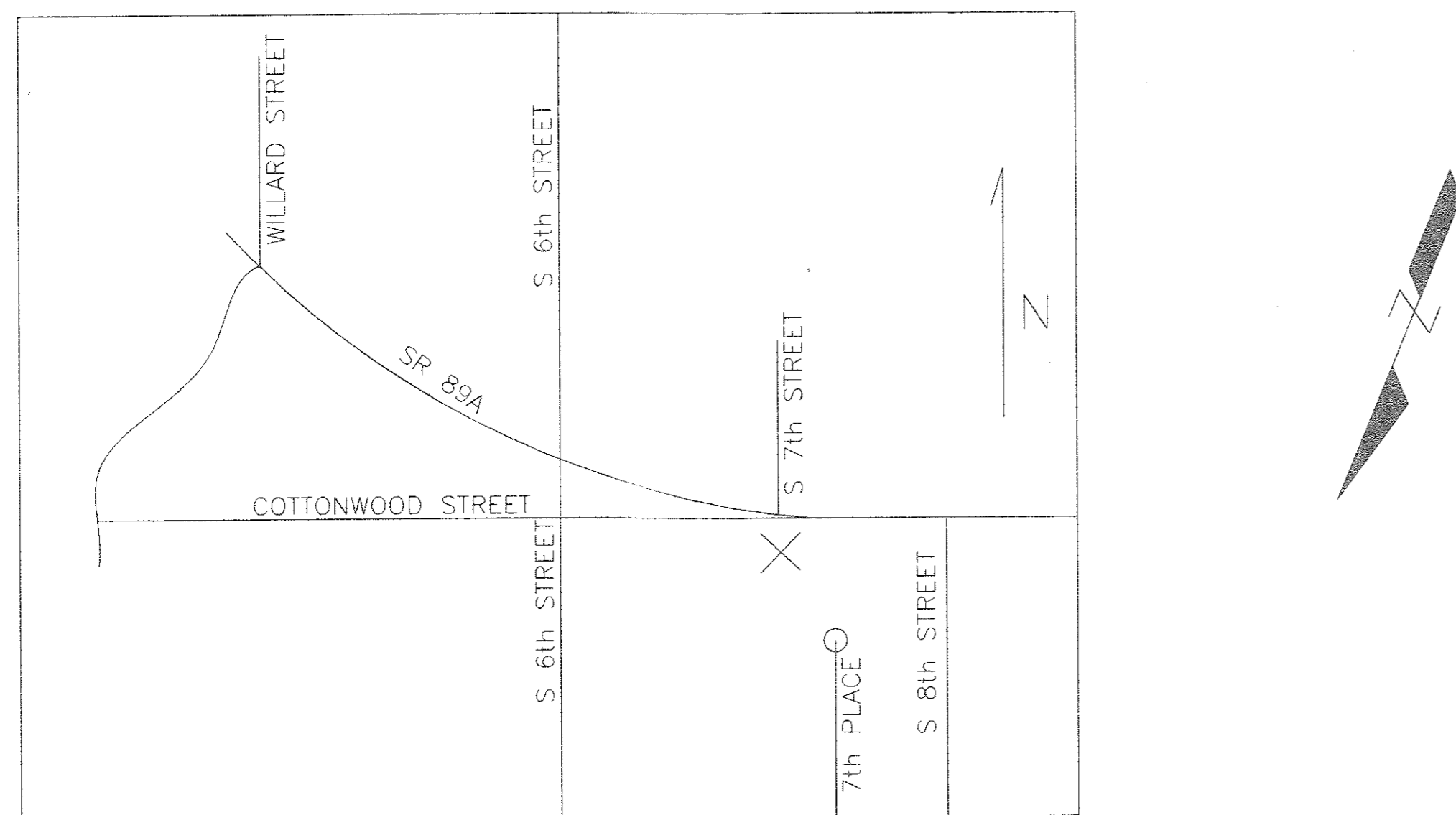


CODE SUMMARY

GROSS BUILDING AREA: 3,900 S.F.
 OCCUPANCY: B
 BUILDING TYPE: III

VICINITY MAP



DRAWING INDEX:

1. COVER SHEET
 2. SITE PLAN
 3. UTILITY PLAN
 4. LANDSCAPE PLAN
 5. FLOOR PLAN/
FOUNDATION PLAN,
SEWER WASTE AND VENT SCHEMATIC
 6. ROOF PLAN /
ELECTRICAL PLAN
 7. ELEVATIONS
 8. SPECIFICATIONS
- C1. GRADING AND PAVING PLAN

PROJECT TEAM

OWNER:

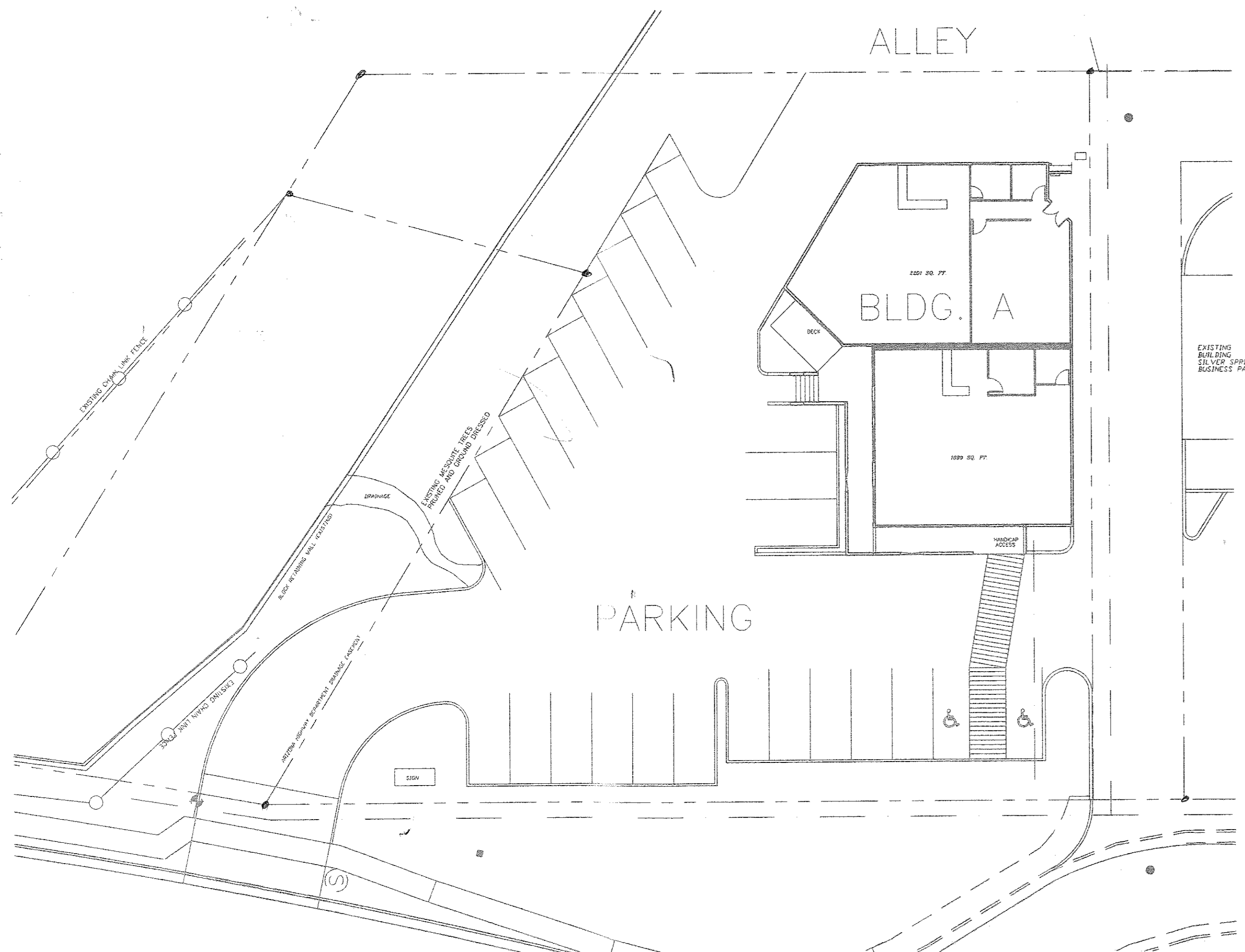
BOB BACKUS
 P.O. BOX 789
 COTTONWOOD ARIZONA 86326
 PHONE: (520) 639-1295
 FAX: (520) 639-2890

ENGINEER

PENDER ENGINEERING
 P.O. BOX 1245
 COTTONWOOD ARIZONA 86326
 PHONE: 639-0076

CONTRACTOR:

B BAR W DEVELOPMENT CO.
 BOB BACKUS
 P.O. BOX 789
 COTTONWOOD ARIZONA 86326
 PHONE: 639-1295



APPROVED PLANS
 COTTONWOOD BUILDING DEPARTMENT
 APPROVED BY *[Signature]* DATE 12/13/02
 This set shall remain on building site at all times
 during which the work authorized is in progress
 (UBC 106.4.2) Refer to Building Dept
 Comments

COVER SHEET

PAGE 1 OF	PLAN NO. SSBP II	DRAWN BY: CDB	DATE:	SCALE: 1" = 30'-0"
	B BAR W DEVELOPMENT CO. SILVER SPRING BUSINESS PARK PHASE III			
COVER SHEET				

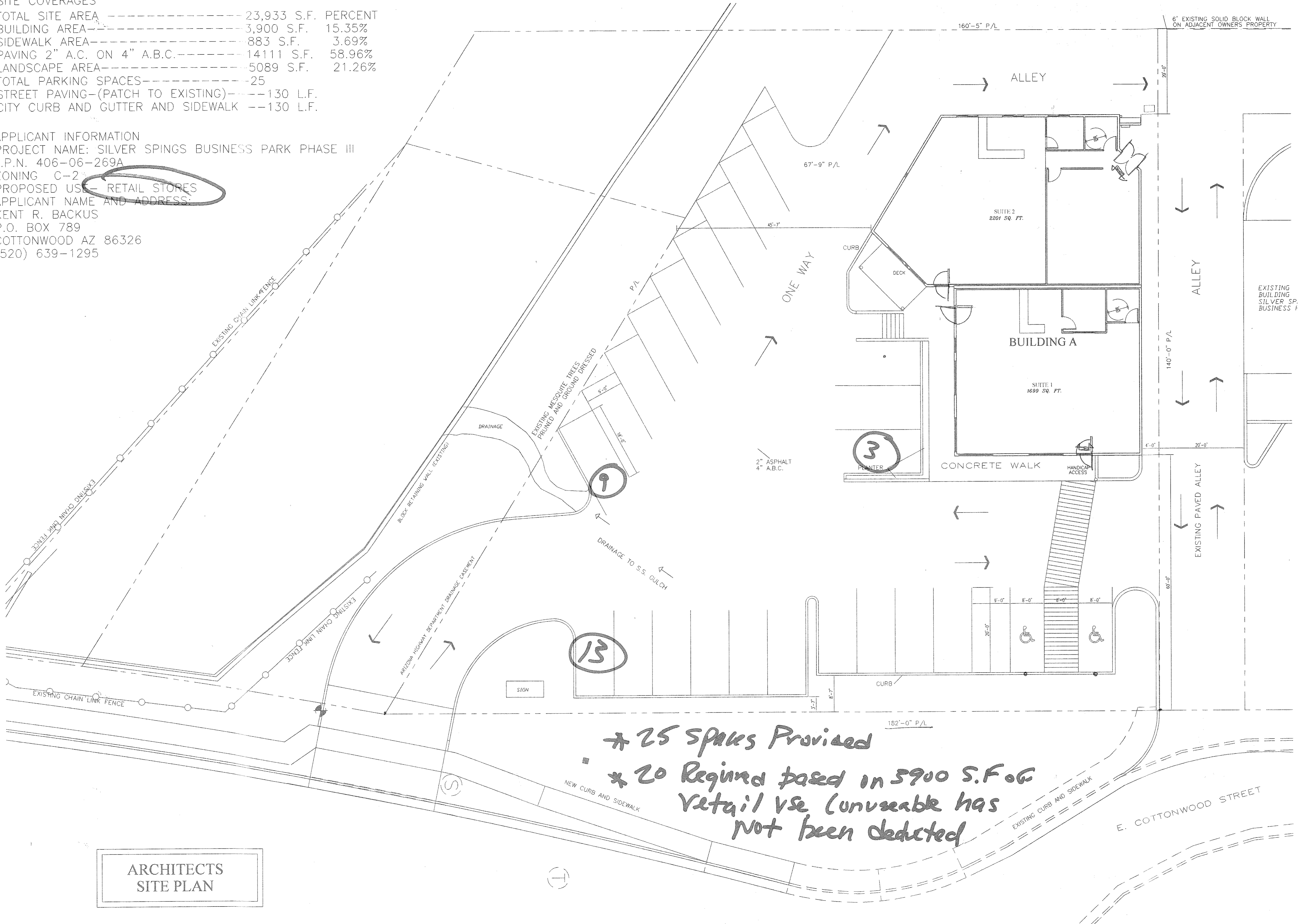
APPLICANT COPY APPROVED PLANS
 Approved 12/13/02 By: [Signature] Permit # 178512742
 Address: 4775 S. Cottonwood St.
 APN: 400-012-010A

SITE COVERAGES

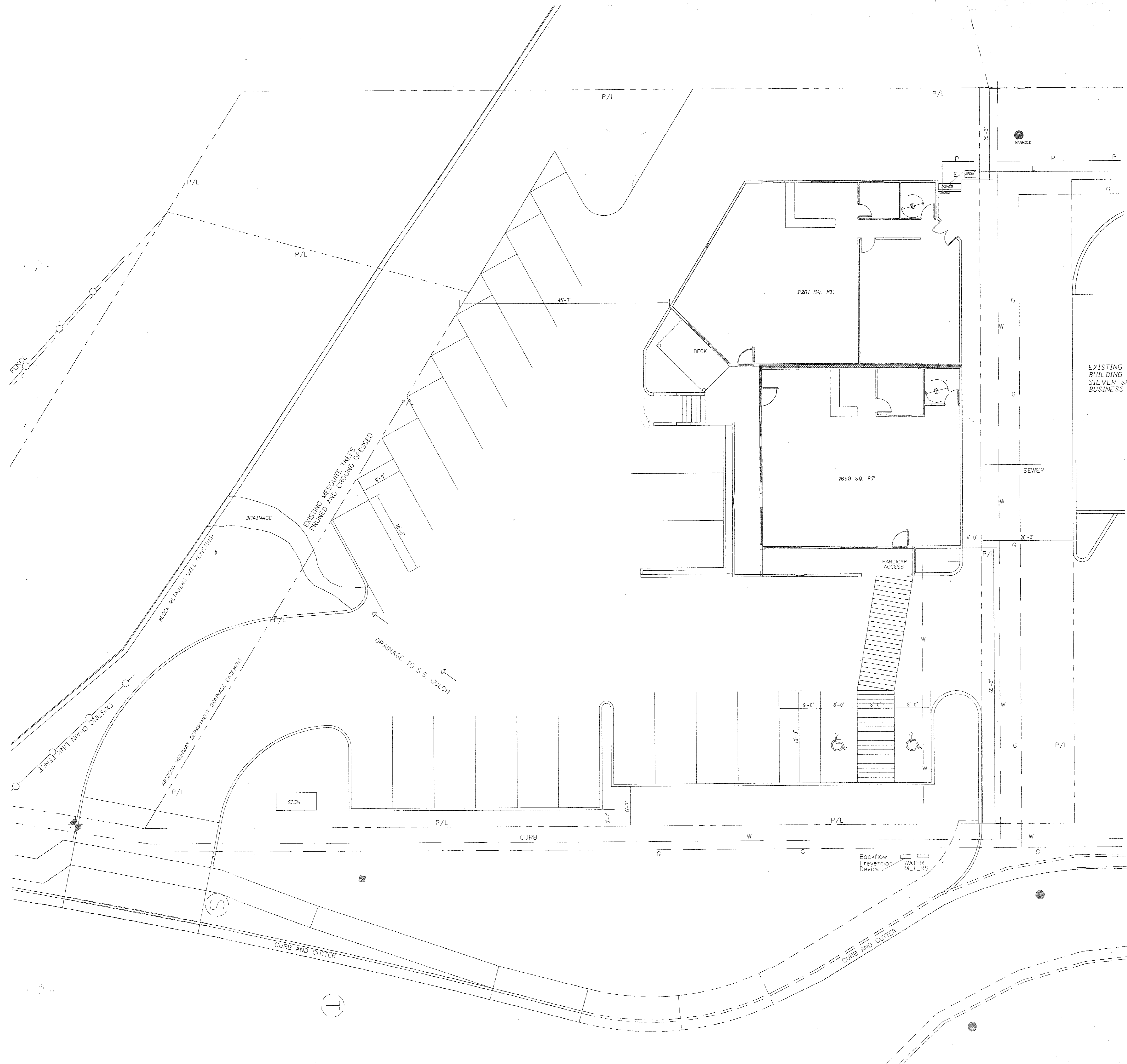
TOTAL SITE AREA	23,933 S.F.	PERCENT
BUILDING AREA	3,900 S.F.	15.35%
SIDEWALK AREA	883 S.F.	3.69%
PAVING 2" A.C. ON 4" A.B.C.	14111 S.F.	58.96%
LANDSCAPE AREA	5089 S.F.	21.26%
TOTAL PARKING SPACES	25	
STREET PAVING (PATCH TO EXISTING)	130 L.F.	
CITY CURB AND GUTTER AND SIDEWALK	130 L.F.	

APPLICANT INFORMATION

PROJECT NAME: SILVER SPINGS BUSINESS PARK PHASE III
 T.P.N. 406-06-269A
 ZONING C-2
 PROPOSED USE: RETAIL STORES
 APPLICANT NAME AND ADDRESS:
 KENT R. BACKUS
 P.O. BOX 789
 COTTONWOOD AZ 86326
 (520) 639-1295



PAGE	PLAN NO.	DATE:	SCALE: 1" = 10'-0"
	SSBPI		
OF	DRAWN BY:	SITE PLAN	B BAR W DEVELOPMENT CO.
	CDB		
2			SILVER SPRING BUSINESS PARK PHASE III

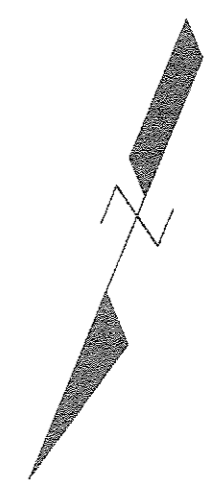


LEGEND

- E — POWER
- G — GAS
- W — WATER
- P/L — PROPERTY
- P — PHONE

ALL UTILITIES UNDERGROUND

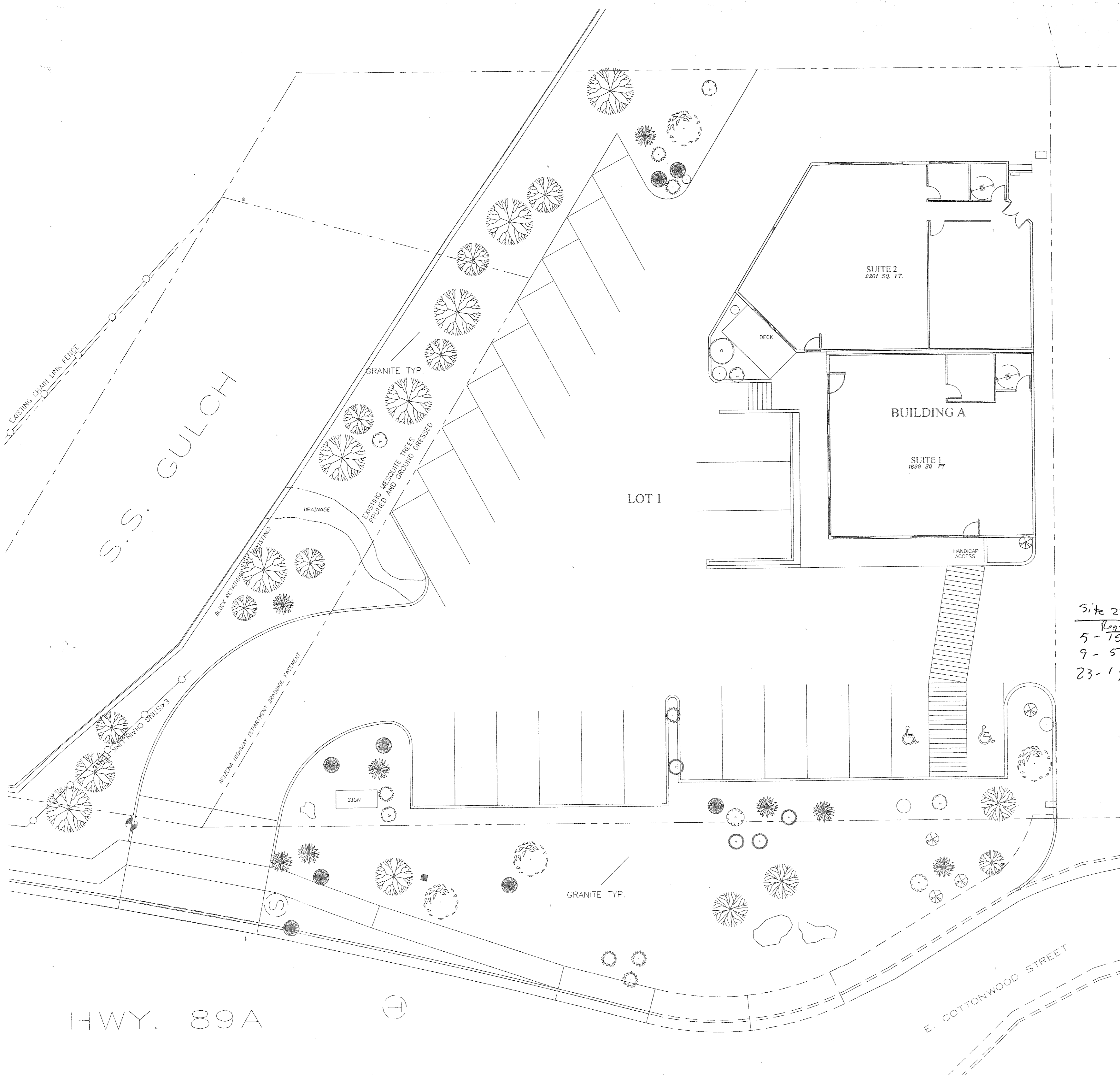
EXISTING BUILDING SILVER SPRINGS BUSINESS PARK



PAGE	PLAN NO.	UTILITY PLAN	SCALE: 1" = 10'-0"
	SSBP II		
3	DRAWN BY:	DATE:	OF
	CDB		

UTILITY PLAN

B BAR W DEVELOPMENT CO.
SILVER SPRING BUSINESS PARK PHASE III



PLANT MATERIAL LEGEND

	BACCHARIS SAROTHROIDES	DESERT BROOM	#15	16
	OENOTHERA BERLANDIERI	MEXICAN PRIMROSE	#1	4
	DASYLIRION WHEELERI	DESERT SPOON	#1	3
	PRUNUS CAROLINIANA	MOCK ORANGE	#15	1
	ALBIZIA JULIBRISSIN	MIMOSA	#15	3
	FRAXINUS VELUTINA	ARIZONA ASH	#15	4
	PODOCARPUS GRACILIOR	FERN PINE	#5	5
	CAESALPINIA GILLIESII	BIRD OF PARADISE	#5	2
	FATSIA JAPONICA	JAPANESE ARALIA	#5	2
	HESPERALOE PARVIFLORA	RED YUCCA	#5	8
	NANDINA DOMESTICA	HEAVENLY BAMBOO	#1	8
	PENNISETUM SETACEUM	FOUNTAIN GRASS	#1	4
	JASMINUM MESNYI	YELLOW JASMINE	#1	3
	LIRIOPE MUSCARI	LILY TURF	#1	2

Site 23,933 = 2,393 SF. OF Site Landscaping
 Required
 5 - 15 gallon
 9 - 5 gallon
 23 - 1 gallon
 Provided
 24 - 15 gallon
 17 - 5 gallon
 24 - 1 gallon

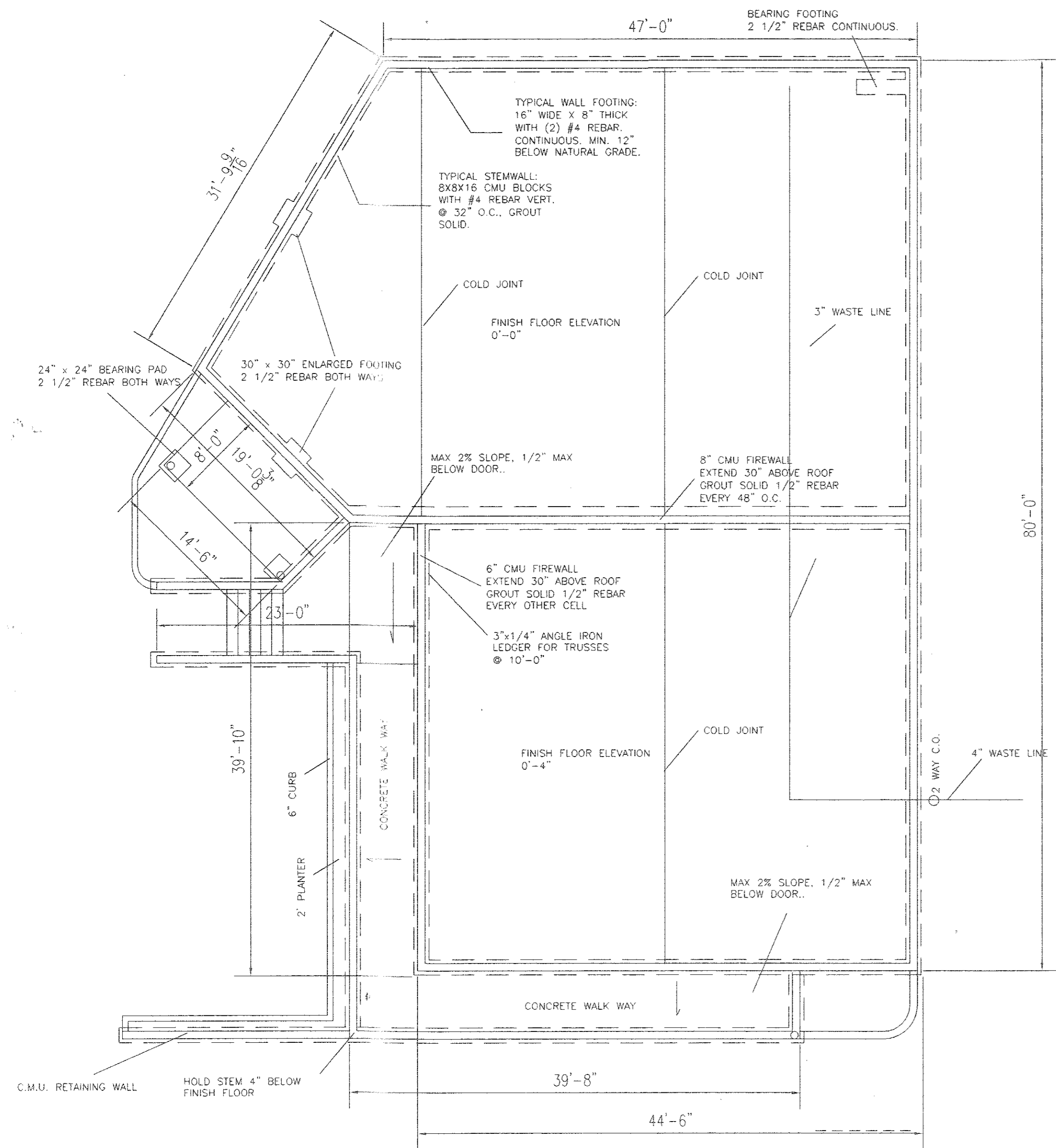
NOTES:
 ALL PLANTS TO BE WATERED WITH AN AUTOMATIC DRIP SYSTEM PROFESSIONALLY MAINTAINED
 ALL DISTURBED AREAS TO BE COVERED WITH 1 1/2" GRANITE
 PLANTING TO CONFORM TO THE COTTONWOOD LANDSCAPE ORDINANCE.

HWY. 89A

E. COTTONWOOD STREET

LANDSCAPE PLAN

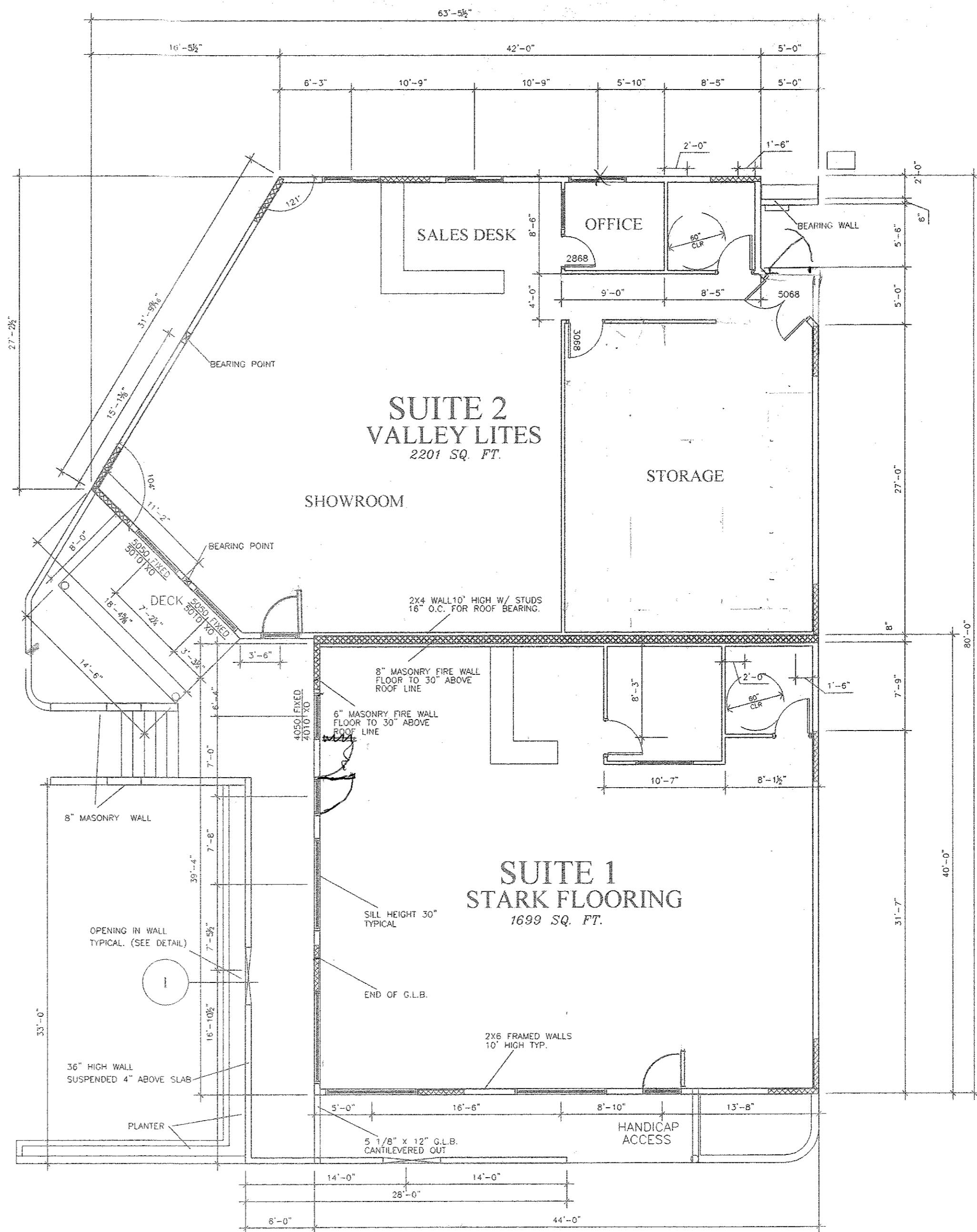
PAGE	PLAN NO.	DATE:
	SSBPH	
OF	DRAWN BY:	LANDSCAPE PLAN
	CDB	
B BAR W DEVELOPMENT CO.		SCALE: 1" = 10'-0"
SILVER SPRING BUSINESS PARK PHASE III		



FOUNDATION PLAN

GENERAL NOTES

1. ALL CONCRETE SHALL BE 2,500 PSI
2. ALL EXTERIOR CONCRETE SIDEWALKS SHALL HAVE BROOM FINISH.
3. INTERIOR FLOOR SLAB SHALL HAVE SMOOTH FINISH
4. ALL PAD AND WALL FOOTINGS SHALL BE 12" MIN. BELOW GRADE
5. FINISH OPENINGS
6. SEE FLOOR PLAN FOR SHEAR WALL LOCATIONS



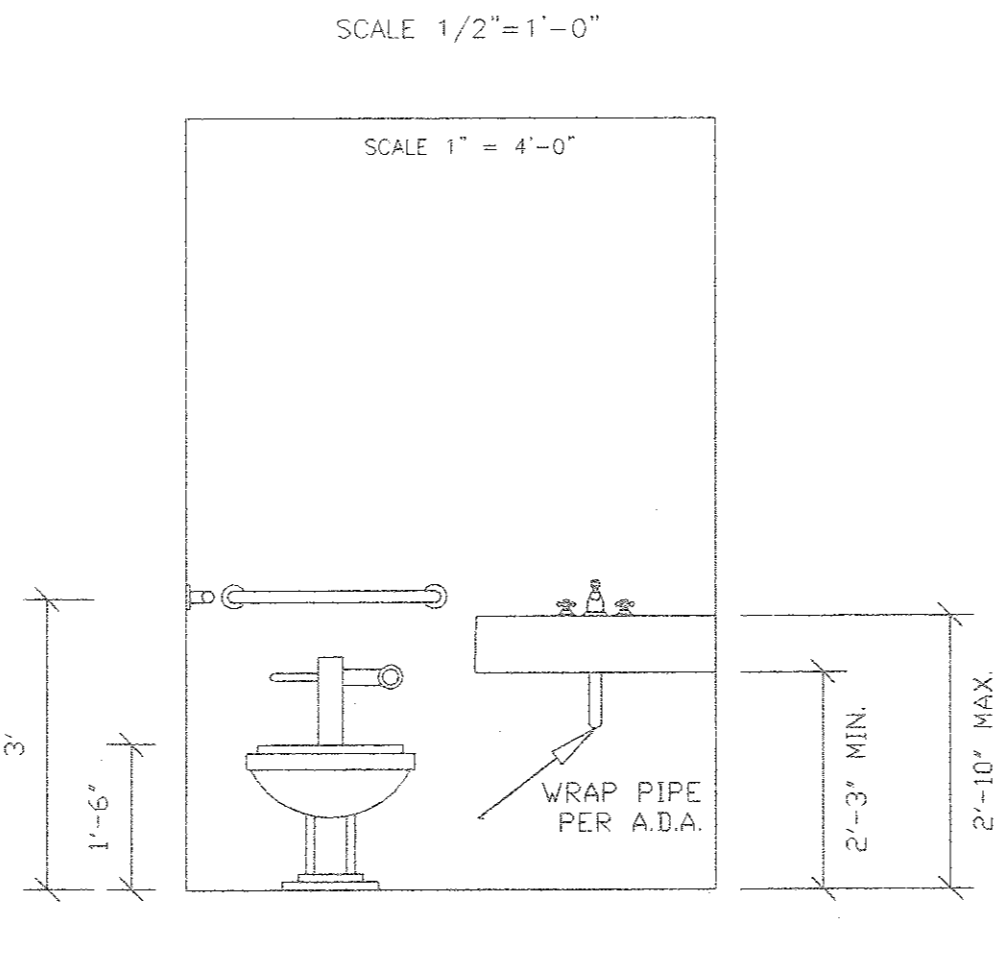
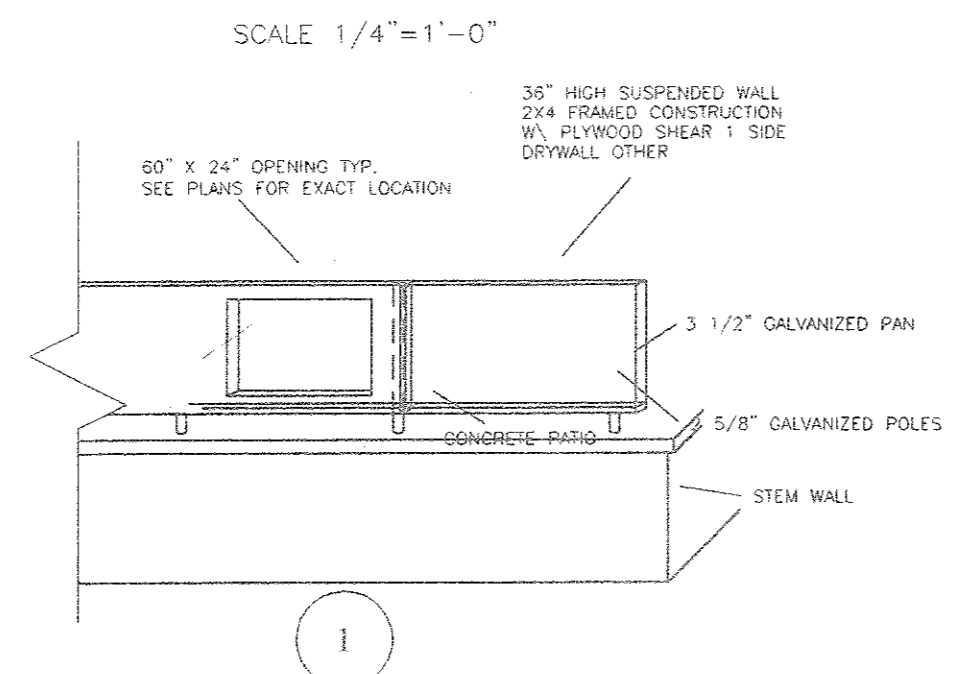
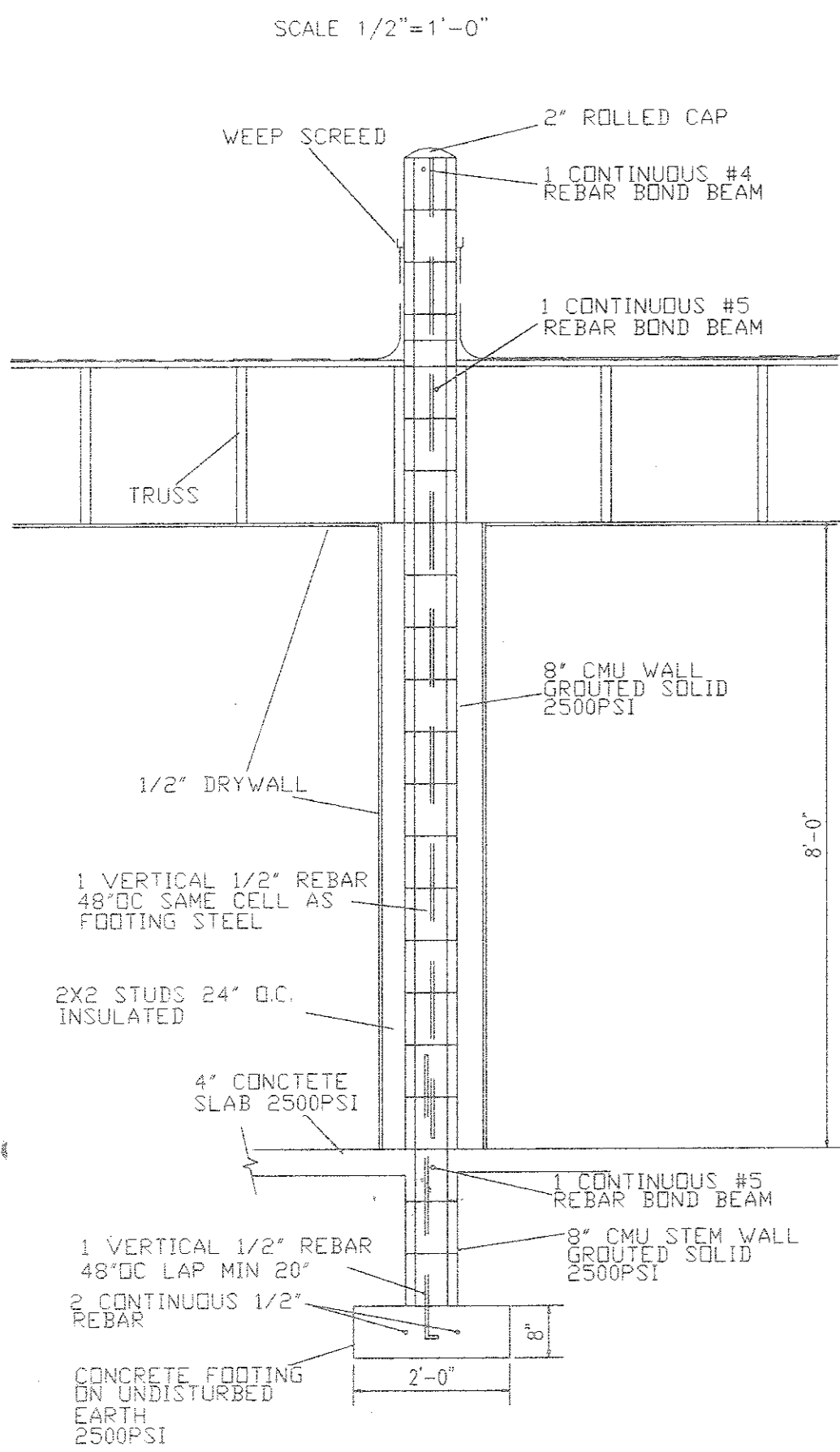
FLOOR PLAN

GENERAL NOTES

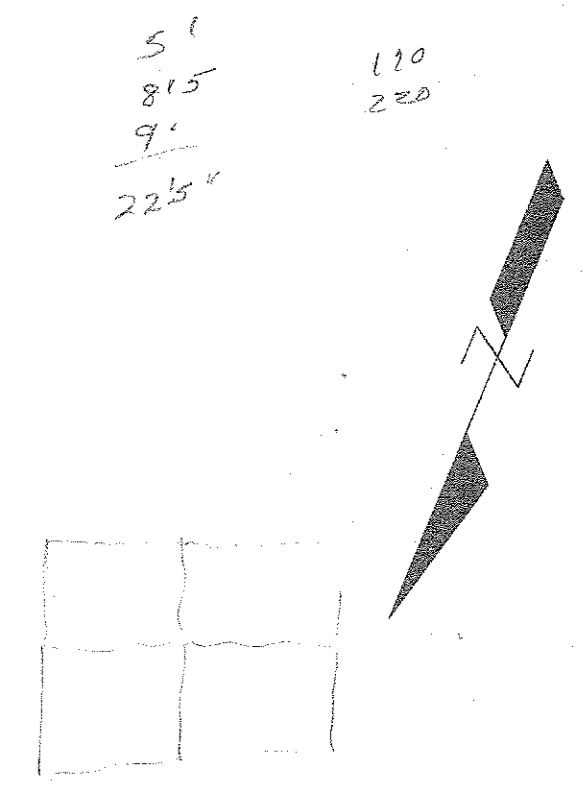
1. WINDOW HEAD HEIGHT 6'-9 1/2" TYP.
2. 8046 FIXED WINDOWS TYPICAL ACROSS NORTH AND EAST SIDE EXCEPT WHERE OTHERWISE NOTED.
3. 8016 XO WINDOWS TYPICAL ACROSS SOUTH SIDE TYP.
4. 5020 XO WINDOWS TYPICAL ACROSS SOUTH SIDE TYP.
5. 3068 EXTERIOR DOORS TYPICAL
6. 3068 BATHROOM DOORS TYPICAL
7. ALL EXTERIOR WALL FRAMING SHALL BE 2X6 @16" O.C. UNLESS NOTED OTHERWISE W/ 1/2" EXTERIOR DRYWALL, TYVEK WRAP, WIRE AND ONE COAT STUCCO.
8. INTERIOR PARTITION WALLS SHALL BE 2X4 10' HIGH

LEGEND

- EXTERIOR BRACED WALL PANEL: MIN. 4' LONG 1/2" PLYWOOD SHEATHING NAILED PER U.B.C.
- ALTERNATE EXTERIOR BRACED WALL PANEL: MIN. 24" LONG, 1/2" PLYWD NAILED 100'S 4" O.C. ON EDGES, 12" O.C. FIELD, WITH HPAHD EACH END

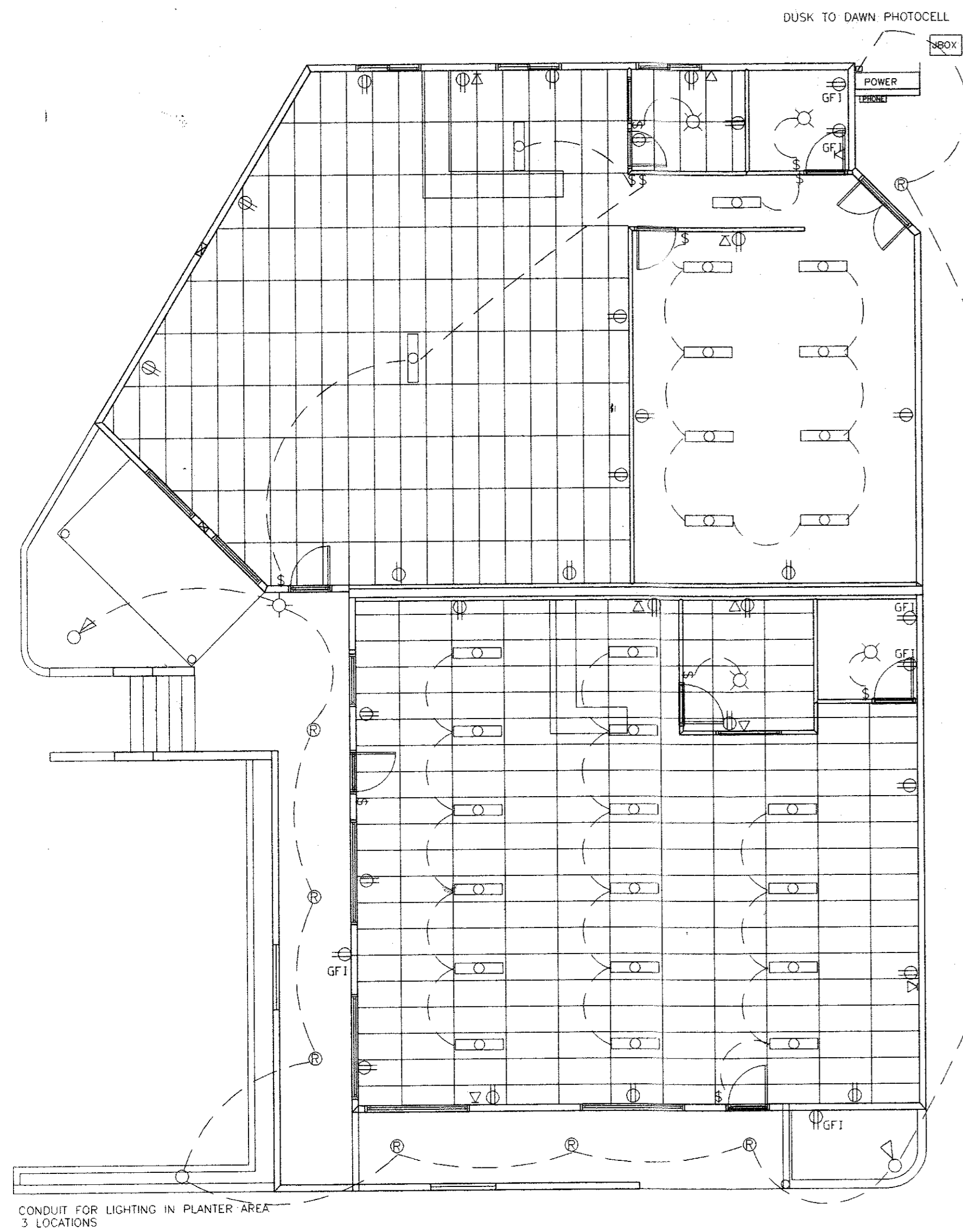


TYPICAL BATHROOM

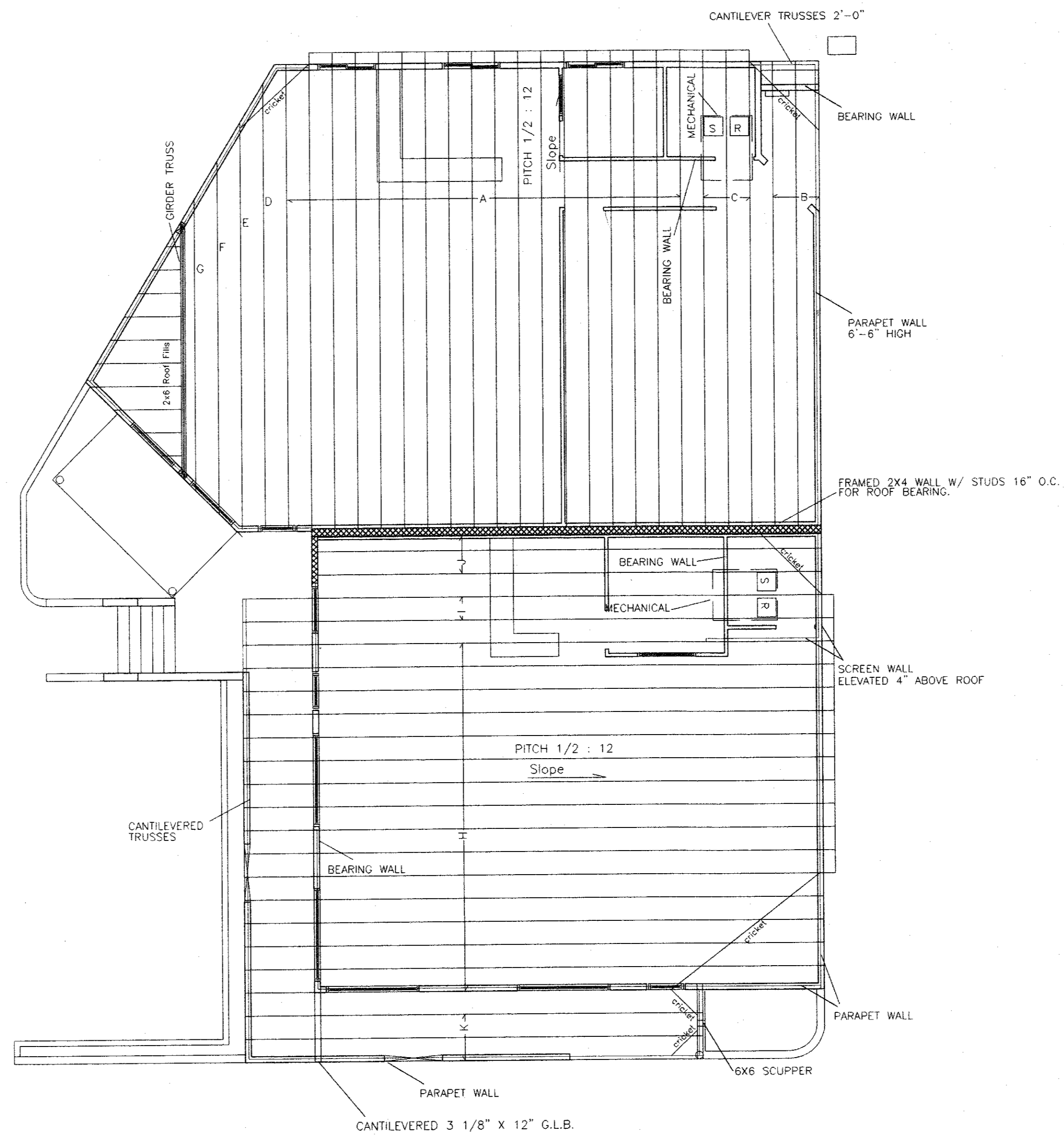


B BAR W DEVELOPMENT CO.	
SILVER SPRING BUSINESS PARK PHASE III	
PLAN NO. SSBP II	FLOOR / FND PLAN
DRAWN BY: CDB	SCALE: 1" = 8'-0"
PAGE 5	DATE:
OF	

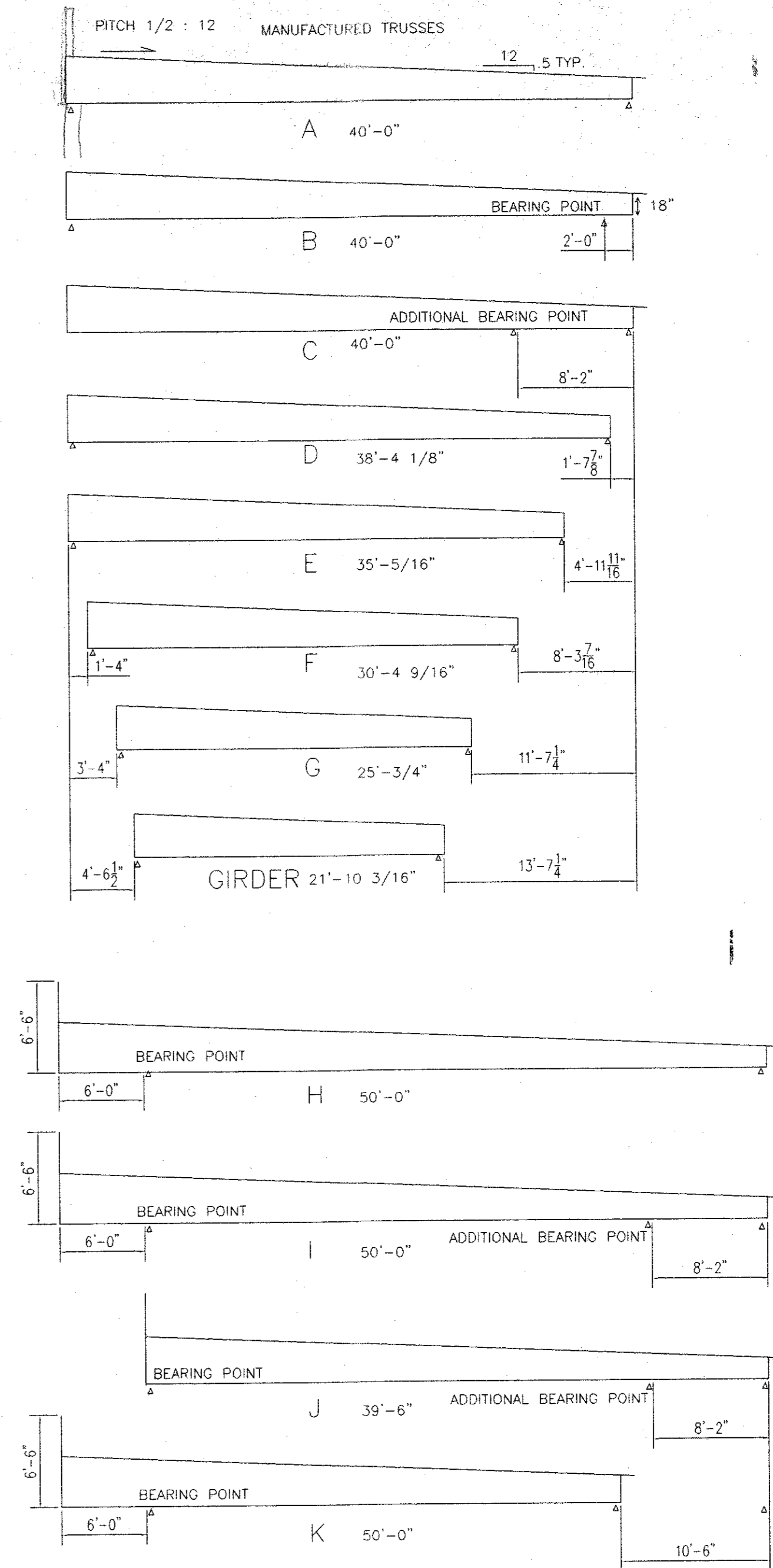
FOUNDATION / FLOOR PLAN



ELECTRICAL / REFLECTED CEILING PLAN



ROOF FRAMING PLAN



OUTSIDE ELECTRICAL FIXTURE SCHEDULE FOR SILVER SPRINGS BUSINESS PARK PHASE III

LOT SIZE: 23,933 NET SQ. FT.
 MAX ALLOWABLE LUMENS ON SITE: 55,045 (100,000/43,560*23,933)
 TOTAL FULLY SHIELDED LUMENS PROPOSED: 7895
 MAX ALLOWABLE UNSHIELDED LUMENS ON SITE: 3022 (5500/43560*23933)
 TOTAL UNSHIELDED LUMENS PROPOSED: 2570
 TOTAL SITE LUMENS PROPOSED: 11465

FULLY SHIELDED FIXTURE SCHEDULE:

Qty	Description	Wattage Ea	Lumens Ea	Total Lumens
7	HS-T Halo Recessed Housings w/open white Trim rings, 65w BR30 Lamps	65	715	5005
1	K-15222 Alum Downlight by Kichler W/75W A21 Rough Service, I.E. Lamps	75	750	750
1	Lafigo "Electric" Wall Sconce W/Uplight shield option A21, 150W inside Frost Lamp	150	2140	2140
Total Proposed Shielded Site Lumens			7895	
Total Allowable Shielded Site Lumens			55,045	

UNSHIELDED FIXTURE SCHEDULE:

2	WeatherProof Uplight Housing W/100 Watt, A21 2 5/8" Dia. Medium Base Lamp	100	1285	2570
Total Proposed Unshielded Site Lumens			2570	
Total Allowable Unshielded Site Lumens			3022	

ELECTRICAL LEGEND

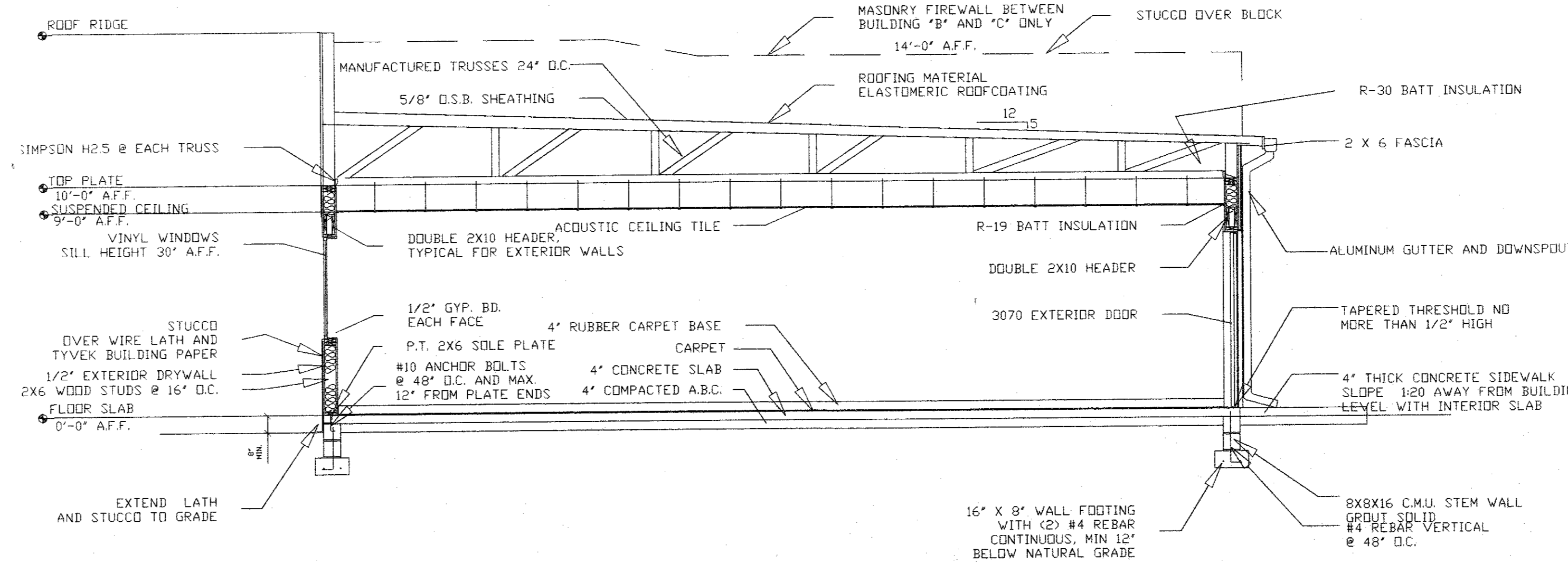
- 110 V. DUPLEX OUTLET
- 110 V. DUPLEX OUTLET W/ GROUND FAULT INTERRUPTOR
- 220V OUTLET
- 1" PHONE CONDUIT FROM TELEPHONE CABINET TENANT TO PROVIDE JACKS AND PULL CABLE
- WALL MOUNT LIGHT FIXTURE, (SHIELDED)
- CEILING MOUNT RECESSED CAN LIGHT FIXTURE.
- GROUND MOUNTED, GROUND SPREAD LIGHT FIXTURE.
- CEILING MOUNT LIGHT AND FAN COMBO.
- GROUND MOUNTED, 100 W. UPLIGHT FIXTURE.

GENERAL NOTES

- ALL EXTERIOR OUTLETS SHALL HAVE WATERPROOF COVERS
 - TENANT IMPROVEMENT PLANS WILL SHOW CEILING LIGHTS, SWITCHING, PHONE AND OUTLET LOCATIONS
 - ELECTRICAL PULL SECTIONS: RYCO UNDERGROUND PULL SECTION 400
 - METER SECTIONS: RYCO TENANT METER SECTIONS W/60 AMP FUSE
 - SUB PANELS- 12-24 TYPE I INTERIOR ENCLOSURE FLUSH MOUNT
 - HOUSE METER:
 - ALL EXTERIOR LIGHTING
 - PROVIDE CONDUIT UNDER PARKING LOT FOR TREE LIGHTING AT FRONT OF PROPERTY
 - PROVIDE OUTSIDE 110V. POWER METER SECTION FOR MAINTENANCE & LANDSCAPE TIMER CLOCK
 - PROVIDE 1" PHONE CONDUIT UNDER SLAB FROM TELEPHONE CABINET, 1 COMPLETE RUN FOR EACH UNIT TOTAL 12.
 - PROVIDE 1 CABLE T.V. RUN FROM CABLE T.V. CABINET TO EACH UNIT THROUGH ATTIC SPACE.
 - PROVIDE 1 UNDERGROUND TEMPORARY POWER PEDESTAL FOR TEMPORARY POWER DURING CONSTRUCTION.
- MECHANICAL**
- PROVIDE 1 ROOF MOUNT GAS PACK JANITROL MODEL # PCB024050 OR EQUAL
 - PROVIDE 6" HIGH SHEET METAL CURB W/ 5" ROOF FLASHING SOLDER ALL CORNERS AND JOINTS.
 - DUCT SYSTEMS AND THERMOSTATS TO BE BID SEPARATE AT TIME OF TENANT IMPROVEMENT. ALL SHOP DRAWINGS OR PLANS TO BE APPROVED BY CITY OF COTTOWOOD BUILDING DEPARTMENT.

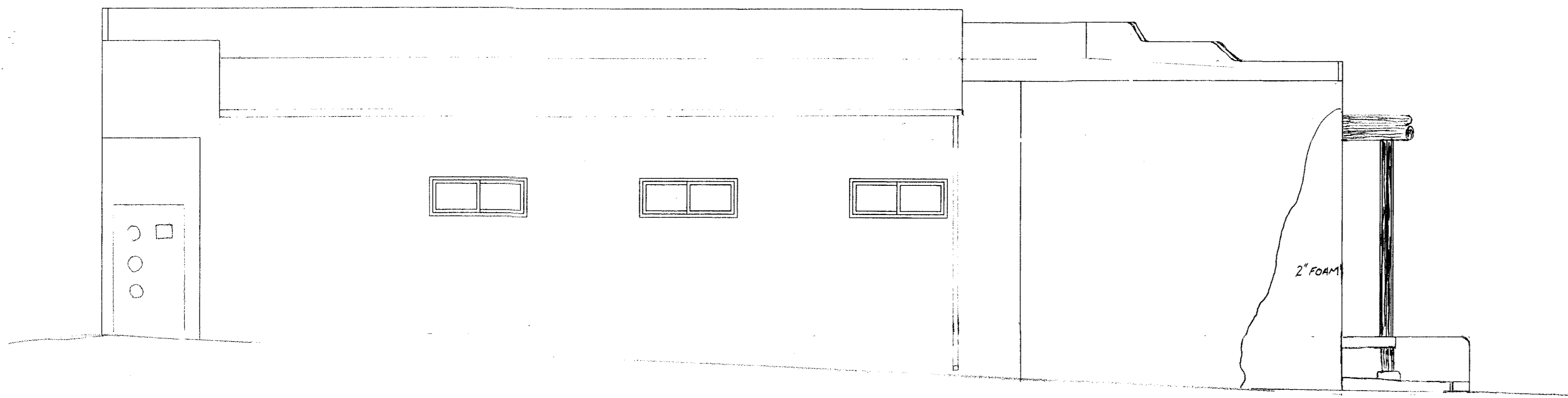
GENERAL NOTES

- ALL LUMBER SHALL BE HEM-FIR OR EQUAL UNLESS NOTED OTHERWISE.
- WALLS SHOWN ARE BELOW ROOF FRAMING EXCEPT FOR THE DASHED LINES.
- ENGINEERING FOR TRUSSES TO BE PROVIDED BY MANUFACTURER.
- ALL GLUED LAMINATED BEAMS SHALL BE 24F-V4 DF/DF.
- INTERIOR PARTITIONS WILL BE BRACED AT ENDS TO ROOF TRUSSES.
- ALL SHEAR WALLS SHALL EXTEND TO BOTTOM CHORD OF TRUSSES.
- DOUBLE 2" X 10" D.F. HEADERS TYPICAL OVER ALL OPENINGS

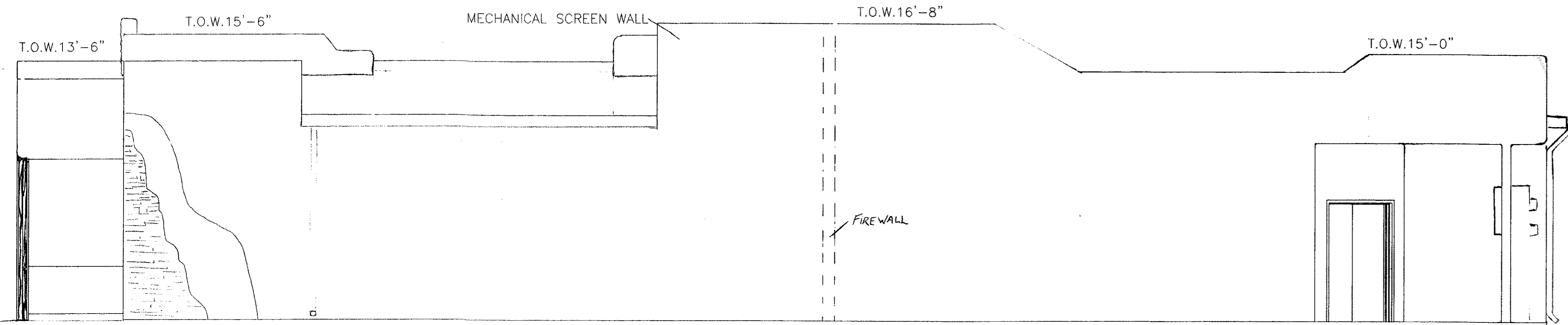


B BAR W DEVELOPMENT CO.
 SILVER SPRING BUSINESS PARK PHASE III
 PLAN NO. SSBP II
 DRAWN BY: CDB
 DATE:
 PAGE 6 OF 6
 SCALE: 1" = 10'-0"
 ROOF PLAN

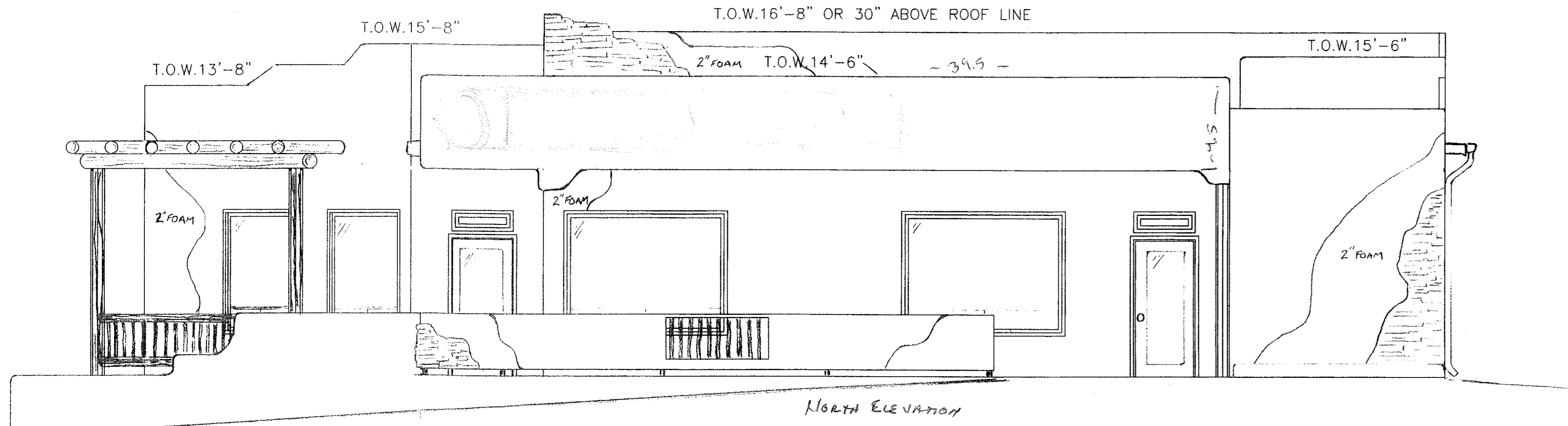
NOV 22 2000



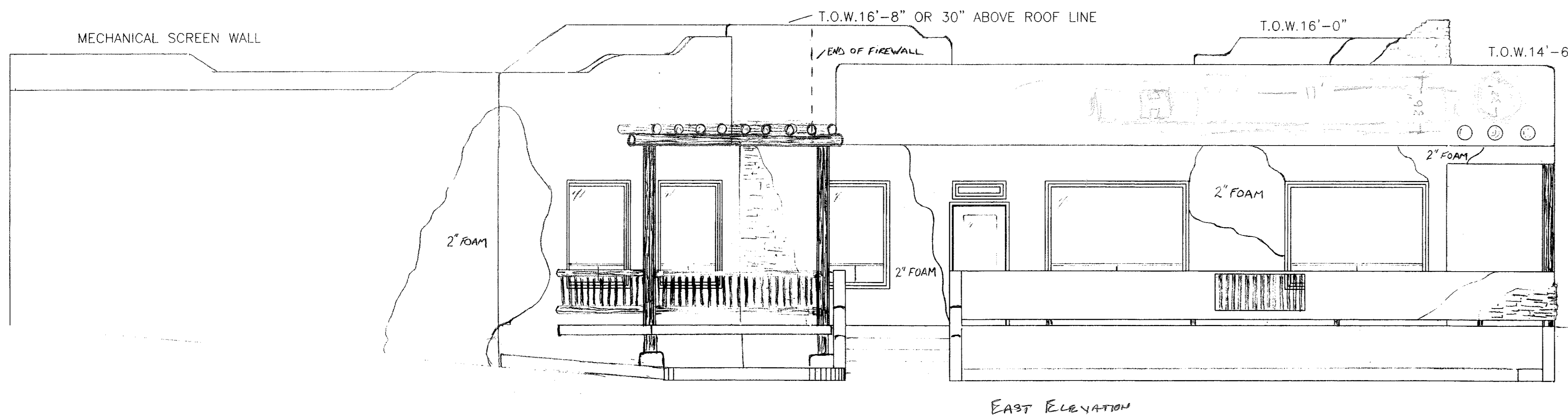
SOUTH SIDE ELEVATION



WEST SIDE ELEVATION



NORTH SIDE ELEVATION



EAST SIDE ELEVATION

ELEVATIONS

PAGE 7 OF	PLAN NO. SSBPH	DATE:	ELEVATIONS
	DRAWN BY: CDB		
B BAR W DEVELOPMENT CO.		SILVER SPRING BUSINESS PARK PHASE III	

GRADING AND PAVING PLAN
FOR SILVER SPRINGS PHASE 2
A.P.N. 406-06-269A

LEGEND

- ① 2.5' CURB TRANSITION
- ② 3' CURB DEPRESSION
- ③ MAG. STD. 220 TYPE A CURB AND GUTTER.
- ④ MAG. STD. 220 RIBBON CURB.

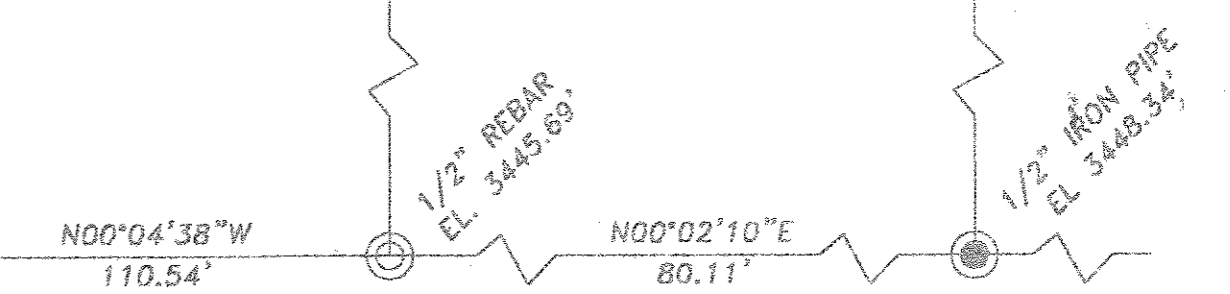
2" AC/4" ABC

← SLOPE INDICATOR
— EXISTING
— PROPOSED
CUT ± 0 C.Y.
FILL ± 5000 C.Y.

SITE CONSTRUCTION NOTES

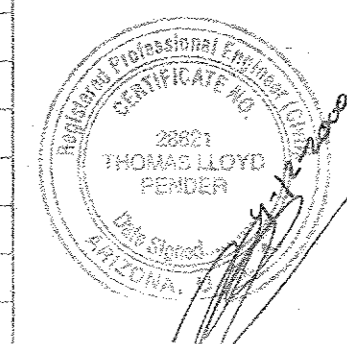
1. ALL GRADING SHALL BE IN ACCORDANCE WITH THE CITY OF COTTONWOOD SPECIFICATIONS.
2. ALL FILLS SHALL BE PLACED IN LIFTS OF NO MORE THAN 8" IN DEPTH, AND COMPACTED TO NOT LESS THAN 95% M.D.
3. ALL DISTURBED AREAS SHALL BE REVEGETATED WITH NATIVE MATERIAL TO REDUCE POTENTIAL FOR EROSION, UNLESS OTHERWISE NOTED.
4. CALL 1-800-STAKE IT PRIOR TO ANY EXCAVATION.
5. IN THE EVENT THAT A DISCREPANCY IS DISCOVERED THE CONTRACTOR SHALL CONTACT THE ENGINEER FOR CLARIFICATION.
6. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES AND PROTECT SAME WHILE UNDER CONSTRUCTION.
7. ALL CONSTRUCTION IN THE ADOT R.O.W. TO BE IN ACCORDANCE WITH ADOT STANDARDS AND SPECIFICATIONS.
8. DUST CONTROL IN ACCORDANCE WITH CITY OF COTTONWOOD SPECIFICATIONS SHALL BE PROVIDED AT ALL TIMES WHILE UNDER CONSTRUCTION.
9. ALL BOUNDARY INFORMATION BASED ON RECORD INFORMATION, NO BOUNDARY SURVEY WAS PERFORMED.

BENCHMARK:



OWNER:
KENT & JUDY HACKUS
P.O. BOX 789
COTTONWOOD, AZ.
86326

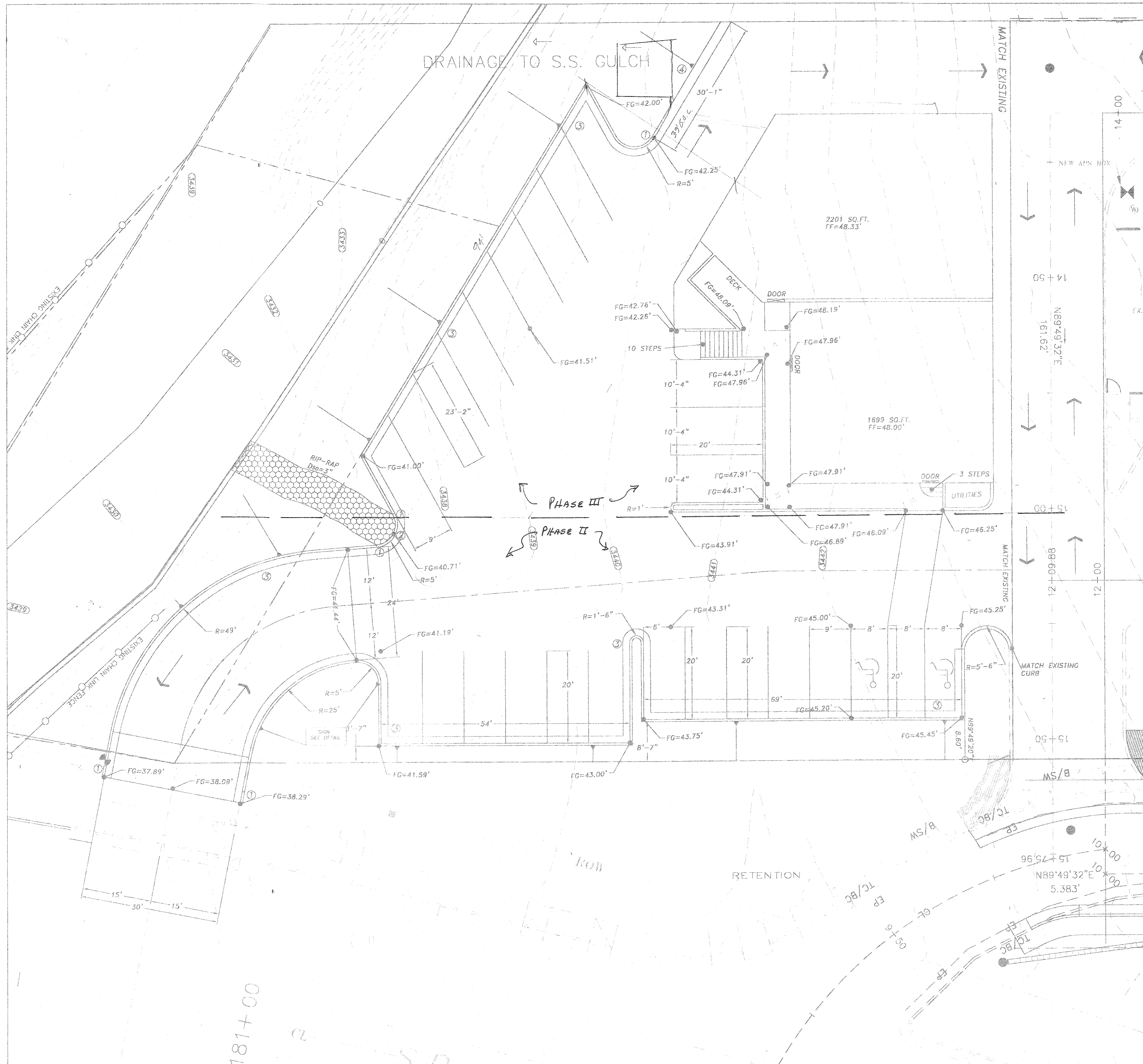
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09-11-00	TLP	DESIGN
09-11-00	JJD	DRAWN
09-12-00	TLP	CHECKED
		REVISED

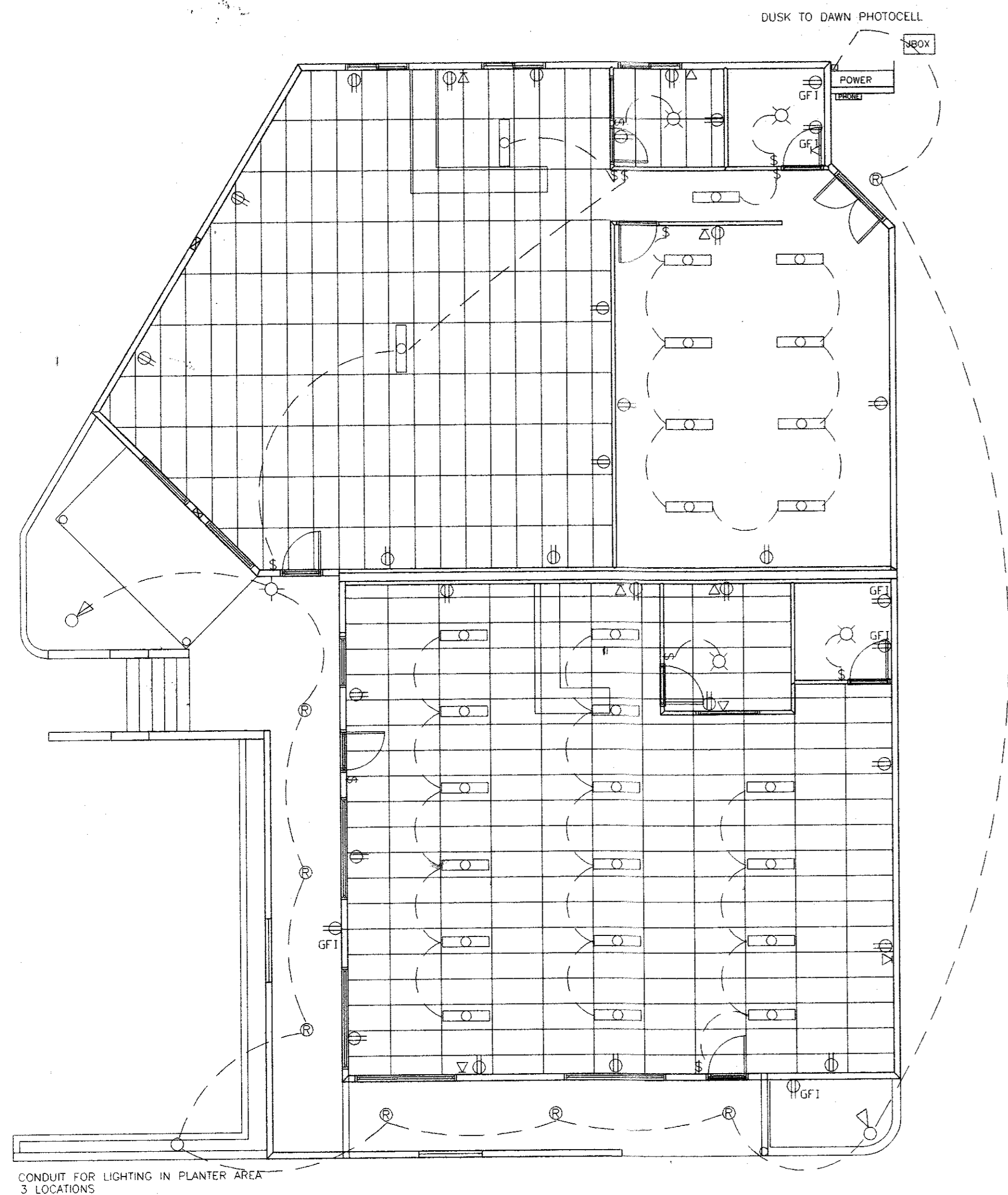


Pender Engineering
Tom L. Pender, P.E.
P.O. Box 1245
Cottonwood, AZ 86326
(620) 639-0776

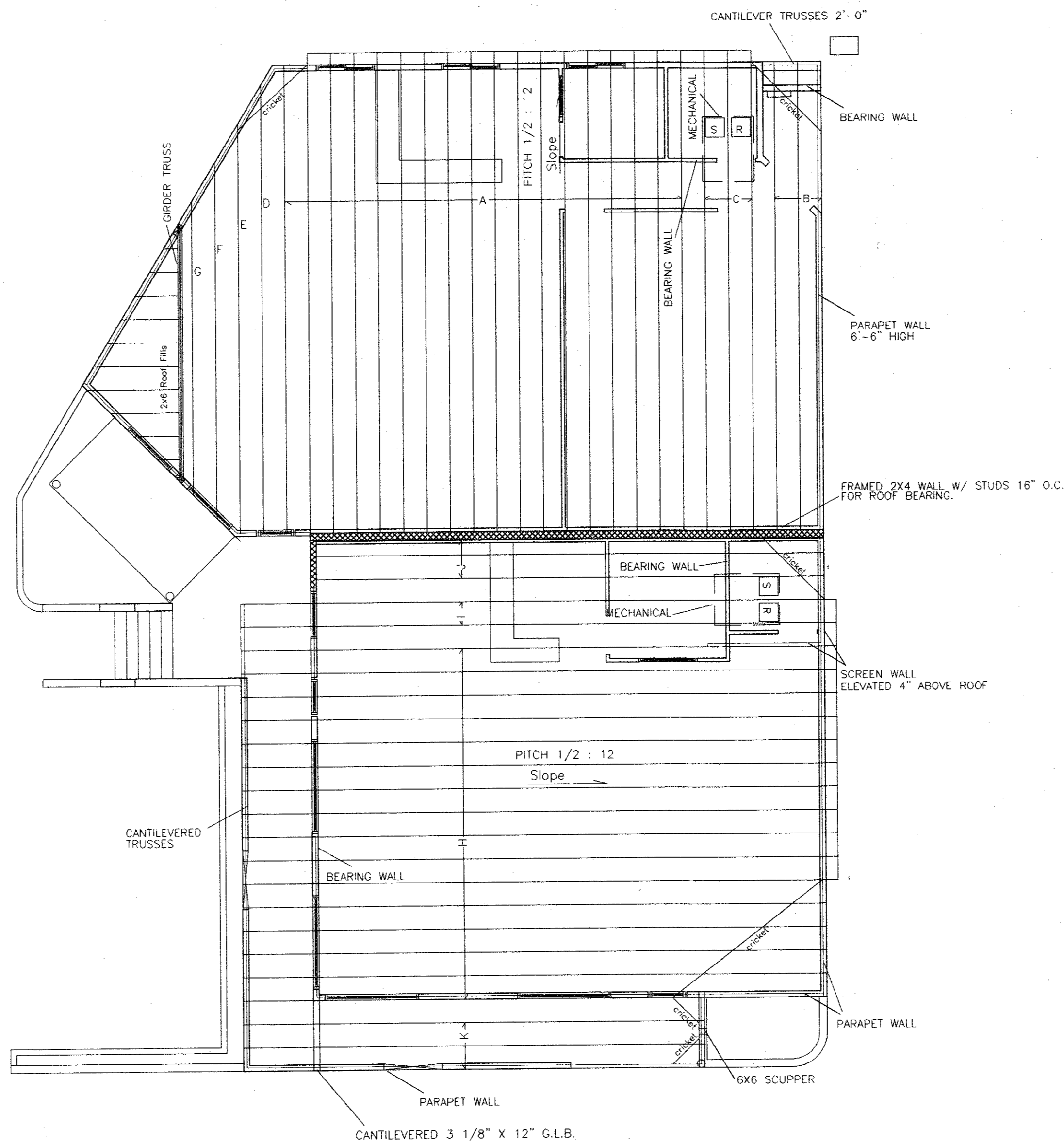
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DWG. NAME: BACKFIX3.DWG

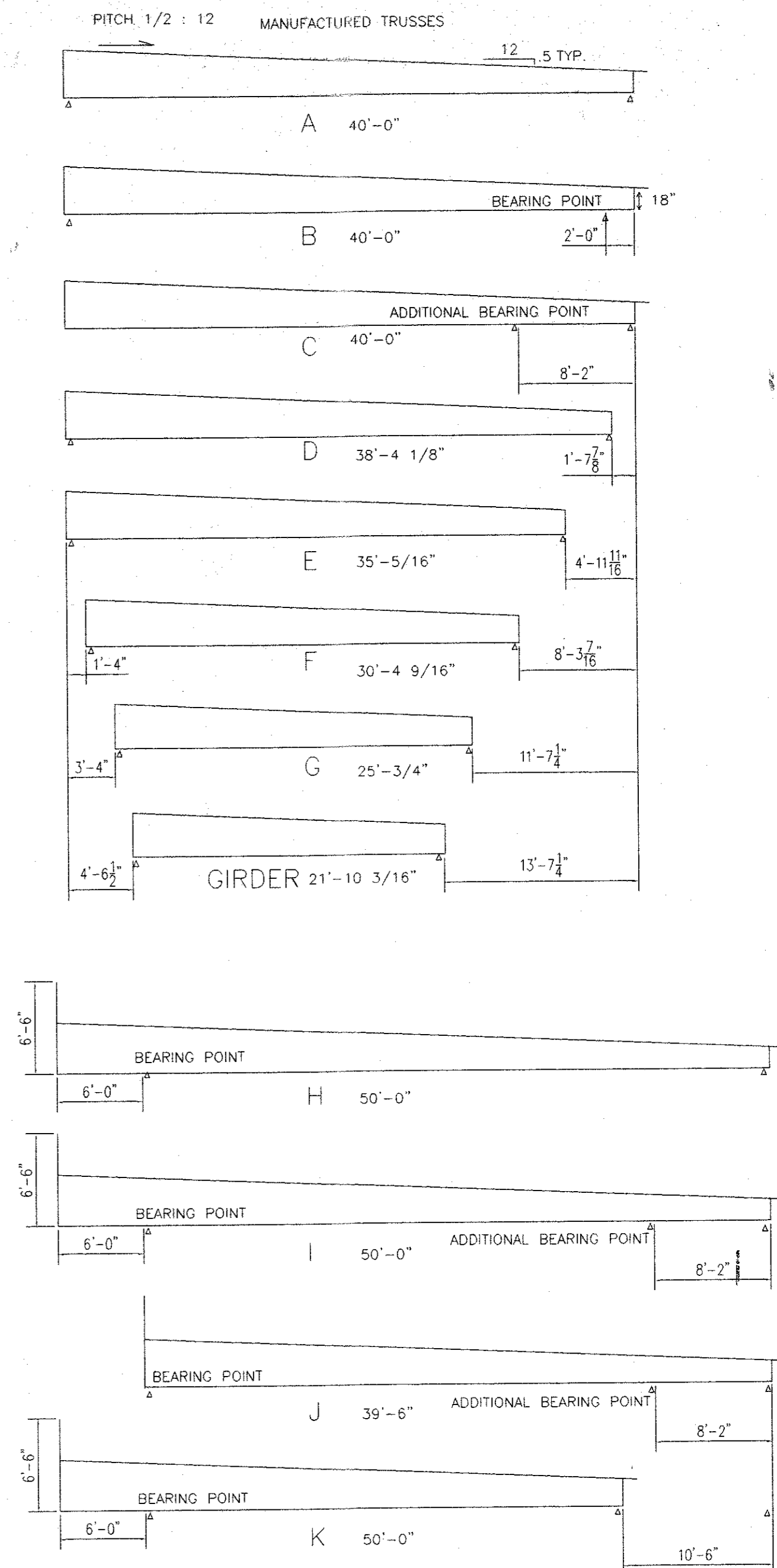




ELECTRICAL / REFLECTED CEILING PLAN



ROOF FRAMING PLAN



OUTSIDE ELECTRICAL FIXTURE SCHEDULE FOR SILVER SPRINGS BUSINESS PARK PHASE III

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 MAX. ALLOWABLE UNSHIELDED FIXTURES ON SITE: 3022 (5500/43560*23933)
 TOTAL UNSHIELDED LUMENS PROPOSED: 2570
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FULLY SHIELDED FIXTURE SCHEDULE:

Qty	Description	Wattage Ea.	Lumens Ea.	Total Lumens
7	HS-T Halo Recessed Housing w/open white Trim rings, 65w BR30 Lamps	65	715	5005
1	K-15222 Alum Downlight by Kichler W/75W A21 Rough Service, I.F. Lamps	75	750	750
1	1stigo "Electric" Wall Sconce W/Uplight shield option A21, 150W inside frost Lamp	150	2140	2140
Total Proposed Shielded Site Lumens				7895
Total Allowable Shielded Site Lumens				55,045

UNSHIELDED FIXTURE SCHEDULE:

2	WeatherProof Uplight Housing W/100 Watt, A21 2 5/8" Dia. Medium Base Lamp	100	1285	2570
Total Proposed Unshielded Site Lumens				2570
Total Allowable Unshielded Site Lumens				3022

ELECTRICAL LEGEND

- ⊕ 110 V. DUPLEX OUTLET
- ⊕ GF1 110 V. DUPLEX OUTLET W/ GROUND FAULT INTERRUPTOR
- ⊕ 220V OUTLET
- ⊕ 1" PHONE CONDUIT FROM TELEPHONE CABINET. TENANT TO PROVIDE JACKS AND PULL CABLE
- ⊕ WALL MOUNT LIGHT FIXTURE. (SHIELDED)
- ⊕ CEILING MOUNT RECESSED CAN LIGHT FIXTURE.
- ⊕ GROUND MOUNTED, GROUND SPREAD LIGHT FIXTURE.
- ⊕ CEILING MOUNT LIGHT AND FAN COMBO.
- ⊕ GROUND MOUNTED, 100 W UPLIGHT FIXTURE.

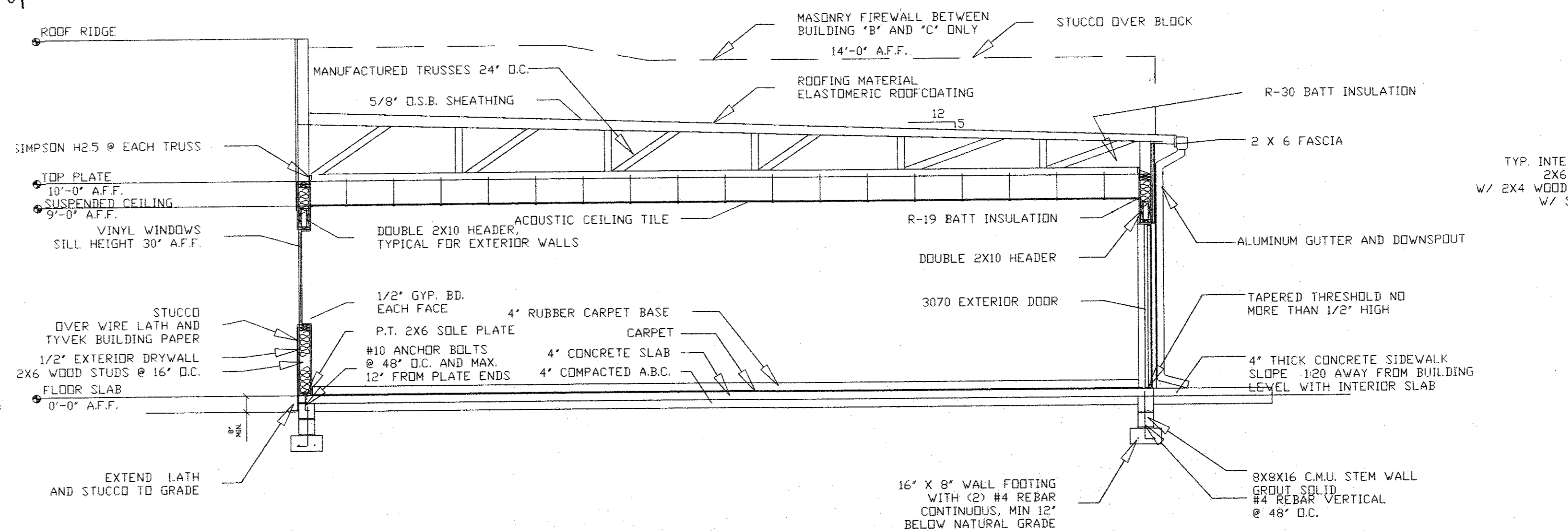
GENERAL NOTES

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 - SUB PANELS- 12-24 TYPE I INTERIOR ENCLOSURE FLUSH MOUNT
 - HOUSE METER:
 - ALL EXTERIOR LIGHTING
 - PROVIDE CONDUIT UNDER PARKING LOT FOR TREE LIGHTING AT FRONT OF PROPERTY
 - PROVIDE OUTSIDE 110V. POWER @ METER SECTION FOR MAINTENANCE & LANDSCAPE TIMER CLOCK
 - PROVIDE 1" PHONE CONDUIT UNDER SLAB FROM TELEPHONE CABINET. 1 COMPLETE RUN FOR EACH UNIT TOTAL 12.
 - PROVIDE 1 CABLE T.V. RUN FROM CABLE T.V. CABINET TO EACH UNIT THROUGH ATTIC SPACE.
 - PROVIDE 1 UNDERGROUND TEMPORARY POWER PEDESTAL FOR TEMPORARY POWER DURING CONSTRUCTION.
- MECHANICAL
- PROVIDE 1 ROOF MOUNT GAS PACK JANITOR MODEL # PCB024050 OR EQUAL
 - PROVIDE 6" HIGH SHEET METAL CURB W/ 5" ROOF FLASHING SOLDER ALL CORNERS AND JOINTS.
 - DUCT SYSTEMS AND THERMOSTATS TO BE BID SEPARATE AT TIME OF TENANT IMPROVEMENT. ALL SHOP DRAWINGS OR PLANS TO BE APPROVED BY CITY OF COTTONWOOD BUILDING DEPARTMENT.

GENERAL NOTES

- ALL LUMBER SHALL BE HEM-FIR OR EQUAL UNLESS NOTED OTHERWISE.
- WALLS SHOWN ARE BELOW ROOF FRAMING EXCEPT FOR THE DASHED LINES.
- ENGINEERING FOR TRUSSES TO BE PROVIDED BY MANUFACTURER.
- ALL GLUED LAMINATED BEAMS SHALL BE 24F-V4 DF/DF.
- INTERIOR PARTITIONS WILL BE BRACED AT ENDS TO ROOF TRUSSES.
- ALL SHEAR WALLS SHALL EXTEND TO BOTTOM CHORD OF TRUSSES.
- DOUBLE 2" X 10" D.F. HEADERS TYPICAL OVER ALL OPENINGS

APPROVED
 SUBJECT TO STIPULATIONS
 REVIEWED BY [Signature] (BOARD, ETC)
 DATE 1/27/00 INITIALS [Signature]
 * updated Lumen Calc.



B BAR W DEVELOPMENT CO.
SILVER SPRING BUSINESS PARK PHASE III
 PLAN NO. SSBP II
 DRAWN BY: CDB
 DATE:
 SCALE: 1" = 10'-0"
 ROOF PLAN
 PAGE 6 OF

NOV 22 2000