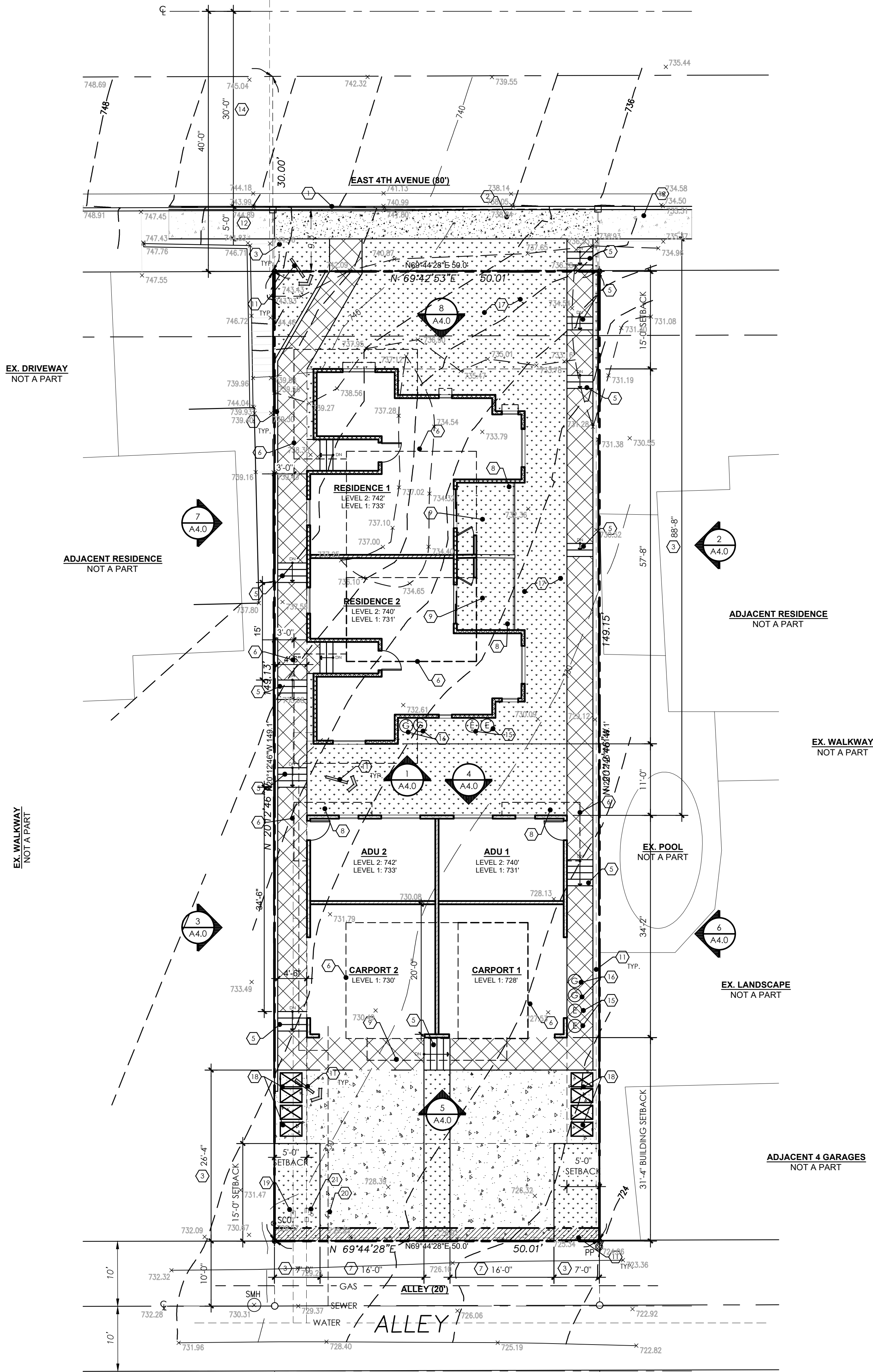
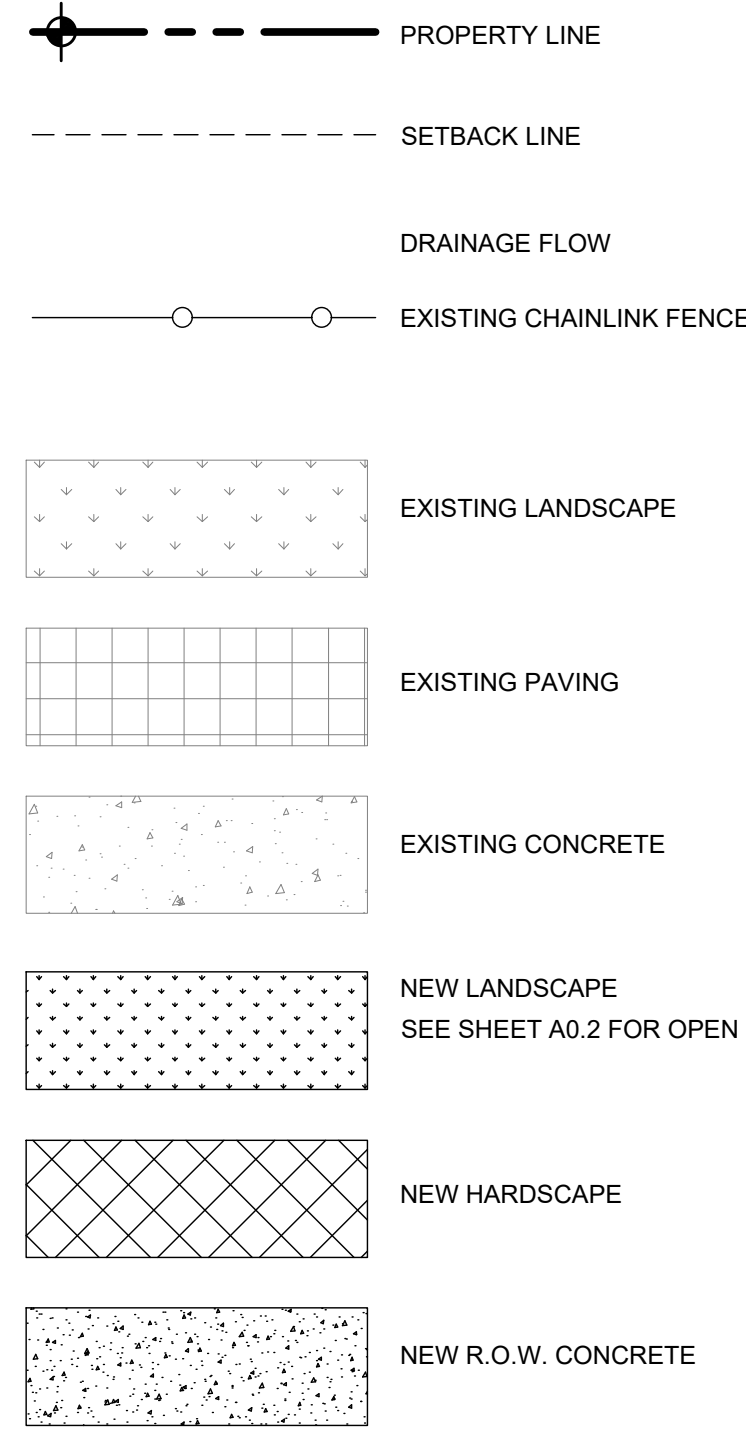




1 PLOT PLAN
1" = 10'-0"

SITE PLAN LEGEND:



SITE PLAN KEYNOTES:

- EXISTING CURB TO REMAIN.
- NEW R.O.W. SIDEWALK TO MATCH ADJACENT PROPERTIES.
- NEW LANDSCAPING AREA.
- NEW PAVED WALKWAY.
- NEW CONCRETE STEPS.
- LINE OF ROOF OVERHANG.
- CONCRETE DRIVEWAY.
- TRASH RECEPTACLE LOCATION.
- DECK ABOVE.
- EXISTING CHAIN LINK FENCE TO BE REMOVED. NO EXISTING SITE WALLS.
- EXISTING DRAINAGE FLOW DIRECTION TO REMAIN.
- EXISTING SIDEWALK TO REMAIN.
- 2' DEDICATION REQUIRED AT ALLEY FOR FIRE ACCESS. HALF-ALLEY IMPROVEMENTS REQUIRED ALONG FRONTAGE.
- THE PROPOSED PROJECT WILL BE POTENTIALLY REQUIRED TO CONSTRUCT A 2 INCH REMOVE AND REPLACE ASPHALT SECTION ALONG THE FRONTAGE OF THE PROPERTY TO THE CENTERLINE OF 4TH AVENUE.
- NEW ELEC METER FED FROM EXISTING POWER POLE AT SE CORNER OF PROPERTY. ALL NEW ELECTRICAL LINES SHALL RUN UNDERGROUND FROM POLE IN ALLEYWAY. NO NEW OVERHEAD WIRES (ELECTRIC, TELEPHONE, INTERNET) WILL BE ALLOWED.
- NEW GAS METER FED FROM EXISTING GAS MAIN IN ALLEY.
- OPEN SPACE AREA.
- RECEPTACLE BIN STORAGE FOR TRASH, RECYCLING, AND GREEN WASTE.
- A MINIMUM 1" WATER METER, WATER SERVICE AND BACKFLOW IS REQUIRED FOR FIRE SPRINKLERS PER CITY OF ESCONDIDO W-1-E. NO WATER METERS SHALL BE INSTALLED IN DRIVEWAYS.
- A MINIMUM 4" SEWER LATERAL IS REQUIRED WITH SEWER CLEANOUT LOCATION 18" INSIDE P/L. ONLY ONE SEWER LATERAL CONNECTION IS ALLOWED PER LEGAL LOT. SEWER LATERAL CONNECTION PER CITY OF ESCONDIDO STANDARD DRAWING S-2-E. INVERT ELEVATION AT CLEANOUT 722 TO BE VERIFIED IN FIELD PRIOR TO CONSTRUCTION.
- NEW RFDC WITH FDC FOR FIRE SPRINKLERS.

DESCRIPTION OF WORK:

- NEW CONSTRUCTION ON VACANT PARCEL CONSISTING OF A DUPLEX WITH 3 BEDROOMS & 2 BATHROOMS EACH; A DUPLEX ADU WITH 2 BEDROOMS & 2 BATHROOMS EACH; AND TWO ATTACHED 2-CAR CARPORTS.

DEFERRED SUBMITTALS:

- FIRE ALARM
- FIRE UNDERGROUND
- FIRE SPRINKLERS
- 2' DEDICATION/IMPROVEMENTS AT ALLEY & ENCROACHMENT PERMIT
- 4TH STREET IMPROVEMENT PLAN & ENCROACHMENT PERMIT

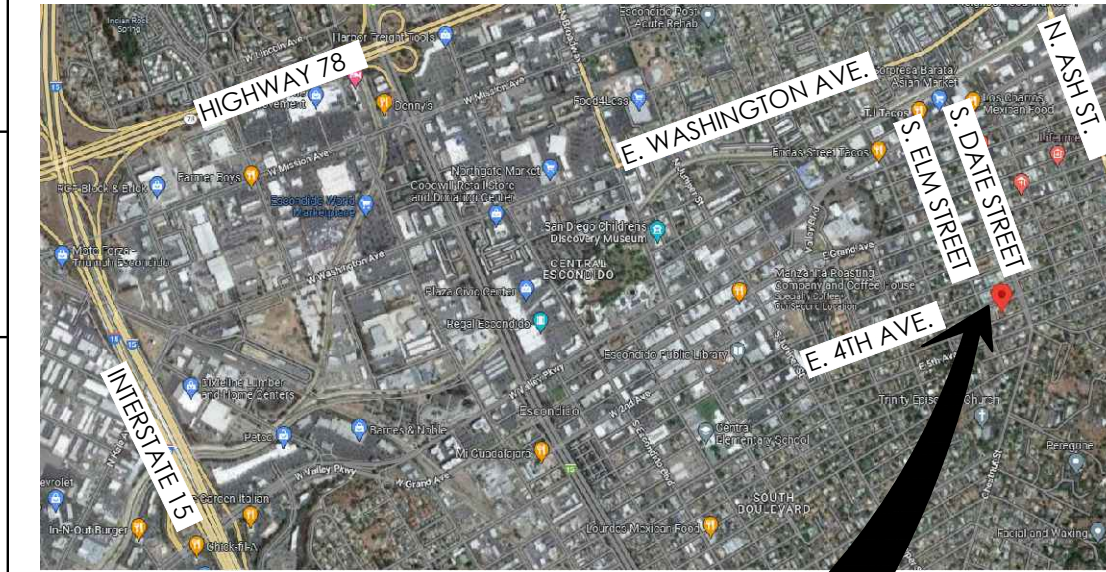
FIRE HYDRANT MAP:



PROJECT INFORMATION:

PROPERTY OWNER:	AFSHIN SHAYBANI 4611 EL MIRLO RANCHO SANTA FE, CA 92067 858.703.7041
APN:	230-321-03-00
LEGAL DESCRIPTION:	LOT 13, BLK 60, MAP 336 ESCONDIDO
ZONE:	R-2-12 CENTRAL TIER 1 DOWNTOWN REDEVELOPMENT AREA
OCCUPANCY:	R-3
TYPE OF CONSTRUCTION:	V-B
SPRINKLERS:	YES
FIRE ALARM:	YES
FIRE ZONE:	NO VHFSZ
TOTAL SITE AREA	7,500 SF/0.172 AC
NUMBER OF UNITS:	4
BUILDING AREA :	
NEW RESIDENCE 1 (3 BR/2 BA)	
LEVEL 1 (BELOW GRADE)	383 SF
LEVEL 2	684 SF
TOTAL HABITABLE	1067 SF
COVERED DECK	94 SF
NEW RESIDENCE 2 (3 BR/ 2 BA)	
LEVEL 1 (BELOW GRADE)	383 SF
LEVEL 2	684 SF
TOTAL HABITABLE	1067 SF
COVERED DECK	94 SF
NEW CARPORT 1 (2-CAR)	410 SF
NEW CARPORT 2 (2-CAR)	410 SF
TOTAL PARKING	4 SPACES
NEW ATTACHED ADU 1 (2 BR/ 2 BA)	
LEVEL 1 (BELOW GRADE)	273 SF
LEVEL 2	498 SF
TOTAL HABITABLE	771 SF
COVERED DECK	60 SF
NEW ATTACHED ADU 2 (2 BR/ 2 BA)	
LEVEL 1 (BELOW GRADE)	273 SF
LEVEL 2	498 SF
TOTAL HABITABLE	771 SF
COVERED DECK	60 SF
TOTAL HABITABLE AREA:	4,496 SF
FLOOR AREA RATIO:	0.60
DENSITY:	2 (12 UNIT PER AC)
LOT COVERAGE:	
RESIDENCE DUPLEX	1,389 SF
CARPORT/ADU DUPLEX	1,369 SF
TOTAL	2,755 SF 36.7% (50% ALLOWED)
IMPERVIOUS AREA:	5,805 SF
LANDSCAPE AREA:	1,695 SF 22.6% (8% REQUIRED)
OPEN SPACE: (REQ: 400 SF + 200 SF OVER 1 BR)	
NEW RESIDENCE	400 SF
BR 2	200 SF
BR 3	200 SF
PER RESIDENCE	800 SF
TOTAL FOR 2 RESIDENCES	1600 SF
SERVICES:	
SDG&E - GAS & ELEC SERVICE	
CITY OF ESCONDIDO WATER & SEWER	
ESCONDIDO UNIFIED SCHOOL DISTRICT	

VICINITY MAP:



PROJECT SITE

SHEET INDEX:

ARCHITECTURAL	
A0.1	PROJECT INFO & SITE PLAN
A0.1	OPEN SPACE CALCULATION
A1.0	FLOOR PLANS & ROOF PLAN
A2.0	EXTERIOR ELEVATIONS
A2.1	EXTERIOR ELEVATIONS - COLORED
GRADING	
GP1	CONCEPTUAL GRADING PLAN
GP2	
GP3	
LANDSCAPE	
L1.1	LANDSCAPE CONCEPT PLAN

8 SHEETS TOTAL

PLOT PLAN APPLICATION FOR:
SHAYBANI DUPLEX & ADUS
829 E. FOURTH AVENUE
ESCONDIDO, CA 92033

PROJECT:

REVISIONS	DATE
PLOT PLAN APP.	2023.05.09
RESUBMITTAL	2023.12.29
RESUBMITTAL	2024.02.20

SEAL:

PROJECT NUMBER	PL23-0019
	23.11 ESC DPLX

ISSUE DATE:	2023.05.09
PLOT DATE:	2024.02.20

SHEET NAME:

PROJECT INFO
& SITE PLAN

SHEET NUMBER:

A0.1

PLOT PLAN APPLICATION FOR:
SHAYBANI DUPLEX & ADUS
829 E. FOURTH AVENUE
ESCONDIDO, CA 92033

PROJECT:

REVISIONS	DATE
PLOT PLAN APP.	2023.05.09
RESUBMITTAL	2023.12.29
RESUBMITTAL	2024.02.20

SEAL:

PROJECT NUMBER
PL23-0019
23.11 ESC DPLX

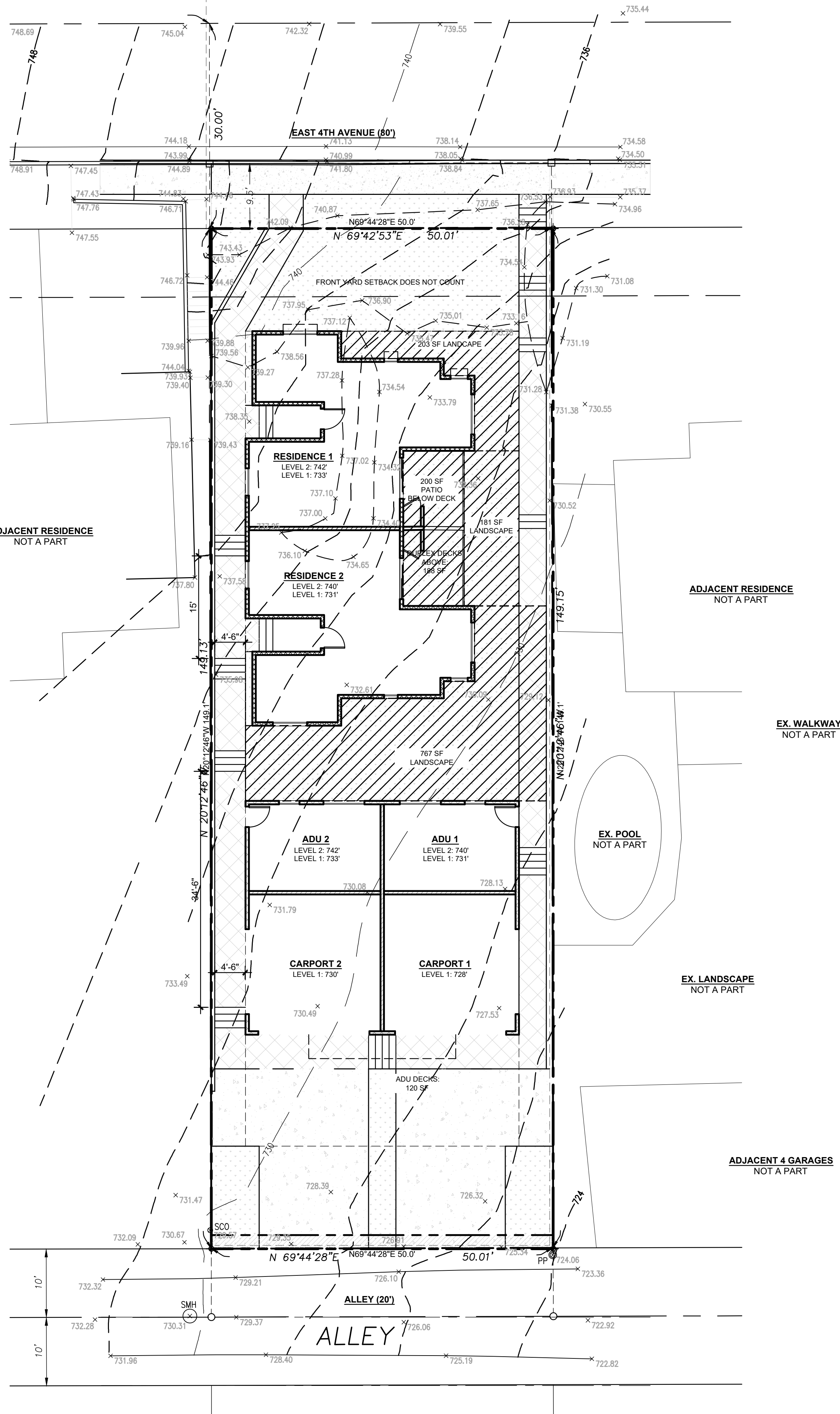
ISSUE DATE: 2023.05.09
PLOT DATE: 2024.02.20

SHEET NAME:

OPEN SPACE
CALCULATION

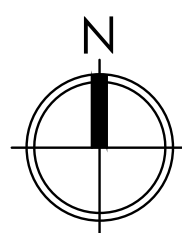
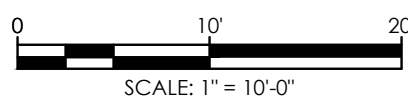
SHEET NUMBER:

A0.2



OPEN SPACE REQUIRED	1,600 SF
OPEN SPACE PROVIDED	
PATIO	200 SF
BALCONIES (2)	120 SF
DECKS (2)	188 SF
LANDSCAPE AT RES	384 SF
LANDSCAPE AT ADUs	767 SF
TOTAL PROVIDED	1,659 SF

1 OPEN SPACE CALCULATION
1" = 10'-0"



PLOT PLAN APPLICATION FOR:
SHAYBANI DUPLEX & ADUS
829 E. FOURTH AVENUE
ESCONDIDO, CA 92033

PROJECT:

REVISIONS	DATE
PLOT PLAN APP.	2023.05.09
RESUBMITTAL	2023.12.29
RESUBMITTAL	2024.02.20

SEAL:

PROJECT NUMBER
PL23-0019
23.11 ESC DPLX

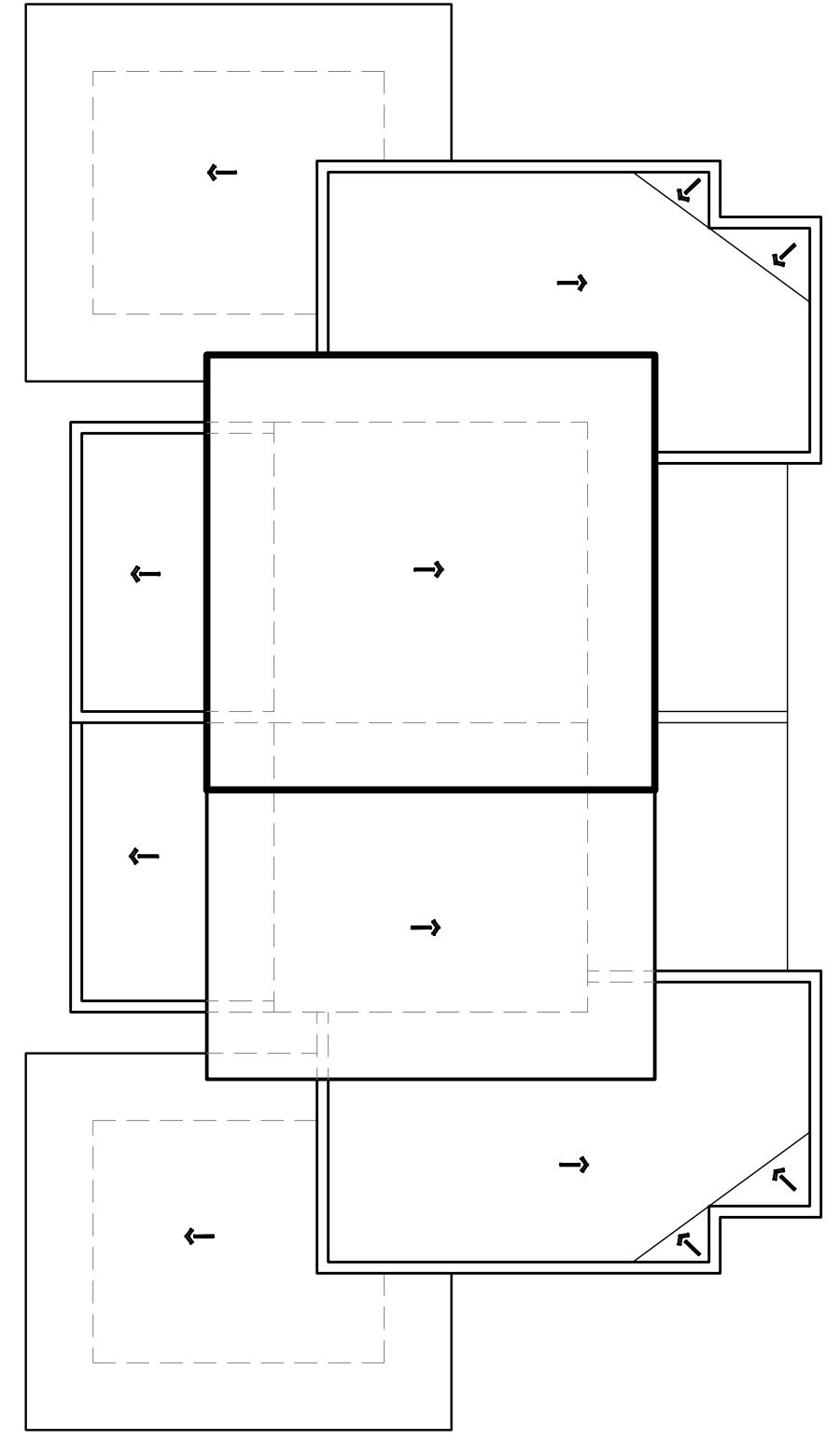
ISSUE DATE: 2023.05.09
PLOT DATE: 2024.02.20

SHEET NAME:

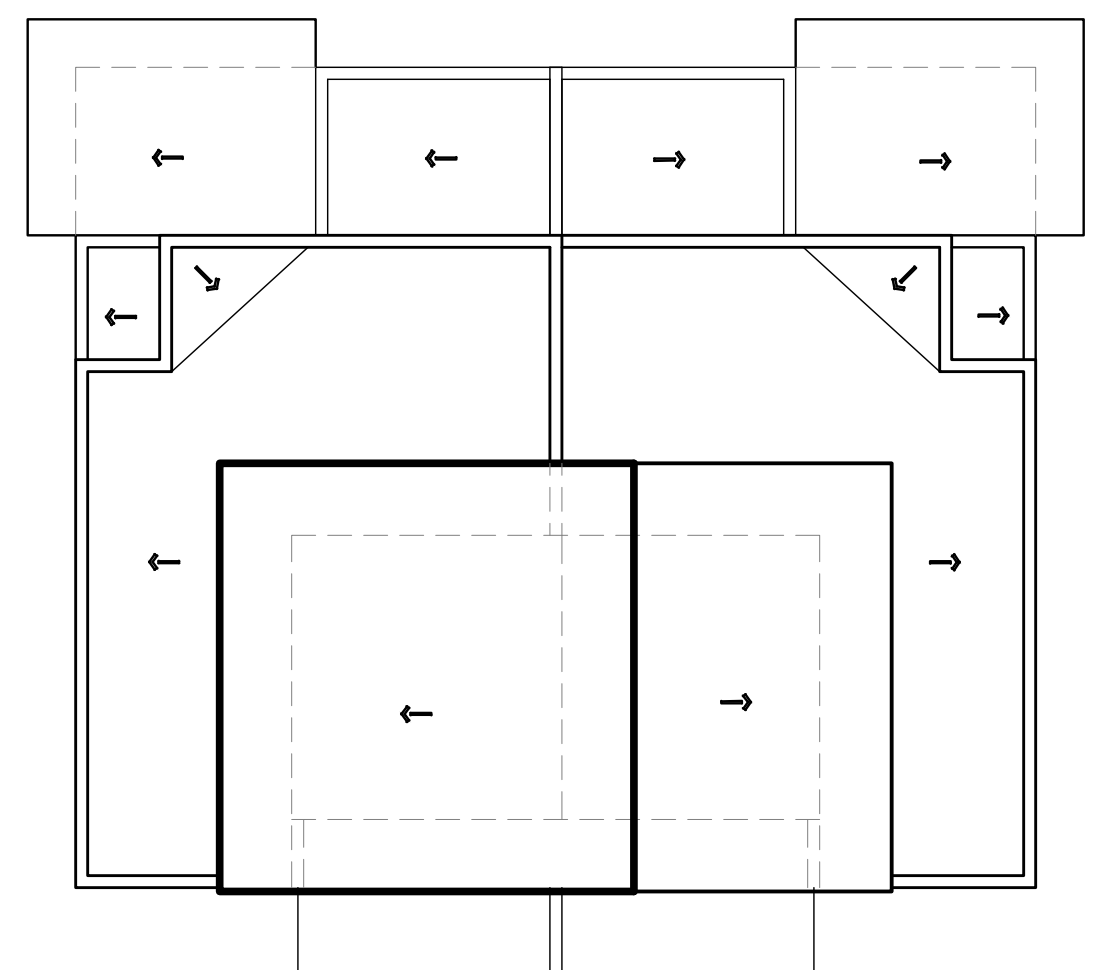
FLOOR PLANS

SHEET NUMBER:

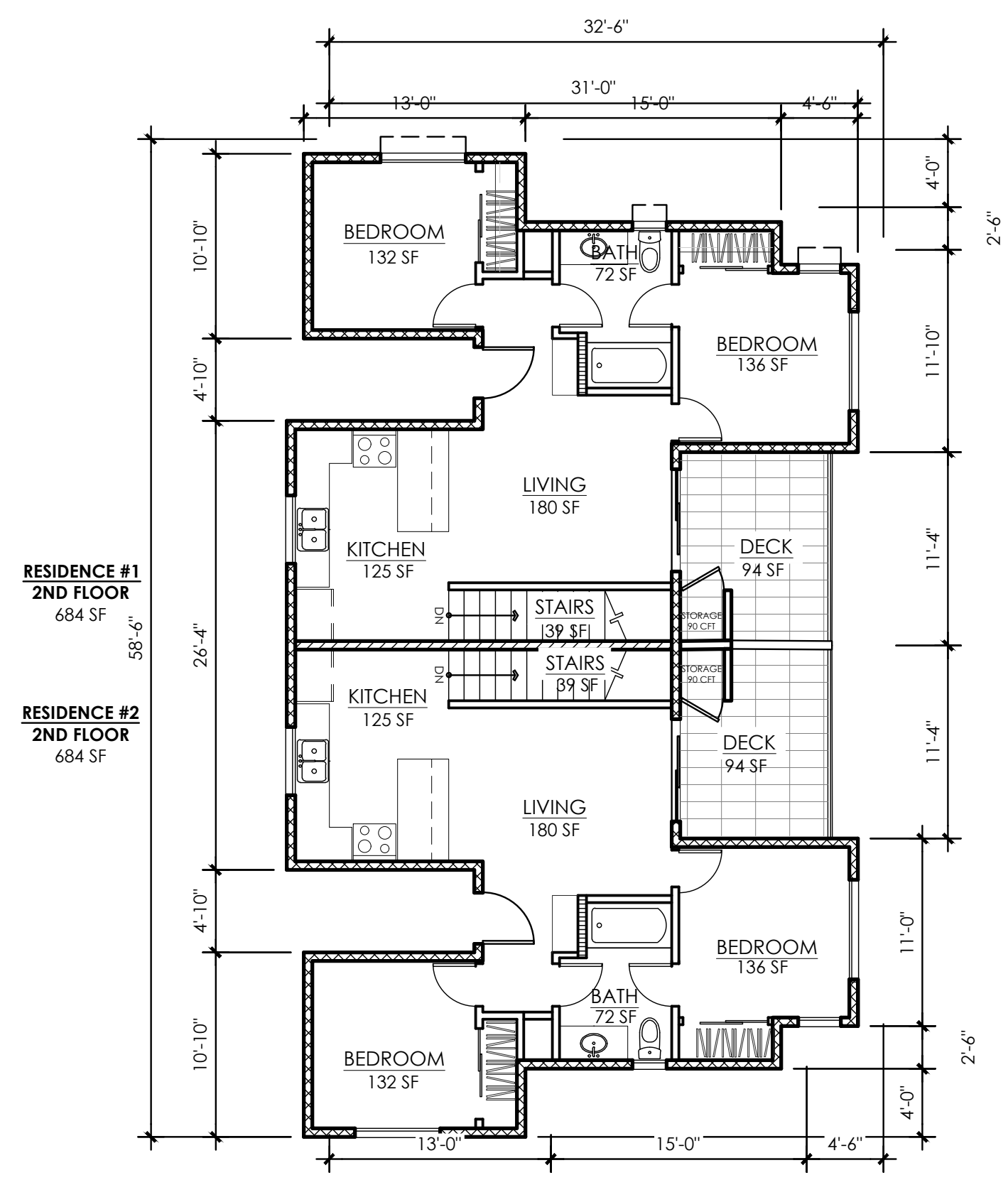
A1.0



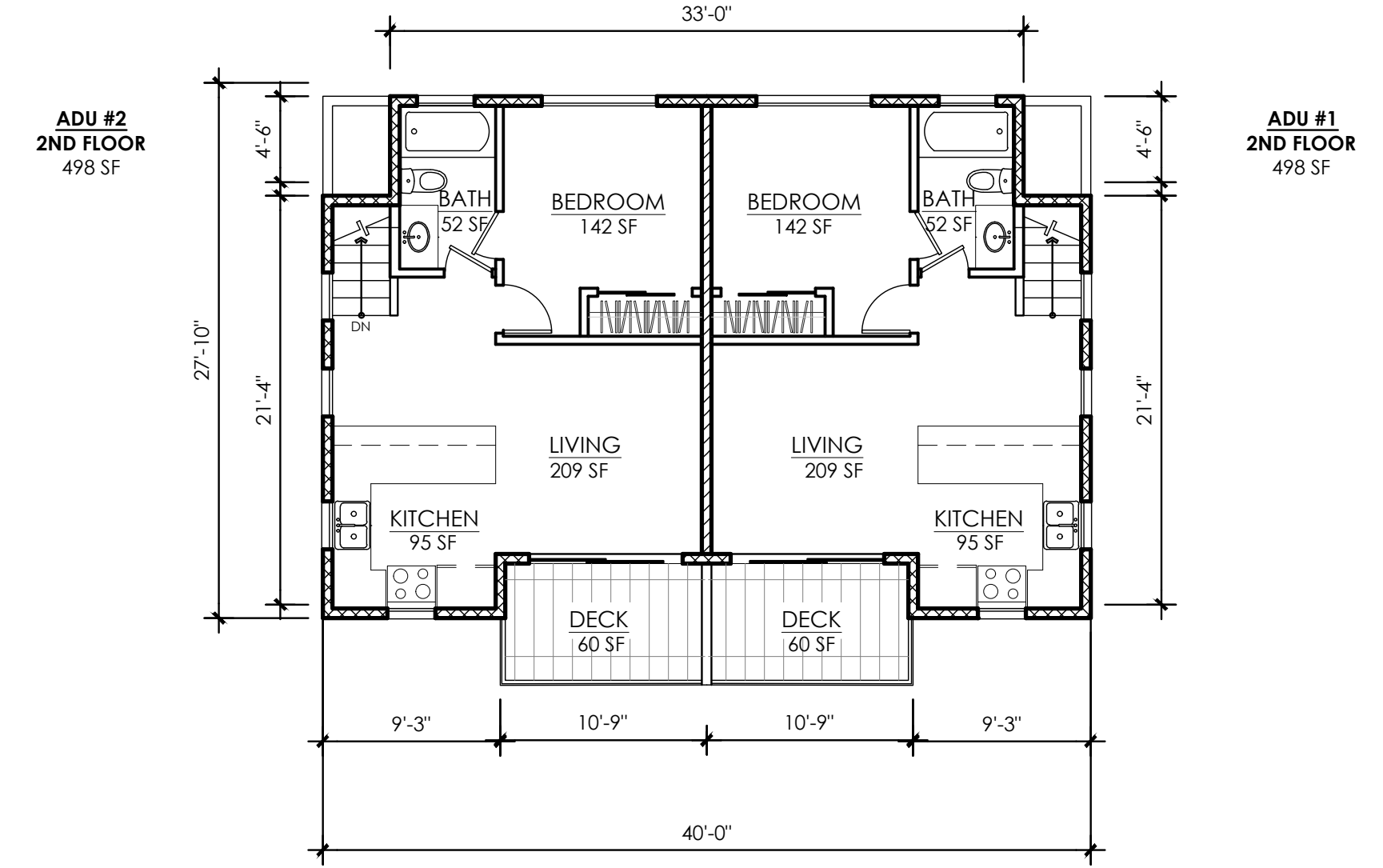
6 ROOF PLAN DUPLEX
1/8" = 1'-0"



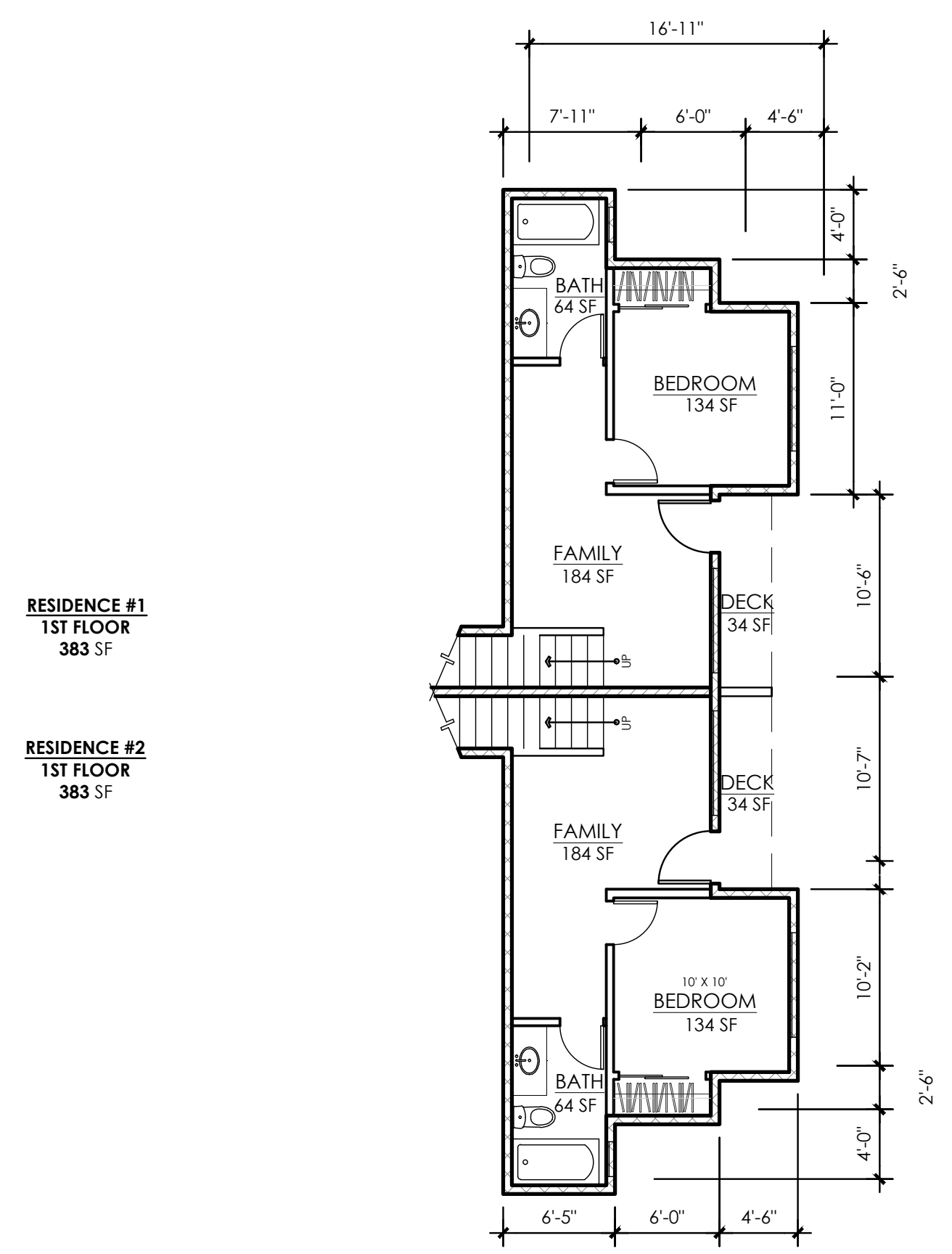
5 ROOF PLAN ADU/GARAGE
1/8" = 1'-0"



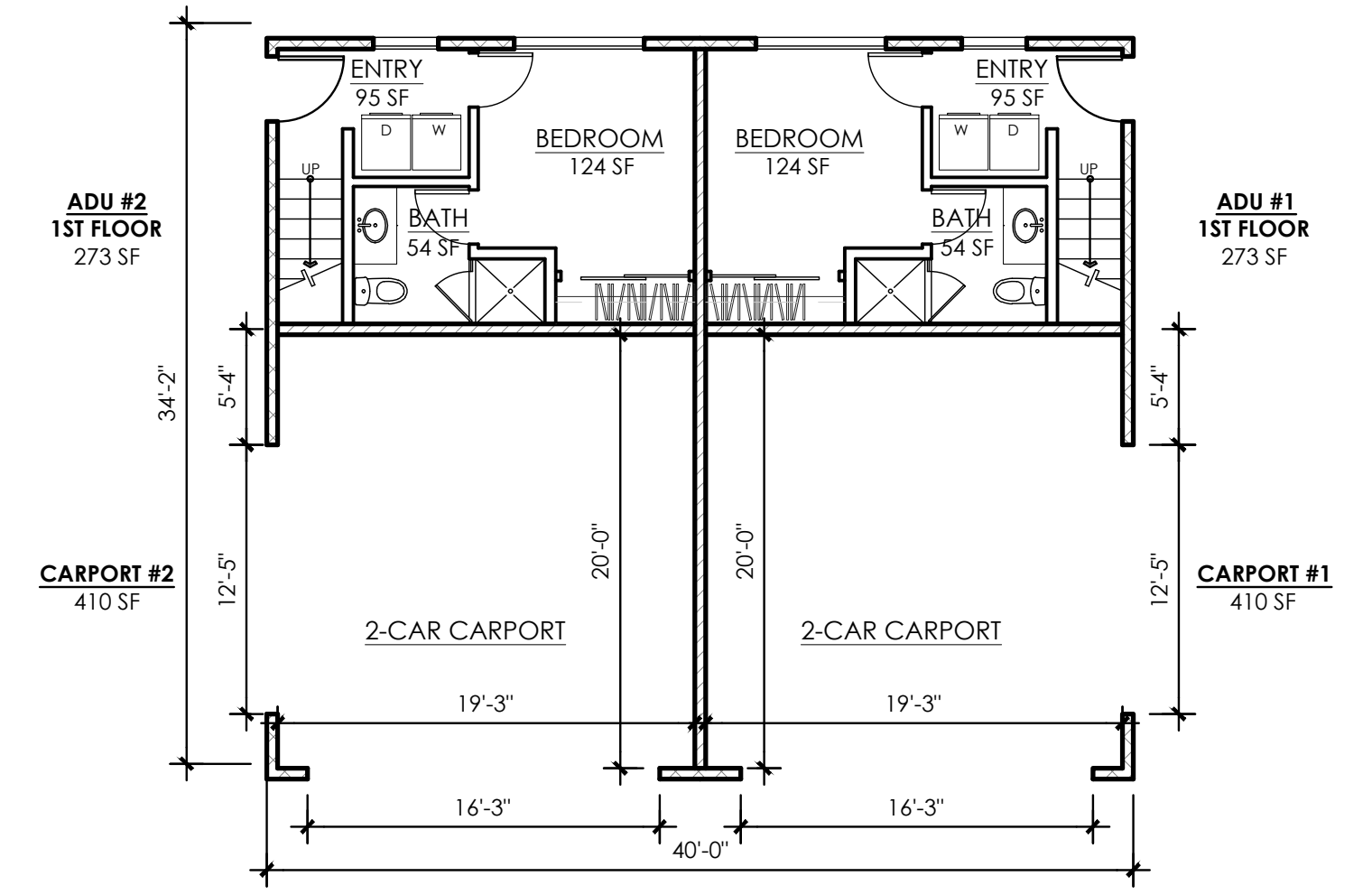
4 2ND FLOOR PLAN DUPLEX
1/8" = 1'-0"



3 2ND FLOOR PLAN ADU
1/8" = 1'-0"



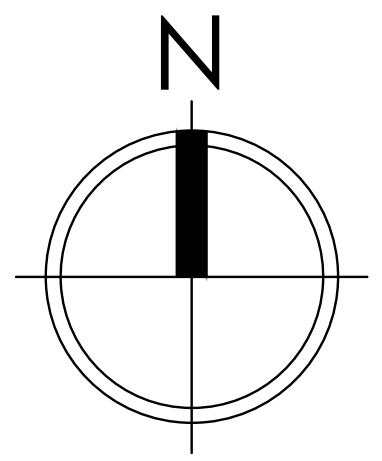
2 1ST FLOOR PLAN DUPLEX
1/8" = 1'-0"



1 1ST FLOOR PLAN ADU/CARPORT
1/8" = 1'-0"

BUILDING AREA	LEVEL 1	LEVEL 2	TOTAL	DECKS
RESIDENCE #1	383 SF	684 SF	1,067 SF	94 SF
RESIDENCE #2	383 SF	684 SF	1,067 SF	94 SF
TOTAL DUPLEX			2,134 SF	188 SF
GARAGE #1	410 SF		410 SF	
GARAGE #2	410 SF		410 SF	
ADU #1	273 SF	498 SF	771 SF	60 SF
ADU #2	273 SF	498 SF	771 SF	60 SF
TOTAL ADU/GARAGE			2,362 SF	120 SF
TOTAL BUILDING AREA:			4,496 SF	308 SF

0 4' 8' 16'
SCALE: 1/8" = 1'-0"



PLOT PLAN APPLICATION FOR:
SHAYBANI DUPLEX & ADUS
829 E. FOURTH AVENUE
ESCONDIDO, CA 92033

PROJECT:

REVISIONS	DATE
PLOT PLAN APP.	2023.05.09
RESUBMITTAL	2023.12.29
RESUBMITTAL	2024.02.20

SEAL:

PROJECT NUMBER
PL23-0019
23.11 ESC DPLX

ISSUE DATE: 2023.05.09
PLOT DATE: 2024.02.20

SHEET NAME:

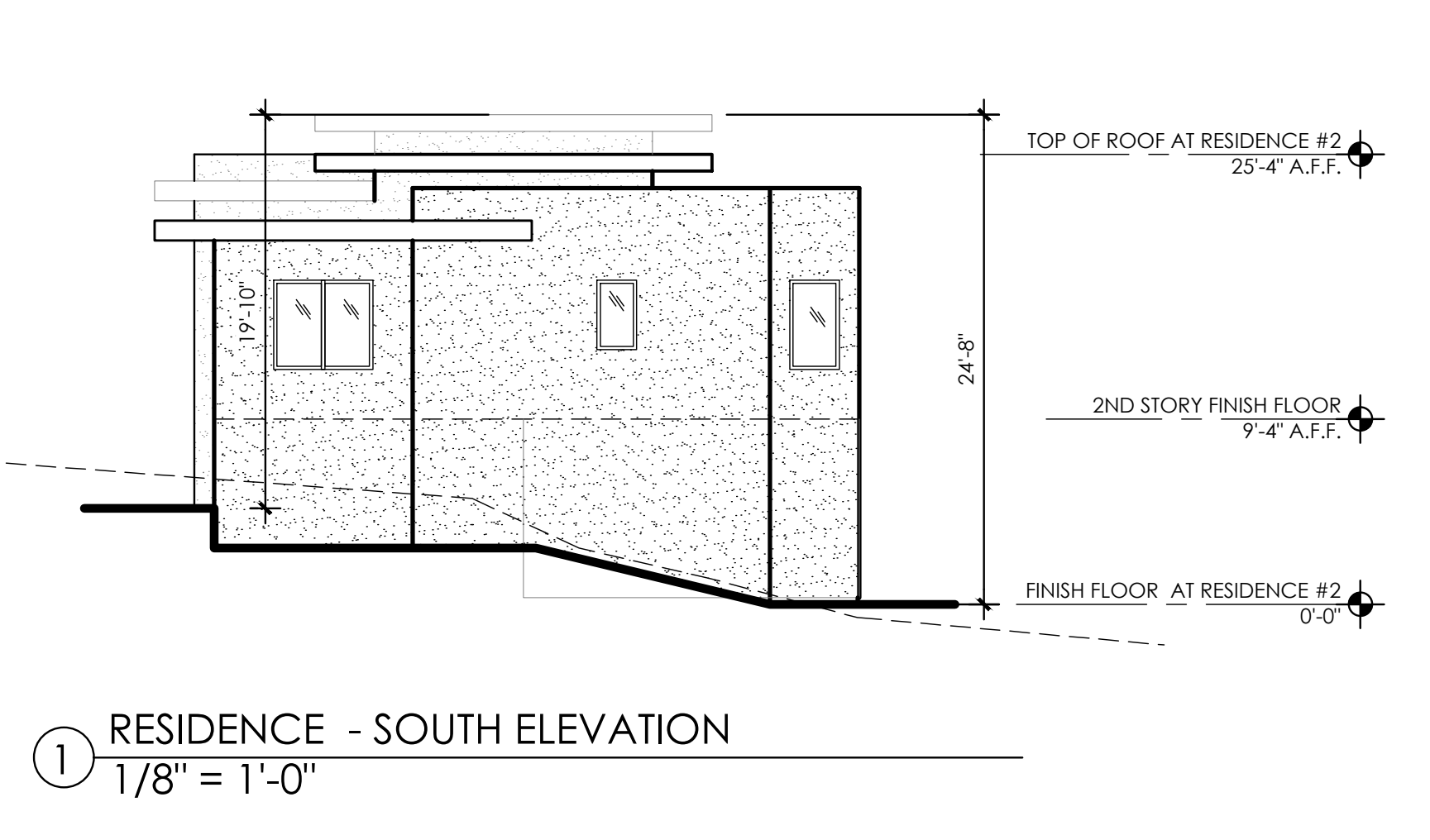
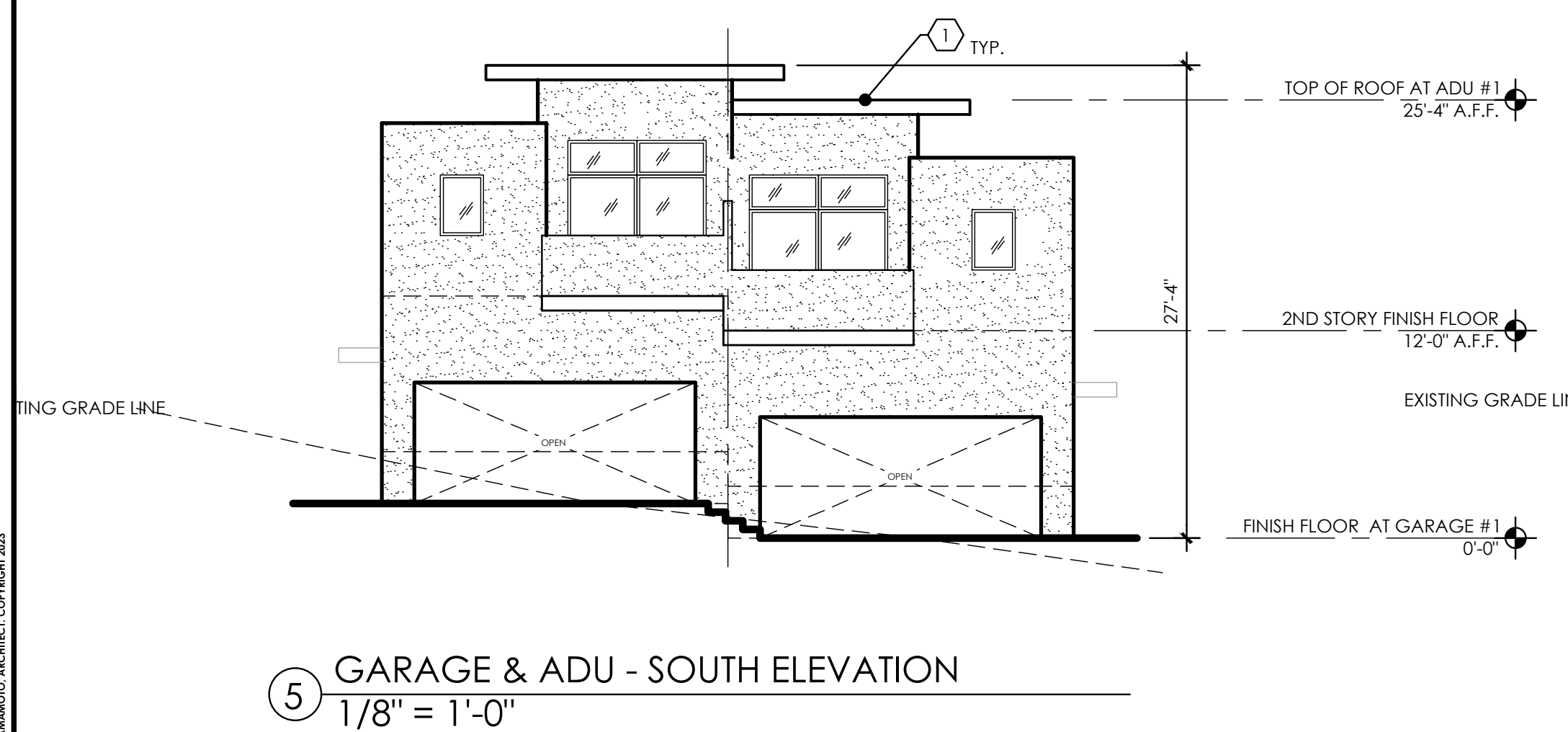
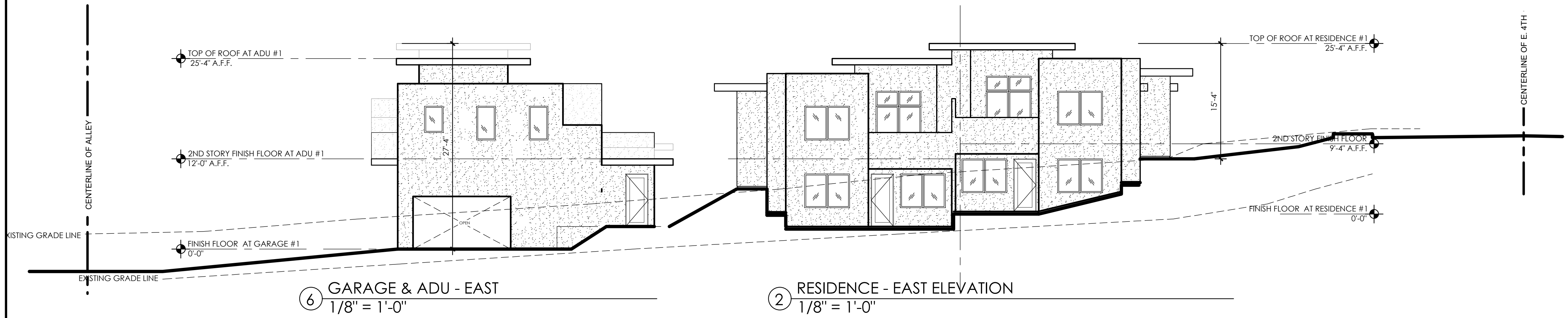
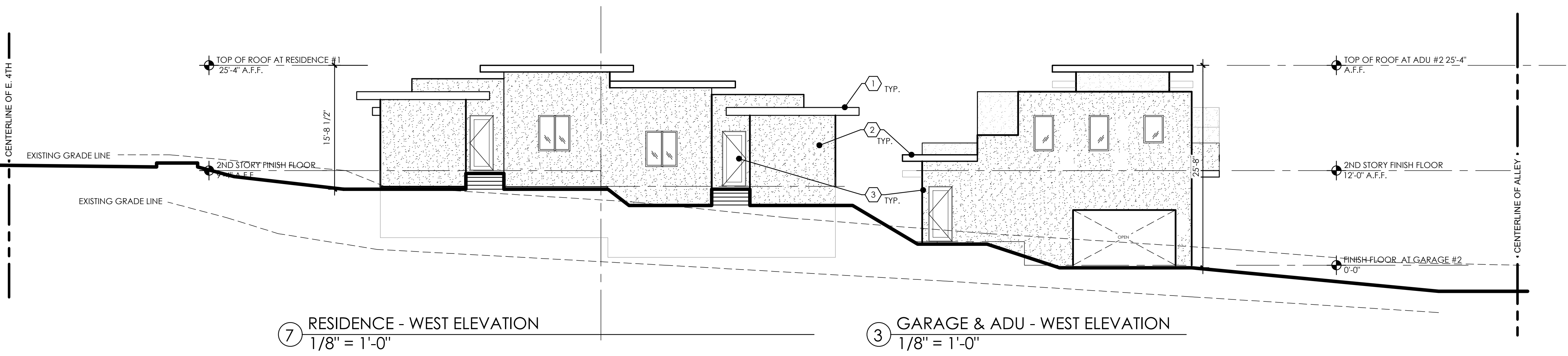
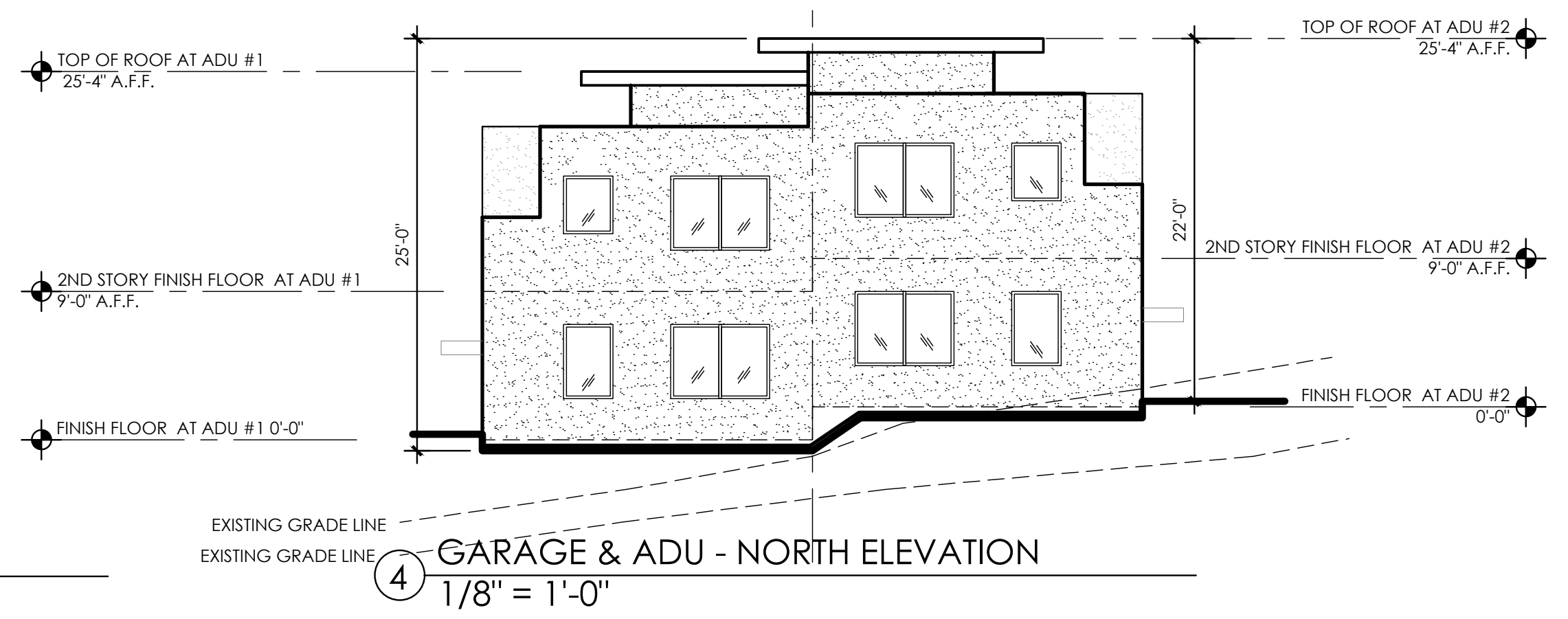
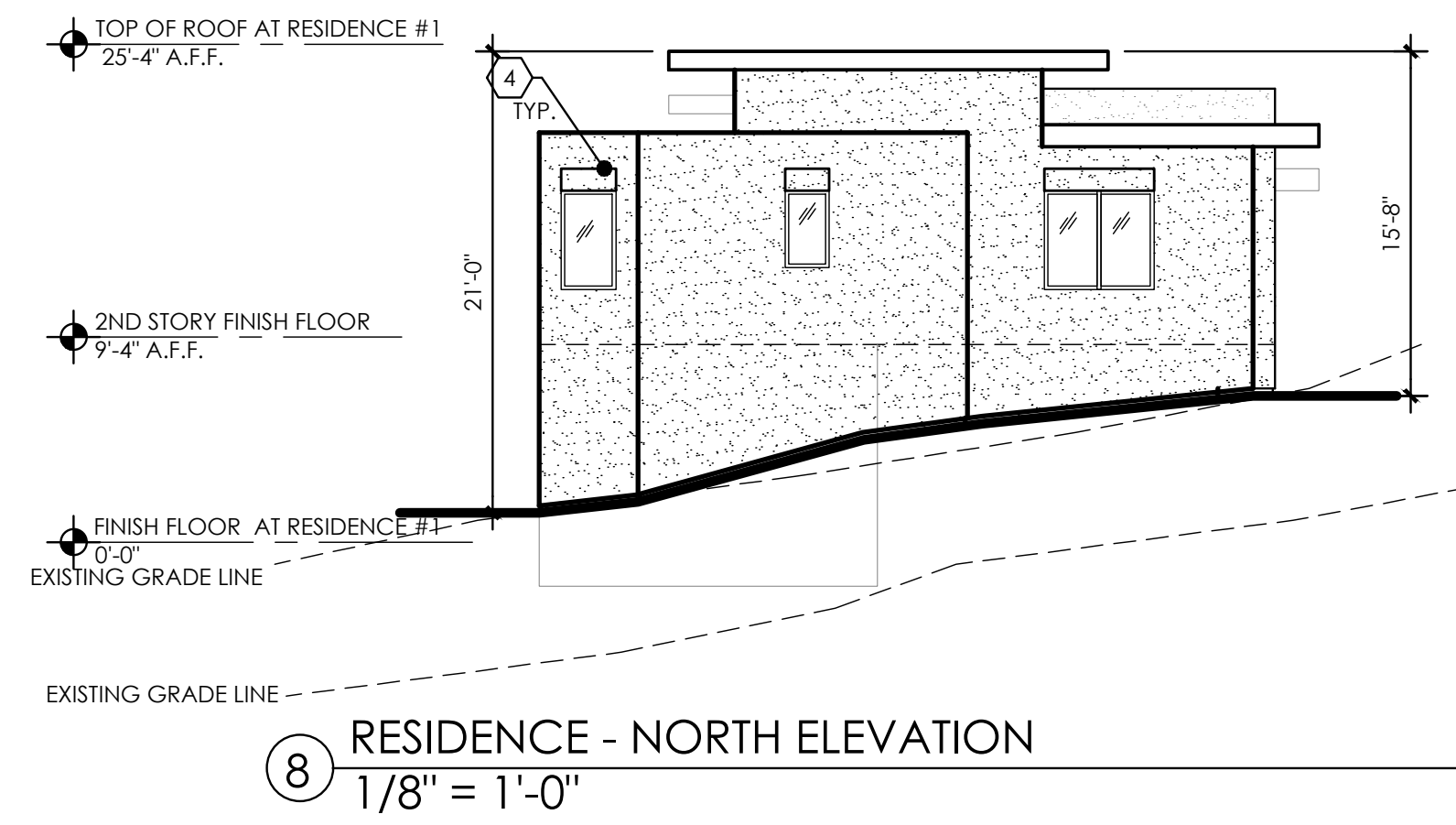
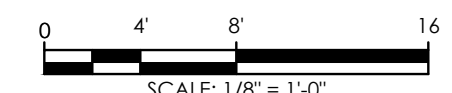
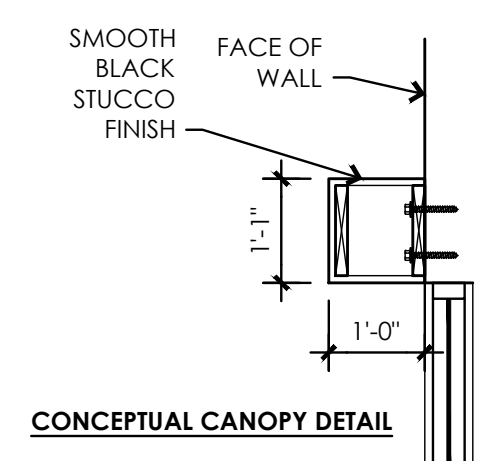
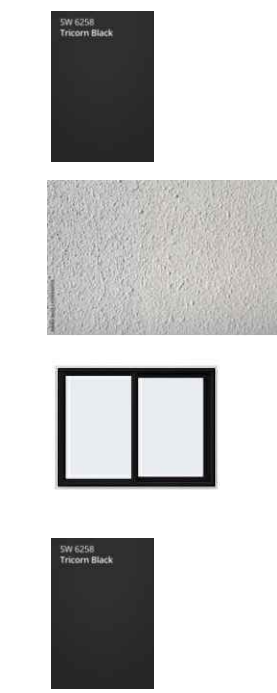
EXTERIOR
ELEVATIONS

SHEET NUMBER:

A2.0

EXTERIOR ELEVATION KEYNOTES & MATERIALS:

- WOOD FASCIA: SHERWIN WILLIAMS SW6258 TRICORN BLACK, TPO FLAT ROOF, SLOPED 3/8"/FT TO DRAIN.
- CEMENT PLASTER: WHITE SAND FINISH.
- WINDOW & DOOR FRAMES: BLACK.
- CANOPIES: BLACK



PLOT PLAN APPLICATION FOR:
SHAYBANI DUPLEX & ADUS
829 E. FOURTH AVENUE
ESCONDIDO, CA 92033

PROJECT:

REVISIONS	DATE
PLOT PLAN APP.	2023.05.09
RESUBMITTAL	2023.12.29
RESUBMITTAL	2024.02.20

SEAL:

PROJECT NUMBER
PL23-0019
23.11 ESC DPLX

ISSUE DATE: 2023.05.09
PLOT DATE: 2024.02.20

SHEET NAME:

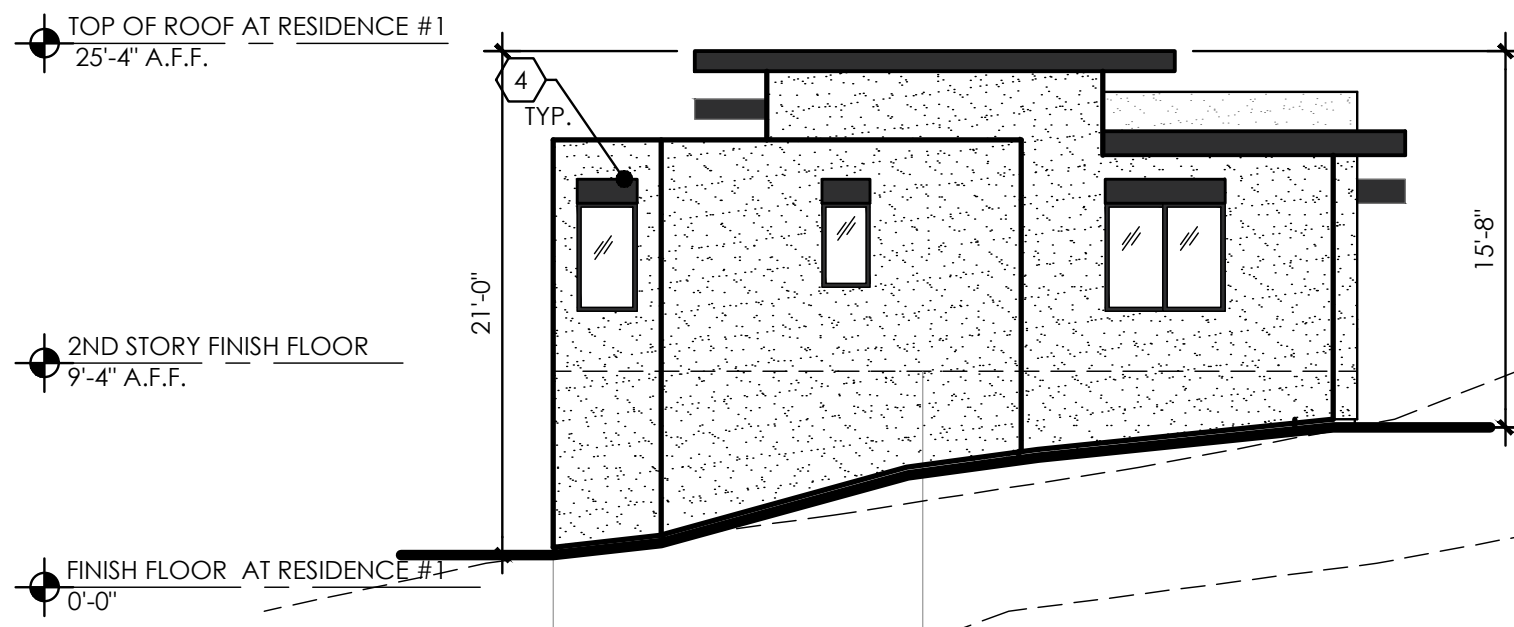
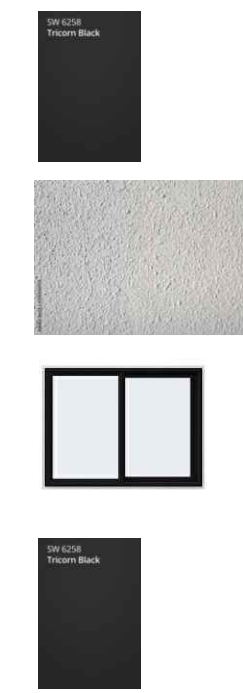
EXTERIOR
ELEVATIONS:
COLORED

SHEET NUMBER:

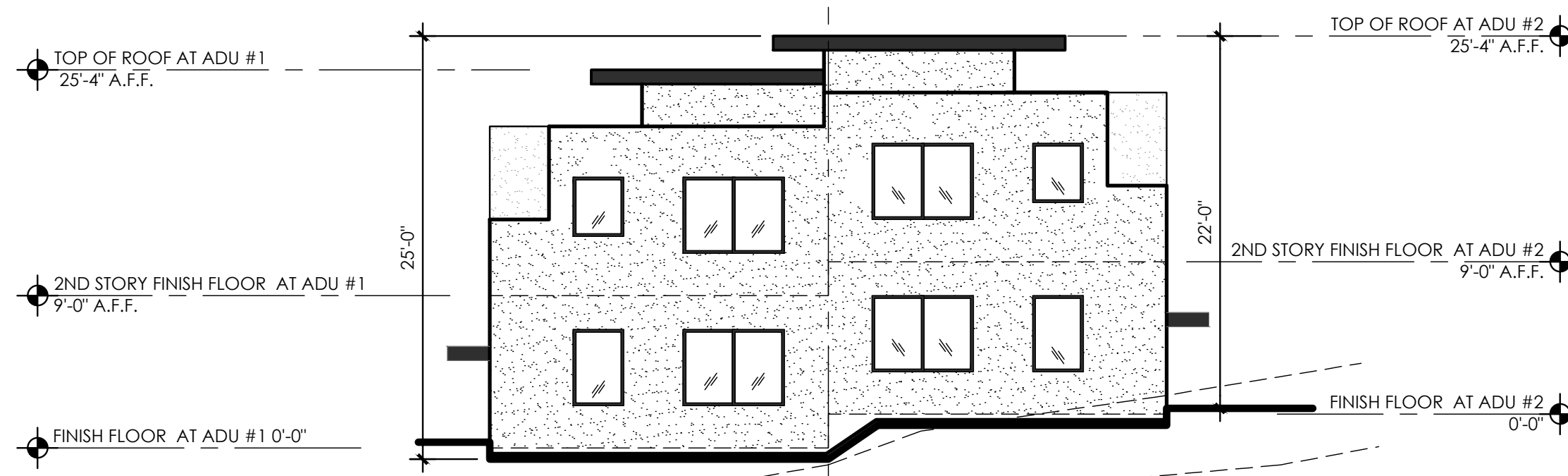
A2.1

EXTERIOR ELEVATION KEYNOTES & MATERIALS:

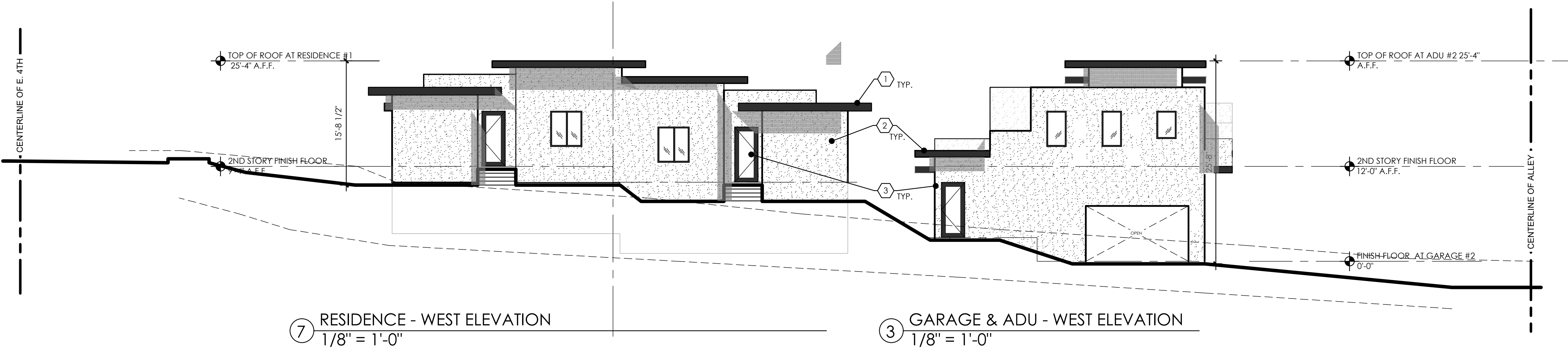
- WOOD FASCIA: SHERWIN WILLIAMS SW6258 TRICORN BLACK, TPO FLAT ROOF, SLOPED 3/8" FT TO DRAIN.
- CEMENT PLASTER: WHITE SAND FINISH.
- WINDOW & DOOR FRAMES: BLACK.
- CANOPIES: BLACK



8 RESIDENCE - NORTH ELEVATION
1/8" = 1'-0"

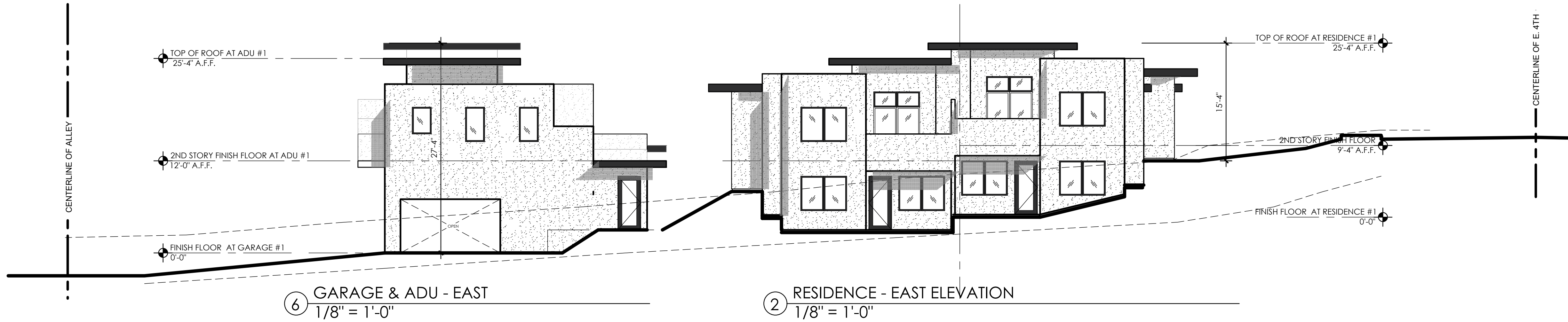


4 GARAGE & ADU - NORTH ELEVATION
1/8" = 1'-0"



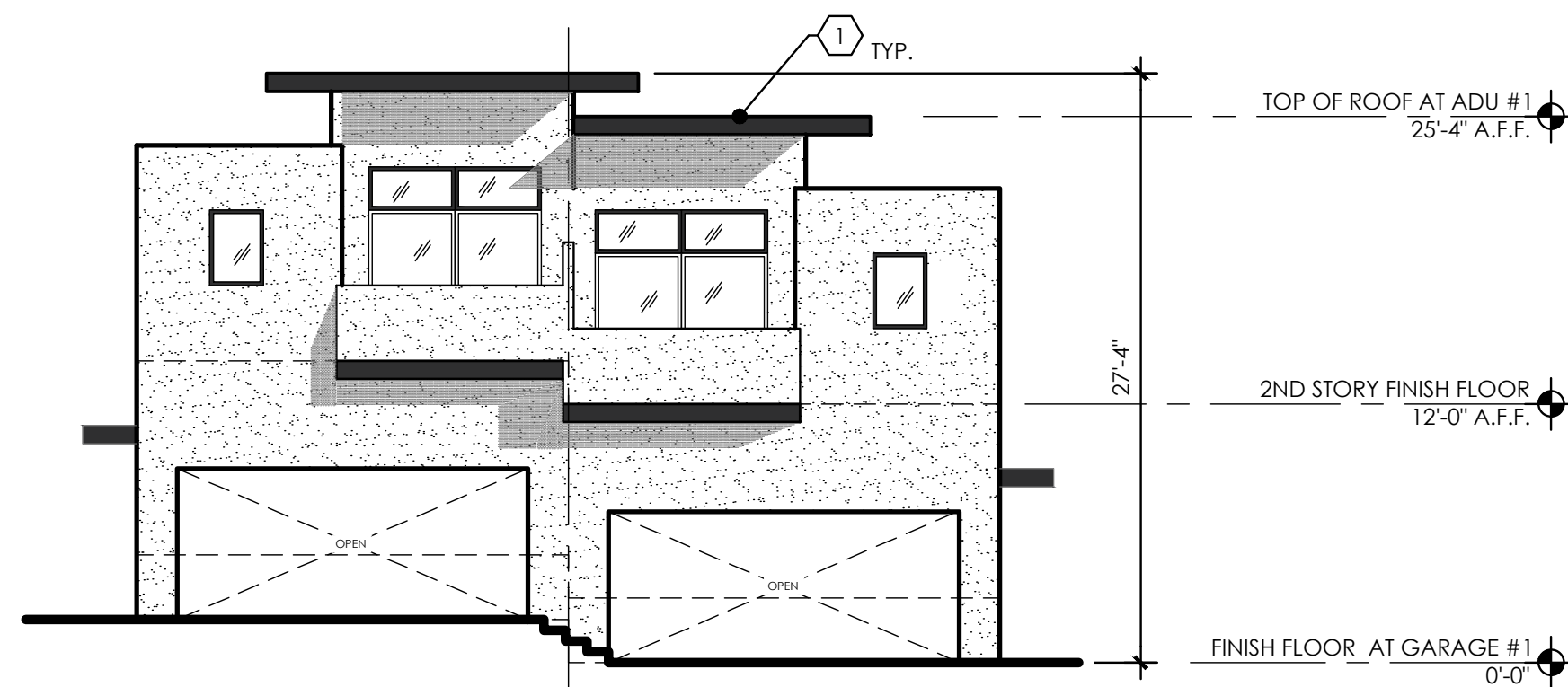
7 RESIDENCE - WEST ELEVATION
1/8" = 1'-0"

3 GARAGE & ADU - WEST ELEVATION
1/8" = 1'-0"

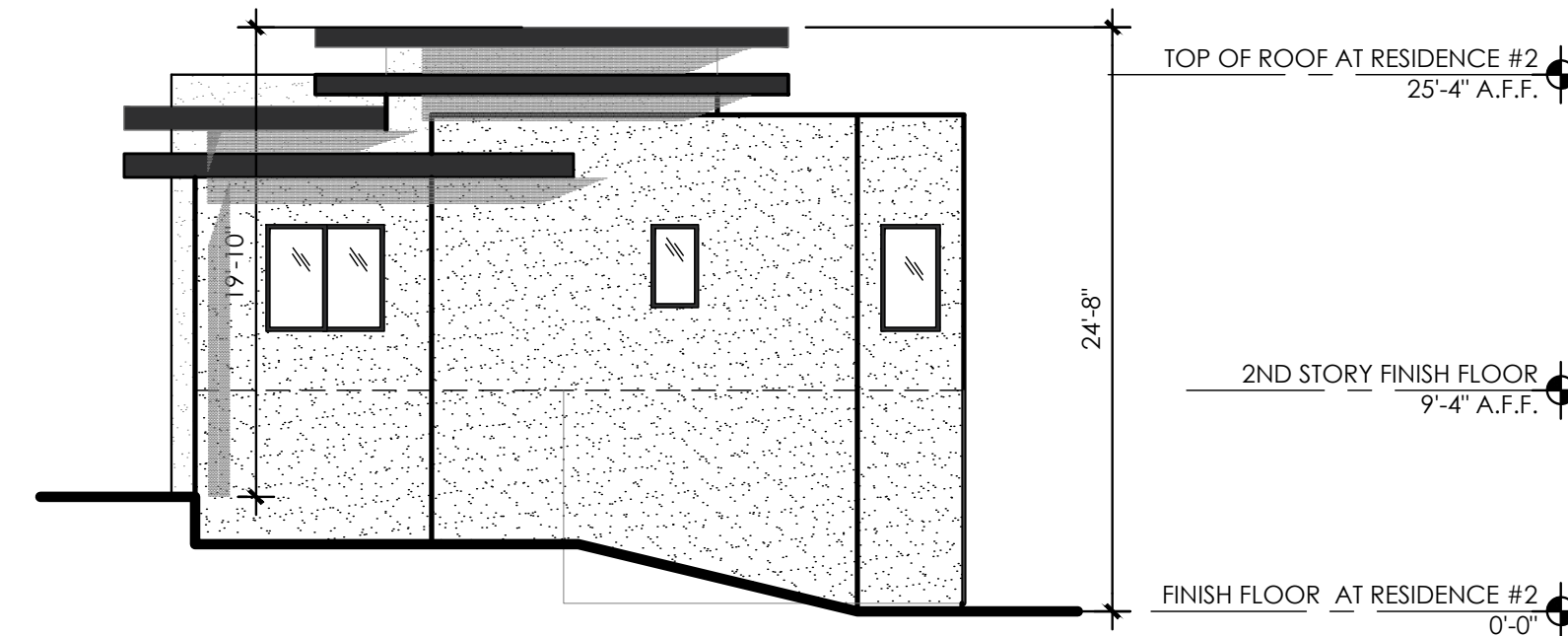


6 GARAGE & ADU - EAST
1/8" = 1'-0"

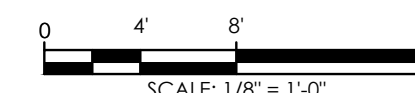
2 RESIDENCE - EAST ELEVATION
1/8" = 1'-0"

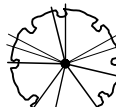
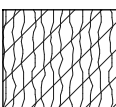
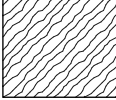


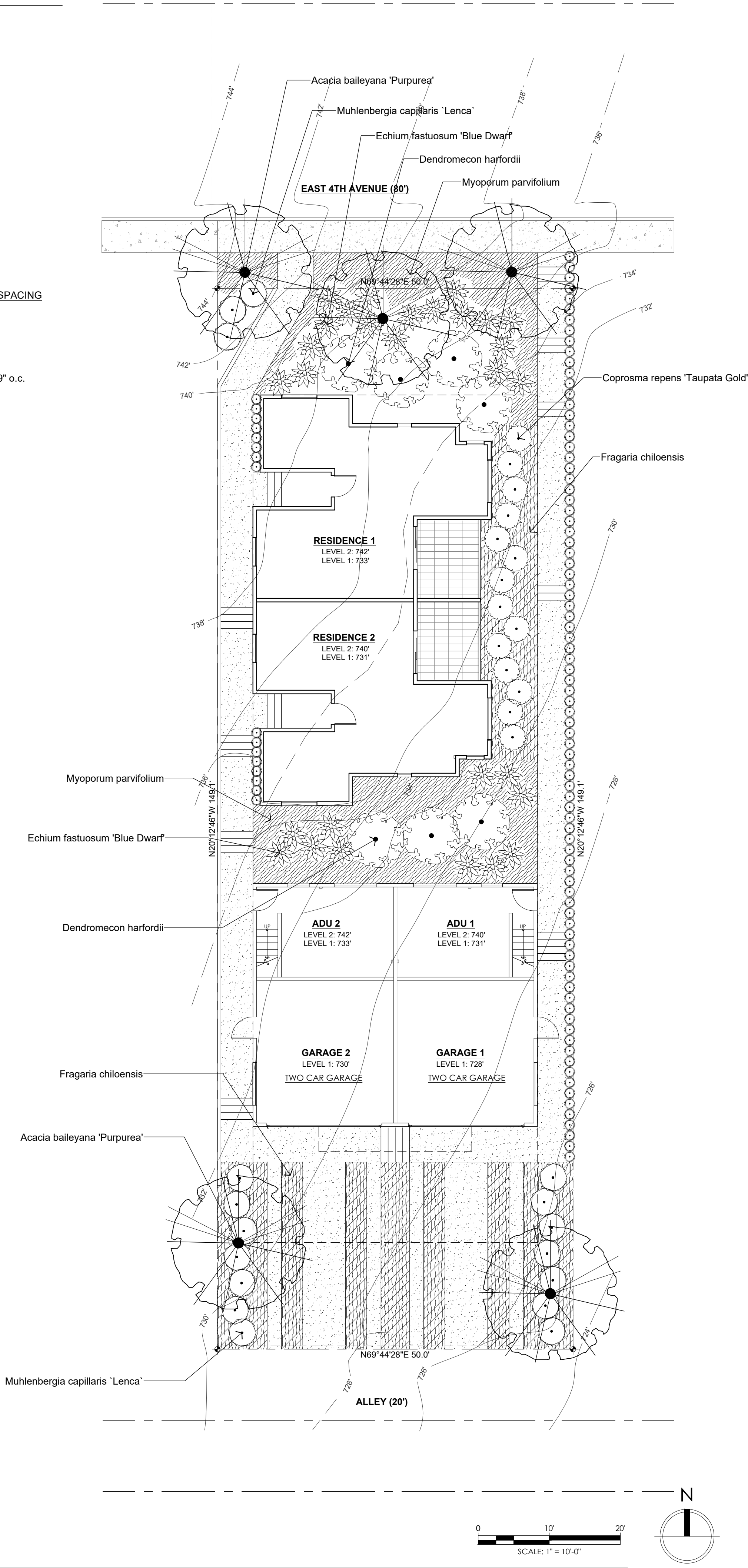
5 GARAGE & ADU - SOUTH ELEVATION
1/8" = 1'-0"



1 RESIDENCE - SOUTH ELEVATION
1/8" = 1'-0"



PLANT SCHEDULE					
TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT. SIZE	
	3	Acacia baileyana 'Purpurea'	Purple-leaf Bailey Acacia	15 Gal Standard	
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT. SIZE	
	14	Coprosma repens 'Taupata Gold'	Taupata Gold Mirror Plant	5 Gal	
	7	Dendromecon harfordii	Island Bush Poppy	5 Gal	
	29	Echium fastuosum 'Blue Dwarf'	Bue Dwarf Pride Of Madeira	5 Gal	
	16	Iris douglasiana	Douglas Iris	1 Gal	
	17	Muhlenbergia capillaris 'Lenca'	Regal Mist® Pink Muhly Grass	1 Gal	
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING
	785 sf	Fragaria chiloensis	Beach Strawberry	Flat	
	572 sf	Myoporum parvifolium	Trailing Myoporum	Flat	9" o.c.



Acacia baileyana 'Purpurea'



Echium fastuosum 'Blue Dwarf'



Coprosma repens 'Taupata Gold'



Iris douglasiana



Fragaria chiloensis



Dendromecon harfordii



Muhlenbergia capillaris 'Lenca'



Myoporum parvifolium

I am familiar with and agree to comply with the requirements for Water Efficient Landscape Regulations as described in Article 62 of the Escondido Development Code. This plan has been prepared in compliance with those regulations. I certify that the plan implements the regulations to provide efficient landscape water use.

Landscape area: 2,889.89 sf

PLOT PLAN APPLICATION FOR:
SHAYBANI DUPLEX & ADUS
829 E. FOURTH AVENUE
ESCONDIDO, CA 92033

PROJECT:

REVISIONS	DATE

SEAL:

PROJECT NUMBER
23-10577

ISSUE DATE: 2023.04.14
PLOT DATE: 2023.05.05

SHEET NAME:

LANDSCAPE
CONCEPT PLAN

SHEET NUMBER:

L1.1