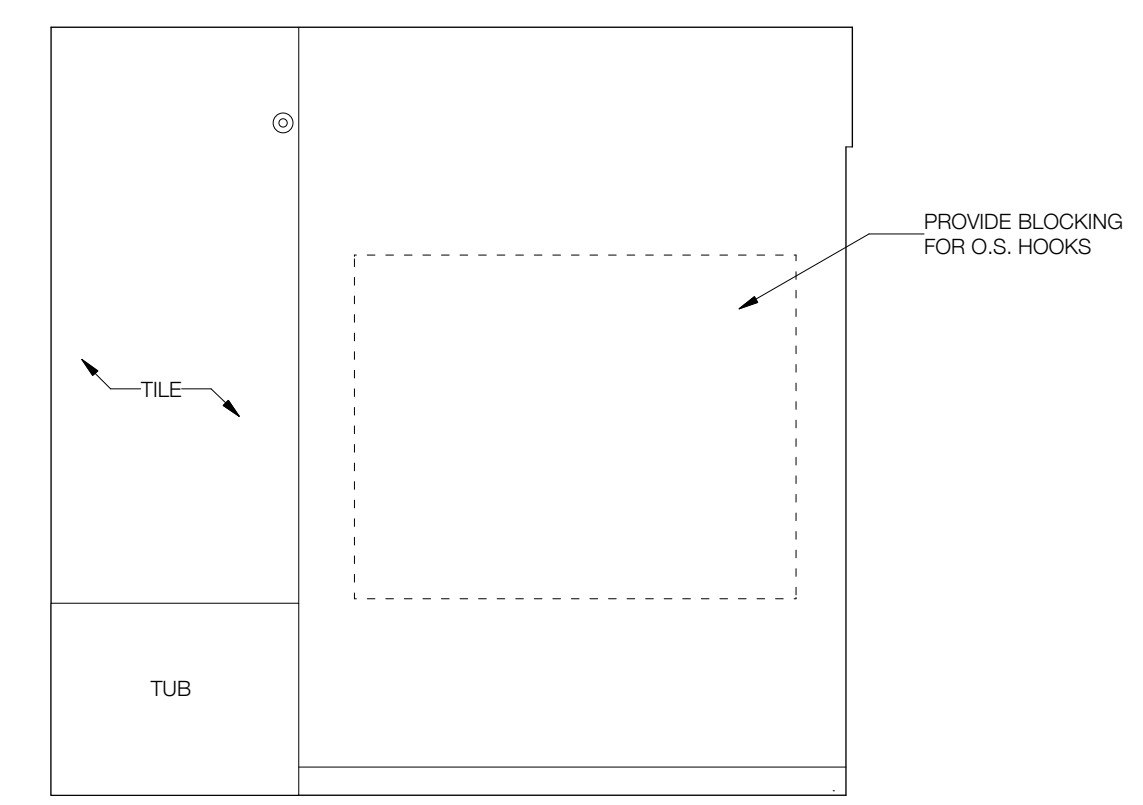
7 THIRD FL BATHROOM ELEVATION
Scale: 1/2" = 1'-0"



8 THIRD FL BATHROOM ELEVATION
Scale: 1/2" = 1'-0"

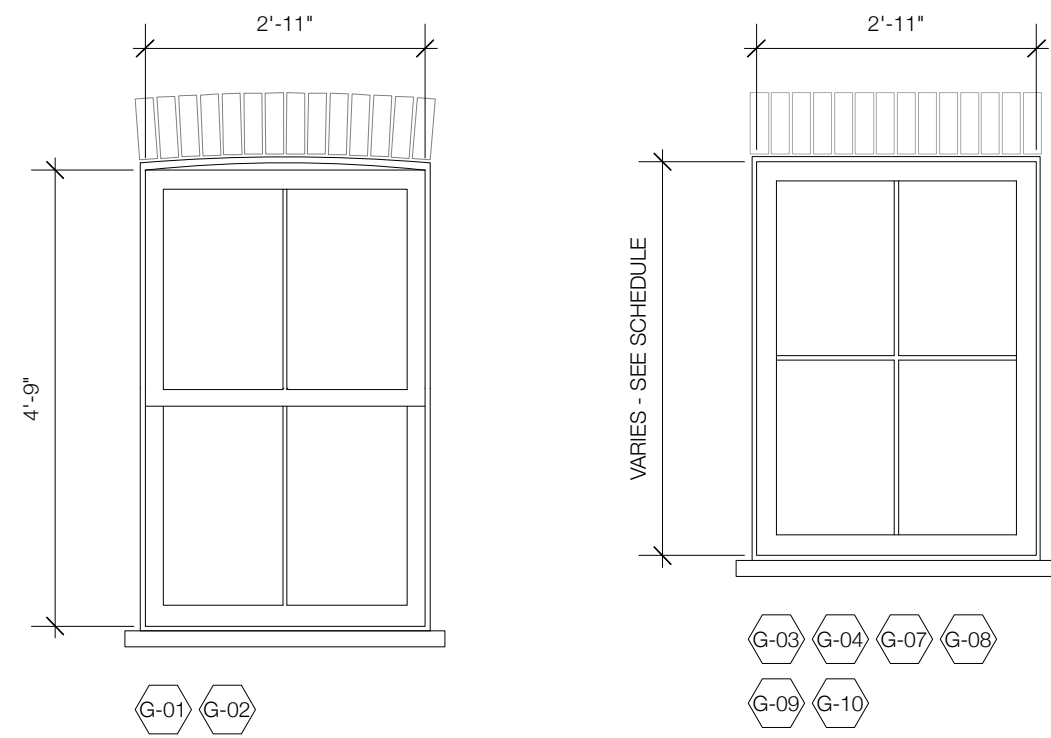


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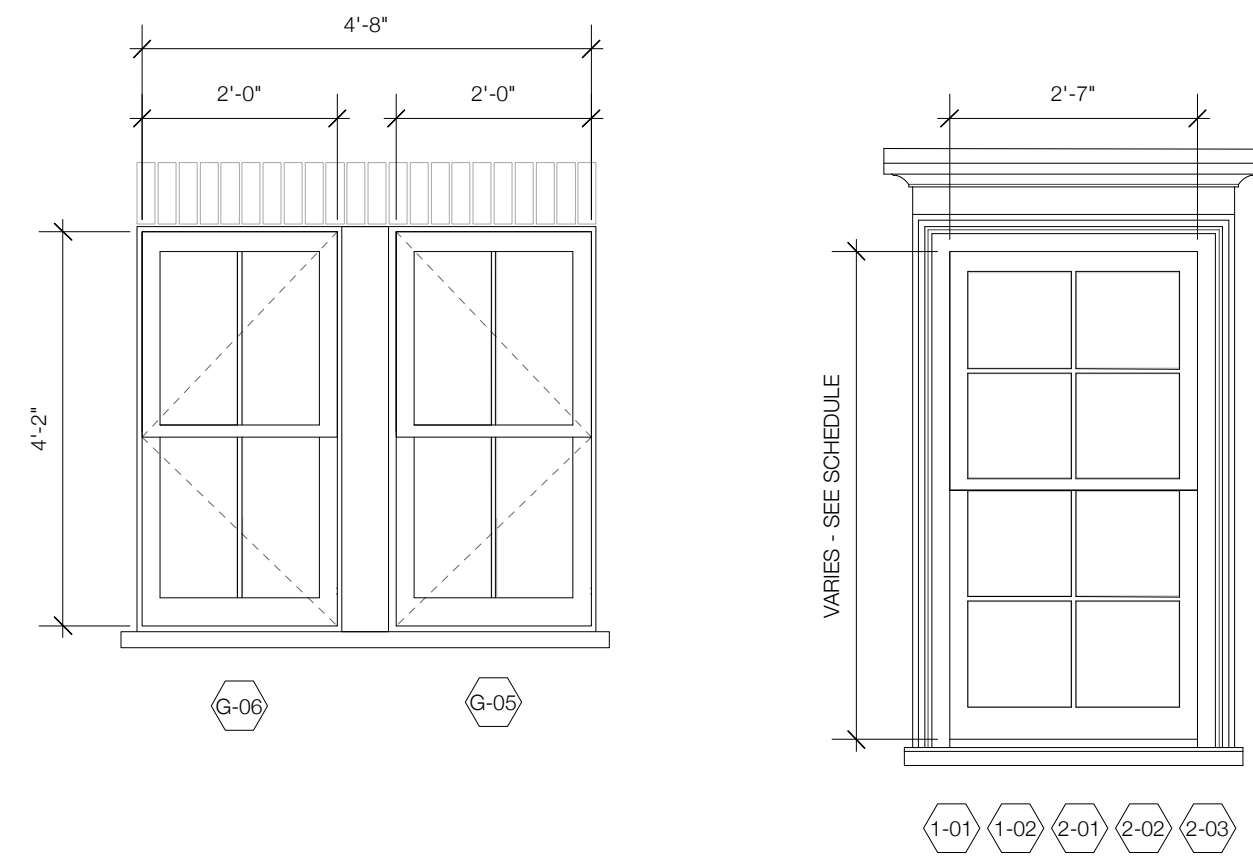


10 THIRD FL BATHROOM ELEVATION
Scale: 1/2" = 1'-0"

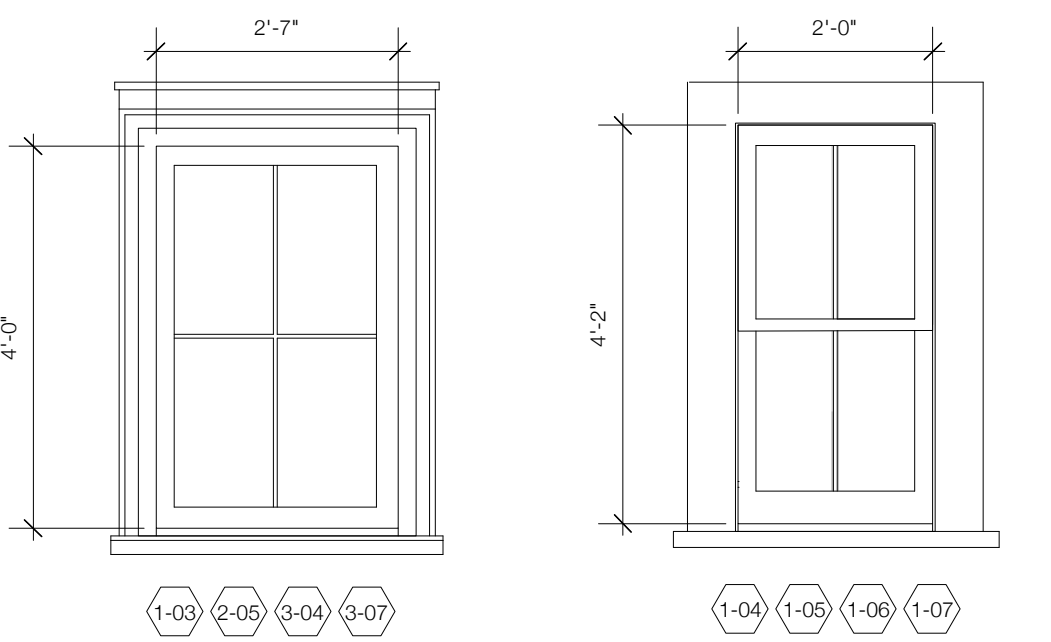
DRAWING NOTES
1. SEE ELEVATIONS FOR WINDOW SWING DIRECTION



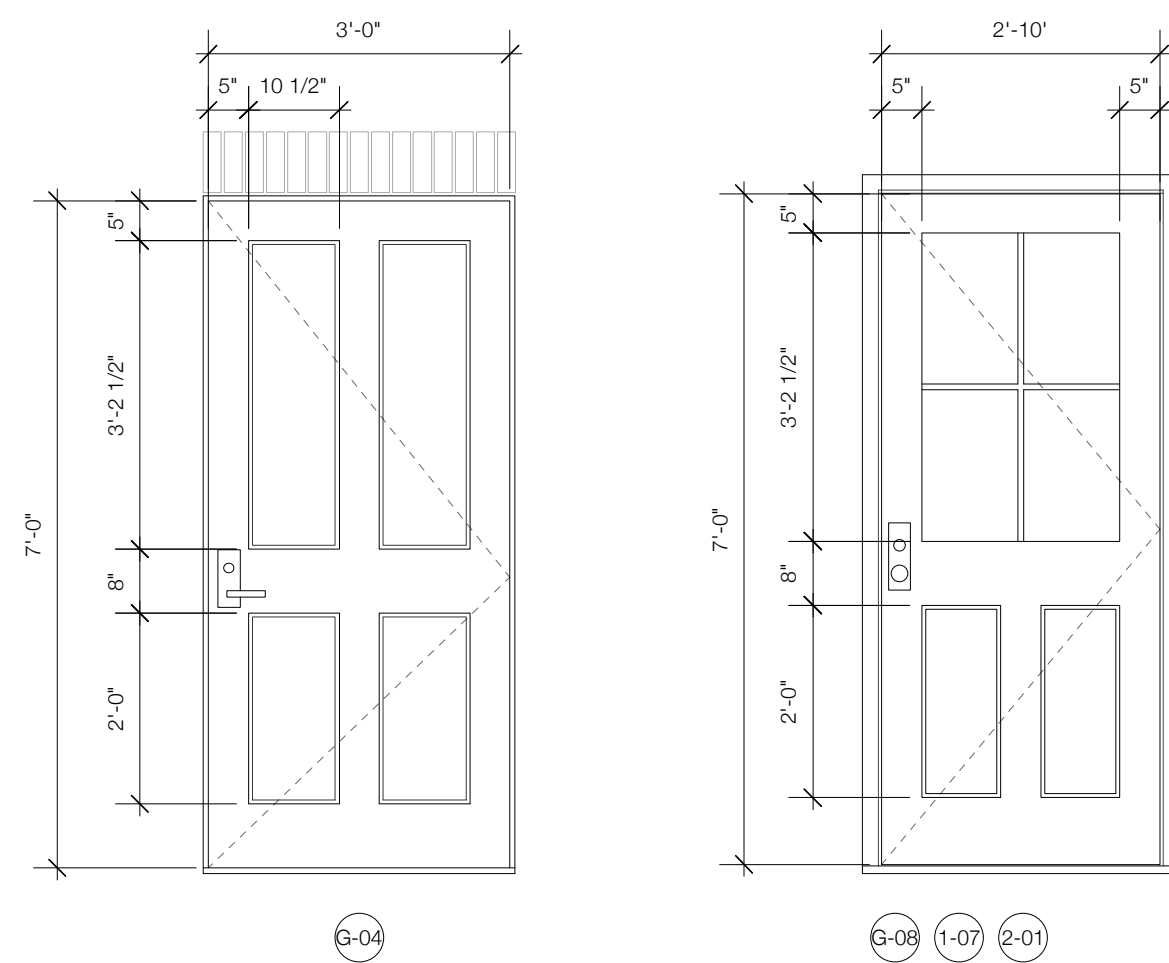
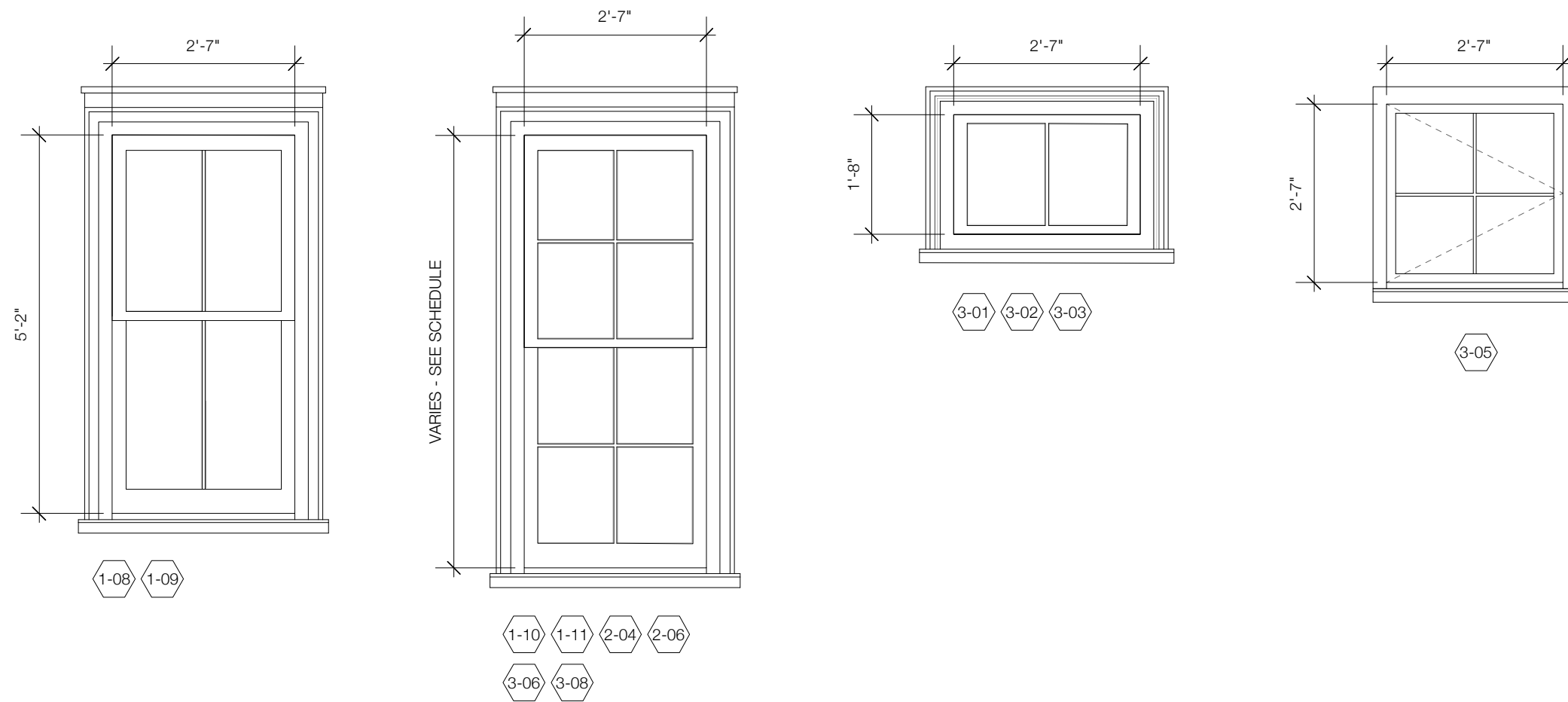
1 WINDOW TYPE A - GARDEN APARTMENT
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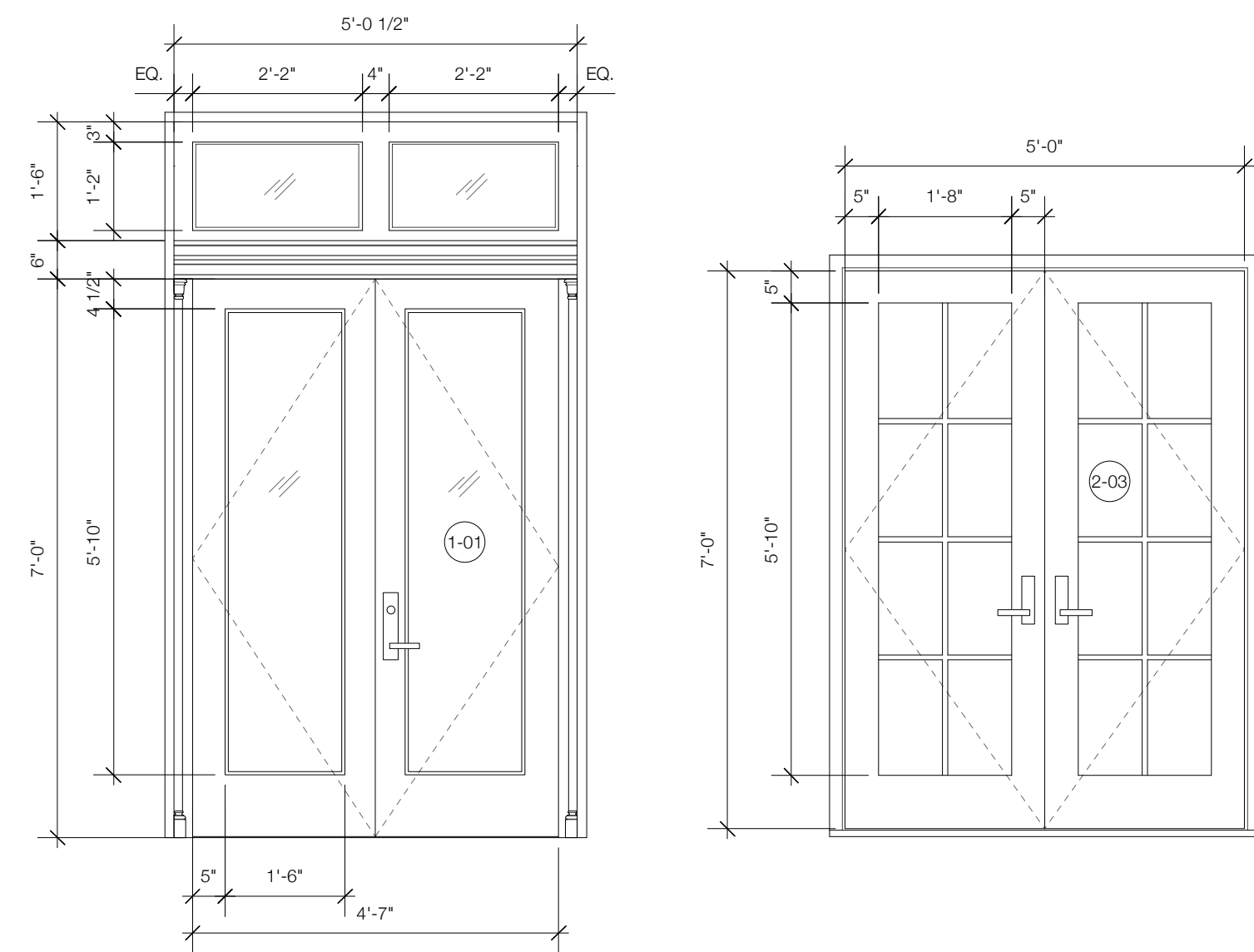
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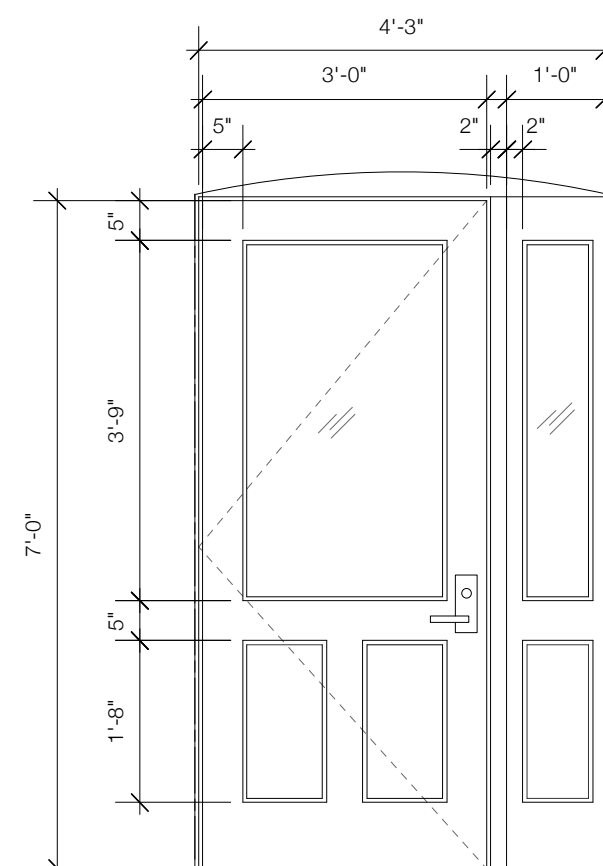
3 WINDOW TYPE A - UPPER FLOORS
Scale: 1/2" = 1'-0"



4 DOOR TYPE A1
Scale: 1/2" = 1'-0"



5 DOOR TYPE A2
Scale: 1/2" = 1'-0"



6 DOOR TYPE A3
Scale: 1/2" = 1'-0"

Window Schedule

Wdw #	Location	Type	Material	Window Size		Rough Opening		Manuf.	Model #	Glazing	Hardware	Egress	Notes
				Height	Width	Height	Width						
Garden Apartment													
G-01	Living/Dining Room	A	Wood Clad	4'-9"	2'-11"			Zola		Triple	Standard		
G-02	Living/Dining Room	A	Wood Clad	4'-9"	2'-11"			Zola		Triple	Standard		
G-03	Kitchen	A	Wood Clad	3'-6"	2'-11"			Zola		Triple	Standard		
G-04	Bath	A	Wood Clad	3'-6"	2'-11"			Zola		Triple	Standard		
G-05	Mech/Work Room	A	Wood Clad	4'-2"	2'-0"			Zola		Triple	Standard		
G-06	Mech/Work Room	A	Wood Clad	4'-2"	2'-0"			Zola		Triple	Standard		
G-07	Mech/Work Room	A	Wood Clad	4'-2"	2'-11"			Zola		Triple	Standard		
G-08	Bedroom	A	Wood Clad	4'-2"	2'-11"			Zola		Triple	Standard	Yes	
G-09	Living/Dining Room	A	Wood Clad	3'-6"	2'-11"			Zola		Triple	Standard		
G-10	Living/Dining Room	A	Wood Clad	3'-6"	2'-11"			Zola		Triple	Standard		
G-11	Entry Stoop	C	Wood	2'-3"	1'-10"			By Others		Single Tempered	N/A		
First Floor													
1-01	Living Room	B	Wood	7'-2"	2'-7"			Zola		Triple	Standard		
1-02	Living Room	B	Wood	7'-2"	2'-7"			Zola		Triple	Standard		
1-03	W.C.	A	Wood Clad	4'-0"	2'-7"			Zola		Triple	Standard		
1-04	Kitchen	A	Wood Clad	4'-2"	2'-0"			Zola		Triple	Standard		
1-05	Kitchen	A	Wood Clad	4'-2"	2'-0"			Zola		Triple	Standard		
1-06	Kitchen	A	Wood Clad	4'-2"	2'-0"			Zola		Triple	Standard		
1-07	Kitchen	A	Wood Clad	4'-2"	2'-0"			Zola		Triple	Standard		
1-08	Kitchen	A	Wood Clad	5'-2"	2'-7"			Zola		Triple	Standard		
1-09	Kitchen	A	Wood Clad	5'-2"	2'-7"			Zola		Triple	Standard		
1-10	Living Room	A	Wood Clad	6'-0"	2'-7"			Zola		Triple	Standard		
1-11	Living Room	A	Wood Clad	6'-0"	2'-7"			Zola		Triple	Standard		
Second Floor													
2-01	Office	B	Wood	5'-1"	2'-7"			Zola		Triple	Standard		
2-02	Office	B	Wood	5'-1"	2'-7"			Zola		Triple	Standard		
2-03	Hall	B	Wood	5'-1"	2'-7"			Zola		Triple	Standard		
2-04	Master Bedroom	A	Wood Clad	5'-6"	2'-7"			Zola		Triple	Standard	Yes	
2-05	Master Bath	A	Wood Clad	4'-0"	2'-7"			Zola		Triple	Standard		
2-06	Office	A	Wood Clad	5'-6"	2'-7"			Zola		Triple	Standard	Yes	
Third Floor													
3-01	Bedroom	A	Wood Clad	11'-8"	2'-7"			Zola		Triple	Standard		
3-02	Bedroom	A	Wood Clad	11'-8"	2'-7"			Zola		Triple	Standard		
3-03	Bedroom	A	Wood Clad	11'-8"	2'-7"			Zola		Triple	Standard		
3-04	Stairwell	A	Wood Clad	4'-0"	2'-7"			Zola		Triple	Standard		
3-05	Guestroom	A	Wood Clad	2'-7"	2'-7"			Zola		Triple	Standard		
3-06	Guestroom	A	Wood Clad	5'-6"	2'-7"			Zola		Triple	Standard	Yes	
3-07	Bath	A	Wood Clad	4'-0"	2'-7"			Zola		Triple	Standard		
3-08	Bedroom	A	Wood Clad	5'-6"	2'-7"			Zola		Triple	Standard	Yes	

Notes:

- GC to conform window dimensions
- All dimensions to be verified by supplier in field
- All windows to be supplied with screens
- All wood windows to be shop primed interior and exterior
- All sash lifts, locks, weight chains and pulleys to be satin nickel
- All windows to be laminated IGU's with low E coating
- All windows to have mortised security contacts

Window Types:

- A Tilt and Turn
- B Simulated Double Hung Window
- C Fixed

Submittals/ Filing:

- Shop drawings to be submitted for approval/ review prior to fabrication

Door Schedule

Door #	Location	Type	Manufacturer	Model #	Material	Unit Size		Rough Opening		Thickness	Jamb	Threshold	Hardware	Notes
						Height	Width	Height	Width					
Garden Apartment														
G-01	Entry G-01	A3	Zola		Solid Core	6'-8"	3'-0"				1	Alum.	Entry	Sidelite, 1/2 Glass
G-02	Laundry Closet G-04	C1			Primed	6'-8"	3'-6"			1-1/2"	2	N/A		Wall bumper
G-03	Bathroom G-05	A1			Primed	6'-8"	2'-6"			1-1/2"	2	N/A		Wall bumper
G-04	Mech/Work Room G-10	A1	Zola		Solid Core	6'-8"	3'-0"				1	Alum.	Entry	
G-05	Closet G-07	C2			Primed	6'-8"	5'-0"			1-1/2"	2	N/A		Wall bumper
G-06	Bedroom G-08	A1			Primed	6'-8"	2'-8"			1-1/2"	2	N/A		Wall bumper
G-07	Storage Closet G-06	C1			Primed	6'-8"	2'-6"			1-1/2"	2	N/A		
G-08	Stoop	A1	By Others		Solid Core	6'-8"	3'-0"				1	N/A	Entry	Transom, non-insulated
First Floor														
1-01	Main Entrance	A2	Zola		Solid Core	7'-0"	4'-7"				1	Alum.	Entry	Left Active, Full Glass, Transom
1-02	Entry 1-01	E	N/A		Solid Core	6'-11"	4'-7"	VIF	VIF		2	Transition	Entry	Repaired, Left Active, Transom
1-03	Coat Closet 1-02	A2			Primed	7'-0"	4'-0"			1-1/2"	2	N/A		
1-04	Water Closet 1-03	A1			Primed	7'-0"	2'-6"			1-1/2"	2	N/A		
1-05	Mudroom/Storage 1-04	B1			Primed	7'-0"	2'-8"			1-1/2"	2	N/A		
1-06	Kitchen 1-05	B1			Primed	7'-0"	2'-6"			1-1/2"	2	Transition		
1-07	Rear Entrance/Mudroom	A1	Zola		Solid Core	7'-0"	2'-10"				1	Alum.	Entry	Wall Bumper, 1/2 Glass
Second Floor														
2-01	Storage 2-08	A1	Zola		Solid Core	7'-0"	2'-10"				1	Alum.	Entry	1/2 Glass
2-02	Storage/Deck	A2	By Others		Wood	7'-0"	3'-0"			1-1/2"	2	N/A	Entry	Non-insulated
2-03	Bedroom/Deck	A2	Zola		Solid Core	7'-0"	5'-0"				1	Alum.	Entry	Full Glass
2-04	Dressing Room 2-04	B1			Primed	7'-0"	2'-6"			1-1/2"	2	N/A		
2-05	Master Bathroom 2-05	B1			Primed	7'-0"	2'-6"			1-1/2"	2	Transition		
2-06	Master Bedroom 2-03	B1			Primed	7'-0"	2'-8"			1-1/2"	2	N/A		
2-07	Office 2-06	B1			Primed	7'-0"	2'-8"			1-1/2"	2	N/A		
2-08	Laundry 2-02	B1			Primed	7'-0"	2'-8"			1-1/2"	2	Transition		
Third Floor														
3-01	Guestroom 3-01	B2			Primed	6'-8"	4'-6"			1-1/2"	2	N/A		
3-02	Closet 3-02	A2			Primed	6'-8"	4'-0"			1-1/2"	2	N/A		
3-03	Closet 3-03	A2			Primed	6'-8"	4'-0"			1-1/2"	2	N/A		
3-04	Bathroom 3-05	B1			Primed	6'-8"	2'-6"			1-1/2"	2	Transition		
3-05	Bedroom 3-06	B2			Primed	6'-8"	4'-6"			1-1/2"	2	N/A		
3-06	Closet 3-07	A2			Primed	5'-0"	3'-0"	VIF	VIF	1-1/2"	2	N/A		

Door Types

- A1 Side Hinge Swing Door
- A2 Pair of Side Hinged Swing Doors
- A3 Side Hinge Swing Door w/ Sidelite
- B1 Pocket Door
- B2 Pair of Pocket Doors
- C1 Bi-fold Door
- C2 Pair of Bi-fold Doors
- D Sliding Door
- E Salvage Original
- F Fixed Panel
- O Overhead Door

Legend

- TBD To be determined
- Alum. Aluminum by manufacturer
- N/A Not applicable/ None
- VIF Verify in Field

Jamb Types

- 1 by door manufacturer
- 2 ptd. 3/4" wood

Door Notes:

- 1 Doors in bold are exterior doors
- 2 GC to verify all door dimensions
- 3 Pocket door slabs shall be 1" larger than unit size listed

issue date:
01.21.2020

01.21.2020 ARC FILING SET
date issue/revision

architect:

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project:

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260 Liberty Street, Newburgh, NY 12550

architect's seal:

Schedules

A-60

page number 4 of 4

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