

CODE NOTES:

2011 Ohio Building Code

The intent of the work is to expand the existing Appletree Cafe to the adjacent tenant space. The existing Cafe is a Business Use pursuant to 303.1, exception 1, reference Permit B10-001271P.

The existing building is far in excess of currently permitted area limitations. Combining the two tenant spaces would, under normal circumstances, result in a new Assembly, A-2 Use, making it non-compliant and the existing building, non-compliant.

Therefore, the proposed work shall retain the existing B use in the Appletree Cafe and propose a Change of Use at the adjacent tenant space from M-Mercantile to B-Business. The proposed result will be two (2) adjacent B-Business use spaces joined by openings in the existing tenant demising partition, equipped with (1) hour fire shutters.

Each tenant space will be provided with two (2) means of egress and will share (3) toilet rooms: one (1) female (existing), one (1) male (existing and enlarged/improved), and one (1) unisex / ADA (existing).

It should be noted that the adjacent tenant space cannot be used as a restaurant without the existing Appletree Cafe being open for business. In the unlikely event of a fire, or other emergency, the cooling fire shutters will drop, allowing each side adequate exit facilities.

Chapter 3 : Use & Occupancy

Existing Appletree Cafe	B-Business (303.1, exception 1) no change
Adjacent Tenant Space	Existing M-Mercantile Proposed B-Business (303.1, exception 1)

3408.1 : the proposed Change of Use is permitted without compliance with the Code, as the B-Business use is less hazardous than the M-Mercantile use based on allowable area.

Chapter 5 : Height & Area

Existing B-Business use:	1676 SF, 20'-0"±
Proposed B-Business use:	752 SF, 20'-0"±

Chapter 6 : Construction Type

Existing :	Type II-B
Proposed :	Type II-B
Table 601	all elements (0) hour
603.1.1.1	FRT wood framing & blocking is permitted for non-load bearing interior partitions

Chapter 7 : Fire and Smoke Protection

709.1.3	Existing tenant demising partitions to remain; rating unknown
Table 715.4	Fire Shutter rating: (1) hour

Chapter 8 : Interior Finishes

Table 803.9	Walls & Ceilings:	
	Corridors :	Class C
	Rooms :	Class C
804.4.1, exception	Flooring	
	Corridors :	DOC FF-1
	Rooms :	DOC FF-1

Chapter 9 : Fire Protection Systems

903.2	Existing building is fully sprinklered. Sprinkler heads shall be relocated, if required, under separate permit
906.1	Fire Extinguisher in existing tenant space shall remain. In new tenant space, fire extinguishers shall be installed as directed by the Fire Department having jurisdiction.
907.2.2	Manual Fire Alarm system not required.

Chapter 10 : Means of Egress

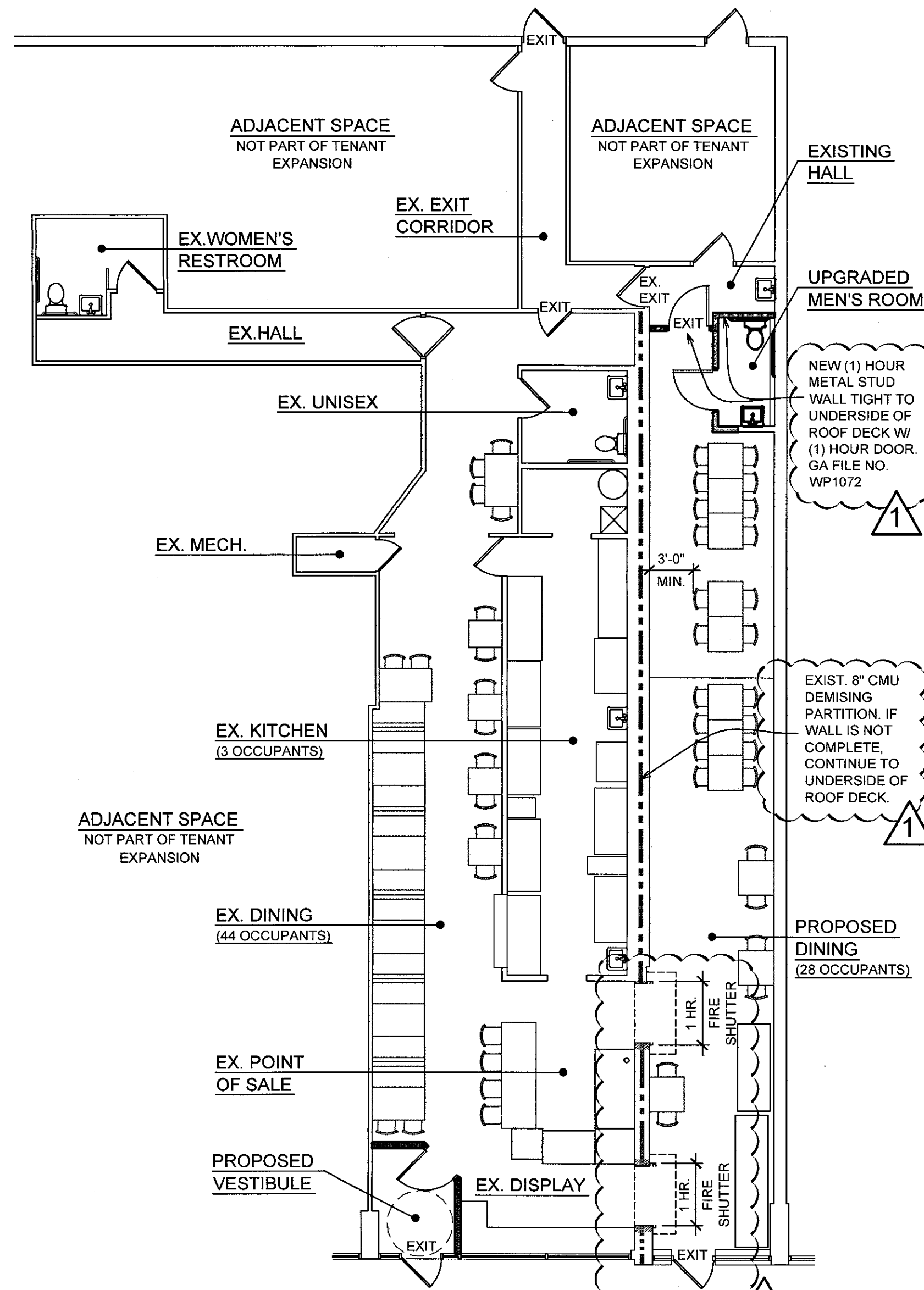
Table 1004.1.1	Existing tenant space: 47 occupants Reference Permit #B10-001271P
	Proposed tenant space (752 sf total): Dining room seating for 28 occupants maximum
1008.1.10	Panic hardware is not required
Table 1015.1	Existing tenant space: (2) exits required Proposed tenant space: (2) exits existing to remain (2) exits required (2) exits existing to remain

Chapter 29 : Plumbing Systems

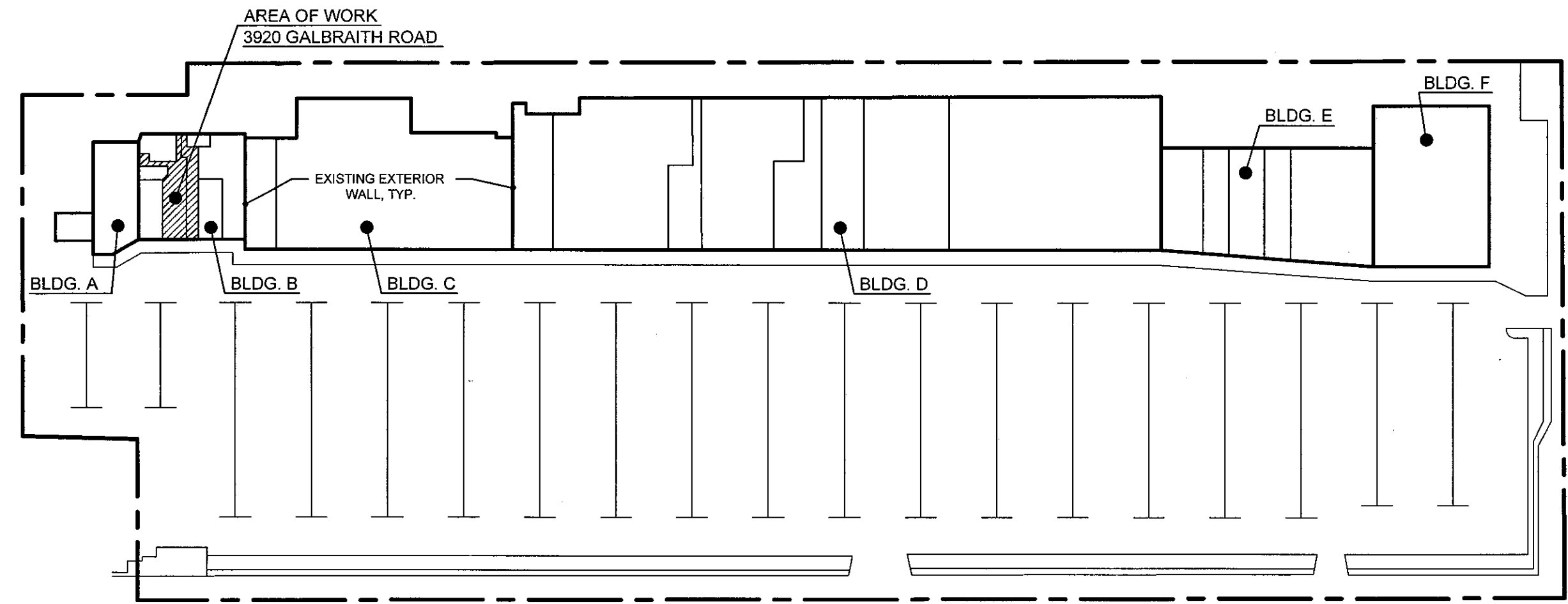
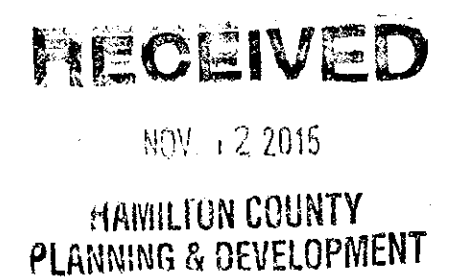
Table 2902.1	The existing and proposed tenant spaces are provided with (3) toilet rooms; (1) female, (1) male, and (1) unisex/HC accessible.
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Chapter 34 : Existing Buildings

3411.4.2	Accessible entrance	Existing
	Accessible route to primary function	Existing
	Signage	Provided
	Accessible Parking	Existing
	Accessible route from parking to entrance	Existing
3411.6	The existing toilet room in the proposed tenant space shall be altered to the maximum extent feasible to make it accessible and still allow a complying exit from the tenant space.	



CODE PLAN
Scale: 1/8" = 1'-0"



KEY PLAN
No Scale

NOTE: THE EXISTING COMPLEX WAS BUILT OVER A PERIOD OF TIME, AND IS ACTUALLY COMPRISED OF SIX (6) SEPARATE STRUCTURES.

SHEET INDEX:

- A1 CODE INFORMATION, GENERAL NOTES, DEMOLITION PLAN
- A2 CONSTRUCTION AND REFLECTED CEILING PLANS

GENERAL NOTES:

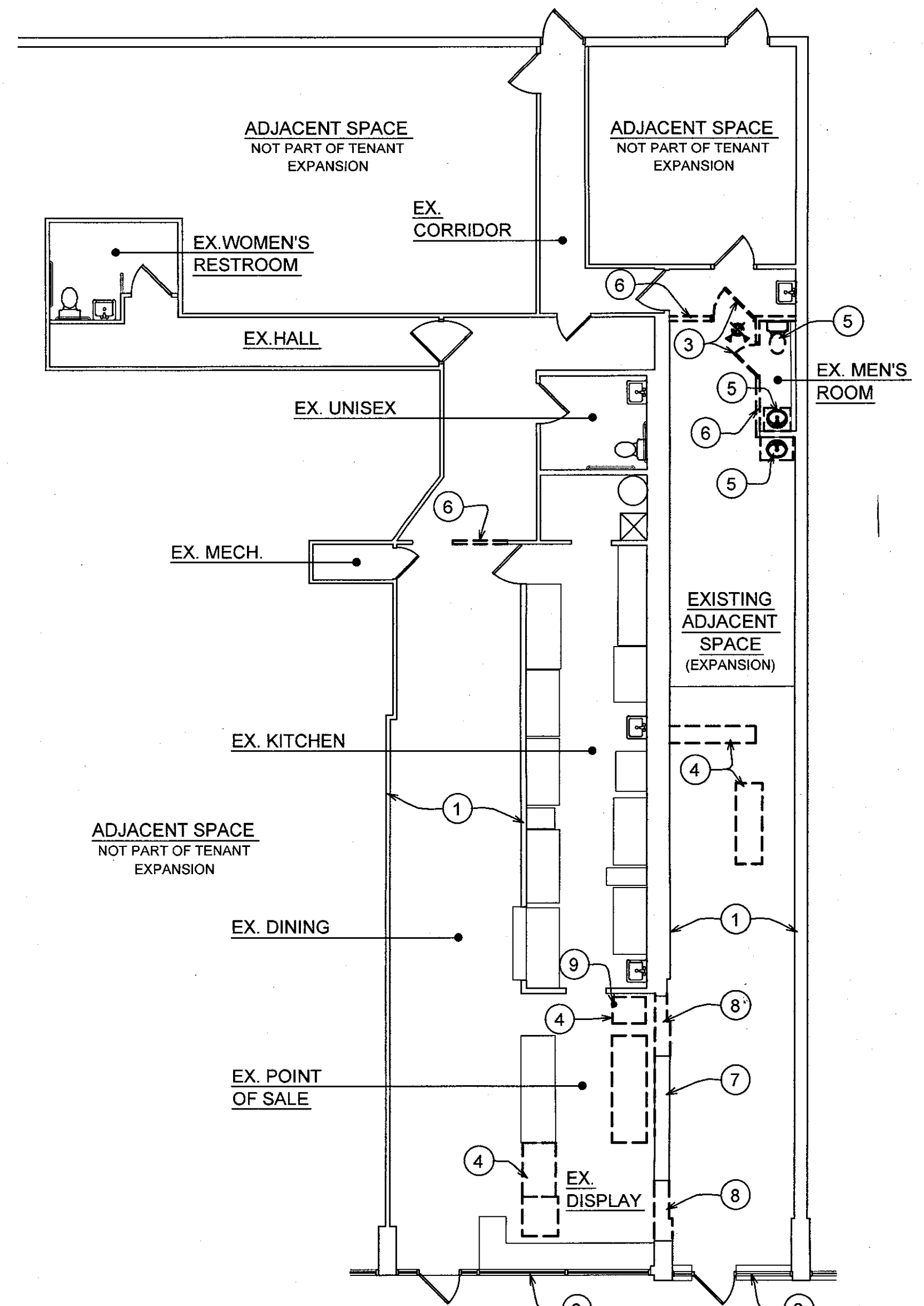
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND INFORMATION CONVEYED IN THESE DOCUMENTS. ALL ERRORS, OMISSIONS, AND INCONSISTENCIES SHALL IMMEDIATELY BE REPORTED TO THE ARCHITECT FOR RESOLUTION BEFORE PROCEEDING WITH THE WORK. ANY CHANGE IN THESE DOCUMENTS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THESE DRAWINGS ARE NOT TO BE SCALED.
- CONTRACTOR SHALL COMPLY WITH ALL CODES, LAWS, ORDINANCES, RULES, AND INDUSTRY REGULATIONS BEARING ON THE INSTALLATION OF THE WORK SHOWN ON THESE DOCUMENTS.
- IN ACCORDANCE WITH THE GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- THE GENERAL CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS THAT MAY AFFECT THE PROPOSED WORK PRIOR TO BIDDING. FAILURE TO VISIT THE SITE AND ACCOUNT AND NOTE SUCH VISIBLE OR KNOWN CONDITIONS THAT AFFECT THE WORK SHALL NOT BE A BASIS FOR ADDITIONAL COMPENSATION.
- THE ARCHITECT AND THE ARCHITECT'S CONSULTANTS SHALL HAVE NO RESPONSIBILITY FOR THE IDENTIFICATION, DISCOVERY, PRESENCE, HANDLING, OR DISPOSAL OF, OR EXPOSURE OF PERSONS TO, HAZARDOUS MATERIALS IN ANY FORM, INCLUDING MOLD, ON, OR OFF, THE PROJECT SITE.

GENERAL CONSTRUCTION NOTES:

- UNLESS NOTED OTHERWISE, ALL EXISTING CONSTRUCTION IS TO REMAIN, INCLUDING WALLS, DOORS, WINDOWS, AND CEILINGS (LAY-IN AND DRYWALL).
- CONSULT OWNER FOR ALL FINAL FINISHES. CONSULT OWNER FOR FINAL COLOR SELECTION ON ALL MATERIALS.
- EXISTING HVAC DIFFUSERS AND LIGHT FIXTURES (NOT SHOWN) ARE TO REMAIN. IF NEW WALL CONSTRUCTION NECESSITATES, SLIGHTLY RELOCATING THESE ITEMS. PAINT EXISTING DIFFUSERS IN EXPANDED TENANT SPACE.
- THESE DRAWINGS DEPICT THE DESIGN INTENT OF THE OWNER. ANY DETAILING NOT DESCRIBED IN THESE DOCUMENTS SHOULD BE REVIEWED WITH THE OWNER AND ARCHITECT PRIOR TO ORDERING MATERIALS AND ANY WORK BEING PERFORMED.
- PRIOR TO CONSTRUCTION, A PRE-CONSTRUCTION MEETING AT THE SITE SHALL BE ORGANIZED BY THE CONTRACTOR TO REVIEW FINAL DETAILING AND CONFIGURATION OF THE PROPOSED WORK, AND TO COORDINATE CONTRACTOR ENTRANCES, PARKING AREAS, STAGING AREAS, ETC. WITH THE OWNER.
- DIMENSIONS ARE TO FINISHED SURFACES.
- PATCH AND REPAIR EXISTING CONSTRUCTION WHERE DEMOLITION WORK REQUIRES, WITH MATERIALS AND FINISHES MATCHING EXISTING, FOR LIKE-NEW APPEARANCE. TAKE ALL PRECAUTIONS TO MINIMIZE DUST AND DISRUPTION TO THE SURROUNDING PROPERTIES AND TENANTS DURING CONSTRUCTION. CONSTRUCT DUST BARRIERS AS DIRECTED BY OWNER.

2011 OHIO MECHANICAL CODE

TABLE 403.3: REQUIRED OUTDOOR VENTILATION	
DINING ROOM	70 PERSONS/ 1,000 SF REQUIRED 630 SF = 42 PERSONS 20 CFM/ PERSON X 42 PERSONS = 900 CFM
	EXISTING RTU SHALL BE REBALANCED TO PROVIDE A MINIMUM OF 900 CFM OF OUTDOOR VENTILATION AIR.



DEMOLITION FLOOR PLAN
Scale: 1/8" = 1'-0"

DEMOLITION PLAN NOTES:

- NOTE: DASHED LINES TYPICALLY INDICATE ITEMS TO BE REMOVED.
- EXISTING WALL CONSTRUCTION TO REMAIN, TYPICAL.
 - EXISTING WINDOWS TO REMAIN, TYP.
 - REMOVE EXISTING DOOR AND FRAME FOR REINSTALLATION IN NEW WALL.
 - REMOVE EXISTING FIXTURE/CABINETRY.
 - REMOVE EXISTING PLUMBING FIXTURE.
 - REMOVE PORTION OF EXISTING INTERIOR PARTITION. PATCH AND REPAIR FLOOR AND WALL FINISHES TYPICAL.
 - REMOVE PORTION OF EXISTING CMU WALL AS SHOWN FOR NEW PASS-THROUGH OPENING. OPENING FINISHED SIZE IS 6'-6" WIDE BY 4'-6" HIGH, BOTTOM OF OPENING AT 42" ABOVE FINISH FLOOR. VERIFY W/ OWNER.
 - REMOVE PORTION OF EXISTING CMU WALL AS SHOWN.
 - RELOCATE EX. FLOOR DRAIN - SEE PROPOSED PLAN.

SEPARATE PERMITS REQUIRED FOR ALL: MECHANICAL WORK, PLUMBING WORK

APPROVAL OF PLANS AND APPLICATIONS DOES NOT PERMIT THE VIOLATION OF ANY SECTION OF THE BUILDING CODE. SEVERAL APPLICATIONS SHALL BE SUBMITTED FOR PERMITS FOR BUILDING AND STRUCTURES, PLUMBING, HEATING, AIR CONDITIONING, SIGNAGE, SIGNS, NEONS, OR TENTS, AND ALL OTHER AGENCIES OR AGENCIES AS REQUIRED BY THE CODE.

THE APPROVAL OF PLANS AND APPLICATIONS DOES NOT PERMIT THE VIOLATION OF ANY SECTION OF THE BUILDING CODE. SEVERAL APPLICATIONS SHALL BE SUBMITTED FOR PERMITS FOR BUILDING AND STRUCTURES, PLUMBING, HEATING, AIR CONDITIONING, SIGNAGE, SIGNS, NEONS, OR TENTS, AND ALL OTHER AGENCIES OR AGENCIES AS REQUIRED BY THE CODE.

APPROVAL IS LEGALLY RESPONSIBLE TO THE HAMILTON COUNTY ENGINEER. YOU WILL BE HELD RESPONSIBLE TO CALL FOR ALL PERMITS.

ALL PERMITS REQUIRED INSPECTIONS WILL REQUIRE THE APPLICANT HAVING TO SUBMIT A PHOTOGRAPHIC RECORD OF THE WORKING CONDITION OF THE PROJECTS WITH THE SUBMITTED DOCUMENTS AND THE BUILDING CODE.

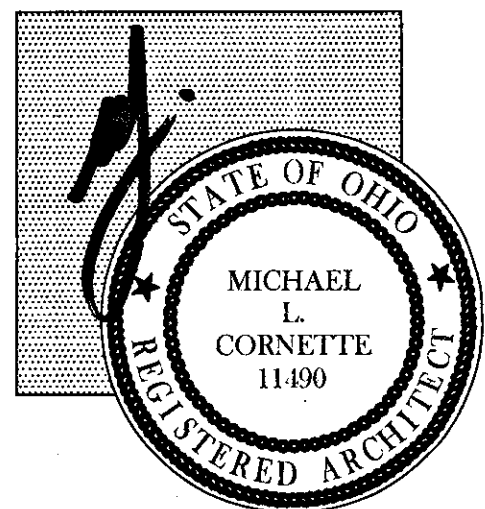
THIS PLAN IS REQUIRED BEFORE REVISIONS OF A PERMITS OF OCCUPANCY OR A CERTIFICATE OF TEMPORARY OCCUPANCY.

REVISION REQUESTS MUST BE RECEIVED NO LATER THAN ONE WORKING DAY BEFORE THE SCHEDULED INSPECTION. ALL REVISION REQUESTS MUST BE RECEIVED NO LATER THAN ONE WORKING DAY BEFORE THE SCHEDULED INSPECTION.

EC 12/9/15

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Proposed Expansion of
APPLETREE CAFE
3920 Galbraith Road Cincinnati, OH 45226



Michael L. Cornette, License #11490-96
Expiration Date 12/31/2015

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Cincinnati, Ohio 45206
Phone (513) 221-6600
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Date June 2015

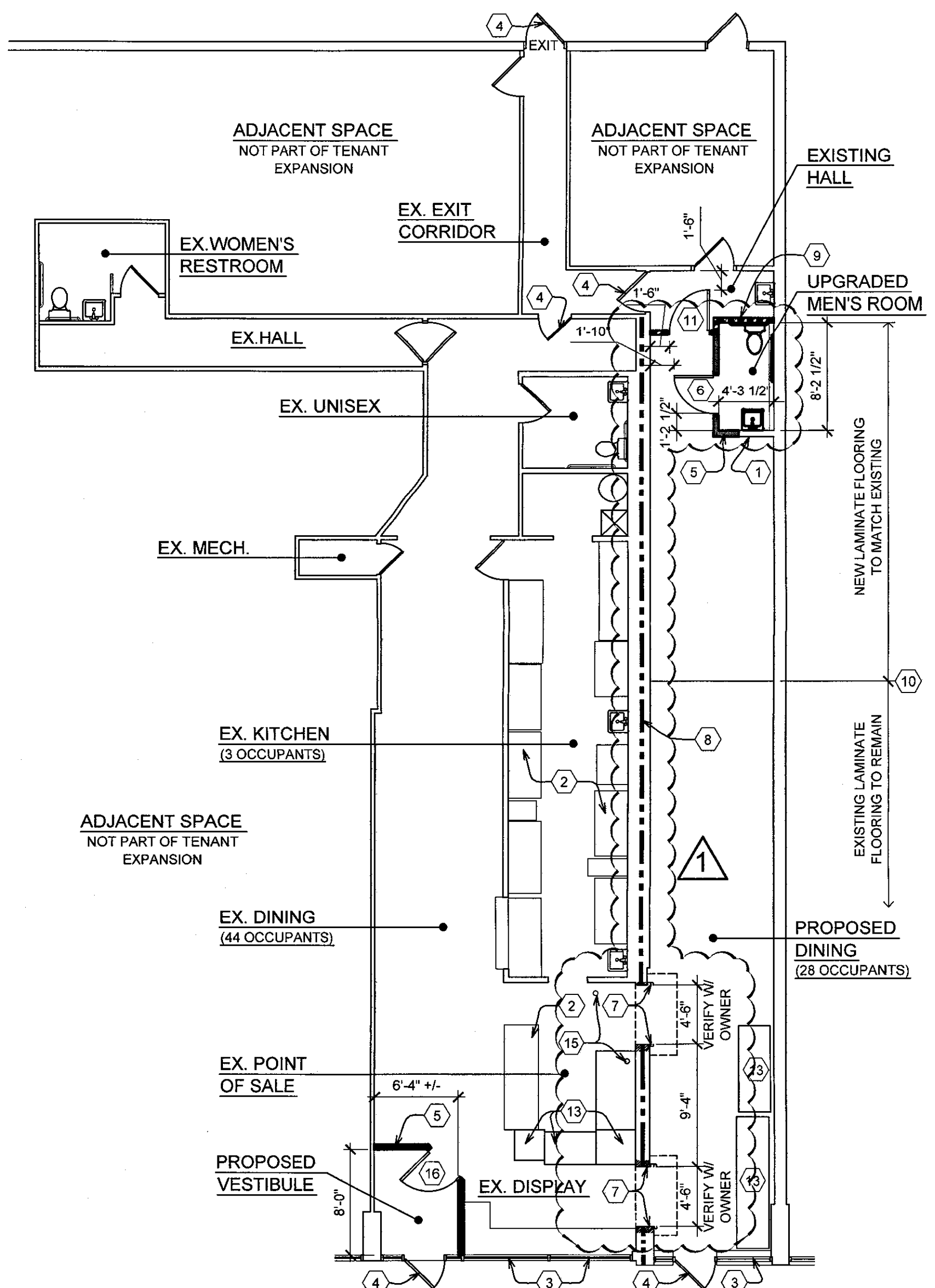
Revisions

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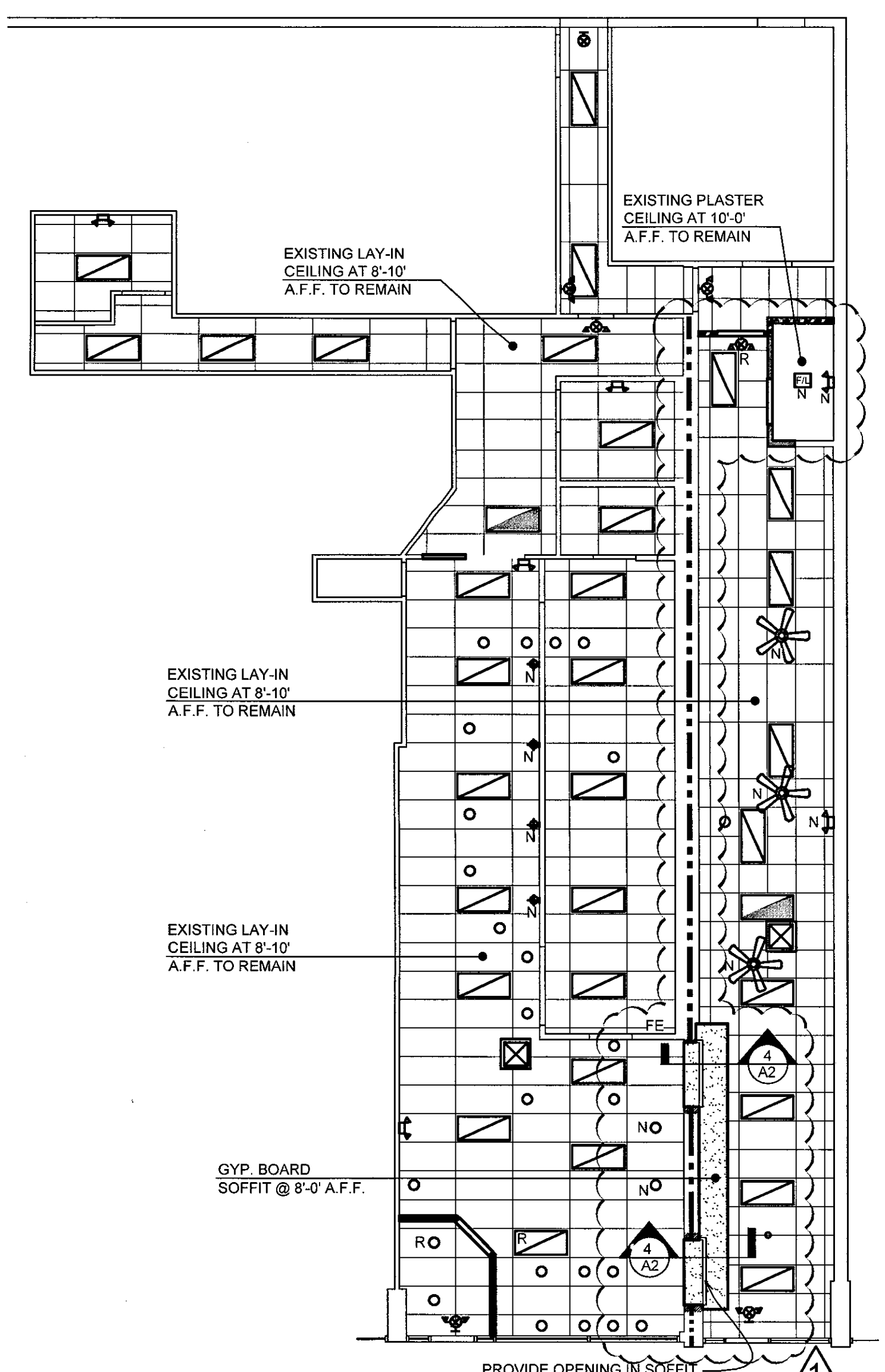
Sheet No.
A1

B16003713
AW

FIELD



1
A2
CONSTRUCTION FLOOR PLAN
Scale: 1/8" = 1'-0"



2
A2
REFLECTED CEILING PLAN
Scale: 1/8" = 1'-0"

- CONSTRUCTION PLAN NOTES:**
- EXISTING WALL CONSTRUCTION TO REMAIN, TYPICAL.
 - EXISTING FIXTURES TO REMAIN.
 - EXISTING WINDOWS TO REMAIN, TYP.
 - EXISTING DOOR TO REMAIN AND SHALL ALWAYS BE FREE FROM THE EGRESS SIDE.
 - TYP NEW PARTITION: 5/8" DRYWALL EACH SIDE OF 3 5/8" x 20 GA. METAL STUDS @ 16" O.C. TO UNDERSIDE OF CEILING ABOVE.
 - 3'-0" x 7'-0" SOLID-CORE WOOD DOOR. PROVIDE ADA LEVER HARDWARE, BUTT HINGES AND HOLLOW-METAL FRAME, PRIVACY LOCKSET. CONFIRM KEYING W/ TENANT.
 - NEW OPENING W/ (1) HOUR FIRE SHUTTER - SEE DETAIL 4/A2.
 - EXISTING 8" CMU DEMISING PARTITION. IF WALL IS NOT COMPLETE, CONTINUE TO UNDERSIDE OF ROOF DECK.
 - NEW (1) HOUR RATED METAL STUD WALL TIGHT TO UNDERSIDE OF ROOF DECK. GA FILE NO. WP1072.
 - FLOORING TO MATCH EXISTING
 - 3'-0" x 7'-0" SOLID-CORE WOOD DOOR. PROVIDE ADA LEVER HARDWARE W/ PASSAGE LOCKSET, BUTT HINGES AND HOLLOW METAL FRAME. CONFIRM KEYING W/ TENANT
 - PATCH AND REPAIR WALL AS REQUIRED BY DEMOLITION.
 - DISPLAY COUNTER AS SELECTED BY TENANT.
 - NOT USED
 - RELOCATE EX. FLOOR DRAIN.
 - 3'-0" x 7'-0" ALUMINUM DOOR W/ FULL LITE TEMP. GLASS. PROVIDE ADA LEVER HARDWARE & ADA CLOSER. CONFIRM KEYING W/ TENANT.

SYMBOL LEGEND ALL DEVICES ARE EXISTING UNLESS NOTED OTHERWISE

	EXIT/ EMERGENCY LIGHT W/ 2-HEADS AND 90 MIN. BATTERY BACK UP
	2-HEAD EMERGENCY LIGHT W/ 90 MIN. BATTERY BACK UP
	WALL MOUNTED SCONCE LIGHT FIXTURE AS SELECTED
	RECESSED 2'x4' FLUORESCENT LIGHT FIXTURE
	RECESSED 2'x4' FLUORESCENT LIGHT FIXTURE WIRED AS NIGHT-LIGHT (NOT SWITCHED)
	EXHAUST FAN/ LIGHT COMBO - VENT TO EXTERIOR
	RECESSED CAN LIGHT FIXTURE
	SUPPLY-AIR DIFFUSER OR RETURN-AIR GRILLE
	CEILING FAN/ LIGHT COMBO AS SELECTED

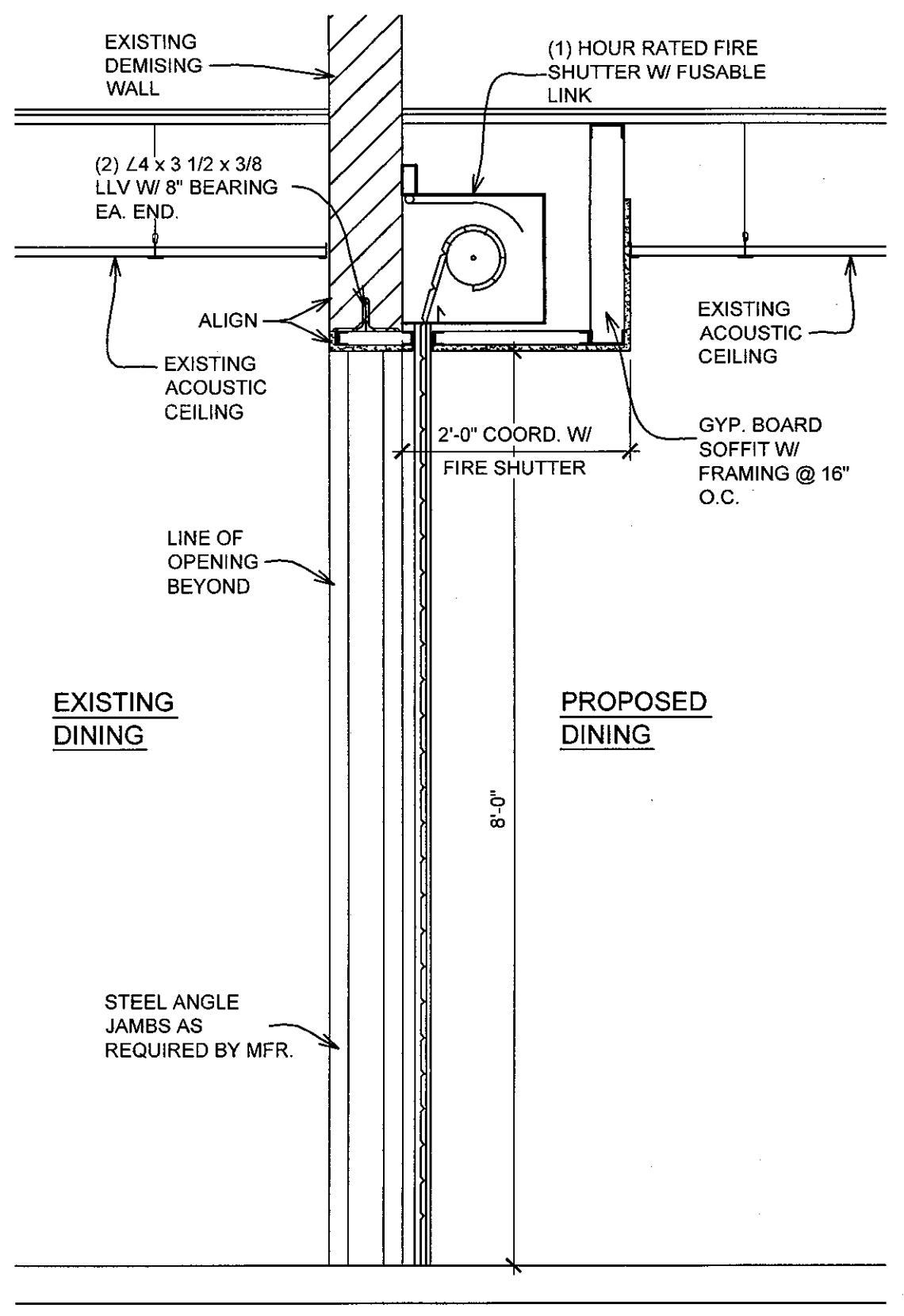
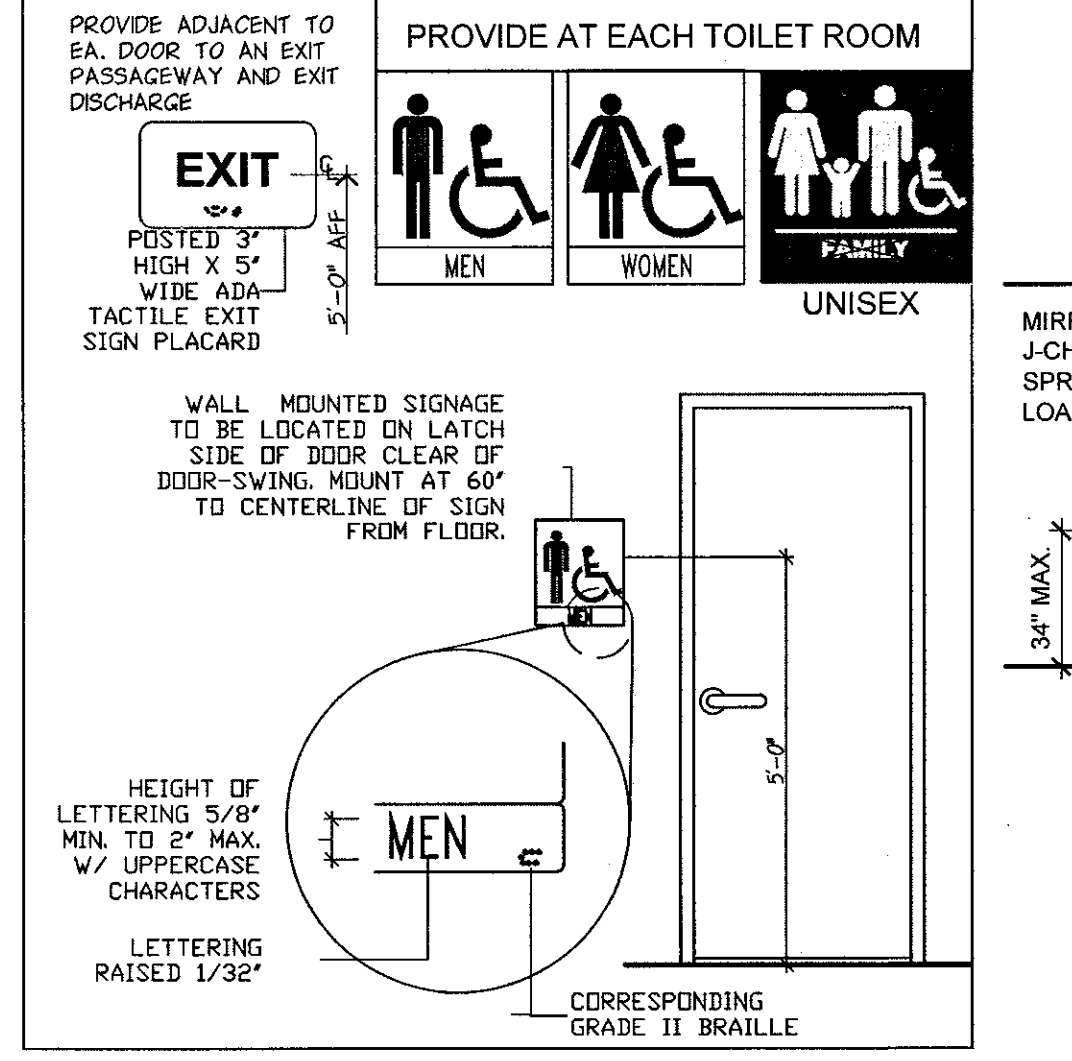
R = RELOCATED ITEM, N = NEW ITEM, FE = FIRE EXTINGUISHER

SIGNS AND IDENTIFICATION

INTERNATIONAL SYMBOL OF ACCESSIBILITY:

- DESIGN - THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE THE STANDARD USED TO IDENTIFY FACILITIES THAT ARE ACCESSIBLE TO AND USABLE BY PHYSICALLY DISABLED PERSONS AS SET FORTH IN THESE BUILDING STANDARDS AND AS SPECIFICALLY REQUIRED IN THIS SECTION.
- COLOR AND SYMBOL - THE SYMBOL SPECIFIED ABOVE SHALL CONSIST OF A WHITE FIGURE ON A BLUE BACKGROUND. THE BLUE SHALL BE EQUAL TO COLOR NO. 10940 IN FEDERAL STANDARD 595B. EXCEPTION: THE BUILDING DEPARTMENT MAY APPROVE SPECIAL SIGNS AND IDENTIFICATION NECESSARY TO COMPLEMENT DECOR OR UNIQUE DESIGN WHEN IT IS DETERMINED THAT SUCH SIGNS AND IDENTIFICATION PROVIDE ADEQUATE DIRECTION TO PERSONS WITH DISABILITIES.
- BRILLE SYMBOLS - CONTRACTED GRADE 2 BRILLE SHALL BE USED WHEREVER BRILLE SYMBOLS ARE SPECIFICALLY REQUIRED IN OTHER PORTIONS OF THESE STANDARDS. DOTS SHALL BE 1/10 INCH (2.54 MM) ON CENTERS IN EACH CELLS. DOTS SHALL BE RAISED A MINIMUM OF 1/40 INCH (0.635 MM) ABOVE THE BACKGROUND.
- PROPORTIONS - LETTERS AND NUMBERS ON SIGNS SHALL HAVE A WIDTH-TO-HEIGHT RATIO OF BETWEEN 3/5 AND 1:1 AND A STROKE WIDTH TO HEIGHT RATIO BETWEEN 1/5 AND 1/10. 117B.5.3
- CHARACTER HEIGHT - CHARACTERS AND NUMBERS ON SIGNS SHALL BE SIZED ACCORDING TO THE VIEWING DISTANCE FROM WHICH THEY ARE TO BE READ. THE MINIMUM HEIGHT IS MEASURED USING AN UPPERCASE X. LOWERCASE CHARACTERS ARE PERMITTED FOR SIGNS SUSPENDED OR PROJECTED ABOVE THE FINISHED FLOOR IN COMPLIANCE WITH SECTION 112B. THE MINIMUM CHARACTER HEIGHT SHALL BE 3 INCHES (76 MM).
- CONTRAST OF SYMBOL - CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND, EITHER LIGHT CHARACTERS ON A DARK BACKGROUND OR DARK CHARACTERS ON A LIGHT BACKGROUND.

WALL SIGNAGE (TYPICAL)

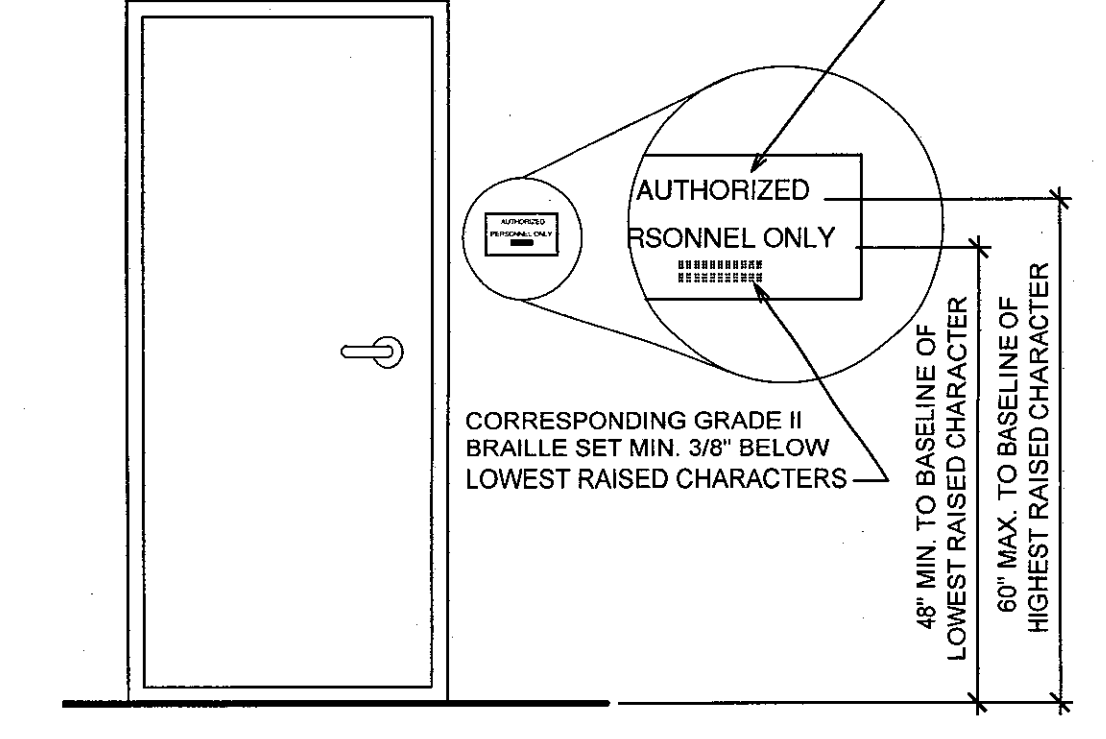


4
A2
TYP. FIRE SHUTTER DETAIL
Scale: 3/4" = 1'-0"

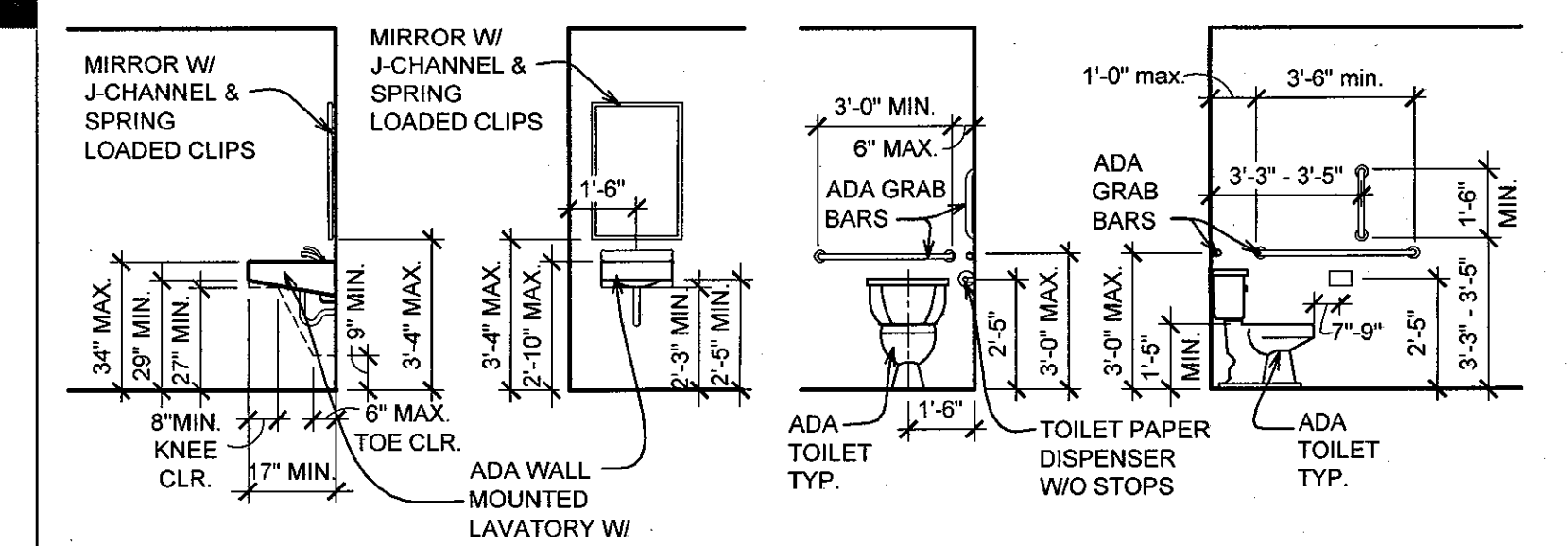
5/8" MIN. - 2" MAX. RAISED CHARACTER HEIGHT IN SANS SERIF FONT. 1/32" MIN. ABOVE BACKGROUND.

1. ALL CHARACTERS SHALL BE UPPERCASE.

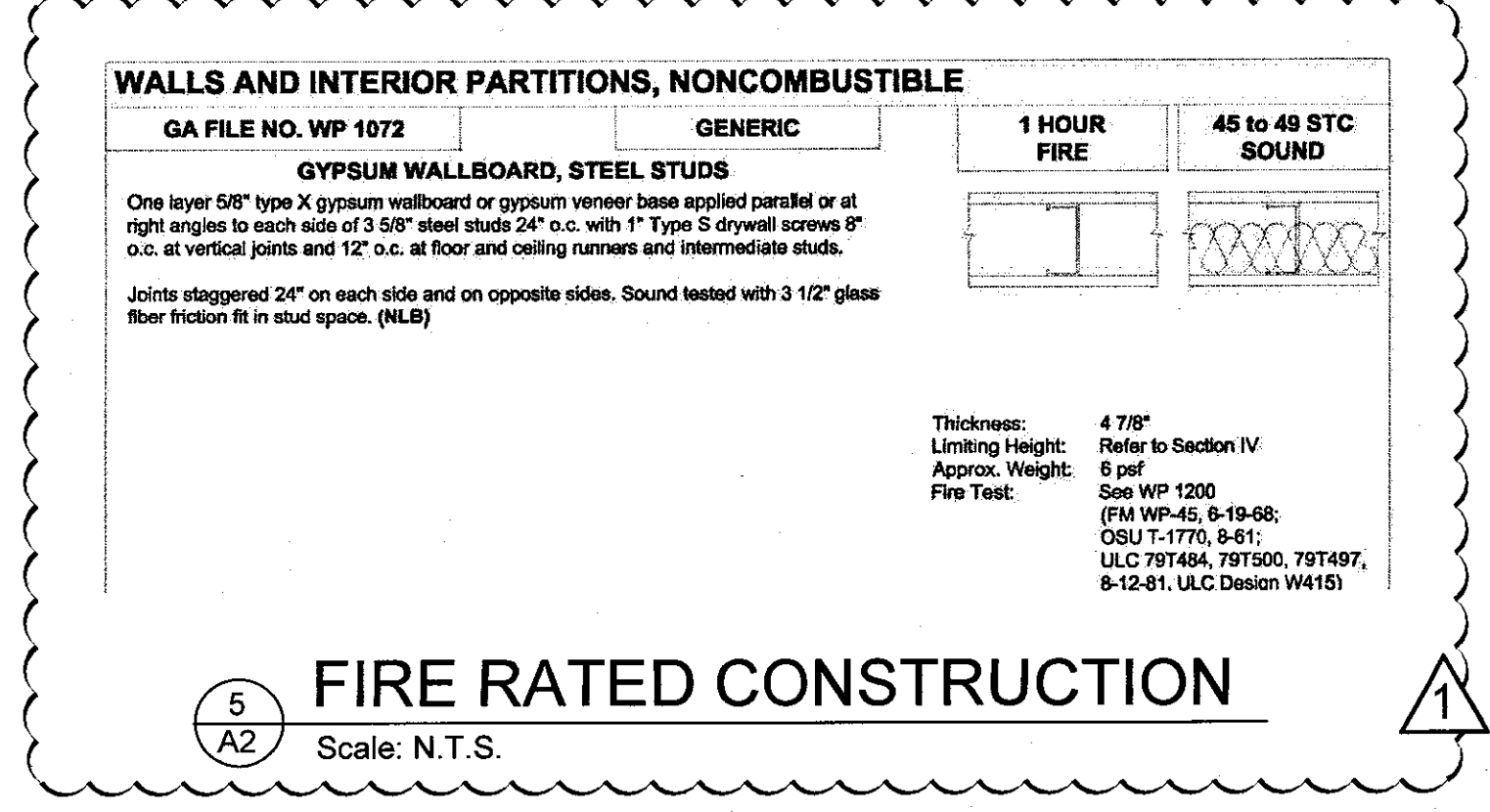
2. LINE SPACING SHALL BE 135% PERCENT MINIMUM AND 170% MAXIMUM OF THE RAISED CHARACTER HEIGHT.



TYPICAL DOOR SIGNAGE
N.T.S.



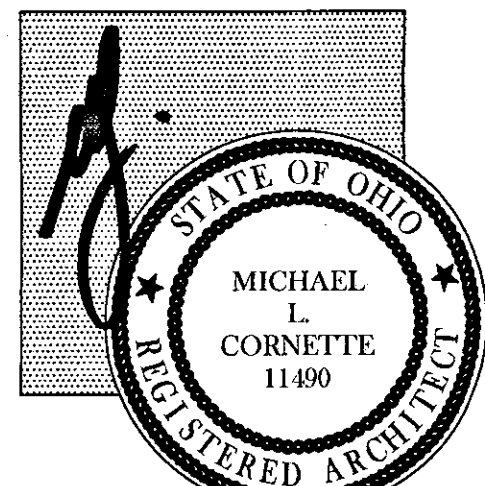
3
A2
TYP. ADA RESTROOM DETAILS
Scale: 1/4" = 1'-0"



5
A2
FIRE RATED CONSTRUCTION
Scale: N.T.S.

Proposed Expansion of
APPLETREE CAFE

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Michael L. Cornette, License #11490-96
Expiration Date 12/31/2015

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1117 Cypress Street
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Phone (513) 221-6600
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Date June 2015

Revisions

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Sheet No.
A2

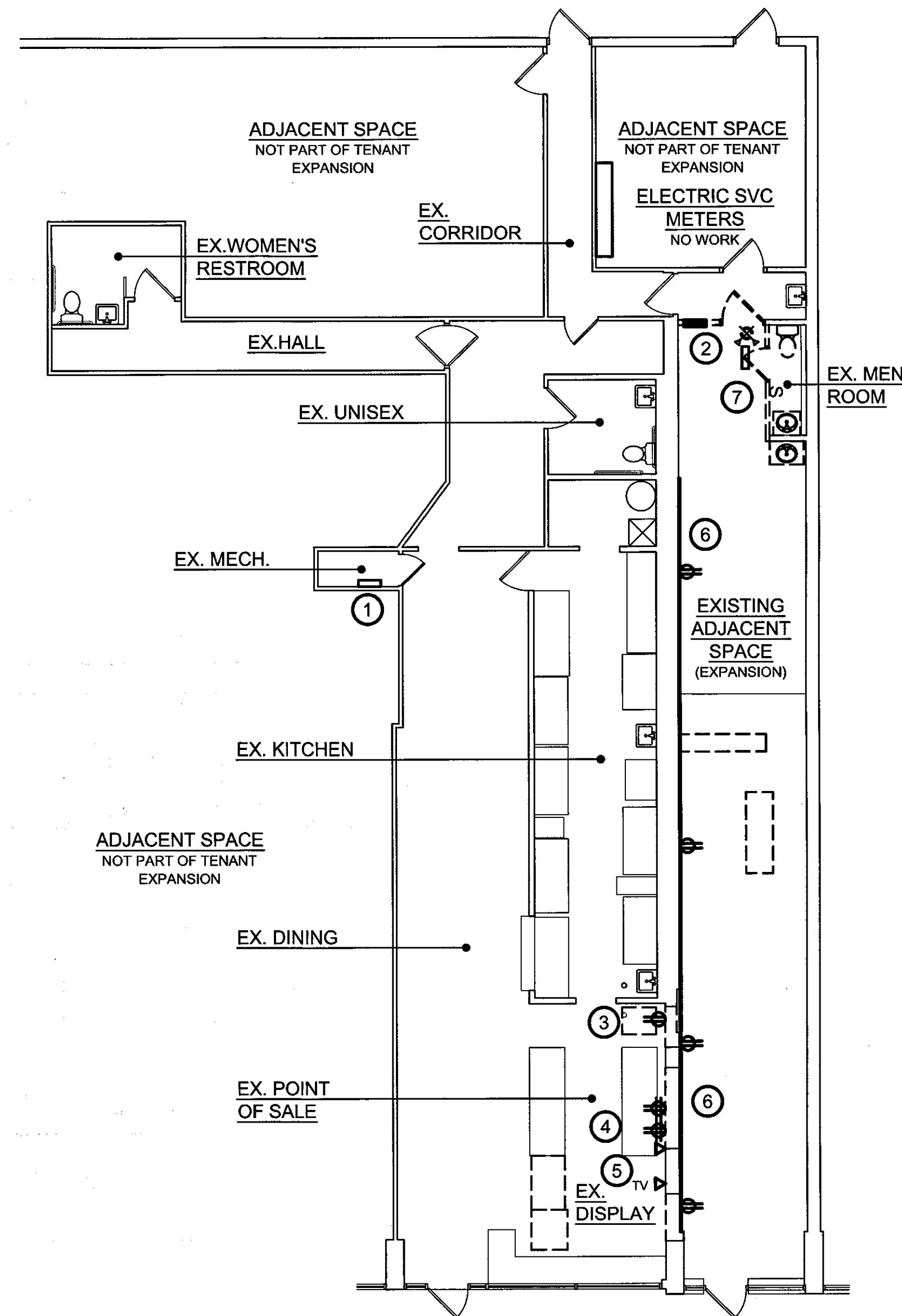
3922 PANEL -- APPLETREE CAFE															
CIRCUIT DESCRIPTION	WIRE SIZE	C / B			CCT NO	A		B		CCT NO	C / B			WIRE SIZE	CIRCUIT DESCRIPTION
		ACC	AMP	POLE		NO	NO	AMP	POLE		ACC	NO	AMP		
OUTLETS	12		20	1	1	540				2	15	1	12	SECURITY SYS.	
SPARE	12		20	1	3	100				4	15	1	12	TELEPHONE OUTLET	
RIGHT SPOTS	12		20	1	5	400				6	20	1	12	HAND DRYER	
COUNTER PLUG	12		20	1	7	1200				8	20	1	12	BATHROOM	
OUTLETS	12		20	1	9	180				10	20	1	12	REFRIG	
WINDOW OUTLETS	12		20	1	11	360				12	20	1	12	EM/EXIT LIGHTS	
CAFE LIGHTS	12		20	1	13	1024				14	20	1	12	SIGN	
PADDLE FANS	12		20	1	15	400				16	20	2	12	WATER HEATER	
NIGHT LIGHTS	12	L	20	1	17	300				18	1		12		
CAFE LIGHTS	12		20	1	19	1500				20	20	2	12	FRONT COUNTER RECEPT	
TABLE LIGHTS	12		20	1	21	600				22	20	1	12	FRONT COUNTER RECEPT	
LIGHTS	12		20	1	23	180				24	20	1	12	FREEZER OUTLET	
SPARE	12		15	1	25	750				26	20	1	12	FREEZER OUTLET	
OUTLETS	12		20	1	27	360				28	20	1	12	FRONT COUNTER PLUG	
COUNTER PLUGS	12		20	1	29	180				30	20	1	12	FRONT COUNTER PLUG	
SANDWICH REF.	12		20	1	31	750				32	20	1	12	HOOD EXHAUST	
DISHWASHER	12		20	1	33	1200				34	20	1	12	HOOD SUPPLY MUA	
BIG REFRIDGE	12		20	1	35	1200				36	20	1	12	ROOF RECEPT.	
COUNTER PLUG	12		20	1	37	180				38	20	1	12	HOOD LIGHTS	
SPACE	12		20	1	39	300				40	40	2	8	BREAD OVEN	
SPACE	12		20	1	41	3000				42	1		8		
SUBTOTAL: CONTINUOUS LOAD					1024	228	MAINS:					100 AMPERE M.L.O.			
25% OF CONTINUOUS LOAD					256	57	VOLTAGE RATING:					120/240V, 1PH, 3W, W/ GND			
NON-CONTINUOUS LOAD					14780	13225	SHORT CIRCUIT RATING:					10,000 AIC			
DEMAND FACTOR					0.60	0.60	PANEL MOUNTING:					SURFACE			
DERATED NON-CONTINUOUS LOAD					8868	7935	PANEL LOCATION:					REAR WALL			
TOTAL NEC LOAD					10148	8220	FEEDER SIZE:					SEE SINGLE LINE			
AMPS @ 120VAC					85	69	FEEDER O/C DEVICE:					100A MCB @ METER			

A - ARC-FAULT INTERRUPTING BREAKER
L - HANDLE LOCK ON

3918 PANEL															
CIRCUIT DESCRIPTION	WIRE SIZE	C / B			CCT NO	A		B		CCT NO	C / B			WIRE SIZE	CIRCUIT DESCRIPTION
		ACC	AMP	POLE		NO	NO	AMP	POLE		ACC	NO	AMP		
CEILING LIGHTS	12		20	1	1	1024				2	20	1	12	RECEPTACLES	
RECEPTACLES	12		20	1	3	540				4	20	1	12	RECEPTACLES	
RECEPTACLES	12		20	1	5	540				6	20	1	12	RECEPTACLES	
RECEPTACLES	12		20	1	7	540				8	20	2	12	COUNTER COFFEE MACHINE	
SPARE	12		20	1	9	1500				10			12		
RECEPTACLES	12		20	1	11	540				12	20	1	L	12	EMERGENCY LIGHTS/EXITS
SUBTOTAL: CONTINUOUS LOAD					1024	228	MAINS:					100 AMPERE M.L.O.			
25% OF CONTINUOUS LOAD					256	57	VOLTAGE RATING:					120/240V, 1PH, 3W, W/ GND			
NON-CONTINUOUS LOAD					4400	3945	SHORT CIRCUIT RATING:					10,000 AIC			
DEMAND FACTOR					1.00	1.00	PANEL MOUNTING:					SURFACE			
DERATED NON-CONTINUOUS LOAD					4400	3945	PANEL LOCATION:					REAR WALL			
TOTAL NEC LOAD					5680	4230	FEEDER SIZE:					SEE SINGLE LINE			
AMPS @ 120VAC					47	35	FEEDER O/C DEVICE:					60A MCB @ METER			

A - ARC-FAULT INTERRUPTING BREAKER
L - HANDLE LOCK ON

1. PANELBOARD NOTES:
EXISTING CIRCUITS RE-USED WITH NEW ARCHITECTURAL LAYOUT. NO NET CHANGE IN SERVICE LOADS.



3 E1 DEMOLITION FLOOR PLAN
Scale: 1/8" = 1'-0"

PROJECT SCOPE

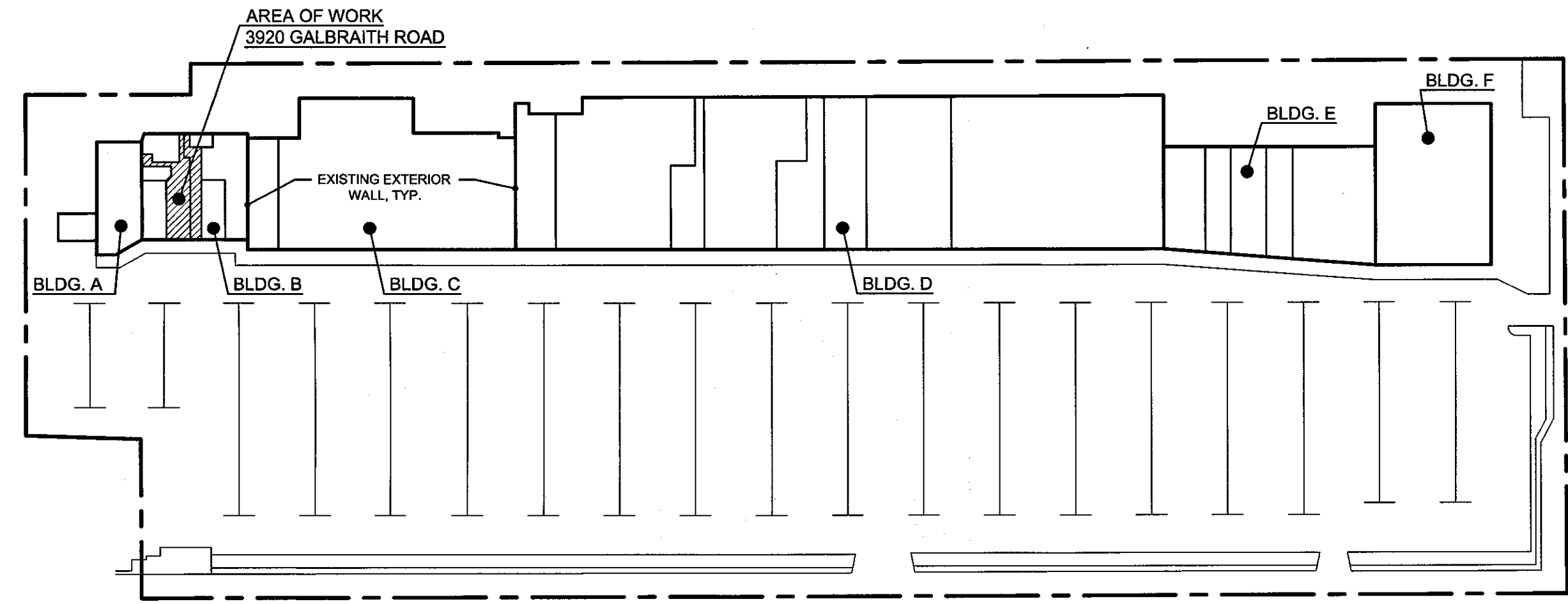
1. RENOVATION OF SPACE FOR TENANT ADDITION OF ADJACENT SPACE. MAINTAIN ALL ELECTRICAL SERVICE SEPERATIONS.

GENERAL ELECTRICAL NOTES

- FURNISH ALL LABOR, MATERIAL AND APPURTENANCES NECESSARY FOR A COMPLETE AND OPERATIONAL SYSTEM AS SHOWN OR REQUIRED.
- ALL WORK SHALL CONFORM TO APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. EACH CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, TESTS, AND INSPECTIONS AS REQUIRED BY AHJ FOR HIS OWN WORK.
- WORKMANSHIP SHALL REPRESENT THE HIGHEST STANDARD OF THE INDUSTRY. GUARANTEE ALL MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE YEAR AFTER ACCEPTANCE.
- PERFORM ALL TESTS, ADJUSTMENTS, ETC. AS REQ'D BY EQUIPMENT MANUFACTURER OR AHJ. SUBMIT MANUFACTURERS O&M MANUALS FOR ALL EQUIPMENT.
- CONTRACTOR SHALL VISIT SITE TO BECOME FAMILIAR WITH EXISTING CONDITIONS AS MAY EFFECT HIS OWN WORK. EACH CONTRACTOR SHALL COORDINATE HIS OWN WORK WITH THAT OF OTHER TRADES.
- CONTROL WIRING SHALL BE FURNISHED AND INSTALLED BY HVAC CONTRACTOR. POWER WIRING TO HVAC EQUIPMENT BY ELECTRICAL CONTRACTOR.
- EACH CONTRACTOR SHALL FURNISH ALL CUTTING AND PATCHING REQUIRED FOR HIS OWN WORK. NO CUTTING SHALL BE PERFORMED WITHOUT PRIOR APPROVAL.
- ALL EQUIPMENT, PIPES, DUCTS, ETC. SHALL BE INSTALLED CONCEALED ABOVE CEILING UNLESS SHOWN OTHERWISE. ALL EQUIPMENT AND FIXTURES SHALL BE FURNISHED AND INSTALLED BY THIS CONTRACTOR IN ACCORDANCE WITH THE STANDARD ARCHITECTURAL FINISH SPECIFICATIONS.
- ELECTRICAL CONTRACTOR SHALL INSTALL ALL FIXTURES, SWITCHES, OUTLETS, ETC. IN ACCORDANCE WITH THE DIMENSIONS AND MOUNTING HEIGHTS IN THE ADA REQUIREMENTS (LATEST EDITION). EC SHALL VERIFY AND COORDINATE ALL CIRCUIT NUMBERS AND IDENTIFY IN PANELS PER NEC REQUIREMENTS. PROVIDE CORRECT CIRCUIT NUMBERS ON DRAWINGS IF DIFFERENT THAN ON THE ORIGINAL PERMIT SET. TURN AS-BUILT DRAWINGS OVER TO OWNER OR ARCHITECT.
- CONDUITS SHALL GENERALLY BE TYPE EMT ABOVE GRADE UNLESS OTHERWISE NOTED. ALL CONDUCTORS SHALL BE COPPER TYPE THHN, THWN, OR XHHW UNLESS OTHERWISE NOTED. MINIMUM WIRE SIZE TO BE #12 AWG UNLESS OTHERWISE NOTED. EC SHALL PROVIDE ALL WIRING METHODS PER NEC REQUIREMENTS.
- CONTRACTOR MAY USE ALUMINUM CONDUCTORS, MC CABLE, NMC CABLE, BX CABLE AS PERMITTED BY LOCAL AUTHORITIES. CONTRACTOR ASSUMES RESPONSIBILITY FOR APPROVAL AND INSTALLATION.
- ALL PRODUCTS SHALL BE LISTED BY U.L. FOR THE INTENDED USE AND LOCATION IN ALL CASES WHERE U.L. LISTS SUCH PRODUCTS. WHERE NO PRODUCT LISTED BY U.L. FOR THE APPLICATION IS AVAILABLE, PROVIDE CERTIFICATION OF PERFORMANCE, MATERIALS, FUNCTION AND RATINGS FROM AN INDEPENDENT TESTING AGENCY OR LABORATORY ACCEPTED BY THE AHJ AND APPROVED BY THE ENGINEER.

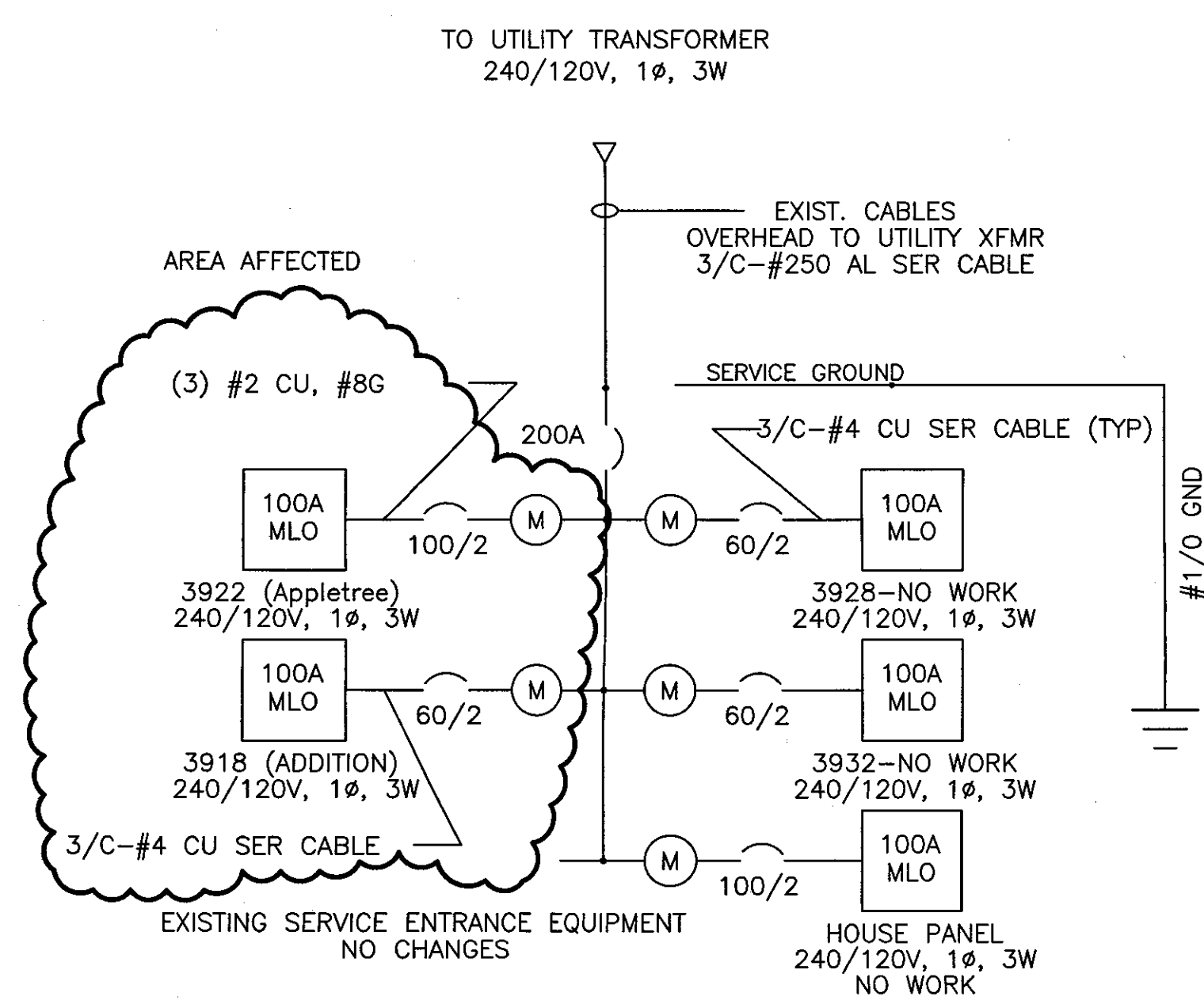
DEMOLITION NOTES #

- EXISTING APPLETREE CAFE CONVENIENCE PANEL. SEE PANEL SCHEDULE THIS SHEET. NO CHANGES.
- EXISTING ADDITION CONVENIENCE PANEL TO BE REPLACED AND RELOCATED AFTER DEMOLITION OF EXISTING WALL. SEE PANEL SCHEDULE THIS SHEET.
- EXISTING RECEPTACLE FOR ICE/SODA MACHINE REMOVED WITH WALL DEMOLITION. SALVAGE CIRCUIT FOR USE WITH NEW ARCHITECTURAL LAYOUT.
- EXISTING RECEPTACLES MOUNTED UNDER COUNTER REMOVED WITH COUNTER CABINET AND WALL DEMOLITION. SALVAGE CIRCUIT FOR USE WITH NEW ARCHITECTURAL LAYOUT.
- EXISTING DATA AND CATV OUTLETS FOR PHONES AND POINT OF SALE AND TV EQUIPMENT REMOVED WITH CABINETS AND WALL DEMOLITION. SALVAGE CIRCUIT FOR USE WITH NEW LAYOUT.
- EXISTING SURFACE RACEWAY AND ASSOCIATED OUTLETS REMOVED WITH DEMOLITION. SALVAGE CIRCUITS FOR RE-USE WITH NEW LAYOUT.
- EXISTING LIGHT SWITCH REMOVED WITH WALL WILL BE RELOCATED TO NEW DOOR FOR RESTROOM.



2 E1 KEY PLAN
No Scale

NOTE: THE EXISTING COMPLEX WAS BUILT OVER A PERIOD OF TIME, AND IS ACTUALLY COMPRISED OF SIX (6) SEPARATE STRUCTURES.

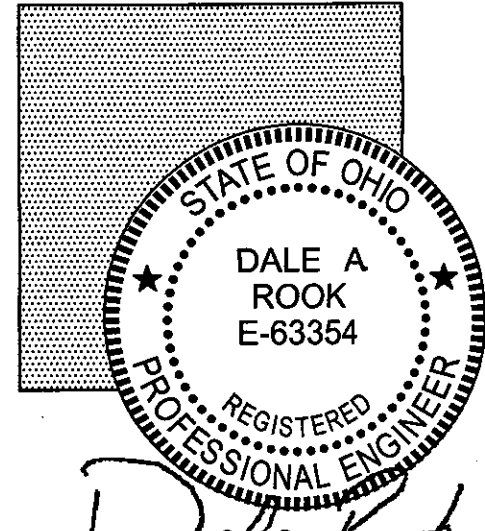


1 E1 SINGLE LINE & PANEL SCHEDULES
No Scale

NOTE: NO NET CHANGE TO EXISTING BUILDING LOADS. EXISTING LOADS RE-LOCATED TO ACCOMMODATE NEW ARCHITECTURAL LAYOUT.

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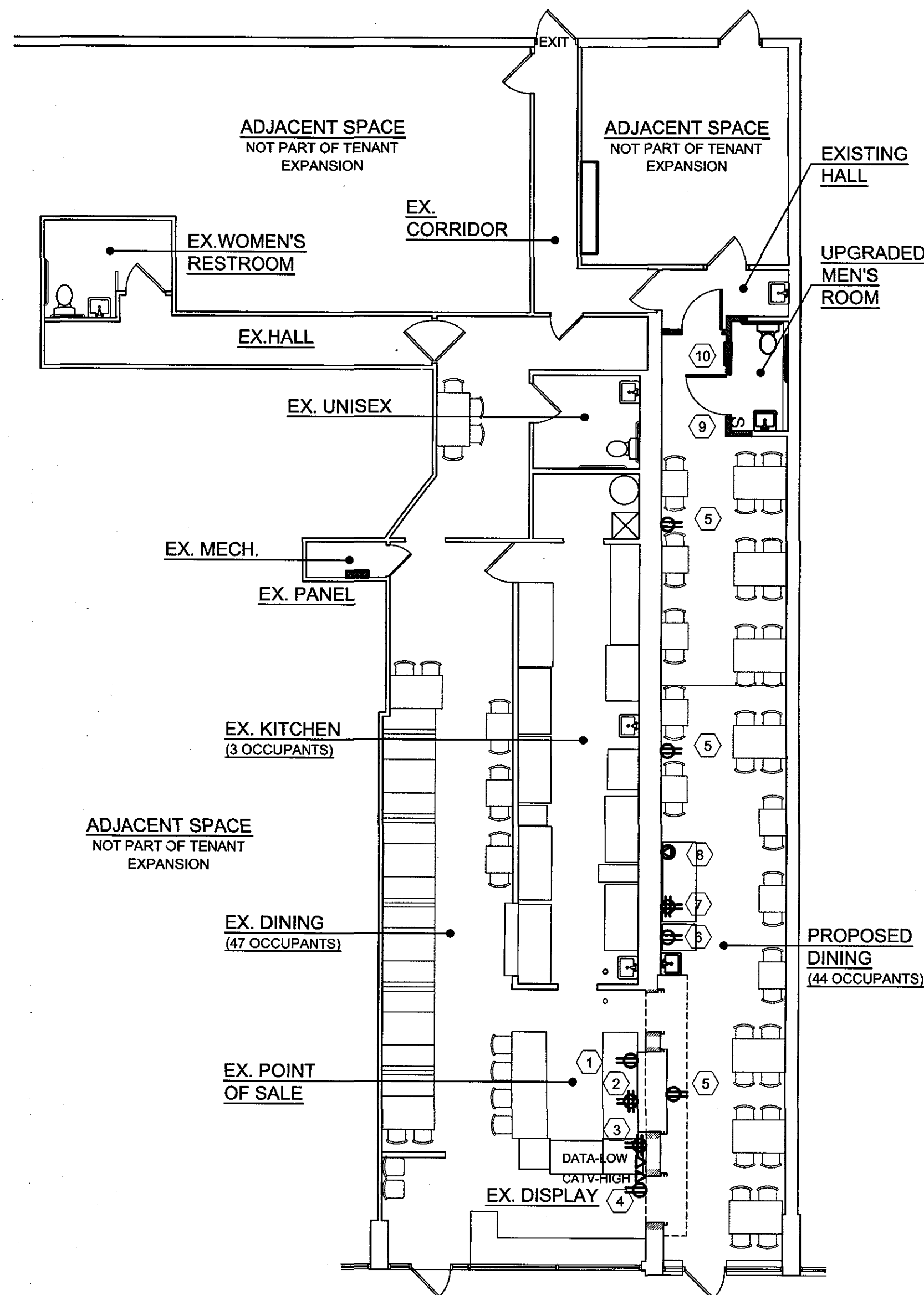
Date: AUG 2015

Revisions
ISSUED 08.29.15
FOR PERMIT

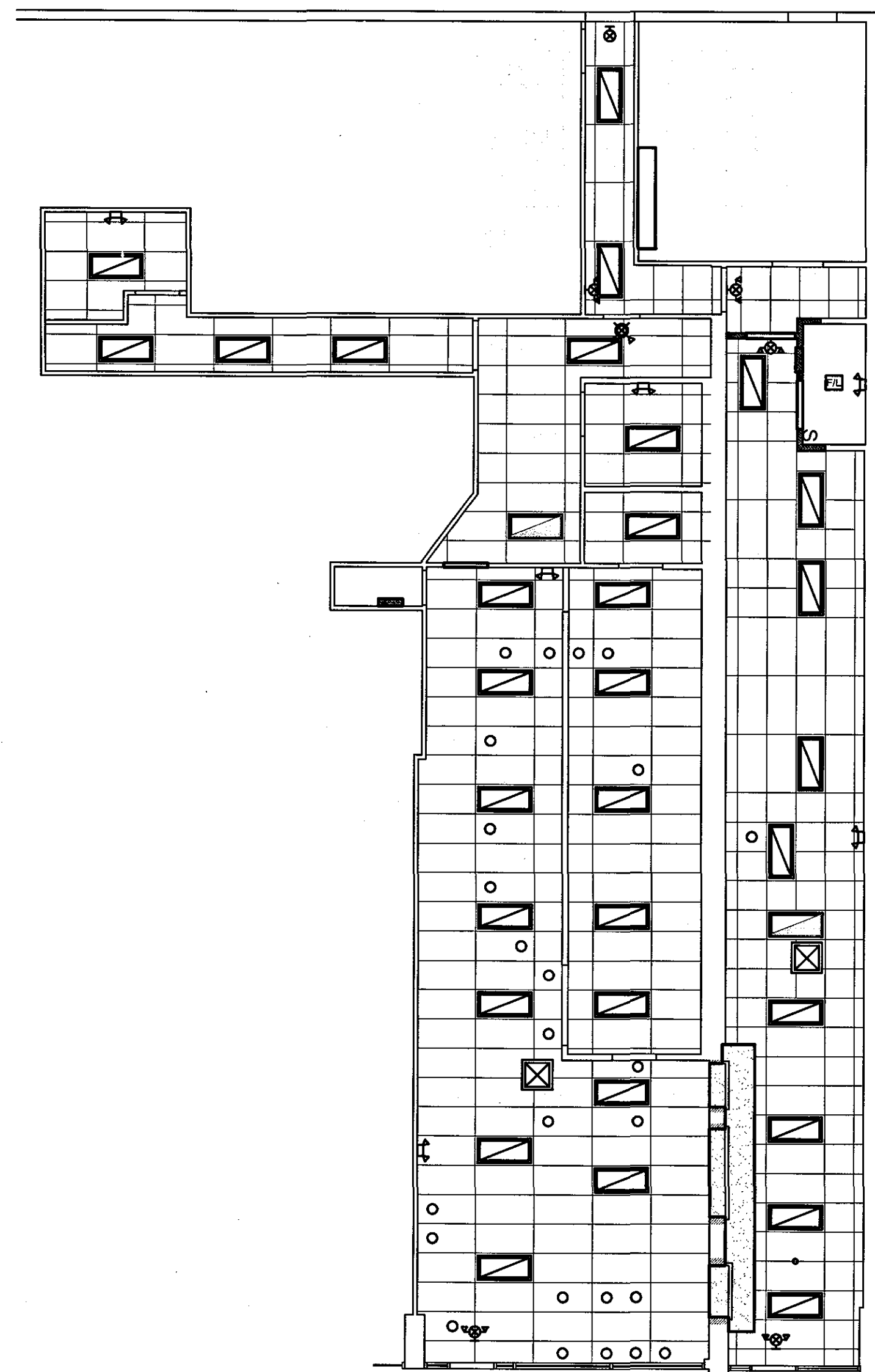
Sheet No.

E1

SVCAHORE TOWNSHIP
PLANNING & ZONING
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1
E2
CONSTRUCTION FLOOR PLAN
Scale: 1/8" = 1'-0"



2
E2
REFLECTED CEILING PLAN
Scale: 1/8" = 1'-0"

EXISTING LIGHTING IN ADDITION TO REMAIN UNCHANGED. EXTEND EXISTING LIGHTING CIRCUITS TO NEW PANELBOARD LOCATION.

NO CHANGES TO EXISTING LIGHTING CIRCUITS IN EXISTING AREA.

CONSTRUCTION PLAN NOTES:

1. RELOCATED OUTLET RECEPTACLE MOUNTED BELOW COUNTER.
2. RELOCATED DOUBLE DUPLEX RECEPTACLE WITH GFI OUTLETS MOUNTED ABOVE COUNTER
3. RELOCATED OUTLET RECEPTACLE FOR POINT OF SALE EQUIPMENT MOUNTED BELOW COUNTER.
4. RELOCATED DATA OUTLET MOUNTED BELOW COUNTER. RELOCATED CATV WALL JACK AND TV RECEPTACLE MOUNTED HIGH ON WALL.
5. ROUTE NEW CONVENIENCE OUTLET ON WALL AT 18" AFF. RE-USE EXISTING CIRCUIT FROM SURFACE RACEWAY REMOVED DURING DEMOLITION. ROUTE #12AWG CONDUCTORS BACK TO NEW PANEL LOCATION.
6. NEW GFI OUTLET FOR SODA/ICE MACHINE. ROUTE #12 AWG CONDUCTORS BACK TO NEW PANEL LOCATION.
7. NEW GFI DOUBLE DUPLEX OUTLET MOUNTED ABOVE COUNTER. RE-USE EXISTING SURFACE RACEWAY CIRCUIT REMOVED DURING DEMOLITION. ROUTE #12AWG CONDUCTORS BACK TO NEW PANEL LOCATION.
8. NEW 240V, 20A RECEPTACLE MOUNTED ABOVE COUNTER FOR COFFEE MACHINE. ROUTE #12AWG CONDUCTORS BACK TO NEW PANEL. SEE PANEL SCHEDULE ON SHEET E1.
9. RELOCATED LIGHT SWITCH FOR BATHROOM FAN/LIGHTS.
10. RELOCATED 60A, 240/120 V, 12 CIRCUIT PANEL. SEE PANEL SCHEDULE ON SHEET E1. PROVIDE NEW LOAD CENTER TO REPLACE EXISTING.

SYMBOL LEGEND

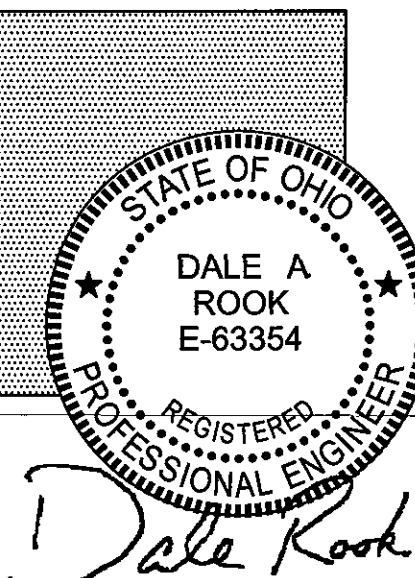
ALL DEVICES ARE EXISTING UNLESS NOTED OTHERWISE

	EXIT/ EMERGENCY LIGHT W/ 2-HEADS AND 90 MIN. BATTERY BACK UP
	EXIT LIGHT, W/ 90 MIN. BATTERY BACK UP
	2-HEAD EMERGENCY LIGHT W/ 90 MIN. BATTERY BACK UP
	RECESSED 2'x4' FLUORESCENT LIGHT FIXTURE
	RECESSED 2'x4' FLUORESCENT LIGHT FIXTURE WIRED AS NIGHT-LIGHT (NOT SWITCHED)
	EXHAUST FAN/ LIGHT COMBO - VENT TO EXTERIOR
	RECESSED CAN LIGHT FIXTURE
	SUPPLY-AIR DIFFUSER OR RETURN-AIR GRILLE
FE	FIRE EXTINGUISHER

R = RELOCATED ITEM, N = NEW ITEM

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E2