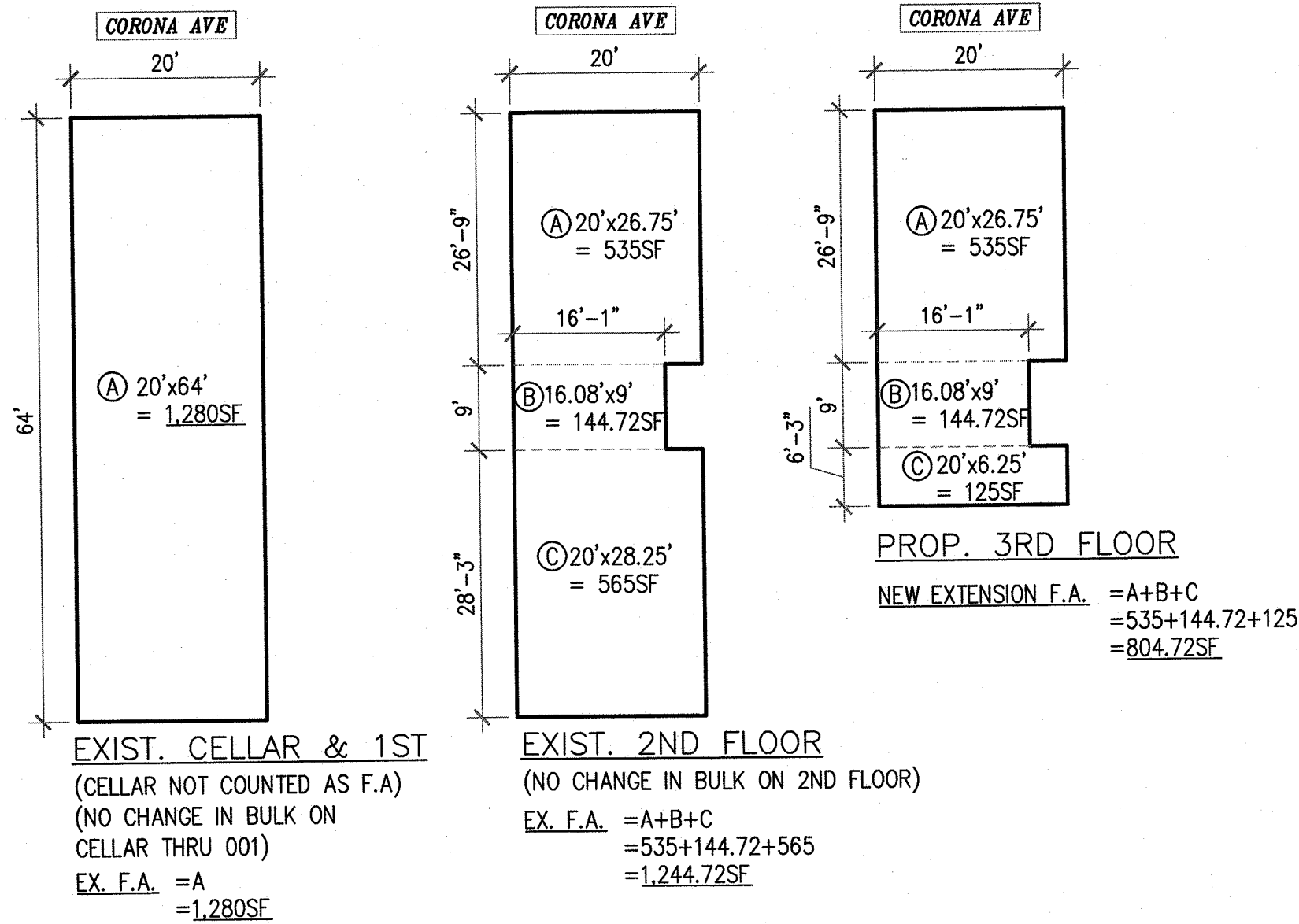


ZONING ANALYSIS				
90-41 CORONA AVENUE, ELMHURST, NY-11373				
BLOCK: 1586		LOT: 37		ZONE: R6B (C2-3 OVERLAY)
FIRE DIST.: YES		USE GROUP: 2 (EXIST. 1 FAMILY) & 4 (CHURCH)		ZONING MAP: 9d
LOT AREA		20' x 85' = 1,700SF		CONST. CLASS: IIB
FLOOR AREAS & F.A.R.	MAX F.A.R. (RES)	R6B	2.00	ZR 23-153
	MAX F.A.R. (C.F.)	C2-3	2.00	ZR 33-121
	MAX PERMITTED F.A.	1,700 x 2.00 = 3,400SF		ZR 35-31
	FLOOR	EXIST. ZONING F.A.	PROPOSED ZONING F.A. (RESIDENTIAL)	TOTAL GROSS F.A. PER FLOOR
	CELLAR		1280.00 SF (NOT F.A.)	1280.00 SF
	1ST FL.		1280.00 SF	1280.00 SF
	2ND FL.	1244.72 SF		1244.72 SF
	3RD FL.		804.72 SF	804.72 SF
	TOTAL	1244.72 SF	1280 SF	4609.44 SF
	EXIST. RES. ZONING F.A.	1,244.72 SF		
F.A.R.	EXIST. C.F. ZONING F.A.	1,280 SF		
	PROP. RES. ZONING F.A.	1244.72+804.72=2049.44 SF		OK
	PROP. C.F. ZONING F.A.	1,280 SF		OK
	EXIST. RES. F.A.R.	1244.72 / 1,700 = 0.73	TOTAL EX. F.A.R.	0.73+0.75=1.48
L.C.	EXIST. C.F. F.A.R.	1280 / 1,700 = 0.75		
	PROPOSED RES. F.A.R.	2049.44 / 1,700 = 1.21	TOTAL PROP. F.A.R.	1.21+0.75=1.96
	PROPOSED C.F. F.A.R.	1280 / 1,700 = 0.75		ZR 35-31
DENSITY	MAX. ALLOWABLE L.C.	60%		ZR 23-153
	PROVIDED EXIST. L.C.	1,280 (BLDG) / 1,700 x 100 = 75% > 60%		EX. NON-COMPLYING
YARDS	FACTOR FOR DWELLING UNIT	2,049.44 / 680 = 3 D.U.		ZR 23-22
	EXIST. NUMBER OF DWELLING UNITS	1 D.U. < 3 D.U.		OK
	MIN. REQUIRED FRONT YARD	NONE		N/A
	PROVIDED EXIST. FRONT YARD	NONE		OK
HEIGHTS & SETBACKS	MIN. REQUIRED SIDE YARD	NONE OR MIN. 8' IF PROVIDED		ZR 23-462(c)
	PROVIDED EXIST. SIDE YARD	NONE		OK
	MIN. REQUIRED REAR YARD	30'-0"		ZR 23-47
	PROVIDED EXIST. REAR YARD	21'-0"		EX. NON-COMPLYING
PARKING	MIN. BASE HEIGHT	30FT		ZR 23-662(a)
	MAX. BASE HEIGHT	40FT		OK
	PROP. BASE HEIGHT	31'-11"		OK
	MAX. BUILDING HEIGHT	50FT		ZR 23-662(a)
STREET TREE & PLANTING STRIP	PROP. BUILDING HEIGHT	31'-11"		OK
	REQ'D PARKING	MIN. 1 PER D.U. = 1 MIN.		ZR 25-22(a)
	PROVIDED PARKING	NONE (WAIVER FOR MAX. 5 SPACES)		ZR 25-261
	REQ'D PARKING	NONE REQUIRED FOR HOUSE OF WORSHIP		ZR 36-21
PARKING	PROVIDED PARKING	NONE		OK
	REQ'D PARKING	LESS THAN 10 DWELLING UNITS - WAIVED		ZR 25-811
	PROVIDED PARKING	NONE		OK
	REQ'D PARKING	NONE FOR HOUSE OF WORSHIP		ZR 36-711
STREET TREE & PLANTING STRIP	PROVIDED PARKING	NONE		OK
	STREET TREE & PLANTING STRIP FOR 1 FAM. RES.	NONE REQ'D		ZR 23-03
	SPECIAL PURPOSE DISTRICT: NO			ZR 23-04
	PURSUANT TO QUALITY HOUSING: NO			OK
STREET TREE & PLANTING STRIP	CONVERSION TO RESIDENTIAL: NO			OK
	DETACHED GARAGE >400SF: NO			OK
	PROVIDED STREET TREE	1 EXIST. TREE FRONTING THE PROPERTY		OK
	PROVIDED PLANTING STRIP	EXISTING, NO CHANGE.		OK

NYC BUILDING DEPT. PLUMBING NOTE

- THE PLUMBING SYSTEM AND ALL ASSOCIATED EQUIPMENT WILL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH FULL EQUIPMENTS OF THE NEW YORK CITY 2014 PLUMBING CODE.
- THE SANITARY SYSTEM SHALL BE PROVIDED IN FULL ACCORDANCE WITH THE GENERAL PROVISION OF SECTION PC301.
- THE MATERIAL USED IN THE PLUMBING SYSTEM WILL BE FULL ACCORDANCE WITH SECTION PC302 & PC303.
- EQUIPMENT HOOK-UP AND THE JOINING WILL BE FULL ACCORDANCE WITH SECTION PC605 & PC705.
- THE INSTALLATION OF FIXTURES WILL BE FULL ACCORDANCE WITH CHAPTER 4.
- TRAPS FOR FIXTURES AND DRAIN LINES WILL BE PROVIDED AND CLEAN OUTS INSTALLED IN FULL ACCORDANCE WITH SECTION PC412, PC708 & PC CHAPTER 10.
- VERTICAL AND HORIZONTAL PIPING WILL BE HUNG AND SUPPORTED AS DIRECTED IN SPECIFICATIONS AND WITH THE FULL ACCORDANCE WITH SECTION PC308.
- THE WATER SUPPLY SYSTEM OF THE SUBJECT BUILDING SHALL BE INSTALLED AND MAINTAINED IN FULL ACCORDANCE WITH PC CHAPTER 6.
- THE SANITARY SYSTEM DRAINAGE SYSTEM WILL BE SIZED AND INSTALLED IN FULL ACCORDANCE WITH PC CHAPTER 7.
- THE VENT PIPING FOR THE SANITARY DRAINAGE SYSTEM OF THE SUBJECT BUILDING WILL BE INSTALLED IN FULL ACCORDANCE WITH SECTION PC702 & PC CHAPTER 9.
- GAS PIPING AND EQUIPMENT WILL BE INSTALLED IN FULL ACCORDANCE WITH THE NEW YORK CITY FUEL GAS CODE.
- ALL TRENCH SHALL BE DONE IN ACCORDANCE WITH EQUIPMENT OF SECTION PC306.
- RAT PROOFING SHALL BE IN ACCORDANCE WITH SECTION PC304.
- TEMPORARY TOILET FACILITIES SHALL BE PROVIDED FOR WORKMAN WITH PER SECTION PC311.

FLOOR AREA COMPUTATION



ENERGY ANALYSIS FOR ALTERATION-CLIMATE ZONE 4		
ITEM DESCRIPTION	PROPOSED DESIGN VALUE	CODE PRESCRIPTIVE VALUE
INSTALL NON-LOAD BEARING PARTITION	N/A	N/A
INSTALL EXTERIOR CONC. STEPS	N/A	N/A
LIGHTING EQUIPMENT	MIN. 75% HIGH-EFFICACY LAMPS EXCLUDING LOW-VOLTAGE LIGHTING	MIN. 75% OF PERMANENT INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS EXCEPT LOW-VOLTAGE LIGHTING (SECTION R404.1)
THERMOSTAT CONTROL	ONE PER ZONE	MIN. 1 FOR EACH ZONE W. SUPPLY OF HEATING/COOLING (LOCATION TBD BY CONTRACTOR) (SECTION C403.2.4.1)
INSTALL WINDOW	0.45 U-FACTOR	MIN. 0.45 U-FACTOR (TABLE C402.4)
INSTALL MASS WALL	TOTAL 12.45ci @ SIDES & REAR R-11.4ci @ FRONT	MIN. R-11.4ci (TABLE C402.1.3)
INSTALL CEILING/ ROOF	R-11.4ci + R-20.5ci = TOTAL R-31.9ci	MIN. R-30ci (TABLE C402.1.3)
INSTALL SKYLIGHT	0.50 U-FACTOR	MIN 0.50 U-FACTOR (TABLE C402.4)
INSTALL DUCT	R-8 INSULATION	MIN R-8 INSULATION (C403.2.9)
WARM-AIR FURNACE, GAS FIRED	MAX. 132,000 BTU/HR, 80% AFUE	<225,000 BTU/HR, 78% AFUE (TABLE C403.2.3(4))

NYCEEC STATEMENT:

"TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2016 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK CITY."

TR2, TR3 WAIVER NOTES:

"THE WORK MEETS THE EXEMPTION CRITERIA OF BUILDINGS BULLETIN 2009-026, ITEM IV, AND I HEREBY ELECT TO WAIVE THE REQUIREMENT OF CONCRETE TESTING AND OF THE TR2 FORM AN/OR TR3 FORM."

THE WORK MEETS ALL OF THE FOLLOWING CRITERIA:

- THE TOTAL STRUCTURAL CONCRETE SPECIFIED FOR THE PROJECT IS 0.7 YD³ WHICH IS LESS THAN 50 CUBIC YARDS (38 M³);
- THE STRUCTURAL DESIGN OF THE CONCRETE IS BASED ON A SPECIFIED COMPRESSIVE STRENGTH, F_c=2,500 POUNDS PER SQUARE INCH (PSI) (17.2 MPA); AND
- THE CONCRETE TO BE PLACED IS SPECIFIED TO HAVE A COMPRESSIVE STRENGTH OF AT LEAST 4,000 PSI (28 MPA).

CONCRETE CALCULATION:

CONC STEP:
Steps Landing: 3.7ft x 4.0ft x 0.3ft/27 = 0.2 Cu. Yd.
Steps (approx.): 3.7ft x 4.0ft x 1.0ft/27 = 0.5 Cu. Yd.

SUBTOTAL:
0.2+0.5= 0.7 Cu. Yd < 50 Cu. Yd. --- Waived

SCOPE OF WORK

VERTICAL EXTENSION OF AN EXIST. (1) FAMILY DWELLING & (1) CHURCH, 2 STORY BRICK BUILDING WITH INTERIOR RENOVATION & PLUMBING WORK. OBTAIN A NEW CERTIFICATE OF OCCUPANCY.

TR1 SPECIAL INSPECTION ITEMS

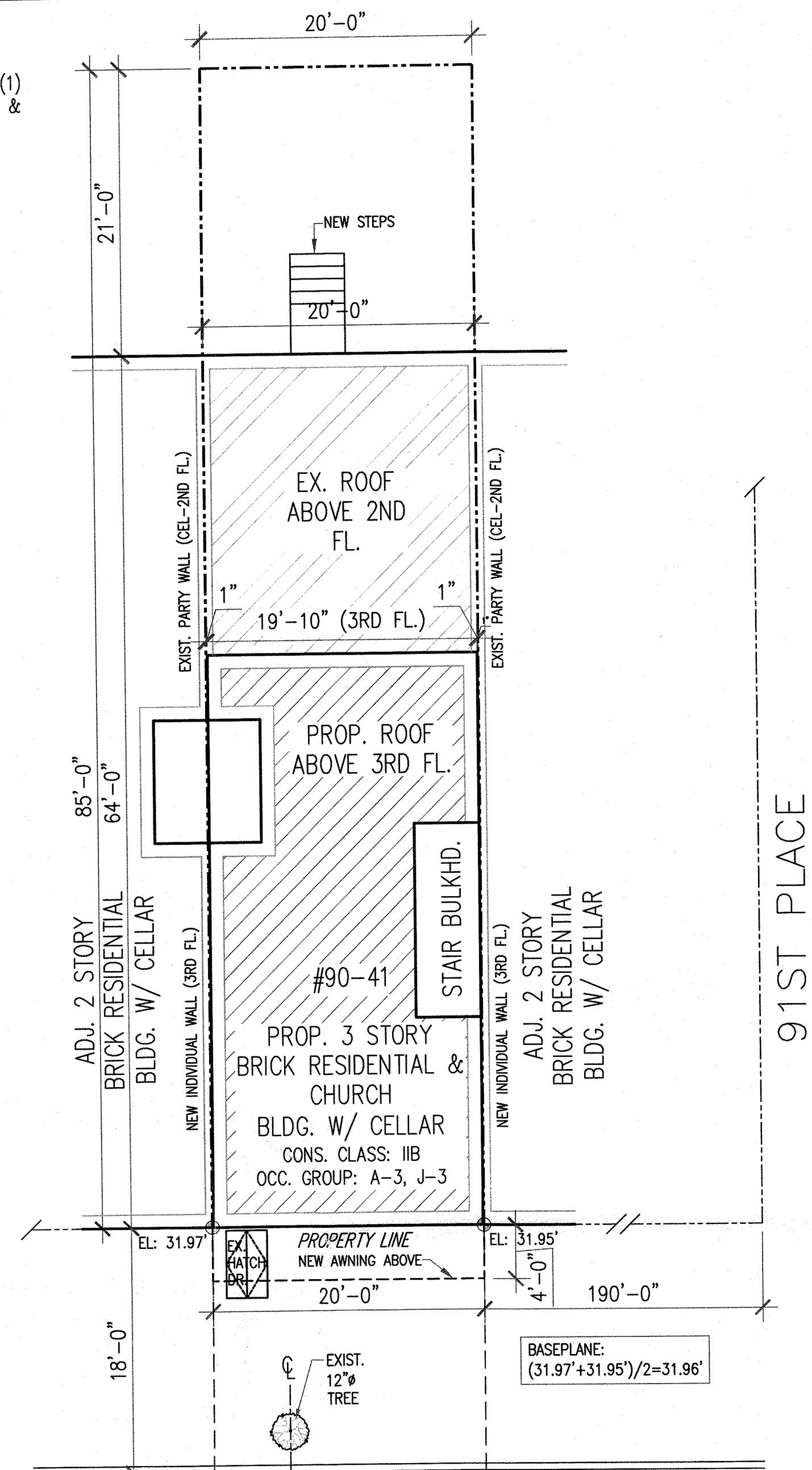
- CONCRETE CAST-IN-PLACE
- MASONRY
- MECHANICAL SYSTEMS
- HEATING SYSTEMS
- FIRE-RESISTANT PENETRATIONS & JOINTS

TR1 PROGRESS INSPECTION ITEMS

- ENERGY CODE COMPLIANCE INSPECTION
- FIRE-RESISTANCE RATED CONSTRUCTION

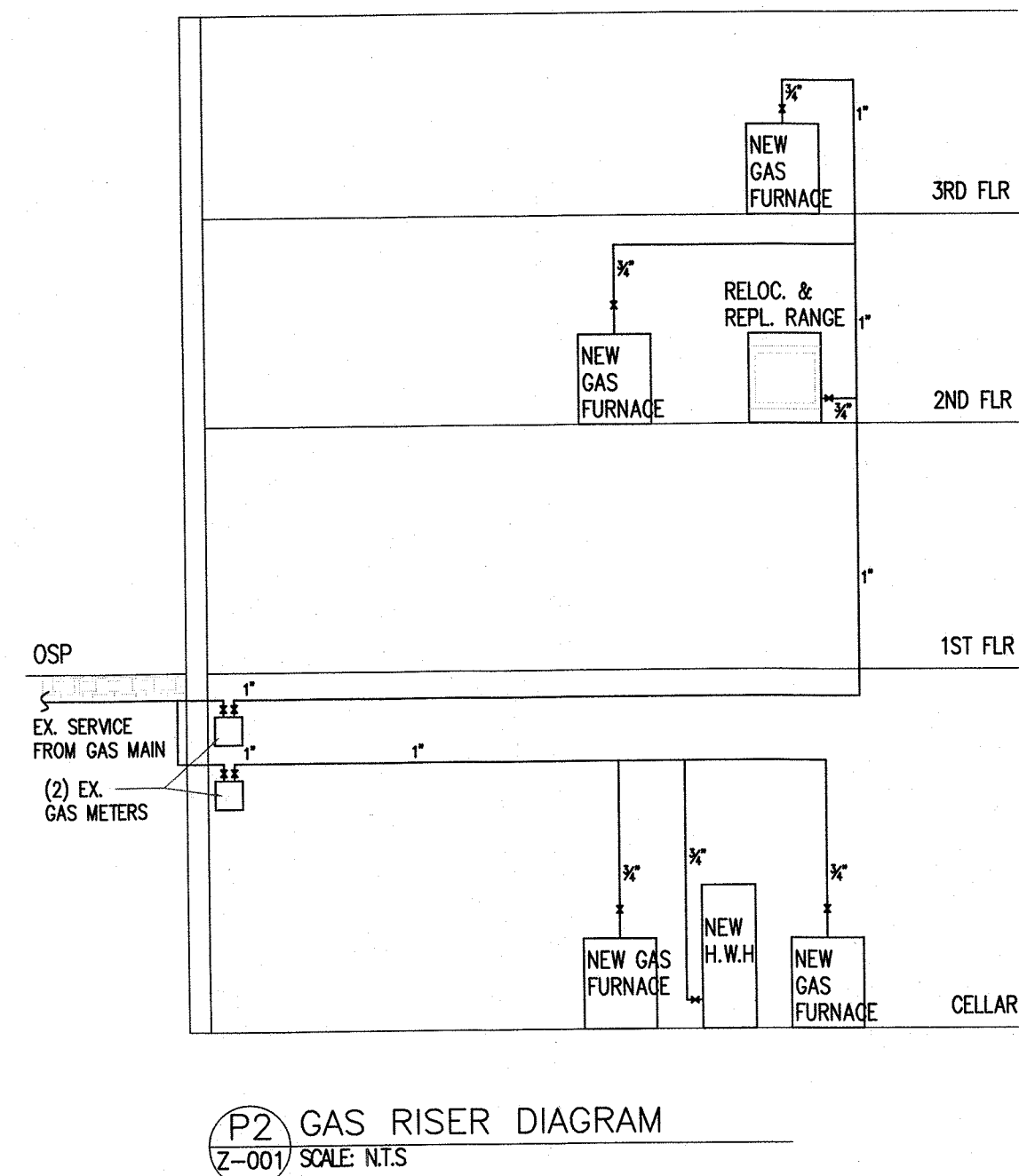
TR8 PROGRESS INSPECTION ITEMS

- INSULATION PLACEMENT & R-VALUES
- FENESTRATION U-FACTOR & PRODUCT RATING
- FENESTRATION AIR LEAKAGE
- FENESTRATION AREAS
- AIR SEALING & INSULATION - VISUAL
- HVAC & SERVICE WATER HEATING EQUIPMENT
- HVAC & SERVICE WATER HEATING SYSTEM CONTROLS
- HVAC INSULATION & SEALING
- INTERIOR LIGHTING POWER
- MAINTENANCE INFORMATION



BLOCK: 1586
LOT: 37
ZONE: R6b(C2-3)
MAP: 9d

CORONA AVENUE
(80' WIDE)
PLOT PLAN
SCALE: 1/8"=1'-0"



P2 GAS RISER DIAGRAM
Z-001 SCALE: NTS

NOTE: PROPERTY WILL NOT BE OCCUPIED DURING CONSTRUCTION

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90-41 CORONA AVENUE,
ELMHURST, NY-11373

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DRAWING:
PLOT PLAN, ZONING ANALYSIS
& ENERGY ANALYSIS

DOB APPROVAL
Harcharanti Sir
MAY 08 2019
EXAMINED FOR ZONING, EGRESS AND FIRE
PREVENTION ONLY AS PER DCR NO. 375

**AMENDED
APPLICATION**

Date	REVISION
08/30/18	1 AM01 PAA DOC02
09/18/18	2 AM02 PAA DOC03
01/02/19	3 AM03 PAA DOC04
01/18/19	4 AM04 PAA A11
02/06/19	5 AM05 A11
02/27/19	6 AM06 PAA DOC05
03/01/19	7 AM07 A11
05/06/19	8 AM08 A11

SEAL & SIGNATURE:



DATE: 06/22/2018
SCALE: AS NOTED
PROJECT NO: A1713720
DRAWING NO:

Z-001.08

SHEET NO: 1 OF 5
DOB JOB NUMBER



GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE RULES AND REGULATIONS, CODES AND ORDINANCES OF FEDERAL, STATE AND LOCAL GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE PROJECT. NO WORK SHOWN;SPECIFIED OR IMPLIED SHALL BE CONSTRUCTED TO CONFLICT WITH ANY GOVERNMENT AGENCY OR BUILDINGAUTHORITY MANDATE.
- NO WORK SHALL BEGIN UNTIL A BUILDING PERMIT HAS BEEN ISSUED.
- GENERAL CONTRACTOR SHALL PROVIDE GENERAL LIABILITY INSURANCE, WORKERS COMPENSATION INSURANCE AND DISABILITY INSURANCE BEFORE PERFORMING ANY WORK IN THIS BUILDING.
- THE CONTRACTOR SHALL INSPECT THE SITE AND CHECK AND VERIFY EXISTING AND PROPOSED CONDITIONS BEFORE STARTING ANY WORK. THE CONTRACTOR SHALL BRING THE DISCREPANCIES TO THE ARCHITECT'S OR WORK.
- ALL NEW YORK SHALL CONFORM TO THE NEW YORK STATE ENERGY CODE.
- ALL FEES, PERMITS APPELLATIONS, INSPECTIONS, CERTIFICATES AND SIGN-OFFS SHALL BE SECURED BY THECONTRACTOR AND PAID FOR BY THE OWNER UNLESS OTHERWISE NOTED.
- ALL NOTES HEREIN MENTIONED ALONG WITH THOSE ON THE VARIOUS DRAWINGS SHALL APPLY TO ALL DRAWINGS AND FORM PART OF THE CONTRACT.
- THE CONTRACTOR SHALL PROVIDE ALL THE LABOR AND MATERIAL NECESSARY FOR THE COMPLETION OF THEWORK AS SHOWN ON THE DRAWINGS.
- HE CONTRACTOR SHALL CARRY OUT ALL THE WORK IN A FIRST CLASS WORKMAN-LIKE MANNER. HE SHALL MAINTAIN A SAFE, CLEAN JOB SITE AT ALL TIMES, FREE FROM DEBRIS ACCUMULATION, AND SHALL LEAVE THE JOB SITE BROOM CLEAN AT THE COMPLETION OF THE PROJECT.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGE TO NEW OR EXISTING CONDITIONS CAUSED BY HIMSELF. HIS WORKMEN OR HIS SUBCONTRACTORS. HE SHALL REPAIR SUCH DAMAGE AT NO ADDITIONAL COST TO THE OWNER UNLESS OTHERWISE NOTED IN WRITING PRIOR TO STARTING WORK.
- ALL MATERIALS AND CONSTRUCTION TO BE INCORPORATED IN THE WORK SHALL BE IN STRICT ACCORDANCE WITH THE LATEST EDITION OF THE ASTM SPECIFICATIONS APPLICATION AND SHALL CONFORM TO THE STANDARDS AND RECOMMENDATIONS OF THE VARIOUS TRADE INSTITUTES (ACI, AISC, ETC.) WHERE APPLICABLE. ALL MATERIALS INCORPORATED INTO THE WORK SHALL BE NEW. FREE FROM DEFECTS UNLESS OTHERWISE NOTED.
- CONTRACTORS SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTIONS, AND STANDARDS OF GOOD PRACTICE.CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROPERTY, THAT THIS REQUIREMENTS SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE ARCHITECT OR ENGINEER HARMLESS FROM NY AND ALL LIABILITY, REAL OR ALLEGE IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.
- THE ARCHITECT OR ENGINEER OF DESIGN HAS NOT BEEN RETAINED FOR ANY FIELD SUPERVISION OR INSPECTION. HIS RESPONSIBILITY IS LIMITED TO THE ACCURACY OF THE PLANS.
- MATERIALS NOT SPECIFIED SUCH AS MAKE, STYLE COLOR ETC. SHALL BE APPROVED BY THE OWNER PRIOR TO PURCHASING AND INSTALLATION BY CONTRACTORS.
- ALL PLUMBING WORK SHALL BE PERFORMED BY LICENSED PLUMBER.
- ALL ELECTRICAL WORK SHALL BE PERFORMED BY LICENSED ELECTRICIAN.
- ALL PENETRATIONS OF THE BASEMENT SHALL BE AND FILLED WITH FLAME SEALANT UL #1479-2 HR. RESISTANCE RATING.
- ALL PENETRATIONS IN THIS UNIT PERIMETER WALLS SHALL BE FILLED WITH FLAME SEALANT UL #1472-2 HR. RESISTANCE RATING.

CARBON MONOXIDE AND SMOKE DETECTOR NOTE

- DWELLING UNITS SHALL BE EQUIPPED WITH FIRE ALARM & CARBON MONOXIDE DETECTING DEVICES RECEIVING THEIR PRIMARY POWER FROM BUILDING WIRING AND THERE SHALL BE NO SWITCHES IN THE CIRCUIT OTHER THAN THE OVER CURRENT DEVICE PROTECTING THE BRANCH CIRCUIT.
- ALL FIRE ALARM AND CARBON MONOXIDE DETECTING DEVICES REQUIRED TO BE PROVIDED AND INSTALLED SHALL BE ACCEPTED PRESENT TO RULES AND REGULATIONS PROMULGATED BY THE COMMISSIONER, APPROVED BY THE BOARD OF STANDARD APPEALS OR BE LISTED BY A NATIONALLY RECOGNIZED INDEPENDENT LABORATORY THAT MAINTAINS PERIODIC INSPECTIONS OF THAT EQUIPMENT MEETS NATIONALLY RECOGNIZED STANDARD.
- NO DEVICE SHALL BE DEEMED TO BE IN COMPLIANCE UNLESS IT IS OF EITHER THE IONIZATION CHAMBER OR PHOTO ELECTRIC TYPE. SUCH DEVICES SHALL BE IN COMPLIANCE WITH THE REQUIREMENTS OF 2008 CONSTRUCTION CODE 907.2.10.
- HARDWIRED CARBON MONOXIDE DETECTORS COMPLYING WITH 2008 CONSTRUCTION CODE 908.7 SHALL BE PROVIDED IN EVERY DWELLING UNIT WITHIN 15' OF THE ENTRANCE TO EACH BEDROOM, WITHIN BEDROOM, ANY STORY WITHIN DWELLING UNIT.

BUILDING DEPARTMENT SET NOTES

- ALL DRAWINGS AND SPECIFICATIONS SHOWN ARE SCHEMATICS. CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS AND LABOR TO EXECUTE ALL IMPLICIT AND EXPLICIT WORK AS INTENDED IN THE SCHEMATIC DOCUMENTS.
- IT IS THE CONTRACTOR'S RESPONSIBILITIES TO DISCUSS THE FOLLOWING ITEMS LISTED BELOW WITH THE OWNER PRIOR TO CONTRACT. HOWEVER, THE ITEMS SHALL NOT LIMITED TO THE FOLLOWINGS: 1.METHODS OF CONSTRUCTION 2.CONSTRUCTION DETAILS 3.ALL ENCLOSED AND EXPOSED MATERIALS AND FINISHES.
- ALL WORK SHALL BE EXECUTED ACCORDING TO ALL APPLICABLE GOVERNMENTAL REGULATIONS AND BUILDING INDUSTRY STANDARDS.
- CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE ALL ASPECTS OF CONSTRUCTION WITH SUBCONTRACTORS AND TO COMPLETE ALL WORKS AS PER THE INTENT OF THESE SCHEMATIC DRAWINGS.

PARTIAL-DEMO PLAN NOTES

- THE CONTRACTOR SHALL OBTAIN PERMISSION FROM ADJACENT OWNER FOR ANY WORK BEYOND THE PROPERTY LINE AND FOR INSTALLING ANY FENCE, OVERHEAD OR ROOF PROTECTION OVER HIS/HER PROPERTY.
- THE CONTRACTOR SHALL OBTAIN PERMIT FROM D.O.T. FOR ANY WORK BEYOND PROPERTY LINE AT STREET SIDEWALK.
- THE CONTRACTOR SHALL ENSURE THE SAFETY & STABILITY OF THE ADJACENT STRUCTURES AT ANYTIME THROUGHOUT PROTECTIONS INSTALLATION & DEMOLITION.

- THE DEMOLITION SITE SHOULD BE ENCLOSED BY 8'-0" HIGH PLYWOOD FENCE ON ALL EXPOSURES AS PER PLAN.
- ALL DEMOLITION TO BE MANUAL.

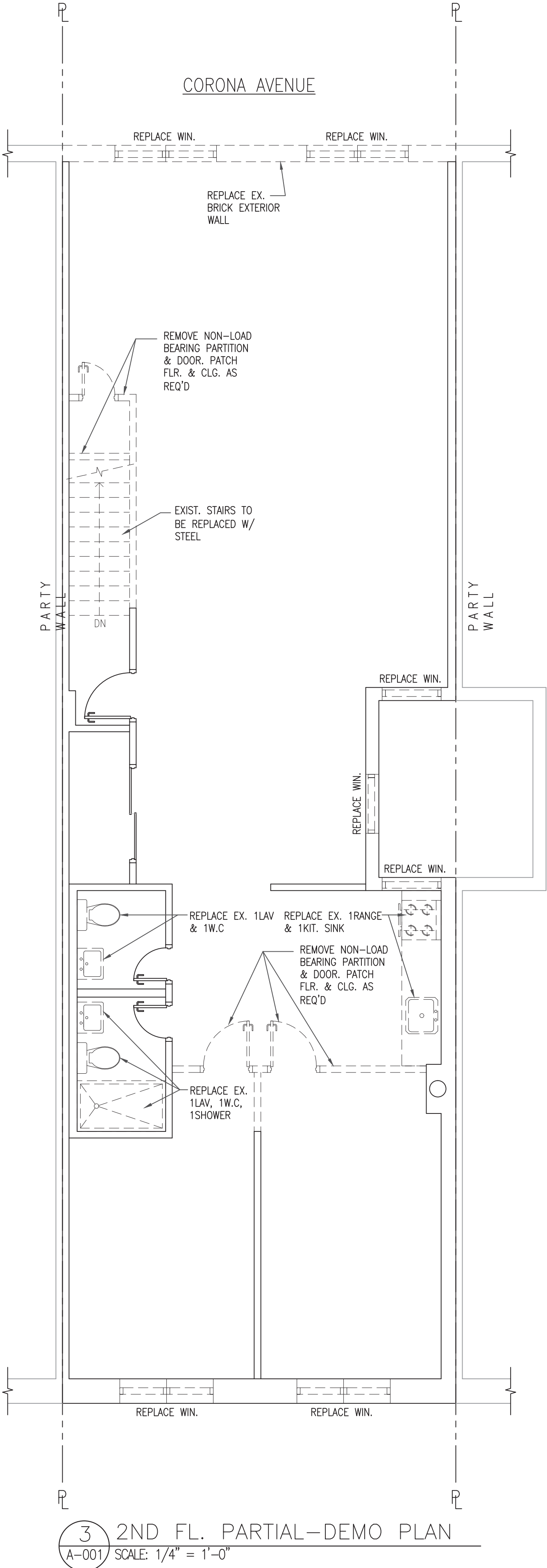
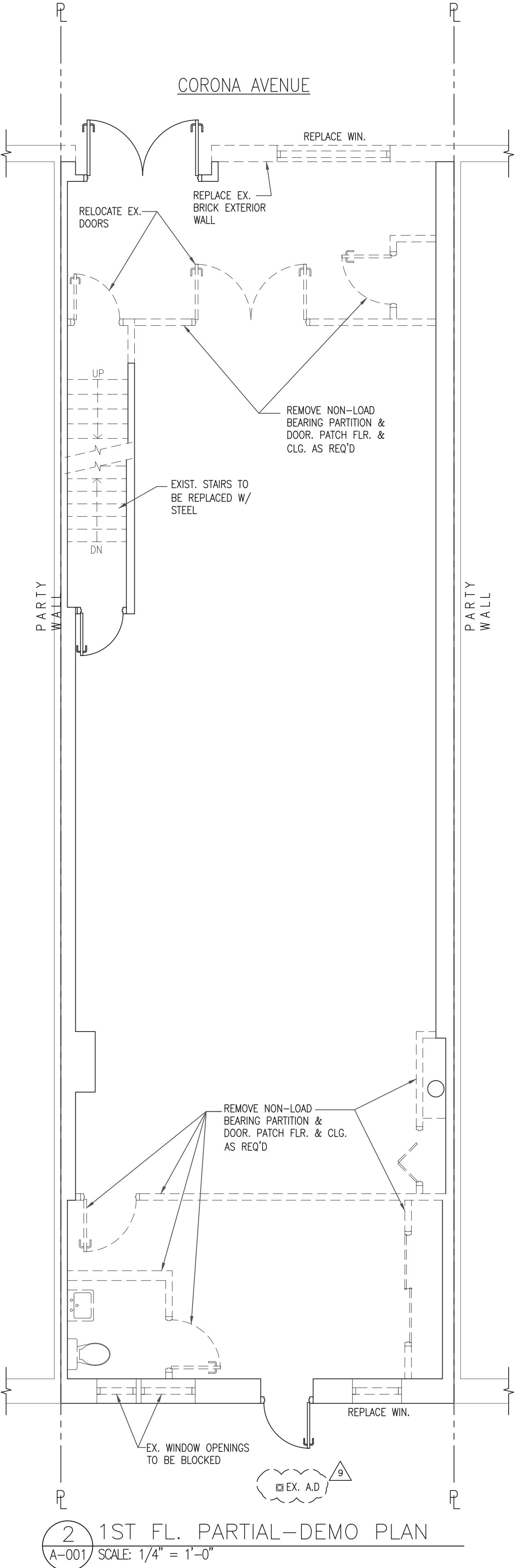
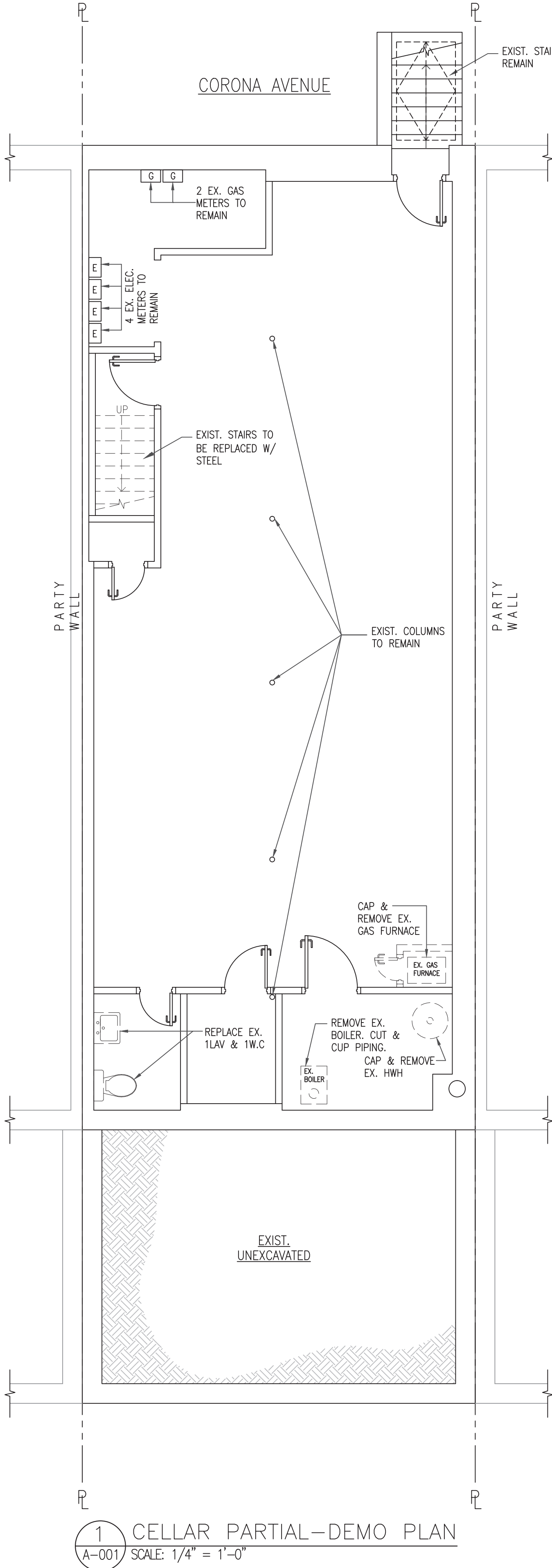
PARTIAL-DEMO SAFETY NOTES

- ANYONE WORKING WITHIN DEMOLITION SAFETY ZONE HAS TO FOLLOW OSHA CONSTRUCTION SAFETY PROTECTION REQUIREMENT. EVERYONE MUST WEAR HARD-HEAD, STEEL TOE BOOTS, RESPIRATOR, SAFETY GLASS & SAFETY GLOVES.
- ANYONE WORKING ON A PLATFORM THAT IS 6' ABOVE GROUND OR FLOOR MUST WEAR SAFETY BELT OR HARNESS.

- ALL SURROUNDING PLATFORM AREA OF THE SCAFFOLD SHALL BE PROTECTED WITH 3'-6" HIGH GUARDRAILS.
- NO PERSONNEL IS PERMITTED ON THE DEMOLITION SITE EXCEPT OPERATORS & AUTHORIZED PERSONNEL.

SIDEWALK SHED

- THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE INSTALLATION OF A SIDEWALK SHED AS NECESSARY.



PROJECT:
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DRAWING:
PARTIAL-DEMO FLOOR
PLANS, & NOTES

DOB APPROVAL



Date	REVISION
08/30/18	1 AM01 PAA DOC02
09/18/18	2 AM02 PAA DOC03
01/02/19	3 AM03 PAA DOC04
02/27/19	6 AM06 PAA DOC05
07/21/20	9 AM09 PAA DOC06

SEAL & SIGNATURE:



DATE: 06/22/2018
SCALE: AS NOTED
PROJECT NO: A1713720
DRAWING NO:

A-001.05

SHEET NO: 2 OF 5
DOB JOB NUMBER

421581354

LEGEND

EXIST. CONSTRUCTION TO REMAIN	NEW INTERIOR NON-LOAD BEARING PARTITION-NON RATED 2"x3" WOOD STUDS @ 16" O.C. W/ ONE LAYER OF 1/2" GYPSUM BOARD ON BOTH SIDES.	NEW CMU EXTERIOR WALL	EXIST. DR TO REMAIN
EXIST. CONSTRUCTION TO REMOVE	NEW INTERIOR NON-LOAD BEARING PARTITION-1 HR RATED 2"x3" WOOD STUDS @ 16" O.C. W/ ONE LAYER OF 5/8" TYPE 'X' GYPSUM BOARD ON BOTH SIDES.	NEW BRICK EXTERIOR WALL	NEW DOOR
EXISTING WINDOW TO REMAIN (UNLESS OTHERWISE NOTED)		HARDWIRED SMOKE AND CARBON MONOXIDE COMBINED DETECTOR	EMERGENCY LIGHT
NEW WINDOW W/ 2x6 HEADERS			

1ST FL. EGRESS CAPACITY ANALYSIS (PER TABLE 8-1)

EXIT TYPE	NO. OF PERSONS PER UNIT OF WIDTH	PROPOSED WIDTH	ALLOWABLE NO. OF PERSONS	PROPOSED NO. OF PERSONS
aisle	90	3'	270	69
door	80	6'	480	69

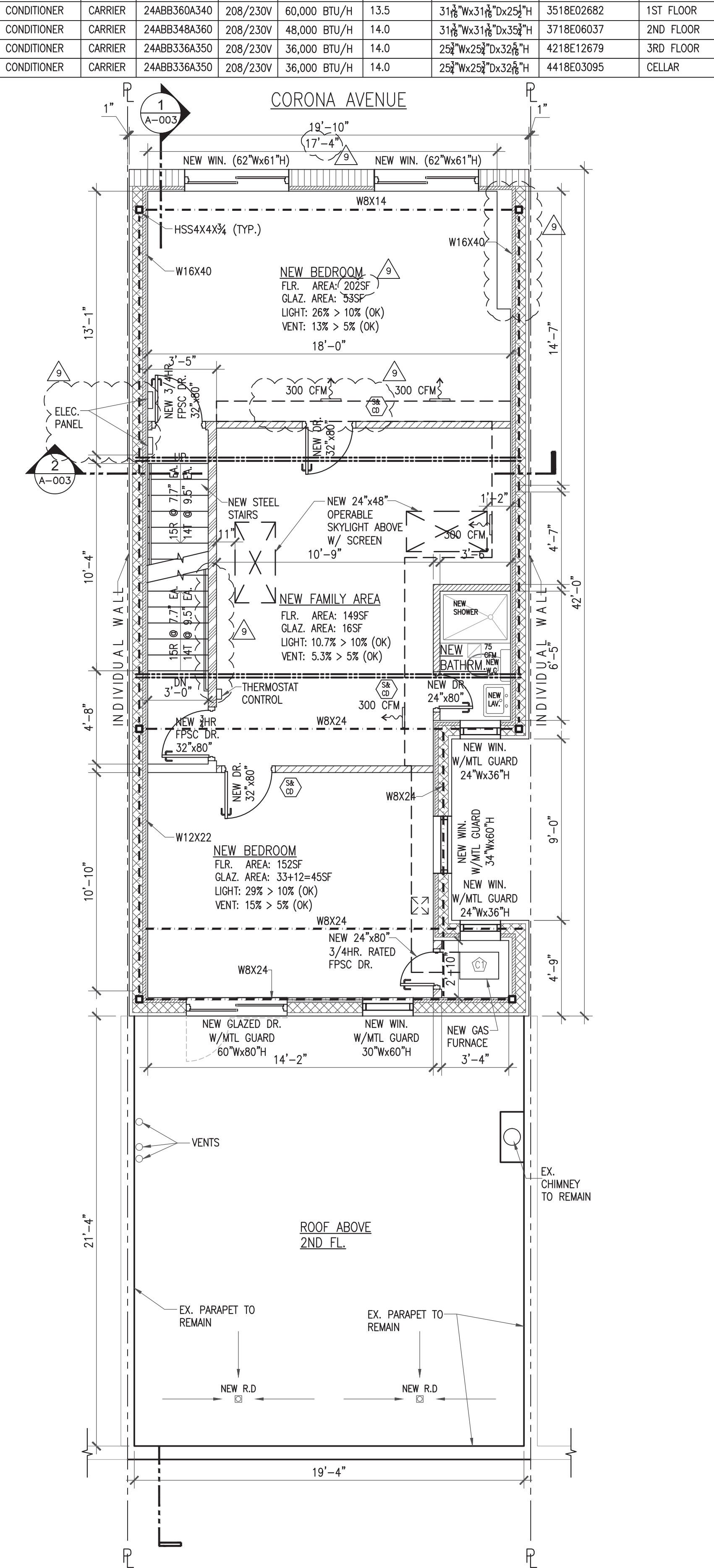
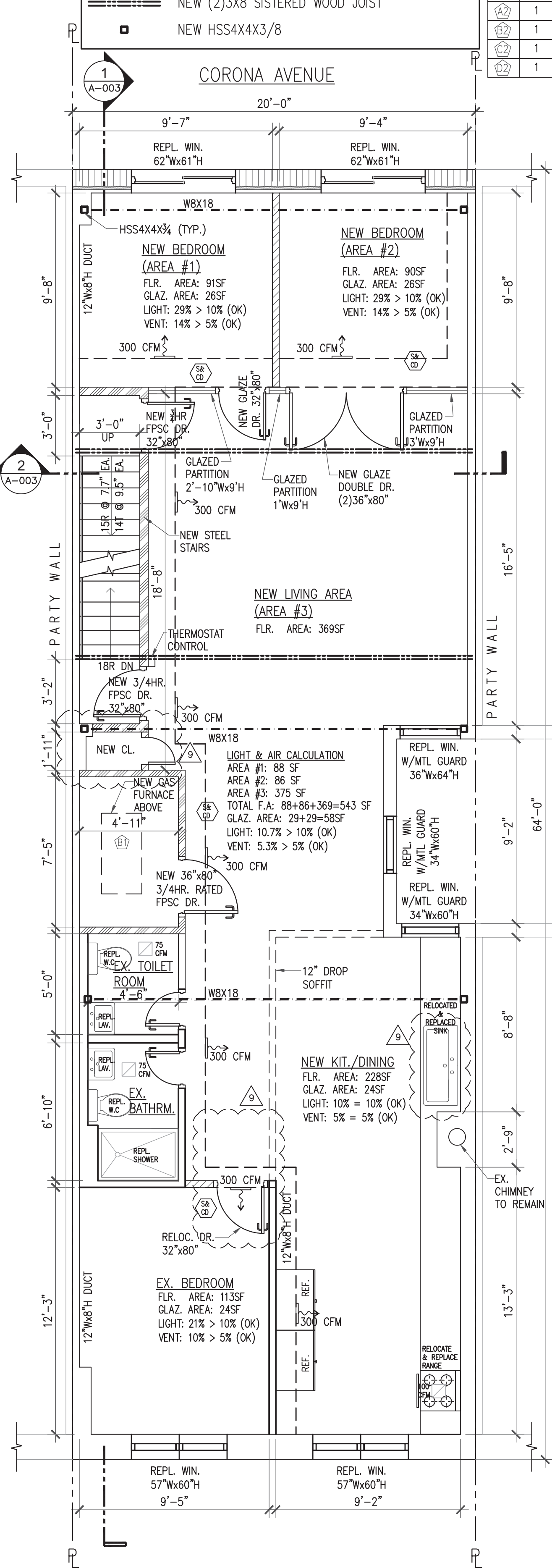
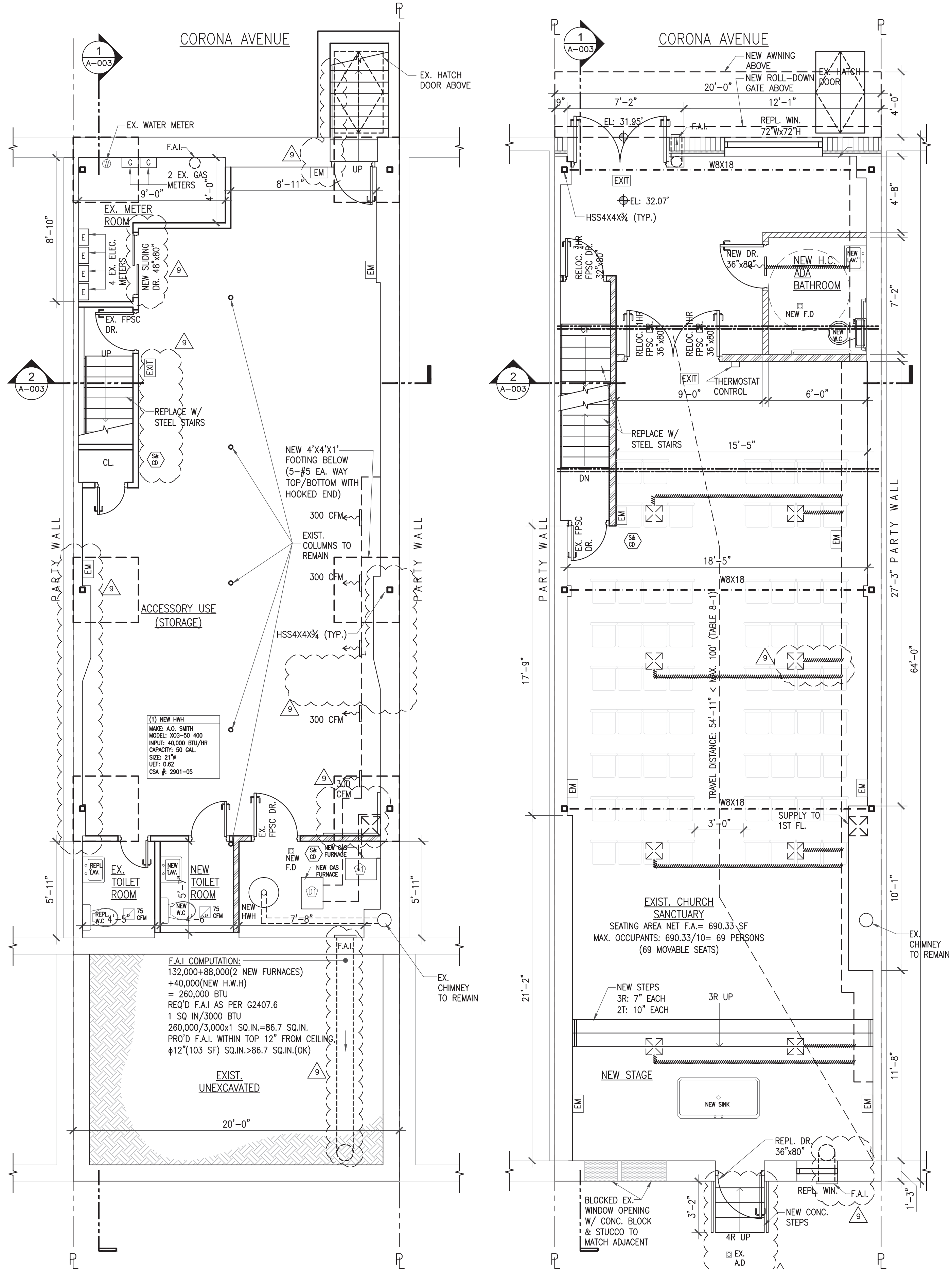
NEW STEEL BEAM
NEW (1)3X8 WOOD JOIST SISTERED TO EX. (1)3X8 WOOD JOIST
NEW (2)3X8 SISTERED WOOD JOIST
NEW HSS4X4X3/8

CENTRAL HVAC INDOOR UNIT SCHEDULE

SYM.	UNITS	EQUIPMENT TYPE	MAKE	MODEL	VOLTAGE	INPUT BTU/H	OUTPUT BTU/H	AFUE	SIZE	UL #	SUPPLY
(A1)	1	GAS FURNACE	CARRIER	58ST1A135	208/230V	132,000	107,000	80%	24.5"Wx29"Lx33"H	ANSI/UL 1995	1ST FLOOR
(B1)	1	GAS FURNACE	CARRIER	58ST1A110	208/230V	110,000	89,000	80%	21"Wx29"Lx33"H	ANSI/UL 1995	2ND FLOOR
(C1)	1	GAS FURNACE	CARRIER	58STAO90	208/230V	88,000	71,000	80%	21"Wx29"Lx33"H	ANSI/UL 1995	3RD FLOOR
(D1)	1	GAS FURNACE	CARRIER	58STAO90	208/230V	88,000	71,000	80%	21"Wx29"Lx33"H	ANSI/UL 1995	CELLAR

CENTRAL HVAC OUTDOOR UNIT SCHEDULE

SYM.	UNITS	EQUIPMENT TYPE	MAKE	MODEL	VOLTAGE	CAPACITY	SEER	SIZE	SN #	SUPPLY
(A2)	1	AIR CONDITIONER	CARRIER	24ABB360A340	208/230V	60,000 BTU/H	13.5	31 1/8"Wx31 1/8"Dx25 1/4"H	3518E02682	1ST FLOOR
(B2)	1	AIR CONDITIONER	CARRIER	24ABB348A360	208/230V	48,000 BTU/H	14.0	31 1/8"Wx31 1/8"Dx35 3/4"H	3718E06037	2ND FLOOR
(C2)	1	AIR CONDITIONER	CARRIER	24ABB336A350	208/230V	36,000 BTU/H	14.0	25 3/4"Wx25 3/4"Dx32 3/8"H	4218E12679	3RD FLOOR
(D2)	1	AIR CONDITIONER	CARRIER	24ABB336A350	208/230V	36,000 BTU/H	14.0	25 3/4"Wx25 3/4"Dx32 3/8"H	4418E03095	CELLAR

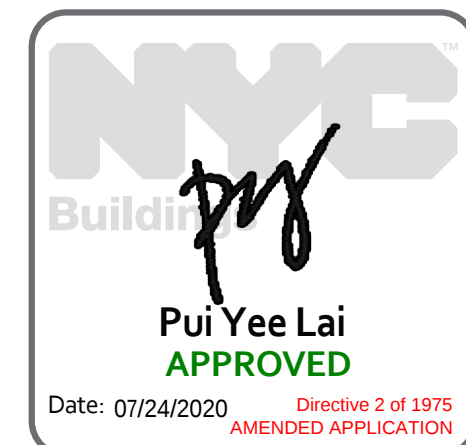


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DRAWING:
PROPOSED FLOOR PLANS

DOB APPROVAL



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07/21/20	6 AM09 PAA DOC06

SEAL & SIGNATURE:



DATE: 06/22/2018
SCALE: AS NOTED
PROJECT NO: A1713720
DRAWING NO:

A-002.06

SHEET NO: 3 OF 5
DOB JOB NUMBER

421581354

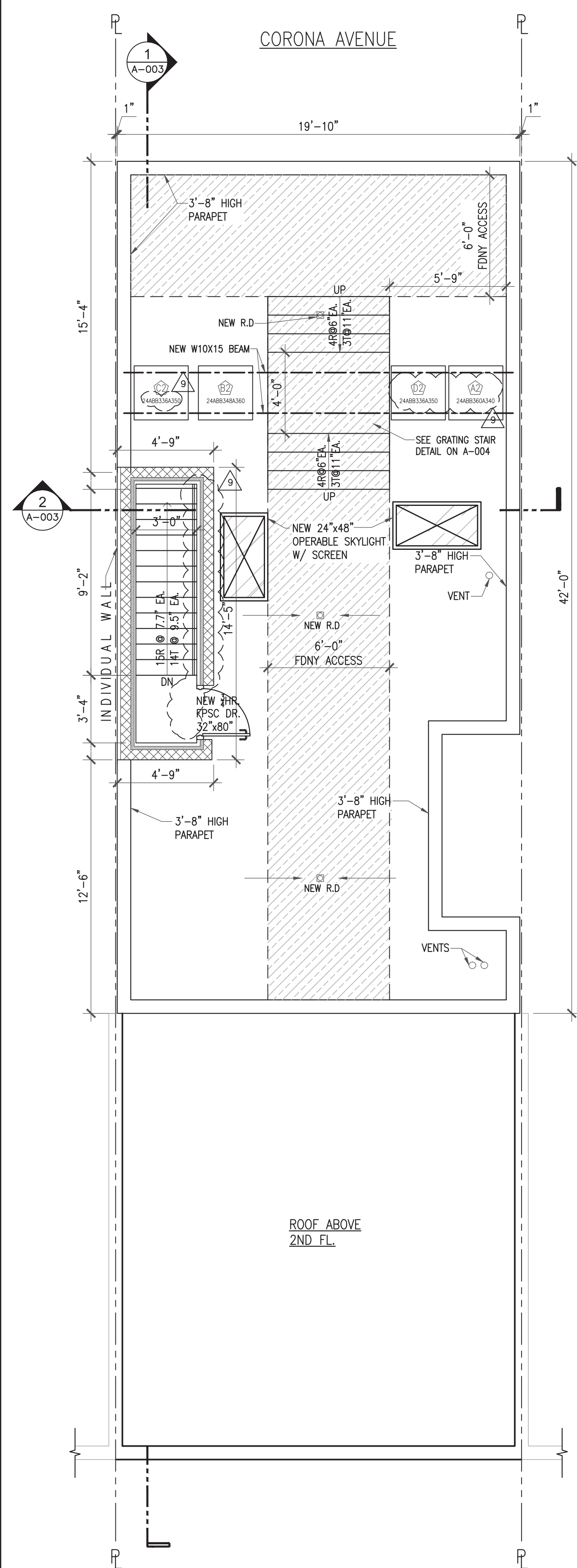
1 PROP. CELLAR PLAN
A-002 SCALE: 1/4" = 1'-0"

2 PROP. 1ST FL. PLAN
A-002 SCALE: 1/4" = 1'-0"

3 PROP. 2ND FL. PLAN
A-002 SCALE: 1/4" = 1'-0"

4 PROP. 3RD FL. PLAN
A-002 SCALE: 1/4" = 1'-0"

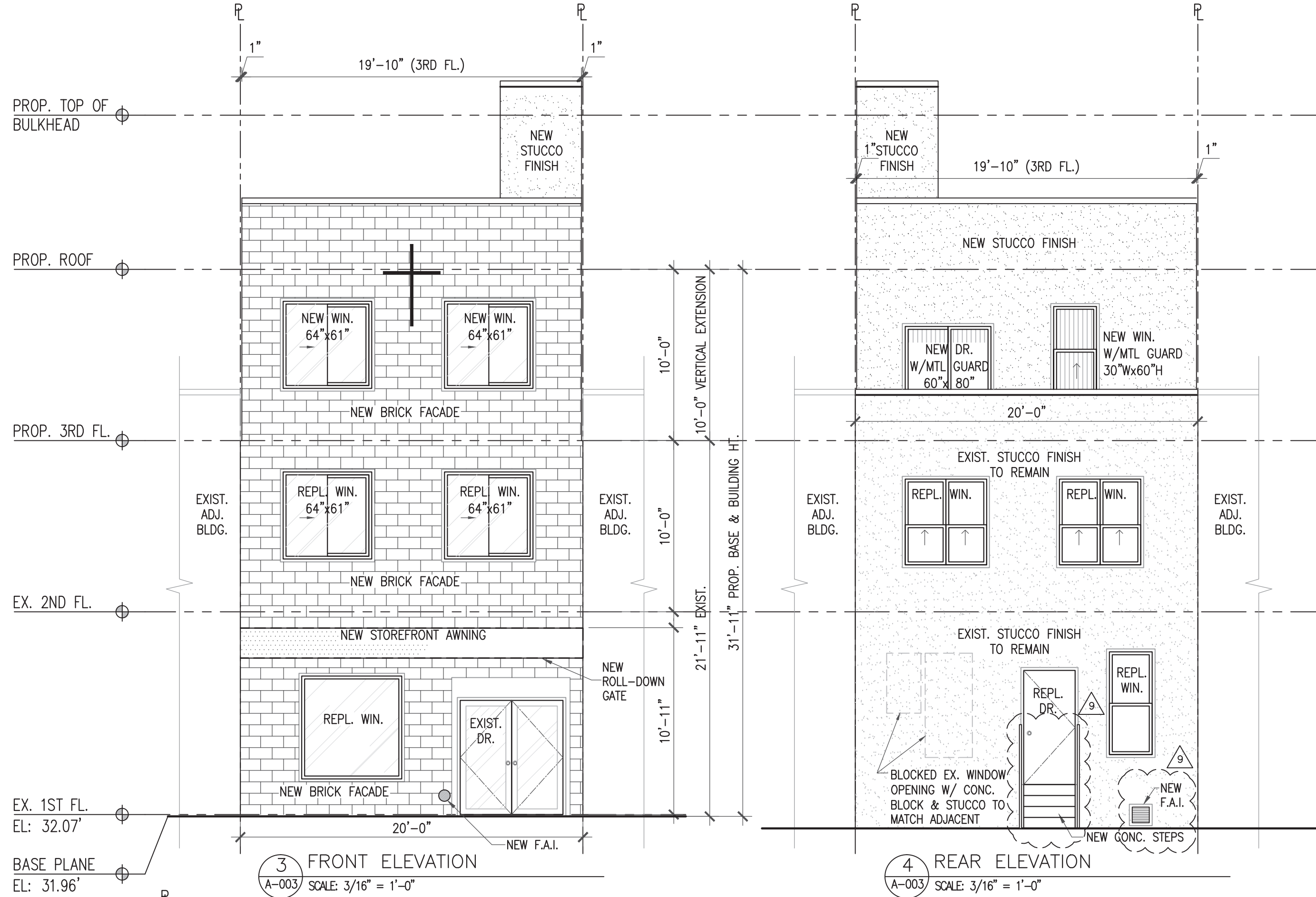
CORONA AVENUE



5 PROP. BULKHEAD PLAN
A-003 SCALE: 1/4" = 1'-0"

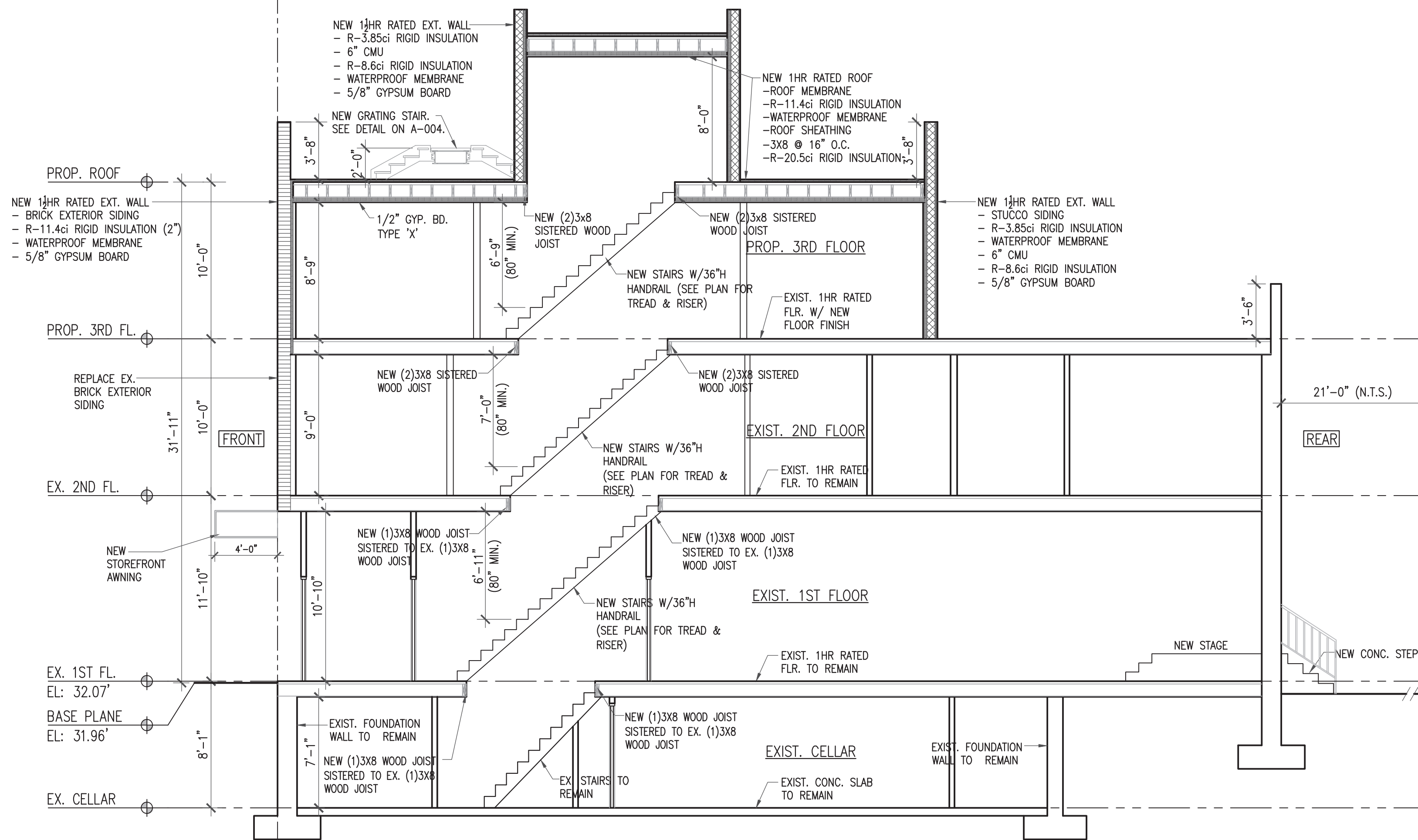
- EC2016. R403.5.3
INSULATION FOR HOT WATER PIPING WITH A THERMAL RESISTANCE (R-VALUE) OF R-3 SHALL BE APPLIED TO THE FOLLOWING:
1. PIPING 1/2" & LARGER IN NOMINAL DIAMETER.
 2. PIPING SERVING MORE THAN ONE DWELLING UNIT.
 3. PIPING LOCATED OUTSIDE THE CONDITIONED SPACE.
 4. PIPING FROM THE WATER HEATER TO A DISTRIBUTION MANIFOLD.
 5. PIPING LOCATED UNDER A FLOOR SLAB.
 6. BURIED IN PIPING.
 7. SUPPLY AND RETURN PIPING IN RECIRCULATION SYSTEMS OTHER THAN DEMAN RECIRCULATION SYSTEMS.

D.1 PIPING INSULATION
A-003 NOTES & DETAIL NTS

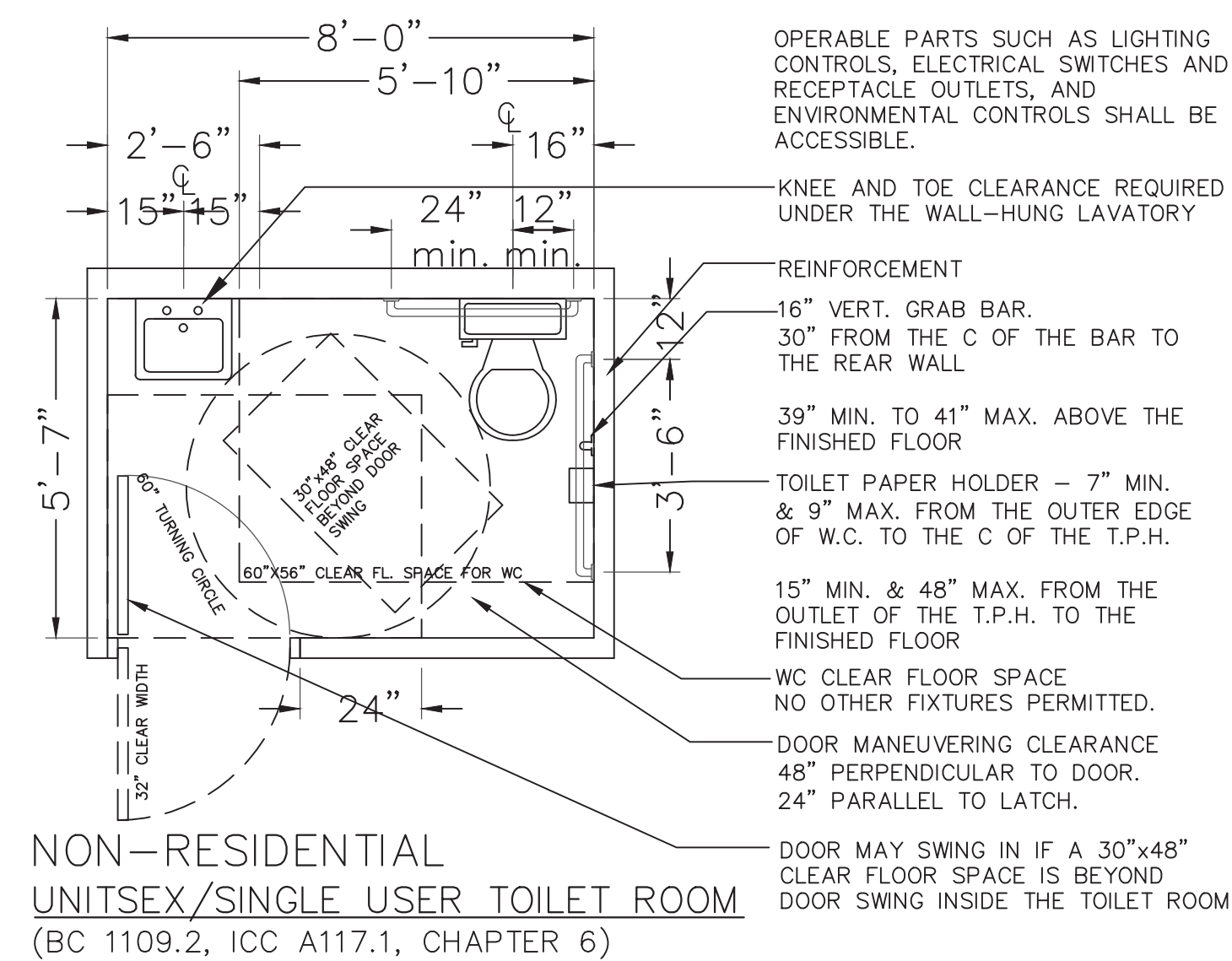


3 FRONT ELEVATION
A-003 SCALE: 3/16" = 1'-0"

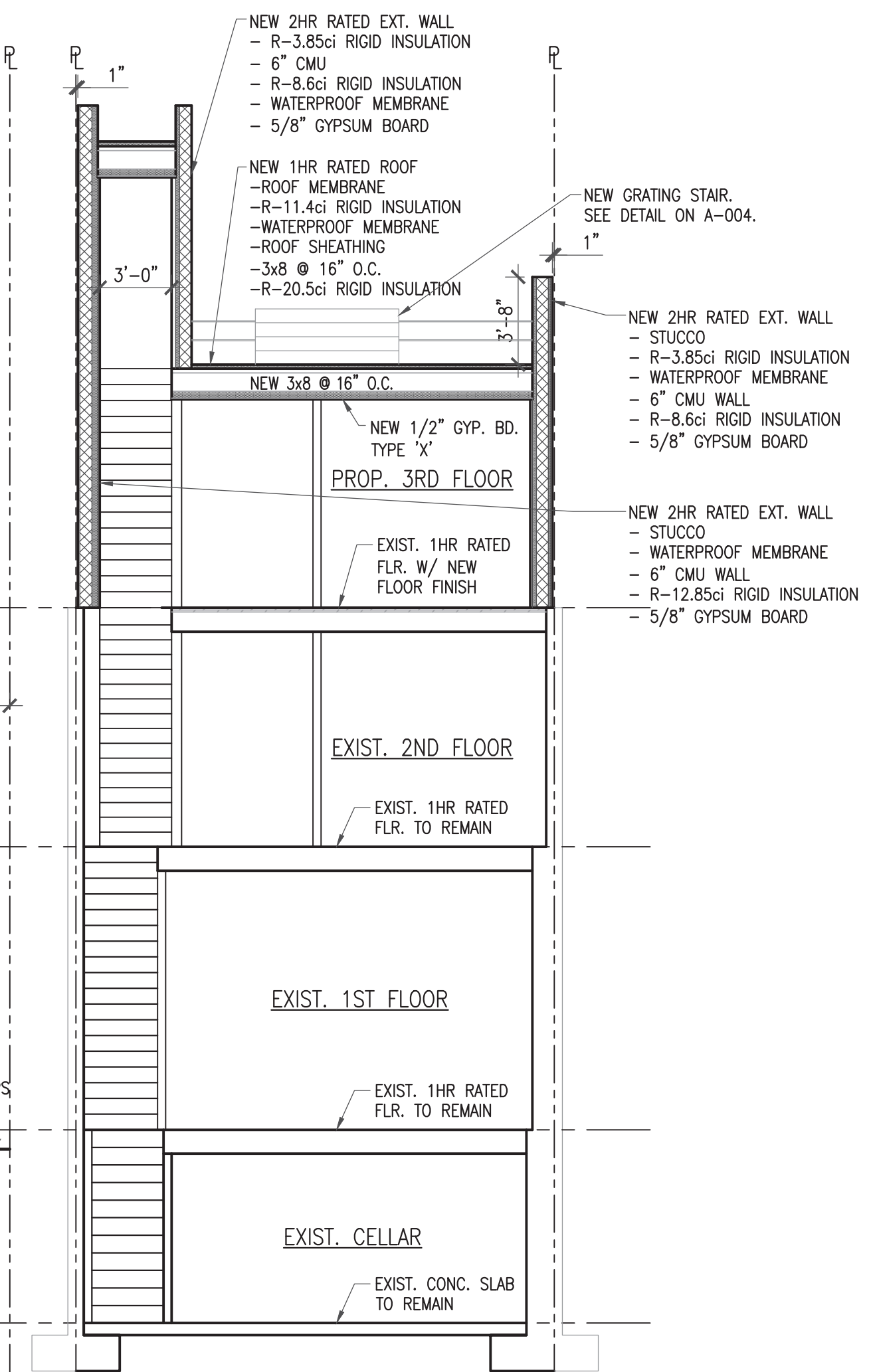
4 REAR ELEVATION
A-003 SCALE: 3/16" = 1'-0"



1 SECTION DIAGRAM
A-003 SCALE: 3/16" = 1'-0"



NON-RESIDENTIAL
UNITSEX/SINGLE USER TOILET ROOM
(BC 1109.2, ICC A117.1, CHAPTER 6)



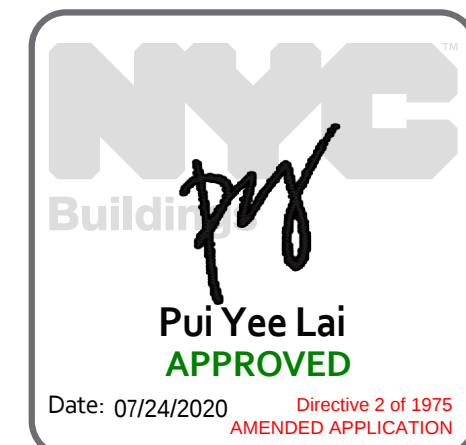
2 SECTION DIAGRAM
A-003 SCALE: 3/16" = 1'-0"

PROJECT:
90-41 CORONA AVENUE,
ELMHURST, NY-11373

ARCHITECTURAL DESIGN
ABC ENGINEERING PLLC
200-59 59th AVENUE
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EMAIL: ABCPE12@GMAIL.COM

DRAWING:
ELEVATIONS, RISER DIAGRAM,
DETAILS

DOB APPROVAL



Date	REVISION
08/30/18	1 AM01 PAA DOC02
09/18/18	2 AM02 PAA DOC03
01/02/19	3 AM03 PAA DOC04
02/27/19	4 AM06 PAA DOC05
03/01/19	5 AM07 AI1
05/06/19	6 AM08 AI1
07/21/20	7 AM09 PAA DOC06

SEAL & SIGNATURE:

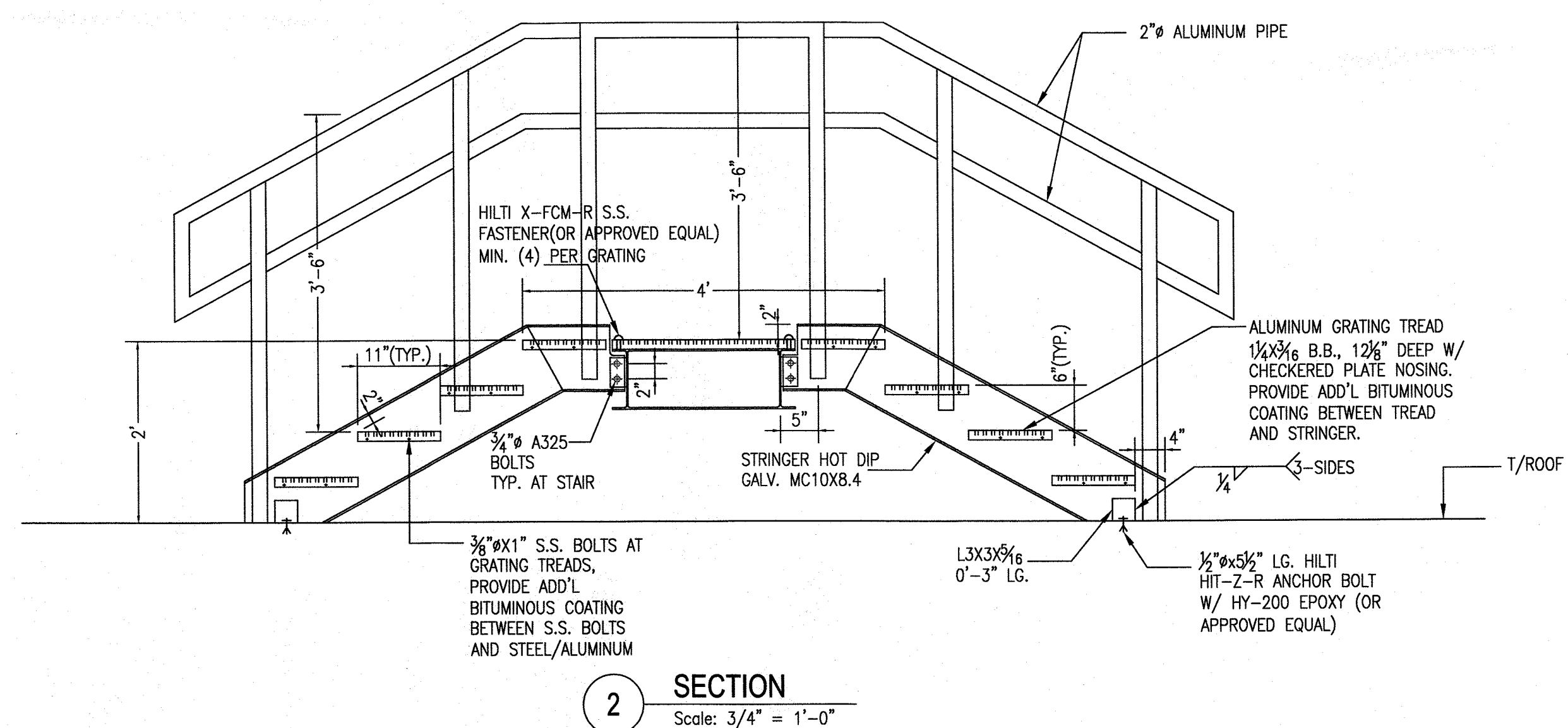
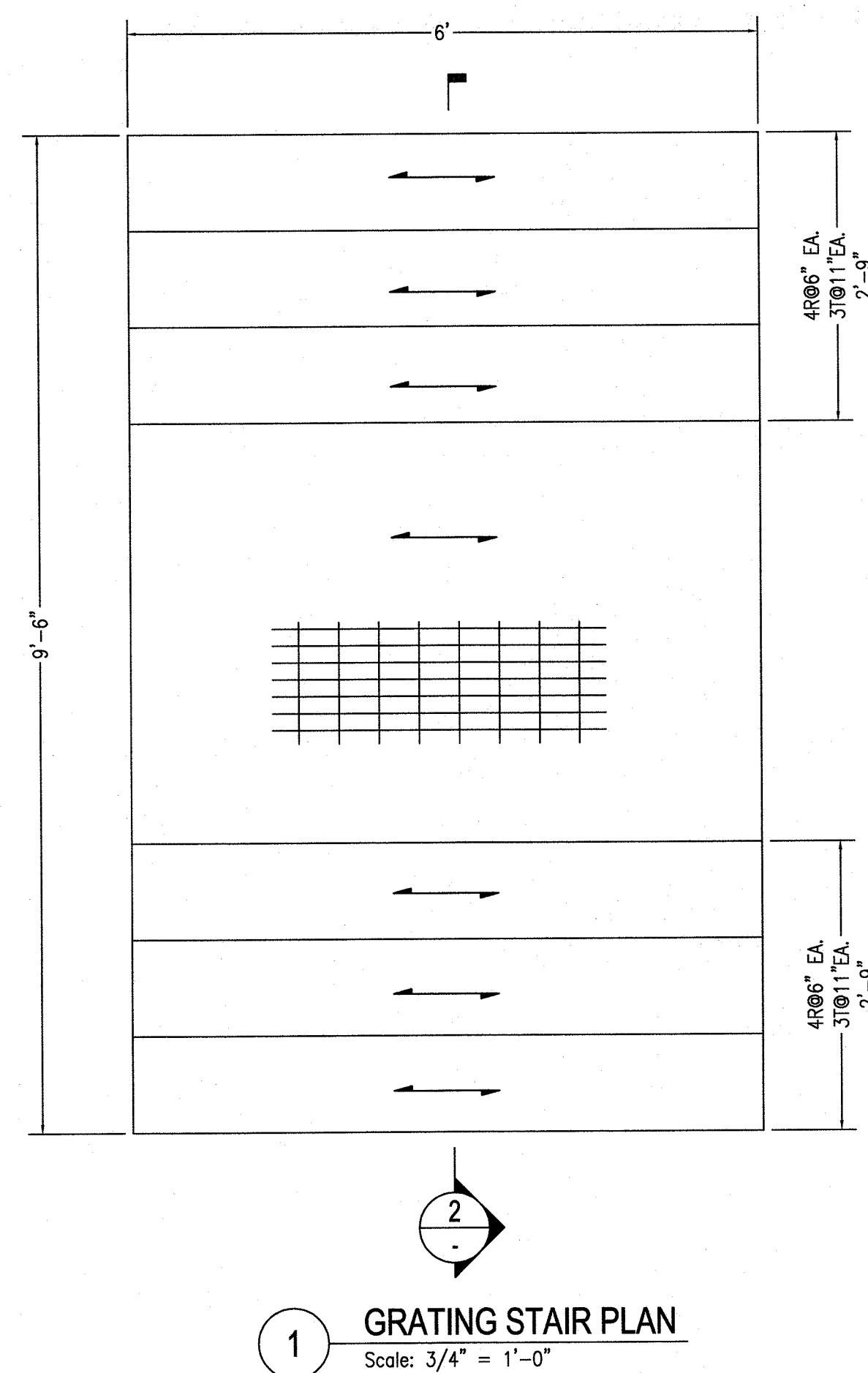
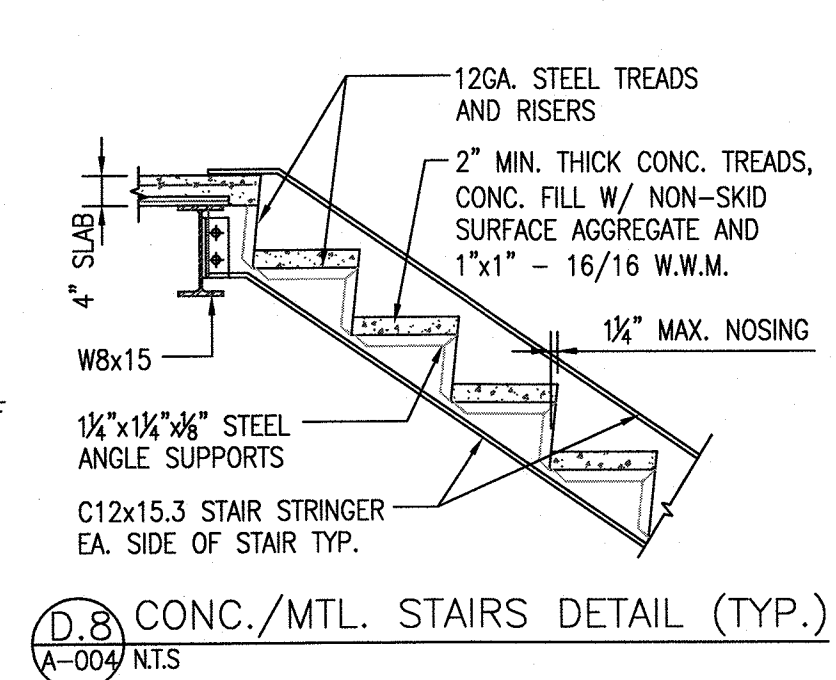
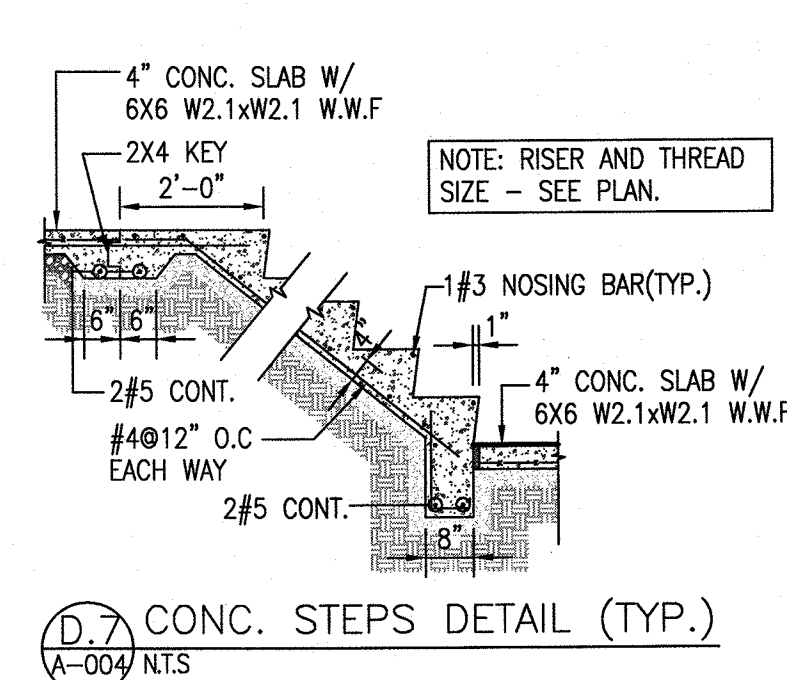
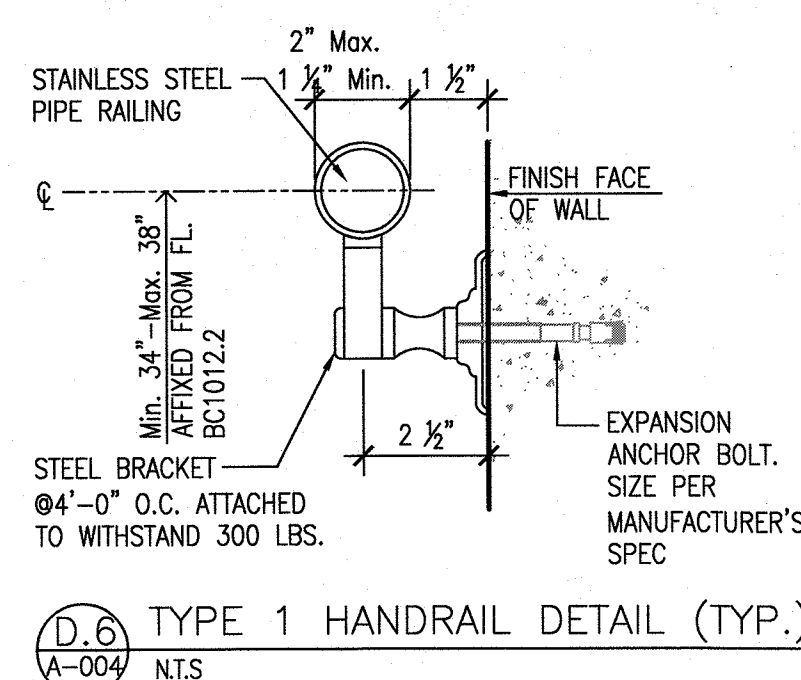
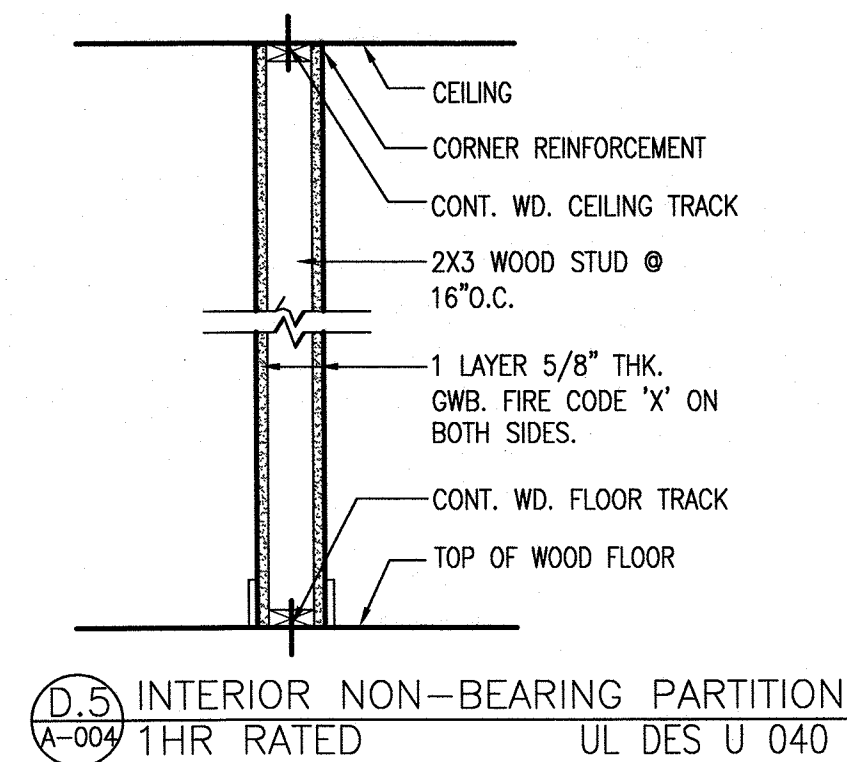
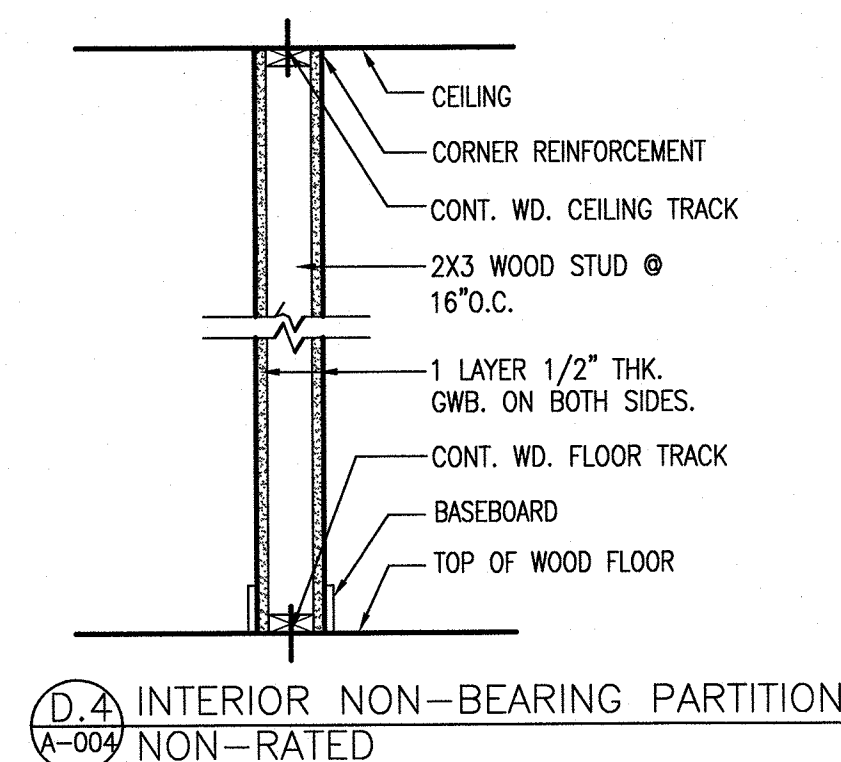
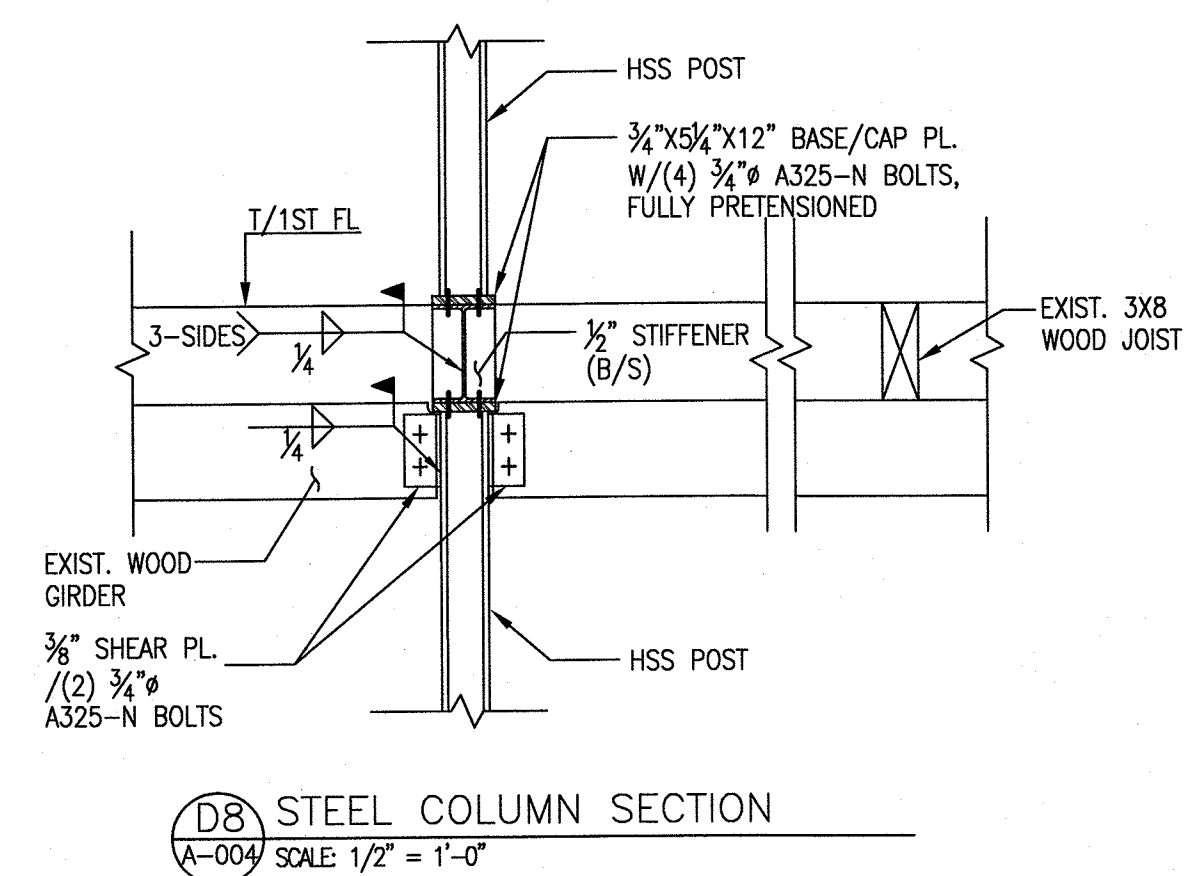
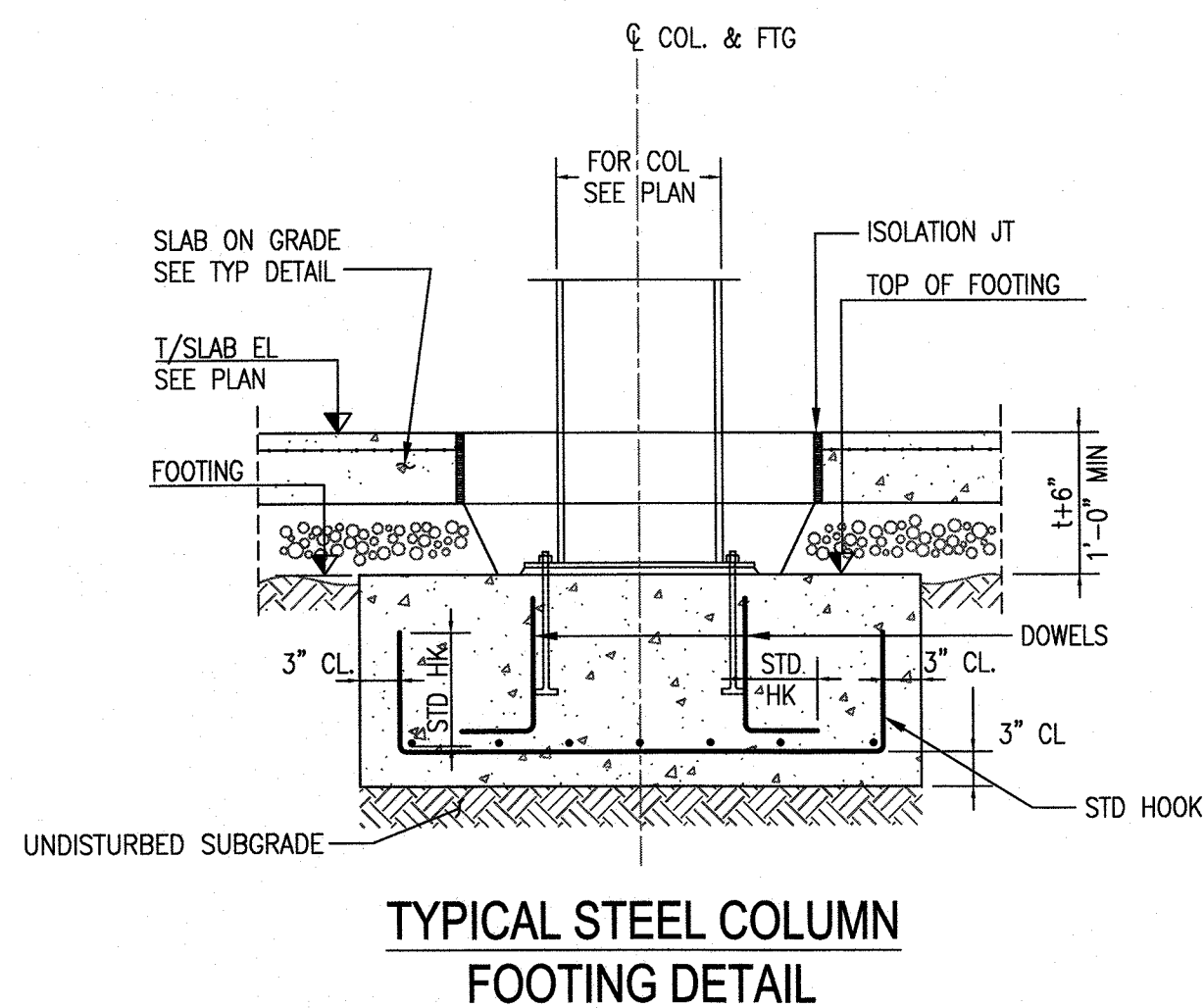
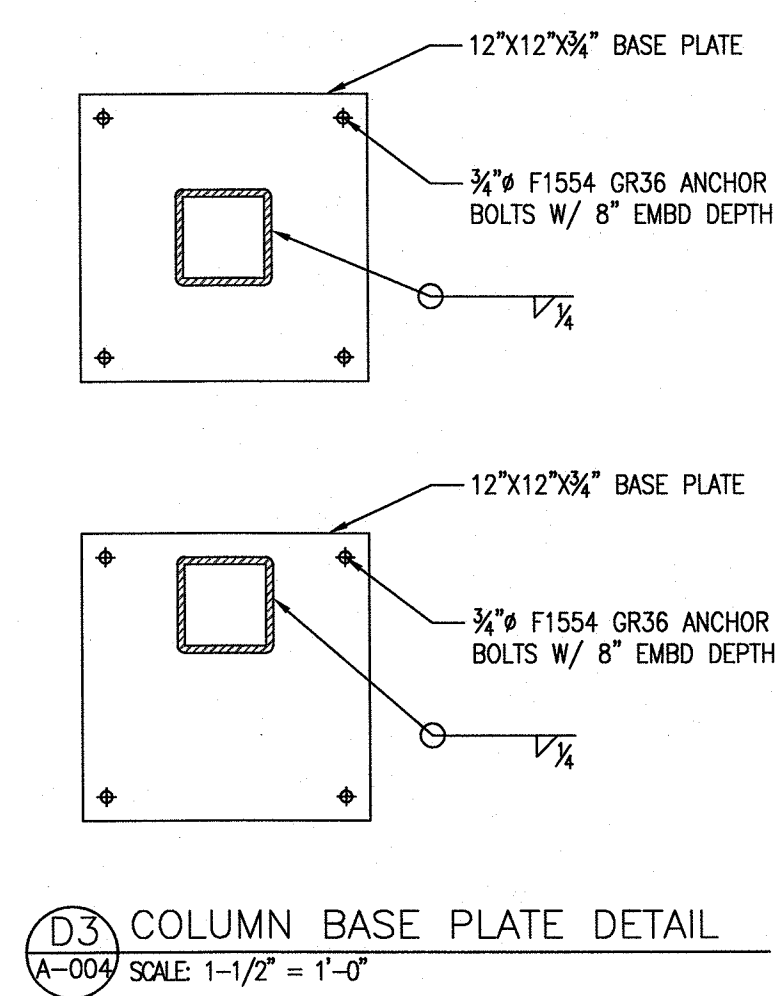
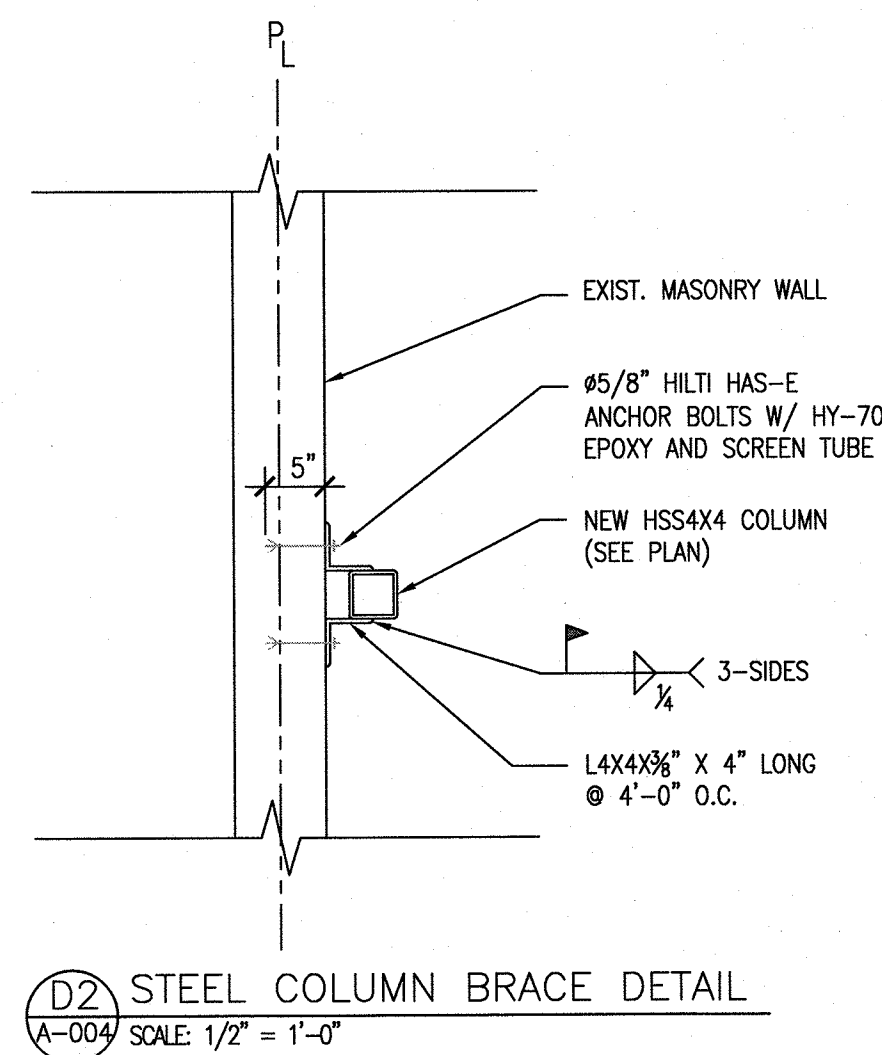
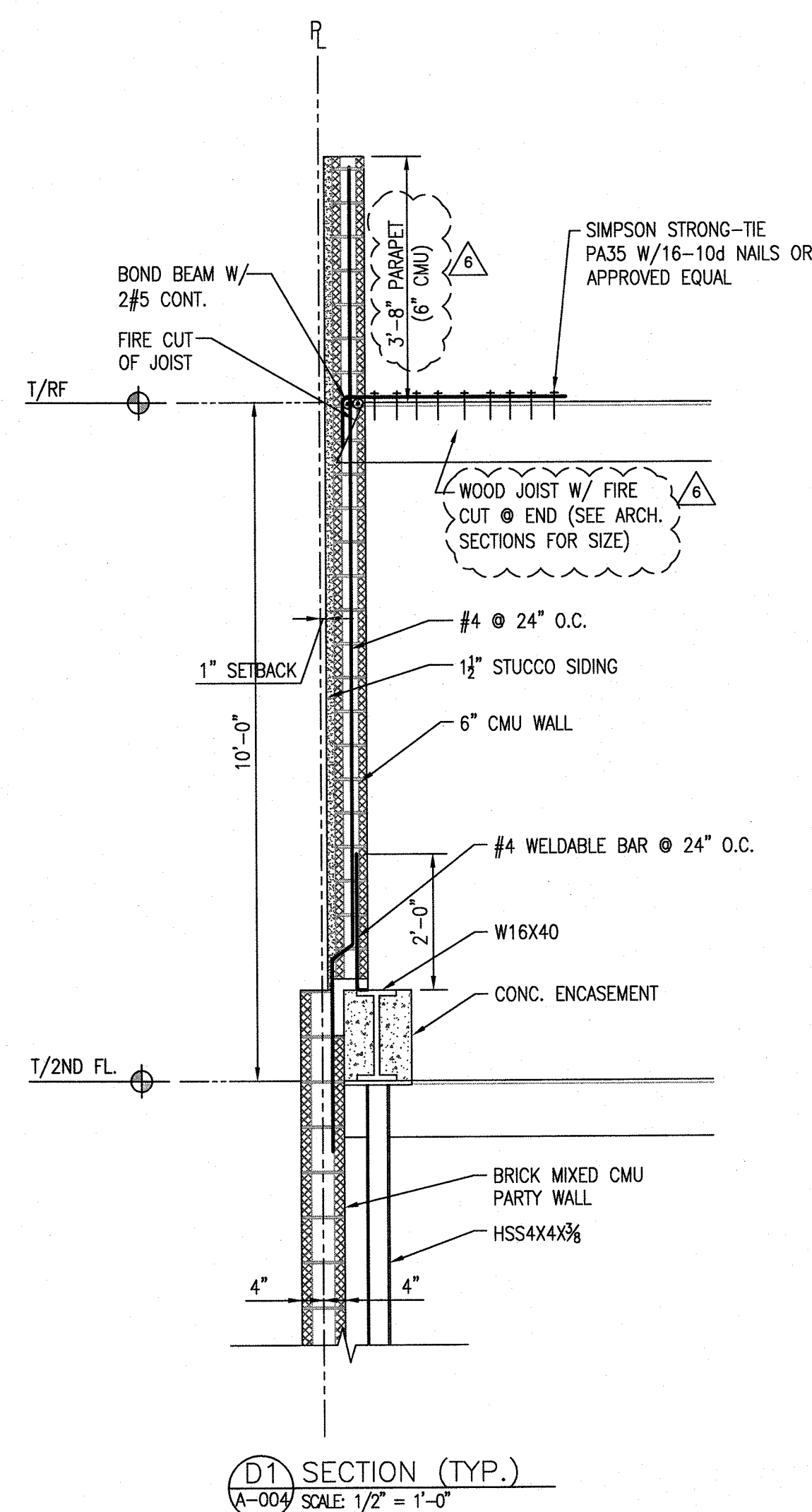


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DRAWING NO:

A-003.07

SHEET NO: 4 OF 5
DOB JOB NUMBER

421581354



PROJECT:
90-41 CORONA AVENUE,
ELMHURST, NY-11373

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DRAWING:
DETAILS

DOB APPROVAL

AMENDED
APPLICATION

Pui Yee Lai

FEB 28 2019

EXAMINED FOR ZONING, EGRESS AND
FIRE PREVENTION ONLY AS PER DIR. NO. 2/75

Date	REVISION
09/18/18	② AM02 PAA DOC03
01/02/19	③ AM03 PAA DOC04
02/27/19	⑥ AM06 PAA DOC05

SEAL & SIGNATURE:



DATE:	06/22/2018
SCALE:	AS NOTED
PROJECT NO:	A1713720
DRAWING NO:	

A-004.02

SHEET NO: 5 OF 5

DOB	JOB NUMBER
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