

OFFERING MEMORANDUM

1825-27 Pearl Street

Investment Retail Building for Sale
8,705 SF / 100% Leased



1825-1827 PEARL STREET
BOULDER, COLORADO
80302

MICAH LOEB
Senior Commercial Broker
303.449.2131 ext 127
micah@coloradogroup.com

Colorado
Group

FOR SALE

1825-1827 PEARL STREET, BOULDER, CO



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Contact Broker:

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Rare Opportunity to Acquire a Fully Stabilized, Multi-Tenant Asset in the Heart of Downtown Boulder.

1825-27 Pearl St. presents the opportunity for an investor to acquire 8,705 square feet, fully leased, retail asset located in the heart of downtown Boulder, Colorado.

Situated in the heart of downtown Boulder, the property is configured into three flexible suites broken down into two retail suites comprising approximately 6,124 total square feet of the building with the remaining 2,581 square feet being occupied by an office tenant on the second floor. With long term leases in place, this asset provides stable in-place income supported by a diversified tenant roster. This building is locally owned and historically has remained occupied for over 20 years. With local Boulder staples such as Boxcar Coffee Roasters and Foodlab this asset provides stable income for an investor in an otherwise turbulent market. The property's flexible configuration supports a broad range of retail and office users.

Recent List of Building Improvements:

- Repainted and sanded building exterior
- Upgraded upstairs office with high-end, full-glass conference room doors
- Renovated second-floor outdoor patio
- HVAC units inspected and serviced

1825-27 Pearl St. benefits from its location within the heart of Downtown Boulder, one of Colorado's most robust and highly sought after markets. This asset's convenient location provides an ample amount of pedestrian traffic along with highly visible signage. With limited availability of stabilized retail/office assets currently available in the Boulder market, 1825-27 Pearl provides an investor an excellent opportunity to get their piece of the highly desirable Pearl St. real estate. With 100% occupancy, diversified tenancy with long term leases in place, and functional retail infrastructure, 1825-27 Pearl St. represents a compelling opportunity for investors seeking durable in-place income with long term appreciation potential in the Boulder retail market where opportunities to acquire stabilized assets remain extremely limited.

PROPERTY OVERVIEW

PROPERTY LOCATION	1825-1827 Pearl Street, Boulder, CO, 80302
SALE PRICE	\$4,800,000 (\$551.40/SF)
SITE SIZE	7,268 SF*
BUILDING SIZE	8,705 SF*
DATE AVAILABLE	Immediately
NUMBER OF TENANTS	3
NOI	\$297,465 (2027)
CAP RATE	6.2%
EXPENSES (EST.)	\$16.50/SF
PROPERTY TAXES	\$85,195 (2026)
PARKING	Two parking spaces
ZONING	MU-3

*Source- Seller

FEATURE HIGHLIGHTS

 Balcony/Patio	 Exposed Brick
 Central Location	 Kitchen
 Foot Traffic	 Near Restaurants
 High Traffic	 Near Shopping



PROPERTY OVERVIEW

1825-1827 PEARL STREET
BOULDER, CO

7,268 SF
SITE SIZE

8,705 SF
BUILDING SIZE

100%
OCCUPIED

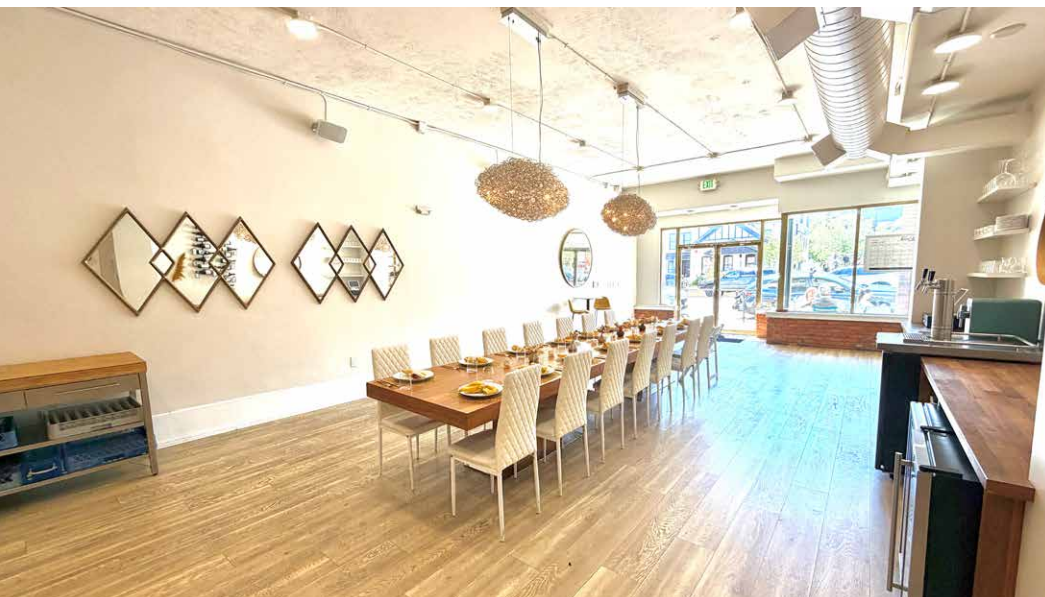
3
TENANT

MU-3
ZONING



Food Lab INTERIOR PHOTOS

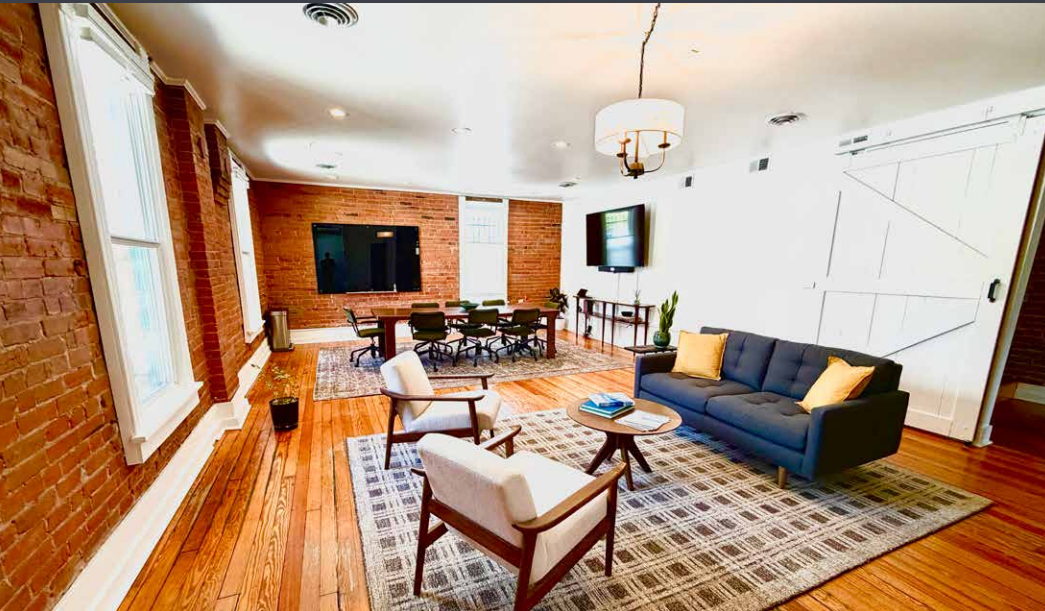
1825-1827 PEARL STREET
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INTERIOR PHOTOS 2ND FLOOR OFFICE

1825-1827 PEARL STREET
BOULDER, CO





AREA MAP

1825-1827 PEARL STREET
BOULDER, CO





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FOR MORE INFORMATION
ON THIS PROPERTY,
PLEASE CONTACT:



MICAH LOEB

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303.449.2131 ext 127

micah@coloradogroup.com

**Colorado
Group**

The Colorado Group, Inc

3101 Iris Avenue, Suite 240

Boulder, CO 80301

303.449.2131

coloradogroup.com



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