

RUNNERS HIGH FLAGSHIP STORE

MATERIALS AND CONSTRUCTION NOTES

1. ALL NEW MATERIALS, FINISHES, COLORS, TEXTURES AND CONSTRUCTION SHALL EXACTLY MATCH EXISTING CONSTRUCTION OF ADJACENT OFFICE SPACES UNLESS OTHERWISE NOTED IN THESE DRAWINGS.
2. SUBMIT PRODUCT DATA, SHOP DRAWINGS, SCHEDULES, AND SAMPLES TO THE ARCHITECT FOR REVIEW BEFORE PROCURING OR INSTALLING ANY MATERIALS.
3. ALL SUBMITTALS EXCEPT ACTUAL SAMPLES AND COLOR CHIPS SHALL BE TRANSMITTED ELECTRONICALLY.
4. SUBMIT LIST OF PROPOSED SUBMITTALS TO THE ARCHITECT BEFORE COMMENCING ANY WORK. STANDARD CONSTRUCTION MATERIALS SUCH AS GYPSUM BOARD, METAL STUDS, FASTENERS, ETC DO NOT REQUIRE A SUBMITTAL.
5. ALL COLORS AND FINAL PRODUCT SELECTION SHALL BE MADE FROM THE MANUFACTURER'S STANDARD LINE UNLESS OTHERWISE NOTED.
6. ALL WORK SHALL BE PERFORMED TO BEST PRACTICES AS RECOGNIZED BY INDUSTRY STANDARDS OR BETTER.
7. ALL MANUFACTURED PRODUCTS OR SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS, INCLUDING BUT NOT LIMITED TO: CERTIFICATION OF INSTALLERS, PERFORMANCE OF SPECIAL INSPECTIONS, AND THE LIKE.
8. ANY PRODUCTS CONTAINING HIGH LEVELS OF VOCs (VOLATILE ORGANIC COMPOUNDS) SHALL BE AVOIDED WHERE PRACTICABLE. PAINT, COATINGS AND ADHESIVES SHALL BE VOC-FREE IF THESE PRODUCTS ARE READILY AVAILABLE.
9. ALL SURFACES WITHIN THE "AREA OF WORK" SHALL BE PATCHED AND REFINISHED AS REQUIRED TO APPEAR NEW. THIS WORK MAY INCLUDE REPAINTING ALL WALLS AND REPLACING CEILING TILES WHERE REQUIRED.

GENERAL NOTES

1. CONTRACTOR SHALL NOT SCALE DRAWINGS EXCEPT FOR ESTIMATING PURPOSES.
2. THESE DRAWINGS HAVE BEEN PREPARED BASED UPON COMPUTER BASED DRAWINGS PROVIDED BY THE OWNER.
3. PRIOR TO BIDDING THE WORK, CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS.
4. IN AREAS WHERE CONSTRUCTION RELIES ON ACCURATE DIMENSIONS CONTRACTOR SHALL MEASURE EXISTING SITE CONDITIONS, AND NOT RELY ON DIMENSIONS SHOWN ON THESE DRAWINGS.
5. ANY DIMENSIONAL DIFFERENCES BETWEEN THE DRAWINGS AND THE ACTUAL SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
6. ANY DISCREPANCY BETWEEN THE ARCHITECT AND ENGINEERS' DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR RESOLUTION.
7. WORK SCHEDULE SHALL BE COORDINATED WITH THE OWNER. SOME WORK MAY BE REQUIRED TO BE PHASED, OR WORK PERFORMED AFTER REGULAR BUSINESS HOURS, IN ORDER TO MAINTAIN TENANT ACCESS TO PORTIONS OF THE BUILDING.
8. CONTRACTOR SHALL MAINTAIN A CLEAN WORK SITE.
9. CONTRACTOR SHALL RECYCLE ALL JOBSITE WASTE TO THE EXTENT PRACTICABLE, INCLUDING:
 - A. CARDBOARD, PAPER
 - B. CONCRETE, ASPHALT
 - C. WOOD SCRAPS NOT CONTAMINATED WITH PAINT, ADHESIVES, ETC
 - D. ANY RE-USABLE ITEMS SUCH AS DOORS, LIGHT FIXTURES
10. ANY HAZARDOUS ITEMS SHALL BE DISPOSED OF PROPERLY, SUCH AS FLUORESCENT BULBS, BATTERIES, UNUSED PAINT, ETC.
11. CONTRACTOR SHALL CONDUCT ASBESTOS AND LEAD PAINT TESTING AS REQUIRED BY LAW.
12. THESE DRAWINGS DO NOT INCLUDE ALL ITEMS, MATERIALS AND METHODS REQUIRED FOR A COMPLETE INSTALLATION. THESE DRAWINGS SHOW THE PRIMARY DESIGN INTENT AND SCOPE OF WORK, MAJOR ELEMENTS, DIMENSIONS, ETC. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE A COMPLETE INSTALLATION OF ALL WORK. NO ADJUSTMENT SHALL BE MADE TO THE SCHEDULE OR COST OF THE PROJECT FOR FAILURE TO INCLUDE ANY PORTION OF THE WORK WHICH COULD BE REASONABLY INFERRED FROM THESE DOCUMENTS.

PROJECT DESCRIPTION

THIS PROJECT IS A SIMPLE INTERIOR REMODEL OF AN EXISTING BUILDING THAT WAS PREVIOUSLY USED AS THE "GOLDEN CITY CHINESE RESTAURANT." REMODEL INCLUDES UPGRADE OF THE ELECTRICAL SYSTEM TO MEET ALL CODES, AND INSTALLATION OF A NEW HVAC SYSTEM. EXTERIOR WORK ONLY INCLUDES ENLARGING WINDOWS ON THE EAST (FRONT) OF THE BUILDING AND REMOVING THE EXISTING VESTIBULE AND INSTALLING A NEW ENTRANCE DOOR.

DRAWING LIST

- | | |
|-----|---|
| A.1 | SITE PLAN; PROJECT INFORMATION; CODE ANALYSIS |
| A.2 | DEMOLITION FLOOR PLAN & NOTES |
| A.3 | FLOOR AND REFLECTED CEILING PLANS |
| A.4 | EXTERIOR & INTERIOR ELEVATIONS |

OWNER

KEN PLUSKA & DEB SPENCE
RUNNERS HIGH
720.583.2911
rdy2run01@yahoo.com

ARCHITECT

EWERS ARCHITECTURE
1420 WASHINGTON AVENUE
GOLDEN, COLORADO 80401
phone 303.271.0977
website www.ewersarchitecture.com

contact PETER J. EWERS, AIA, LEED AP
peter@ewersarchitecture.com
beth@ewersarchitecture.com

SITE INFORMATION

STREET ADDRESS:
2120 FORD STREET
GOLDEN, CO 80401

LEGAL DESCRIPTION:
BLOCK 017, LOT 0013, WELCHS ADD TO GOLDEN, CITY OF
GOLDEN, COUNTY OF JEFFERSON, STATE OF COLORADO

CODE ANALYSIS

-- SITE INFORMATION --
ADDRESS: 2120 FORD STREET, GOLDEN COLORADO 80401
ZONE DISTRICT: CC1

-- PROJECT DESCRIPTION --
THIS PROJECT INCLUDES REMODELING OF THE EXISTING RESTAURANT INTO A NEW RETAIL SPACE

-- APPLICABLE CODES --
2015 International Building Code (IBC)
2015 International Energy Conservation Code (IECC)
2015 International Mechanical Code (IMC)
2014 National Electric Code (NEC)
2015 International Plumbing Code (IPC)

-- AREA CALCULATIONS --
All areas are measured to the exterior face of exterior walls

RETAIL: 1403 SF
STORAGE: 669 SF
TOILETS/DRESSING: 198 SF

TOTAL AREA: 2,270 SF

-- OCCUPANCY GROUPS (IBC chapter 3) --
M - Mercantile

-- CONSTRUCTION CLASSIFICATION (IBC section 602) --
Type: 5-B

-- OCCUPANT LOAD (table 1004.1.2) --

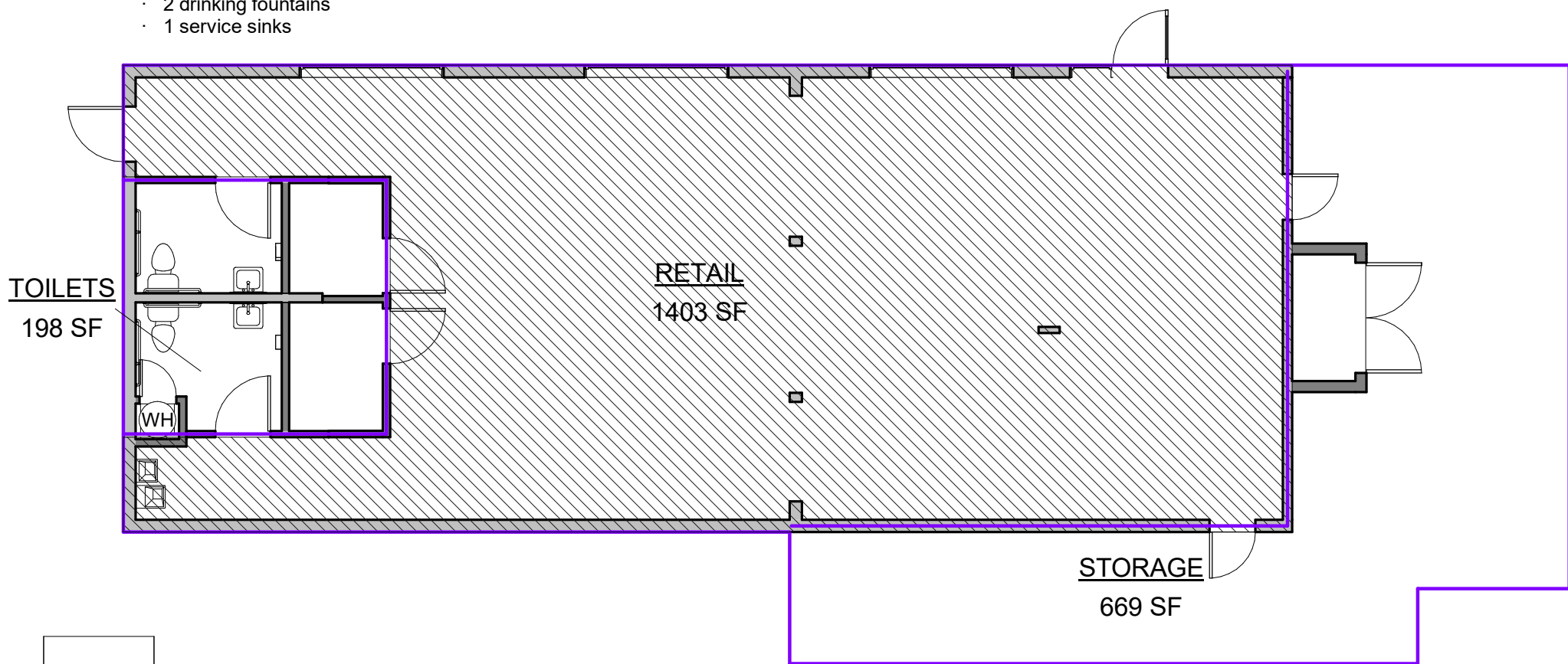
RETAIL: 1403sf / 30sf per occupant = 47
STORAGE: 669sf / 300sf per occupant = 3
TOILETS: 198sf / 30sf per occupant = 7

BUILDING TOTAL OCCUPANT LOAD = 57

-- TOILET FACILITIES (chapter 29) --
REQUIRED: For the Mercantile classification 1 toilet per 500 occupants is required. 1 lavatories per 750 occupants is required.
1 drinking fountain per 1000 occupants and 1 service sink is required. For this project, the required fixtures are:

REQUIRED FIXTURES:
· 1 toilet
· 1 lavatory
· 1 drinking fountain
· 1 service sink

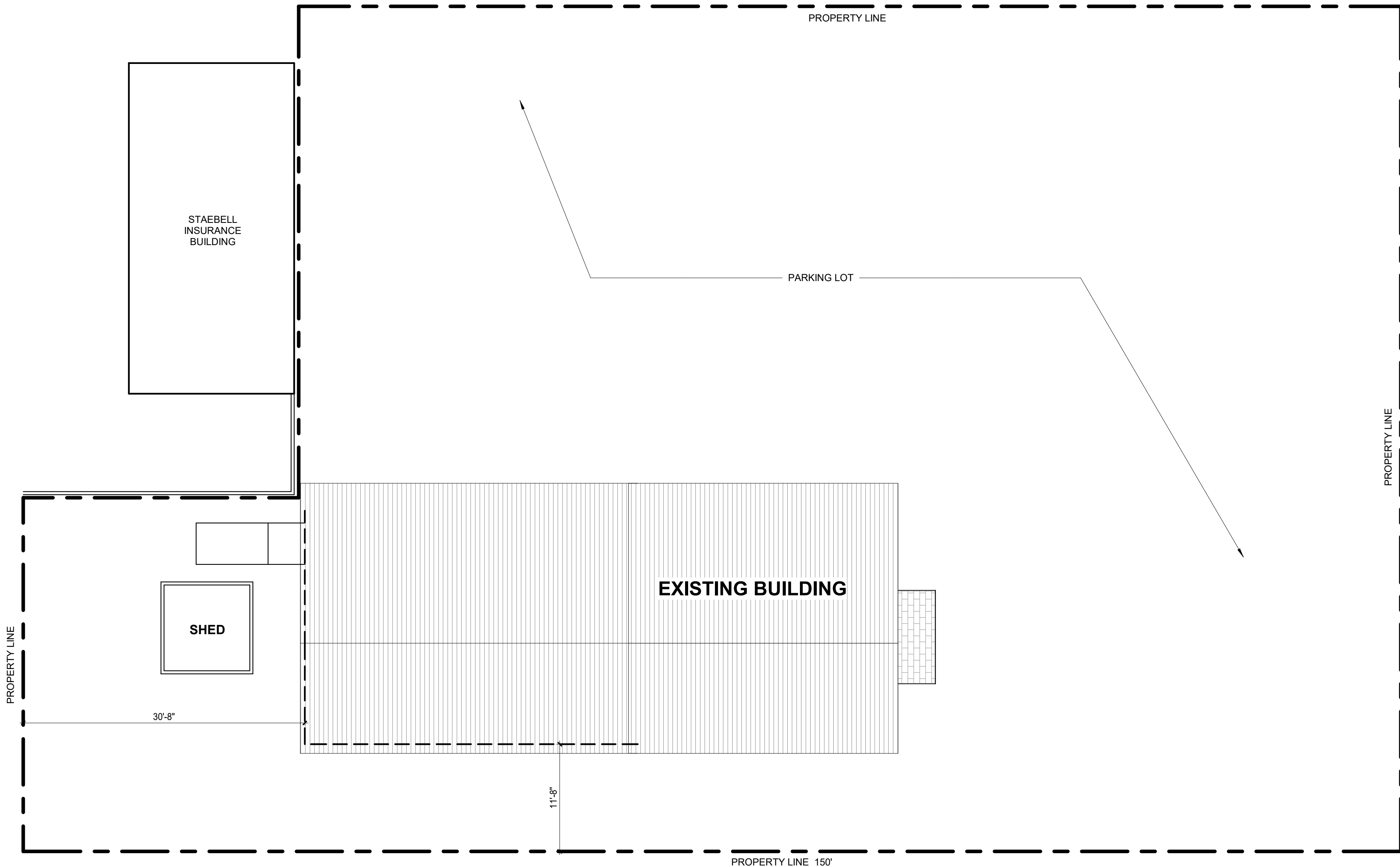
PROVIDED:
· 2 toilets
· 2 lavatories
· 2 drinking fountains
· 1 service sinks



2

CODE FLOOR PLAN

1/8" = 1'-0"



1

SITE PLAN

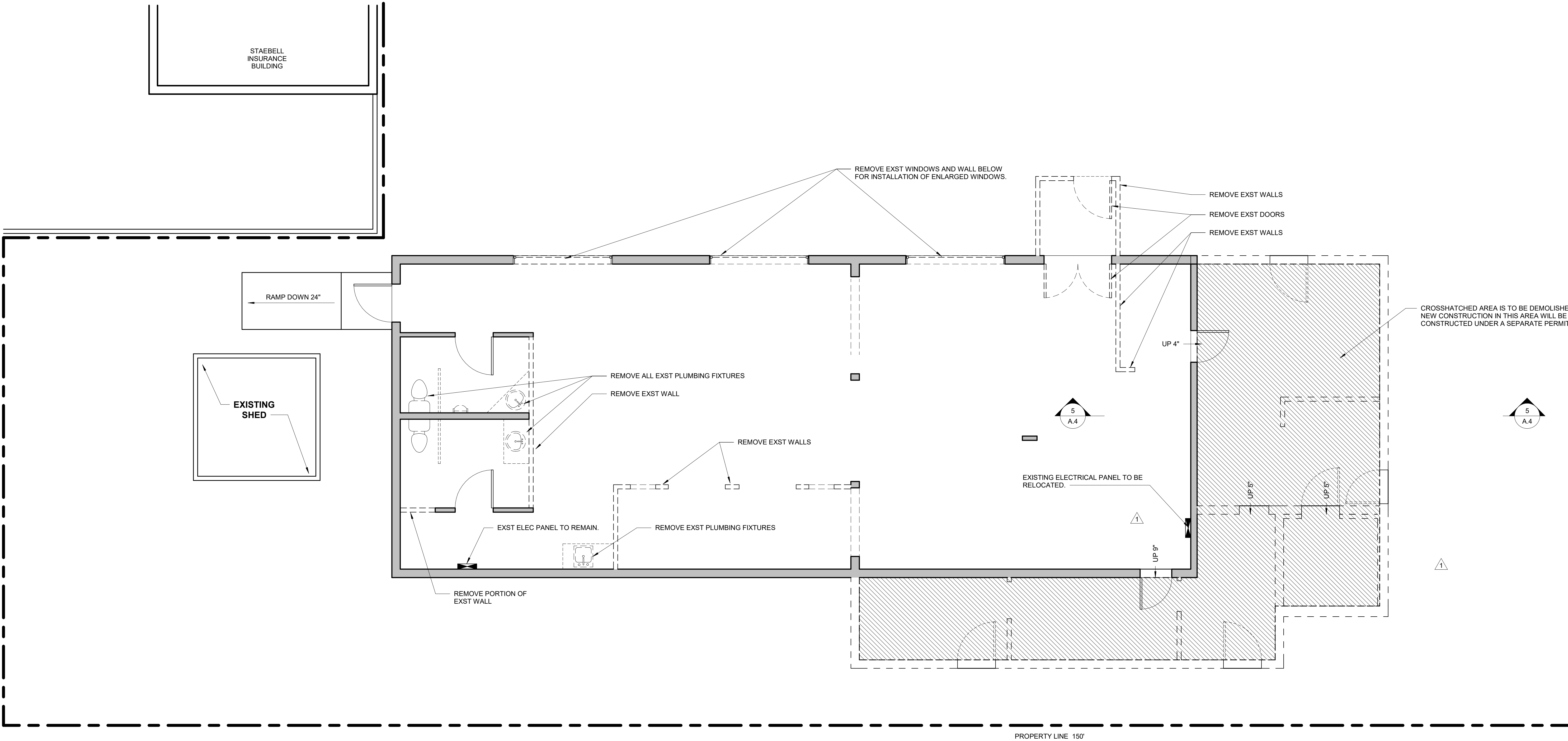
1/8" = 1'-0"

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DEMOLITION FLOOR PLAN

1/4" = 1'-0"



DEMOLITION NOTES

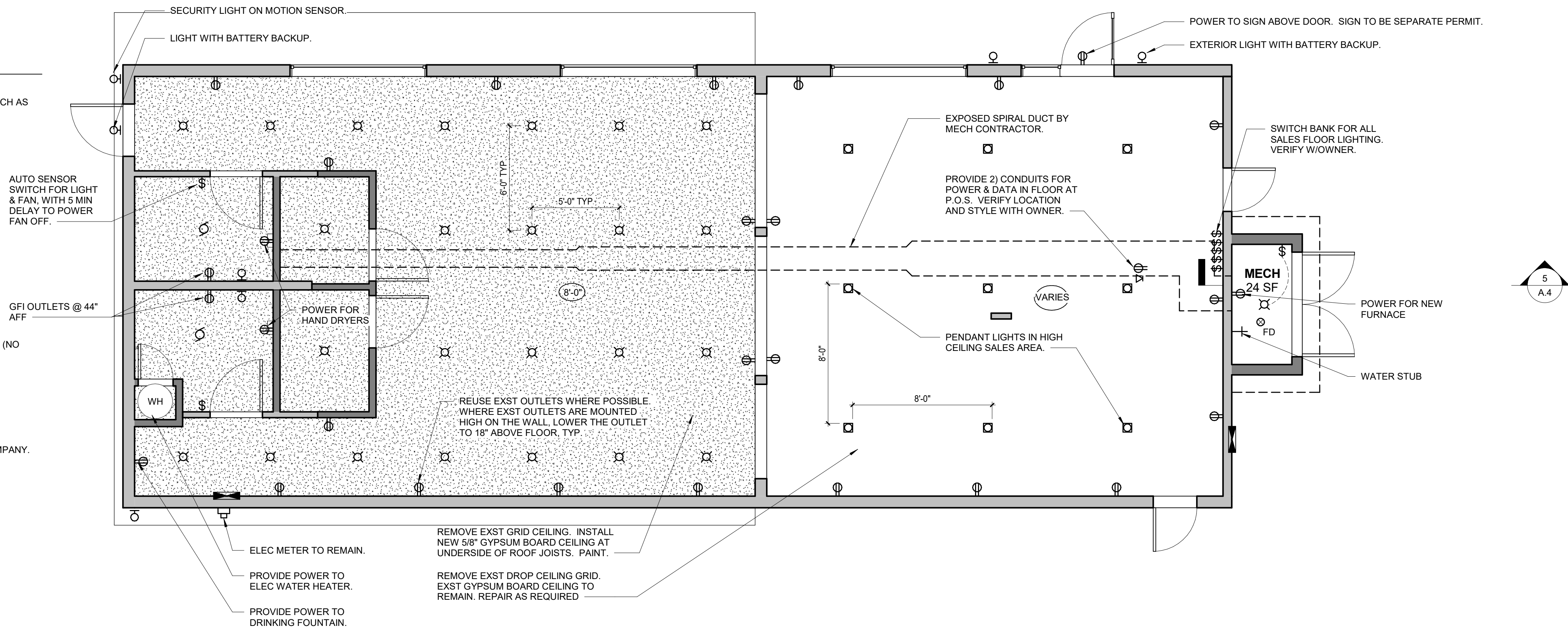
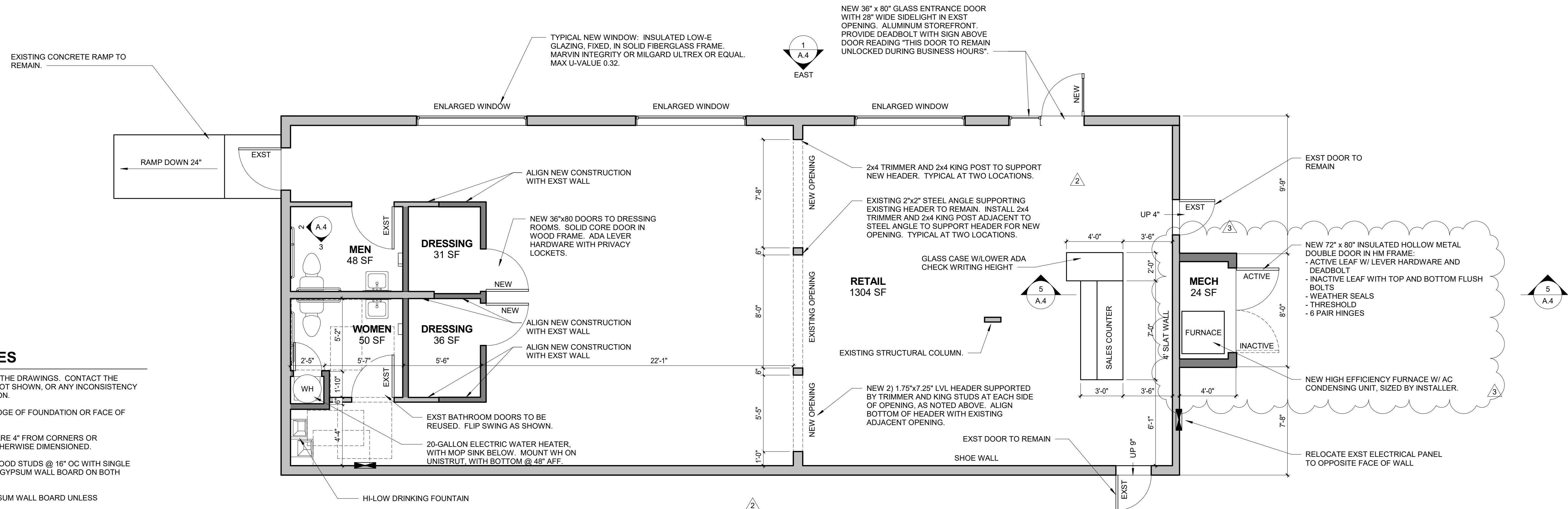
1. CONTRACTOR SHALL PHASE THE WORK TO MINIMIZE THE AMOUNT OF TIME THE EXISTING HOUSE IS OPEN TO THE ELEMENTS.
2. CONTRACTOR SHALL VERIFY THE DEMOLITION SCHEDULE WITH THE OWNER.
3. CONTRACTOR AND OWNER SHALL WALK THROUGH THE PROJECT BEFORE DEMOLITION BEGINS TO IDENTIFY ANY ITEMS TO BE SALVAGED OR REUSED.
4. PROTECT ALL AREAS ADJACENT TO DEMOLITION.
5. WALLS, CEILINGS, OR OTHER AREAS SHOWN TO BE REMOVED SHALL INCLUDE REMOVING ALL ASSOCIATED PLUMBING, HVAC AND ELECTRICAL ITEMS.
6. DEMOLITION SHALL BE DONE CAREFULLY AND WILL TAKE INTO ACCOUNT ALL FUTURE WORK THAT WILL BE PLACED IN THE AREA.

DEMOLITION PLAN & NOTES

SCALE	1/4" = 1'-0"
PROJECT NUMBER	1683
DRAWN BY	BRV
CHECKED BY	PJE
DATE	06.21.18
REVISIONS	
1	DEMOLITION CHANGE 08.06.18

	LED LIGHT WITH THE APPEARANCE OF A TRADITIONAL CAN LIGHT, SUCH AS THE HALO SLD6 (UNLESS OTHERWISE NOTED).	
	SURFACE MOUNTED CEILING FIXTURE AS SELECTED BY THE OWNER.	
	WALL-MOUNTED FIXTURE AS SELECTED BY THE OWNER.	
	LIGHT SWITCH DIM = DIMMER SWITCH 3 = 3-WAY SWITCH 4 = 4-WAY SWITCH	AUT SWI & FA DEL FAN
	ELECTRICAL DUPLEX OUTLET AT 12" ABOVE FLOOR GFI = GROUND FAULT INTERRUPT DED = DEDICATED CIRCUIT xx" = MOUNTING HEIGHT OTHER THAN 18" ABOVE FLOOR WP = WEATHER PROOF GFI OUTDOOR OUTLET 220V = 220 VOLT OUTLET FLOOR = CAST ALUMINUM RECESSED FLOOR OUTLET	GFI AFF
	TELEDATA JACK W/CATS OR CAT5 WIRE (VERIFY WITH OWNER). INDIVIDUALLY WIRE EACH OUTLET BACK TO ONE CENTRAL LOCATION (NO DAISY-CHAINING ALLOWED).	
	EXHAUST FAN/LIGHT COMBO.	
	ELECTRIC PANEL - 200 AMP PANEL WITH 24 CIRCUITS MINIMUM	
	ELECTRIC METER SUGGESTED LOCATION. VERIFY WITH POWER COMPANY	
	FINISHED CEILING HEIGHT VARIES = VAULTED CEILING, HEIGHT VARIES EXST = EXISTING CEILING HEIGHT TO REMAIN	

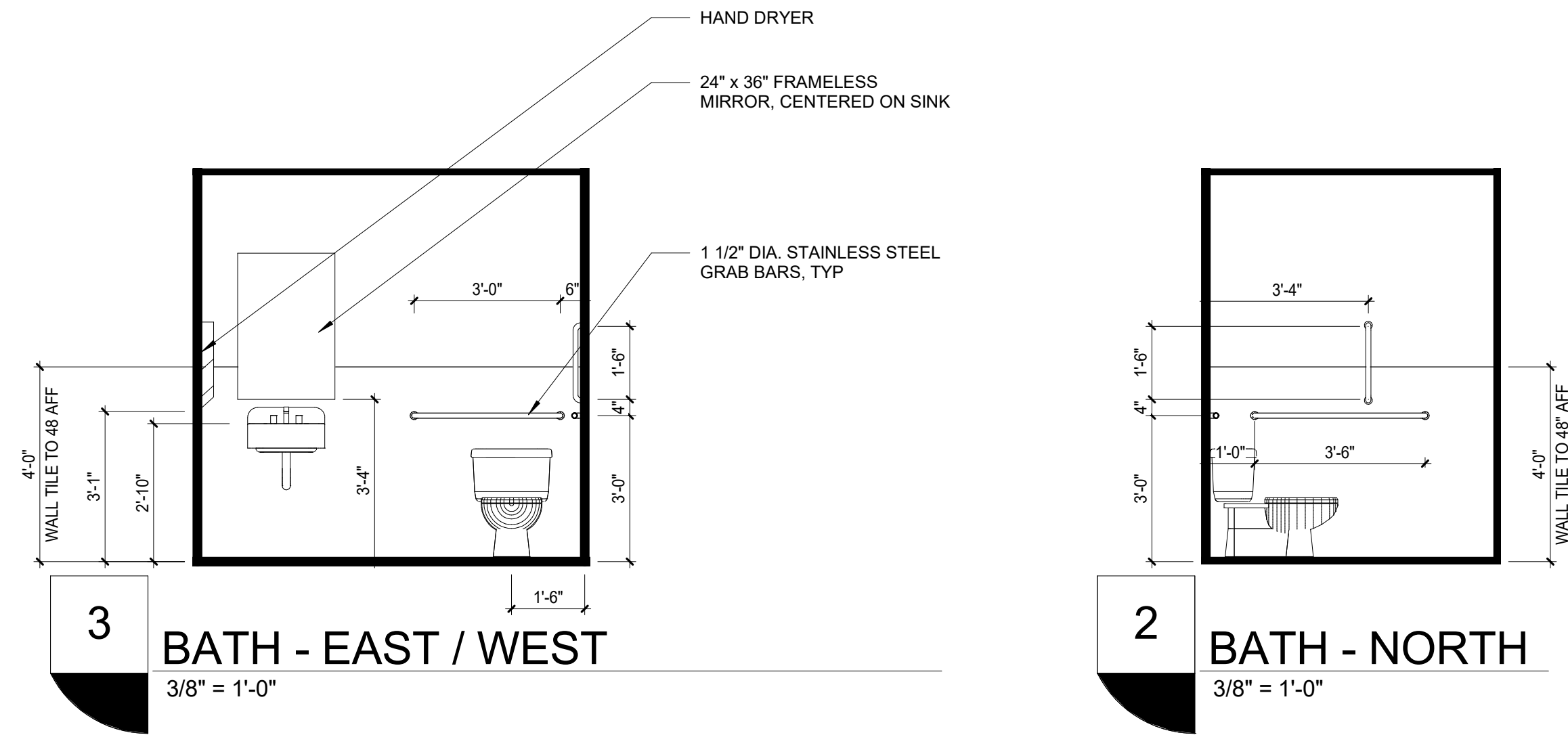
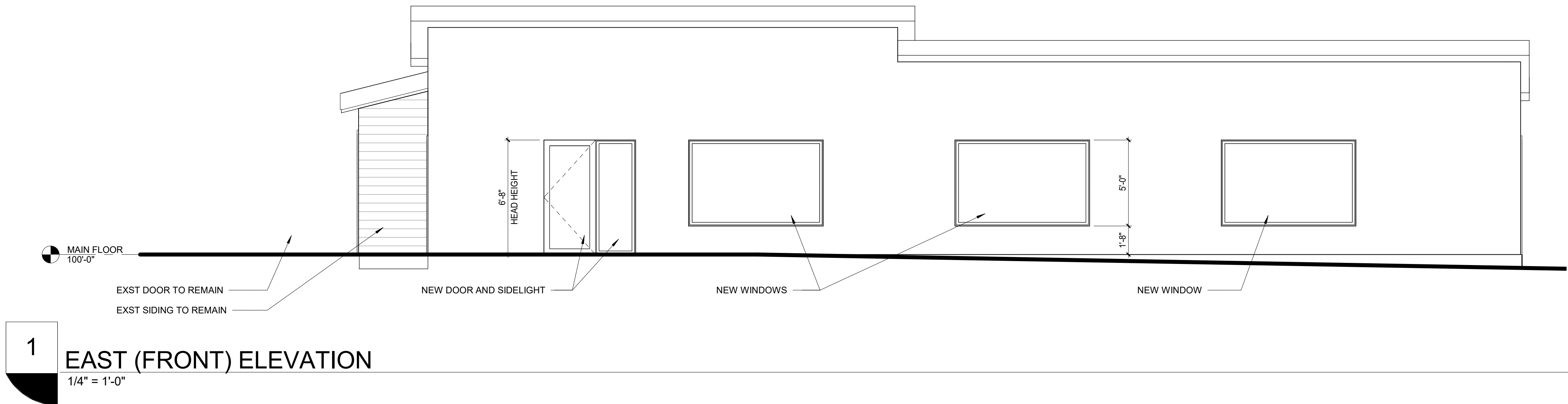
1. INSTALL ALL ELECTRICAL EQUIPMENT PER APPLICABLE CODES


$$1/4'' = 1'-0''$$


1. CONTRACTOR SHALL NOT SCALE THE DRAWINGS. CONTACT THE ARCHITECT FOR ANY DIMENSIONS NOT SHOWN, OR ANY INCONSISTENCY DISCOVERED DURING CONSTRUCTION.
2. ALL WALL DIMENSIONS ARE TO EDGE OF FOUNDATION OR FACE OF STUD, UNLESS OTHERWISE NOTED.
3. DOORS, WINDOWS & OPENINGS ARE 4" FROM CORNERS OR CENTERED IN THE WALL UNLESS OTHERWISE DIMENSIONED.
4. NEW INTERIOR WALLS ARE 2x4 WOOD STUDS @ 16" OC WITH SINGLE BOTTOM AND TOP PLATES, AND 5/8" GYPSUM WALL BOARD ON BOTH SIDES, UNLESS OTHERWISE NOTED.
5. INTERIOR CEILINGS ARE 5/8" GYPSUM WALL BOARD UNLESS OTHERWISE NOTED.
6. ALL NEW WALLS ARE SHOWN DARK GREY, ALL EXISTING WALLS ARE SHOWN LIGHT GREY.
7. ALL FINISHES AND DETAILS SHALL MATCH THE EXISTING CONSTRUCTION UNLESS OTHERWISE NOTED, OR UNLESS OTHERWISE DIRECTED BY THE OWNER.

$$1/4" = 1'-0"$$

RUNNERS HIGH FLAGSHIP STORE



INTERIOR FINISH NOTES

- GENERAL:**
1. ALL INTERIOR FINISHES SHALL BE AS DESCRIBED IN THESE NOTES, UNLESS OTHERWISE INSTRUCTED BY THE OWNER.
 2. WHEN OWNER INSTRUCTIONS VARY FROM THESE NOTES OR FROM ANY DRAWINGS IN THIS SET, NOTIFY THE ARCHITECT.
 3. VERIFY ALL MATERIALS, FINISHES AND COLORS WITH OWNER.
- WALLS:**
4. ALL INTERIOR WALLS AND CEILINGS SHALL BE PAINTED GYPSUM BOARD WITH LEVEL 4 SMOOTH FINISH, UNLESS OTHERWISE NOTED.
 5. ALL PAINT SHALL BE LOW-VOC (BENJAMIN MOORE ECO-SPEC OR EQUAL) WITH ONE PRIMER COAT AND TWO FINISH COATS.
 6. USE EGGSHELL OR SATIN FINISH ON ALL WALLS, FLAT FINISH ON ALL CEILINGS, AND SEMI-GLOSS ON ALL METAL OR PAINTED WOOD TRIM.
- FLOORS:**
7. FLOOR FINISHES SHALL BE CARPET IN THE SALES AREA, TILE IN THE BATHROOMS, AND EXST TO REMAIN IN THE STORAGE AREAS.
 8. "TILE" SHALL BE THINSET PORCELAIN OR STONE TILE. INSTALL OVER CONCRETE, GYPCRETE OR TILE BACKER BOARD.
 9. "WOOD" SHALL BE TONGUE & GROOVE SOLID WOOD FLOORING, FIELD FINISHED WITH LOW-VOC WATER-BASED POLYURETHANE.
 10. "CARPET" SHALL BE CARPET TILES, NATURAL OR RECYCLED MATERIAL WITH LOW- OR NO-VOC PREFERRED.
 11. "LINOLEUM" SHALL BE SHEET GOODS, NATURAL LINOLEUM (MARMOLEUM OR EQUAL) FULLY ADHERED.
- CEILINGS:**
12. "GYPSUM" SHALL BE 5/8" GYPSUM BOARD, FINISH AS NOTED ABOVE.
 13. "WOOD" SHALL BE 1x6 TONGUE&GROOVE WITH WATER-BASED POLYURETHANE LOW-VOC FINISH.

