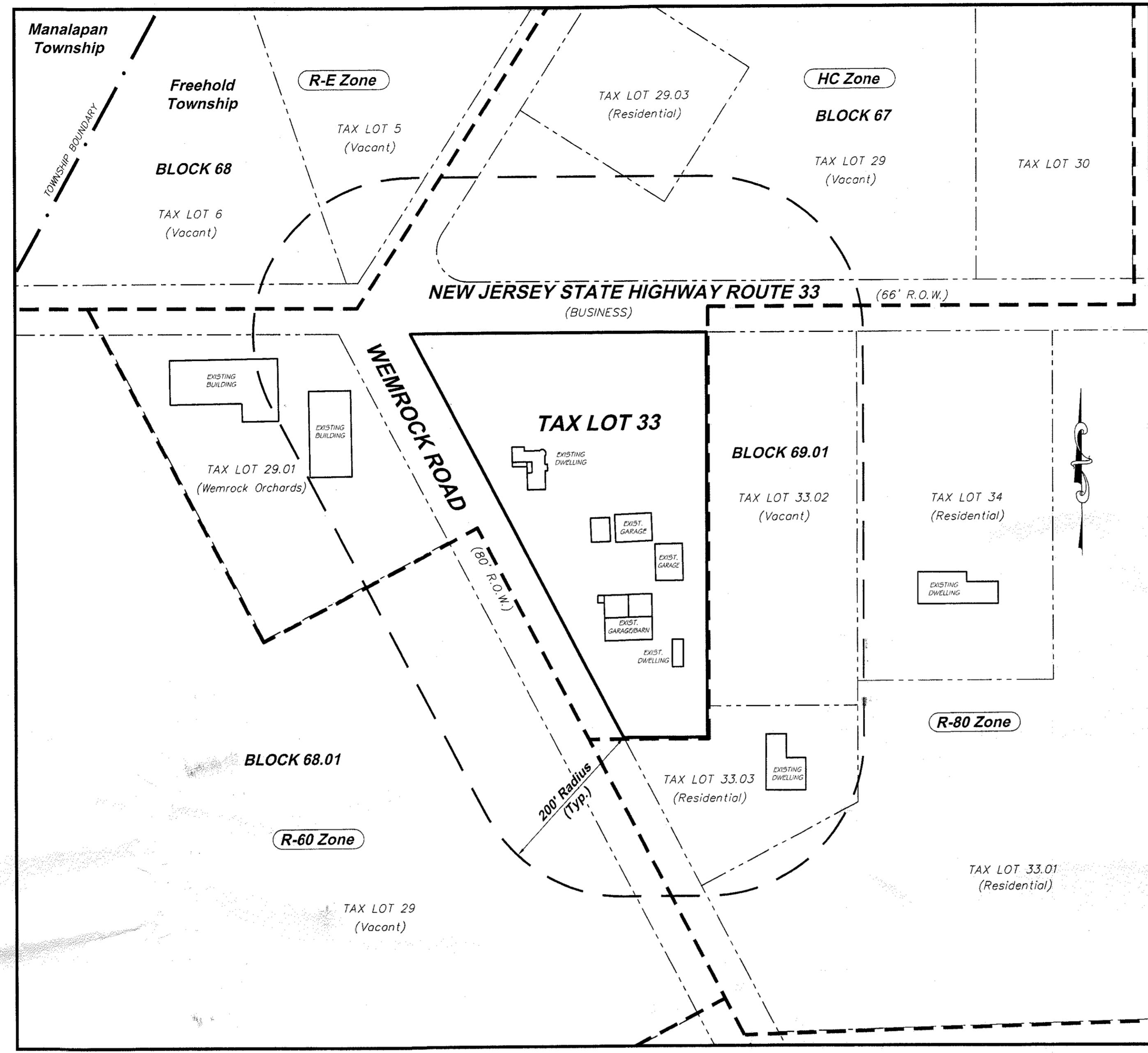
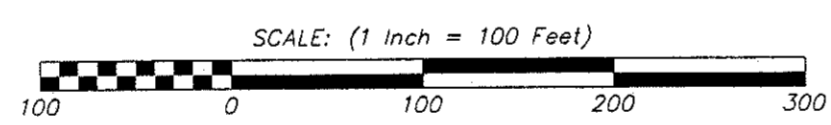


**PROPERTY OWNERS WITHIN 200 FT.**

FREEHOLD TOWNSHIP		
BLOCK	LOT(s)	OWNER (Now or Formerly)
67	29	STATE OF NJ DEP 401 EAST STATE ST Trenton, NJ 08608-1501
67	20.03	INSUAGIATO, JOSEPH 105 WEMROCK RD Freehold, NJ 07728-8636
68	5	STATE OF NJ DEP/PARKS & FORESTRY PO BOX 404 Trenton, NJ 08625-0404
68	6	STATE OF NJ DEP/PARKS & FORESTRY PO BOX 404 Trenton, NJ 08625-0404
68.01	29	HOVNANNAN, PARIS VILLAGE MALL SITE 12 Freehold, NJ 07728
68.01	29.01	GIUNCO, RICHARD PO BOX 190 Middlestown, NJ 07748-0190
69.01	33.01	RITCHE, THOMAS E 127 WEMROCK RD Freehold, NJ 07728-8636
69.01	33.02	RITCHE, LYNN 127 WEMROCK RD Freehold, NJ 07728-8636
69.01	33.03	RITCHE, THOMAS E & LYNN B 127 WEMROCK RD Freehold, NJ 07728-8636
69.01	34	CHILLEM, RICHARD & LILLIAN 382 HIGHWAY 9 N ENGLISHTOWN, NJ 0726

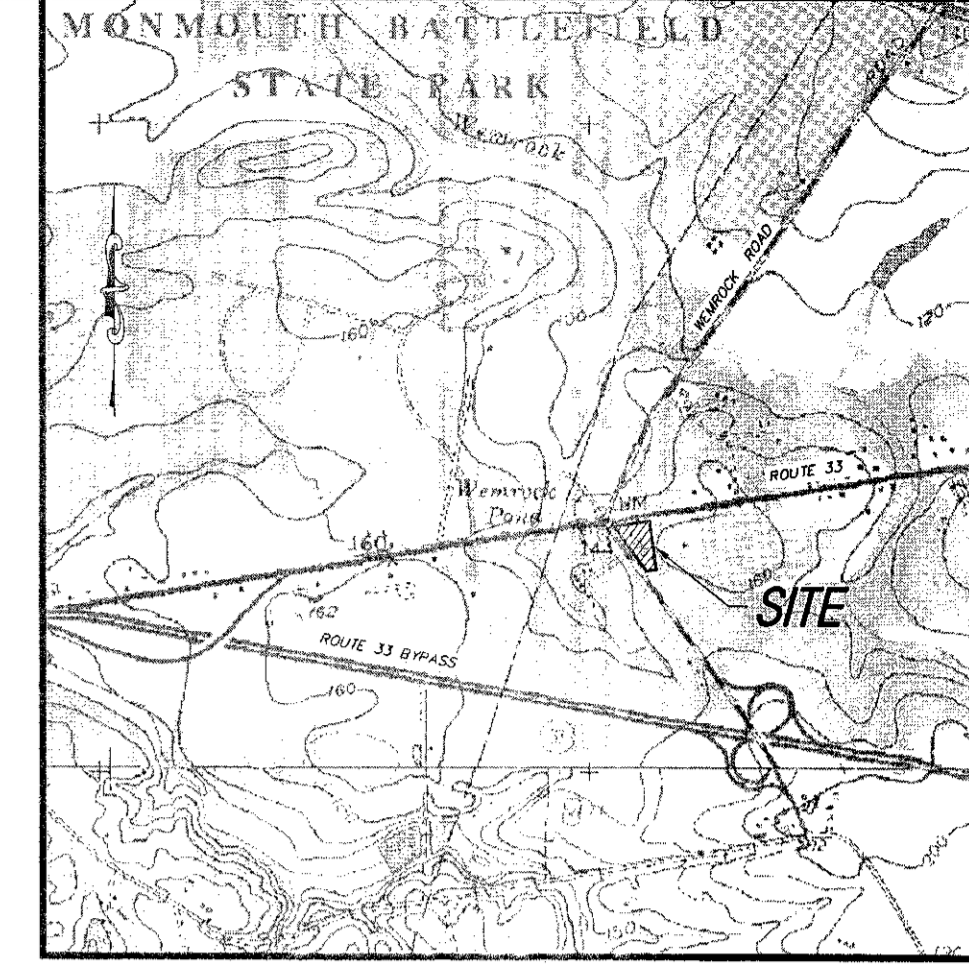


**AREA MAP**



**GENERAL NOTES**

- PROPERTY BEING KNOWN AS BLOCK 69.01, TAX LOT 33 AS SHOWN ON SHEET 21 OF THE OFFICIAL TAX MAP OF THE TOWNSHIP OF FREEHOLD, THE PROPERTY CONTAINS 2.87 ACRES AND IS SITUATED WITHIN THE HISTORICAL COMMERCIAL (HC) ZONE.
- BOUNDARY, TOPOGRAPHIC AND SITE IMPROVEMENT INFORMATION IS BASED UPON A PLAN ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY, TAX LOT 33 - TAX BLOCK 69.01, TOWNSHIP OF FREEHOLD TOWNSHIP, MONMOUTH COUNTY - NEW JERSEY", PREPARED BY JOHN W. MCCORD SR., P.L.S., DATED 1-15-07. ALL ELEVATIONS ARE BASED ON NGVD 1929 DATUM.
- THE PROPERTY LIES OUTSIDE OF THE 500-YEAR FLOOD HAZARD AREA (LIES WITHIN ZONE C) AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 340297 0007 B, DATED APRIL 4, 1983.
- BASED UPON A SITE INSPECTION BY TRIDENT ENVIRONMENTAL CONSULTANTS, THERE ARE NO FRESHWATER WETLANDS ON OR WITHIN 50 FEET OF THE SITE.
- THE SITE IS CURRENTLY DEVELOPED WITH A TWO-STORY RESIDENTIAL DWELLING, FOUR, DETACHED GARAGES, AND A ONE STORY DWELLING.
- PROPOSED IMPROVEMENTS INCLUDE RAZING ALL THE EXISTING STRUCTURES AND CONSTRUCTING A TWO-STORY, 4,675 SQUARE FOOT OFFICE BUILDING AND A TWO-STORY, 3,300 SQUARE FOOT OFFICE BUILDING CONNECTED BY A BREEZEWAY. THE PROPOSED OFFICE BUILDING IS NOT A PERMITTED USE WITHIN THE HISTORICAL COMMERCIAL ZONE. THE PROPERTY HAS RECEIVED A USE VARIANCE FROM THE BOARD OF ADJUSTMENT FOR OFFICE USE IN ACCORDANCE WITH APPLICATION NUMBER 10-06, APPROVED FEBRUARY 8, 2007, MEMORIALIZED MARCH 8, 2007 AND REVISED APRIL 26, 2007. IN ADDITION, THE PROPERTY RECEIVED A FLOOR AREA RATIO (FAR) VARIANCE TO PERMIT A FAR OF 0.13.
- PARKING REQUIREMENTS OFFICES:  
1 STALL PER 200 S.F. ON 1ST FLOOR - 1 X (7,975/200) = 40 STALLS  
1 STALL PER 300 S.F. ON 2ND FLOOR - 1 X (7,975/300) = 27 STALLS  
67 STALLS REQUIRED  
67 STALLS PROVIDED
- THE SITE WILL BE SERVED BY AN ON-SITE INDIVIDUAL SUBSURFACE SEWAGE DISPOSAL SYSTEM AND CASED WELL.
- WASTE AND RECYCLABLES FROM THE PROPOSED ESTABLISHMENT WILL BE REMOVED BY PRIVATE HAULER.
- ALL SIGNS AND PAVEMENT MARKINGS ARE TO BE DESIGNED AND INSTALLED IN ACCORDANCE WITH LOCAL CODE AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST REQUIREMENTS.
- ALL PROPOSED UTILITIES SHALL BE INSTALLED UNDERGROUND. LOCATION AND INSTALLATION OF NEW UTILITIES AND SERVICE CONNECTIONS NOT SHOWN ON THIS PLAN ARE THE RESPONSIBILITY OF OTHERS.
- ALL AREAS NOT DESIGNATED FOR PARKING, SIDEWALKS, OR BUILDINGS SHALL BE PLANTED, LANDSCAPED, OR TOPSOILED IN ACCORDANCE WITH THE LANDSCAPE PLAN AND THE SOIL EROSION AND SEDIMENT CONTROL PLANS. ALL TOPSOIL, FERTILIZER, SEED, SOD, MULCH AND PLACEMENT THEREOF SHALL CONFORM TO THE MOST CURRENT REQUIREMENTS OF THE SOIL CONSERVATION DISTRICT.
- THERE ARE NO KNOWN EXISTING COVENANTS OR DEED RESTRICTIONS.
- NO WATER COURSES, FLOOD PLAINS, FLOODWAYS OR FLOOD AREAS EXIST WITHIN 200 FEET OF THE BOUNDARIES OF THE SITE.
- NO SWAMPS, BOGS OR PONDS EXIST WITHIN 200 FEET OF THE BOUNDARIES OF THE SITE.
- ALL EXISTING ON-SITE STRUCTURES ARE TO BE REMOVED/RAZED, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR OR LAYOUT PARTY SHALL VERIFY ALL ELEVATIONS AND DIMENSIONS ON THE JOB SITE AND SHALL VERIFY THAT THE PLANS BEING UTILIZED ARE FINAL AND APPROVED.
- THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY. THE EXACT LOCATION SHALL BE DETERMINED BY THE CONTRACTOR PRIOR TO INSTALLATION OF PROPOSED IMPROVEMENTS. IN ADDITION, THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY IF 'OTHER' UTILITIES NOT SHOWN ON THE PLAN EXIST WITHIN THE AREAS OF PROPOSED IMPROVEMENTS. SHOULD THERE BE 'OTHER' UTILITIES, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY TO ANALYZE ANY POTENTIAL UTILITY CONFLICTS.
- THE CONTRACTOR SHOULD CALL 1-800-272-1000 SEVEN (7) DAYS PRIOR TO EXCAVATION FOR FIELD MARK OUT OF UNDERGROUND UTILITIES.
- THE FINAL AS-BUILT PLAN PREPARED FOR THIS APPLICATION/SITE SHALL BE COMPLETED IN THE VERTICAL DATUM NAVD 88.
- THE PROPOSED SITE DEVELOPMENT WILL GENERATE APPROXIMATELY 6,000 CUBIC YARDS OF FILL MATERIAL.



SITE PLAN OF WEMROCK, L.L.C.  
LOT 33 BLOCK 69.01 ZONE HC  
DATE 11/11/09 SCALE 1"=30'

APPLICANT WEMROCK, L.L.C.  
ADDRESS 16 PERRINE CIRCLE, PERRINEVILLE, NJ 08535

I CONSENT TO THE FILING OF THIS SITE PLAN WITH THE PLANNING BOARD BOARD OF ADJUSTMENT (X)  
(Check one only)

(Owner) \_\_\_\_\_ (Date) \_\_\_\_\_

I HEREBY CERTIFY THAT I HAVE PREPARED THIS SITE PLAN AND THAT ALL DIMENSIONS AND INFORMATION ARE CORRECT.  
Robert Sive ASPE # 43816  
(Name) \_\_\_\_\_ (Title and License No.) \_\_\_\_\_

I HAVE REVIEWED THIS SITE PLAN AND CERTIFY THAT IT MEETS ALL CODES AND ORDINANCES UNDER MY JURISDICTION.  
(Date) \_\_\_\_\_ (Municipal Engineer) \_\_\_\_\_

I HEREBY CERTIFY THAT ALL THE REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED OR A BOND POSTED IN COMPLIANCE WITH ALL APPLICABLE CODES AND ORDINANCES.  
777-1-09  
777-1-09

(If Improvements Installed)

(Township Engineer) \_\_\_\_\_ (Date) \_\_\_\_\_

(If Bond Posted)

(Township Clerk) \_\_\_\_\_ (Date) \_\_\_\_\_

Building Permit Issued (Date) \_\_\_\_\_

APPROVED BY THE BOARD OF ADJUSTMENT  
(Preliminary June 12, 2008)  
(Final) \_\_\_\_\_

(Chairman) \_\_\_\_\_ (Date) \_\_\_\_\_

#777-1-09  
RECEIVED  
NOV 13 2009  
FREEHOLD TOWNSHIP  
ZONING BOARD OF ADJUSTMENT

**WAIVER REQUESTED FROM:** (WAIVERS GRANTED IN ACCORDANCE WITH RESOLUTION OF APPROVAL #14-07, DATED JUNE 12, 2008)

- SECTION 190-73C WHICH REQUIRES SIDEWALK TO BE PROVIDED ALONG ROUTE 33 BUSINESS AND WEMROCK ROAD; WHEREAS NO SIDEWALK IS PROPOSED ALONG ROUTE 33 BUSINESS AND WEMROCK ROAD.
- THE FREEHOLD TOWNSHIP LAND USE ORDINANCE PERMITS A MAXIMUM SLOPED OF 4 FOOT HORIZONTAL TO EACH 1 FOOT VERTICAL; WHEREAS SOME OF THE SITE GRADING IS PROPOSED AT 3 FOOT HORIZONTAL TO EACH 1 FOOT VERTICAL.
- THE FREEHOLD TOWNSHIP LAND USE ORDINANCE ONLY PERMITS THE USE OF CONCRETE PIPE FOR STORMWATER COLLECTION SYSTEMS; WHEREAS HDPE PIPE IS PROPOSED FOR THE INFILTRATION SYSTEM.

**FINAL MAJOR SITE PLAN OF  
"REVOLUTIONARY COMMONS"  
TAX LOT 33 BLOCK 69.01  
FREEHOLD TOWNSHIP  
MONMOUTH COUNTY, NEW JERSEY**

**ZONE: HISTORICAL COMMERCIAL ZONE - HC**

MINIMUMS - (CORNER LOT)	REQUIRED	EXISTING	PROVIDED
LOT AREA	80,000 S.F.	124,823 S.F.	121,189 S.F.
LOT WIDTH	250 FT.	324.67 FT.	321.33 FT.
LOT FRONTAGE	200 FT.	960.06 FT.	898.31 FT.
LOT DEPTH	300 FT.	241 FT.	241 FT.
BUFFER ZONE	50 FT.	30.2 FT.	15 FT.
PRINCIPAL BUILDING			
FRONT SETBACK	100 FT.	35.4 FT.	117.72 FT.
REAR SETBACK	50 FT.	202.4 FT.	250.00 FT.
SIDE SETBACK	50 FT.	330.9 FT.	50.00 FT.
ACCESSORY BUILDING			
REAR SETBACK	30 FT.	90.3 FT.	N/A
SIDE SETBACK	30 FT.	30.2 FT.	N/A
MAXIMUMS			
BUILDING COVERAGE	10 %	8.5 %	7.0 %
ACC. BUILDING COVERAGE	5 %	6.5 %	N/A
IMPERVIOUS COVERAGE	15 %	39.5 %	15 %
PRINCIPAL BUILDING HEIGHT	35 FT. (2-1/2 STY.)	<35 FT. (2-STY.)	35 FT. (2-STY.)
FLOOR AREA RATIO	0.10	0.095	0.13

\* VARIANCE GRANTED BY BOARD OF ADJUSTMENT, APPLICATION #14-07  
\*\* VARIANCE GRANTED BY BOARD OF ADJUSTMENT, APPLICATION #10-06

**Sheet List Table**

Sheet Number	Sheet Title	Last Revised
1	Cover Sheet	--
2	Existing Conditions Map	--
3	Layout Plan	--
4	Grading Plan	--
5	Utility Plan	--
6	Landscape Plan	--
7	Building Landscape Plan	--
8	Lighting Plan	--
9	Drainage System Profile Sheet	--
10	Route 33 Plan & Profile	--
11	Wemrock Road Plan & Profile	--
12	Route 33 Cross Sections	--
13	Wemrock Road Cross Sections	--
14	Wemrock Road Cross Sections	--
15	Construction Details	--
16	Construction Details	--
17	Soil Erosion & Sediment Control Plan	--
18	Soil Erosion & Sediment Control Notes & Details	--
19	Maintenance Plan	--
20	Tree Save Plan - Tree Clearing Plan	--
Drainage Areas Maps		
1 of 2	Pre Developed Drainage Areas Map	10/30/07
2 of 2	Post Development Drainage Areas Map	10/30/07

SCANNED

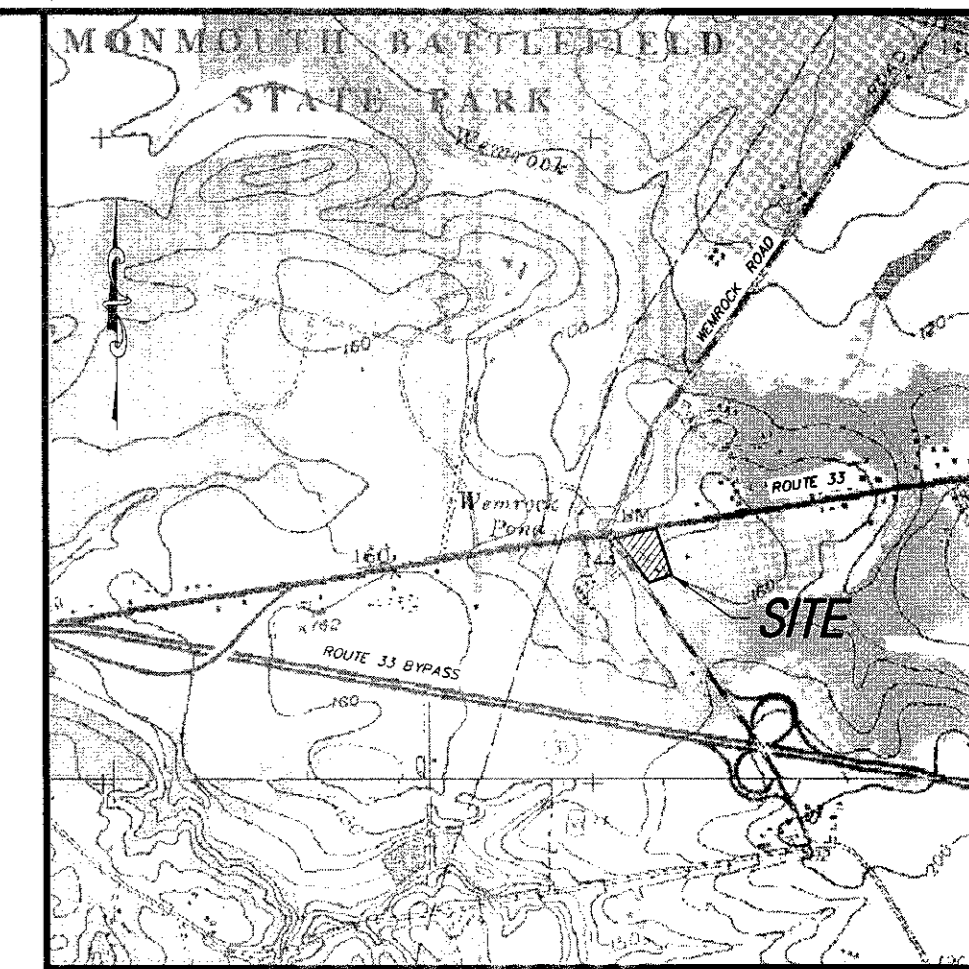
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**Geller Sive & Company**  
Consulting Engineers & Planners  
Civil - Site - Transportation  
Traffic - Municipal

Office Location: 958 Adelphia Road, Adelphia, NJ 07710  
Mailing Address: PO Box 249, Adelphia, NJ 07710  
Phone: 732-625-7919  
Fax: 732-625-9313  
www.gellersive.com  
Certificate of Authorization No. 24GA28105300

ROBERT D. SIVE  
N.J. Professional Engineer No. 43816  
DESIGNED BY: M.M. DATE: 11/11/09  
CHECKED BY: R.S. DATE: 11/11/09  
SCALE: AS SHOWN  
JOB NUMBER: 2058

JMM



- LEGEND**
- = EX. WOODS LINE
  - = EX. MONUMENT FOUND
  - = EX. IRON PIN FOUND
  - = EX. CONTOUR
  - = EX. SPOT ELEVATION
  - = EX. UTILITY POLE w/OVERHEAD WIRES
  - = EX. FENCE
  - = EX. TREE LOCATION
  - = EX. MAILBOX
  - = EX. SIGN
  - = EX. GAS LINE
  - = TEST PIT & PERMEABILITY LOCATION

BLOCK 69.01

TAX LOT 33.02

TAX LOT 29.03

BLOCK 67

TAX LOT 29

NEW JERSEY STATE HIGHWAY ROUTE 33  
(66' R.O.W.)  
(BUSINESS)

TAX LOT 33  
BLOCK 69.01  
(124,822.98 S.F.)  
(2.865 ACRES)

TAX LOT 5

BLOCK 68

TAX LOT 6

BLOCK 68.01

TAX LOT 29.01

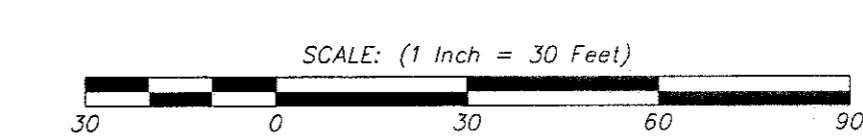
TAX LOT 29

WEMROCK ROAD  
(80' R.O.W.)

**ZONE: HISTORICAL COMMERCIAL ZONE ~ HC**

MINIMUMS (CORNER LOT)	REQUIRED	EXISTING
LOT AREA	80,000 S.F.	124,823 S.F.
LOT WIDTH	250 FT.	324.67 FT.
LOT FRONTAGE	200 FT.	960.06 FT.
LOT DEPTH	300 FT.	241 FT.
BUFFER ZONE	50 FT.	30.2 FT.
<b>PRINCIPAL BUILDING</b>		
FRONT SETBACK	100 FT.	35.4 FT.
REAR SETBACK	50 FT.	202.4 FT.
SIDE SETBACK	50 FT.	330.9 FT.
<b>ACCESSORY BUILDING</b>		
REAR SETBACK	30 FT.	90.3 FT.
SIDE SETBACK	30 FT.	30.2 FT.
<b>MAXIMUMS</b>		
BUILDING COVERAGE	10 %	8.5 %
ACC. BUILDING COVERAGE	5 %	6.5 %
IMPERVIOUS COVERAGE	15 %	9.5 %
PRINCIPAL BUILDING HEIGHT	35 FT. (2-1/2 STY.)	<35 FT. (2-STY.)
FLOOR AREA RATIO	0.10	0.095

**ELEVATION CONVERSION NOTE:**  
THE ELEVATIONS SHOWN ON THIS MAP ARE IN N.G.V.D. 1929  
THE CONVERSION FACTOR TO N.A.V.D. 1988 IS -0.82 IN ELEVATION



**FINAL MAJOR SITE PLAN**  
**TAX LOT 33 BLOCK 69.01**  
TAX MAP SHEET NO. 21, LAST REVISED 3/30/98  
FREEHOLD TOWNSHIP  
MONMOUTH COUNTY, NEW JERSEY

**EXISTING CONDITIONS MAP**

**Geller Sive & Company** Consulting Engineers & Planners  
Civil - Site - Transportation  
Traffic - Municipal

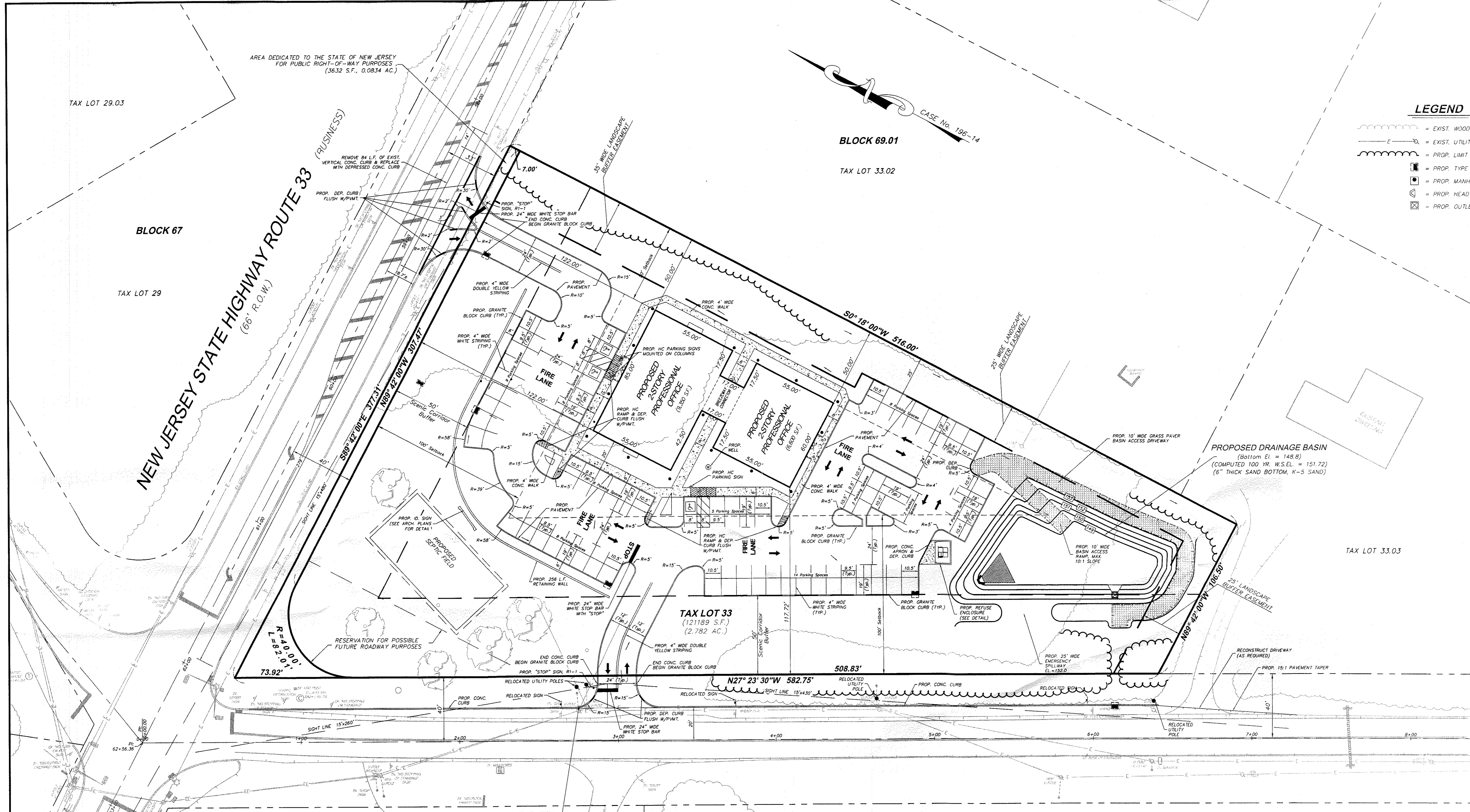
Office Location: 958 Adelphia Road, Adelphia, NJ 07710  
Mailing Address: PO Box 249, Adelphia, NJ 07710  
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Fax: 732-625-9313  
www.gellersive.com  
Certificate of Authorization No. 24GA28105200

*Robert D. Sive*  
**ROBERT D. SIVE**  
N.J. Professional Engineer No. 43816

DRAWN BY:	M.M.	DATE:	11/11/09	SCALE:	1"=30'	SHEET:	2 OF 20	JOB NUMBER:	2058
DESIGNED BY:	R5	CHECKED BY:	R5						

No.	Date	Revision	By	Chk.

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**LEGEND**

- = EXIST. WOODS LINE
- = EXIST. UTILITY POLE W/OVERHEAD WIRES
- = PROP. LIMIT OF CLEARING
- = PROP. TYPE "N" INLET
- = PROP. MANHOLE
- = PROP. HEADWALL
- = PROP. OUTLET CONTROL STRUCTURE

BLOCK 69.01  
TAX LOT 33.02

BLOCK 67

TAX LOT 29

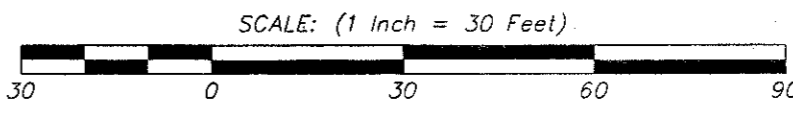
NEW JERSEY STATE HIGHWAY ROUTE 33  
(86' R.O.W.)

WEMROCK ROAD  
(80' R.O.W.)

**ZONE: HISTORICAL COMMERCIAL ZONE - HC**

MINIMUMS: (CORNER LOT)	REQUIRED	PROVIDED
LOT AREA	80,000 S.F.	121,189 S.F.
LOT WIDTH	250 FT.	321.33 FT.
LOT FRONTAGE	200 FT.	898.31 FT.
LOT DEPTH	300 FT.	241 FT.
BUFFER ZONE	50 FT.	15 FT.
<b>PRINCIPAL BUILDING</b>		
FRONT SETBACK	100 FT.	117.72 FT.
REAR SETBACK	50 FT.	250.00 FT.
SIDE SETBACK	50 FT.	50.00 FT.
<b>ACCESSORY BUILDING</b>		
REAR SETBACK	30 FT.	N/A
SIDE SETBACK	30 FT.	N/A
<b>MAXIMUMS:</b>		
BUILDING COVERAGE	10 %	7.0 %
ACC. BUILDING COVERAGE	5 %	N/A
IMPERVIOUS COVERAGE	15 %	39.5 %
PRINCIPAL BUILDING HEIGHT	35 FT. (2-1/2 STY.)	35 FT. (2-STY.)
FLOOR AREA RATIO	0.10	0.13

\* VARIANCE GRANTED BY BOARD OF ADJUSTMENT, APPLICATION #14-07  
\*\* VARIANCE GRANTED BY BOARD OF ADJUSTMENT, APPLICATION #10-06



FINAL MAJOR SITE PLAN  
TAX LOT 33 BLOCK 69.01  
TAX MAP SHEET NO. 21, LAST REVISED 3/30/98  
FREEHOLD TOWNSHIP  
MONMOUTH COUNTY, NEW JERSEY

**LAYOUT PLAN**

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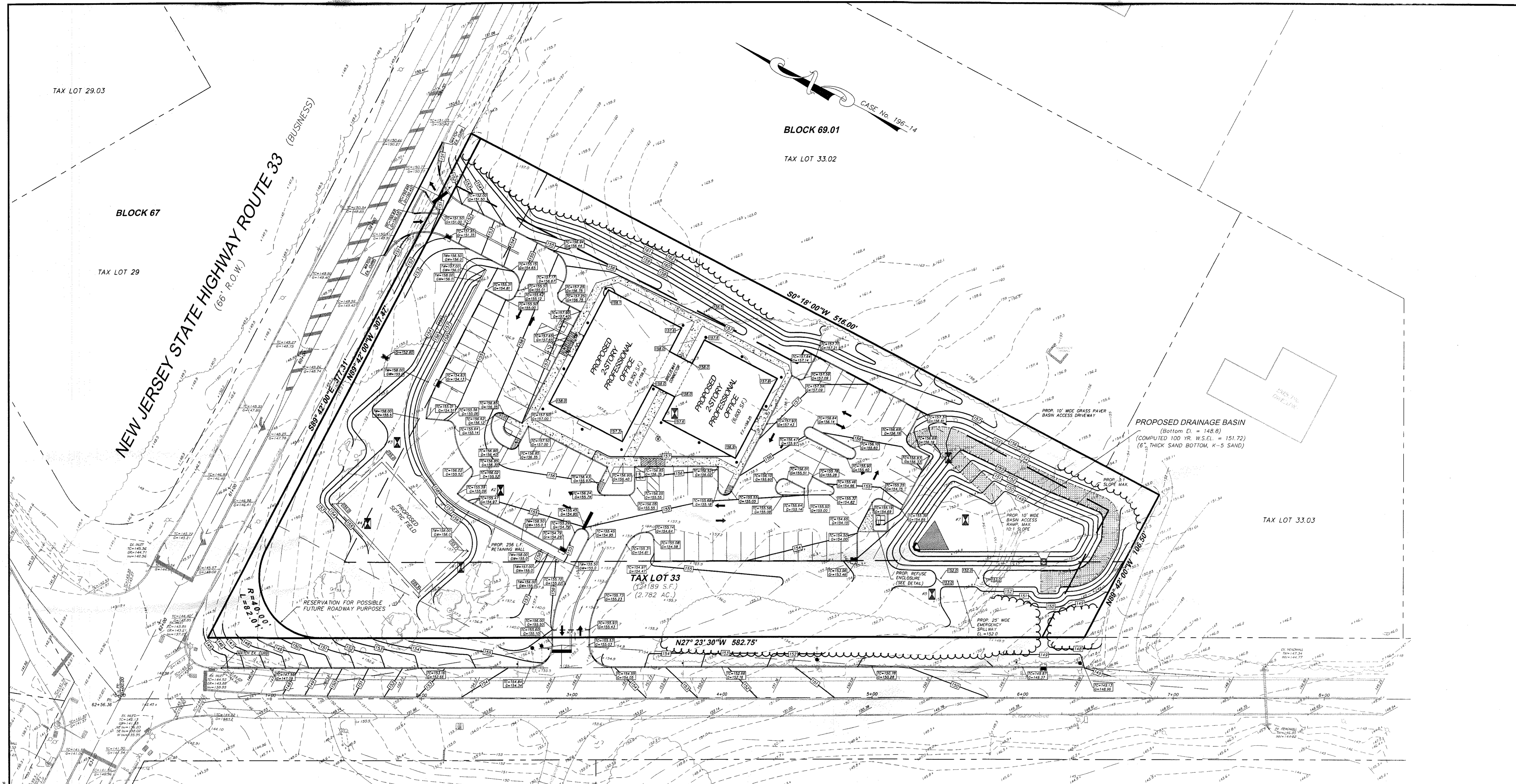
Office Location: 958 Adelpia Road, Adelpia, NJ 07710  
Mailing Address: PO Box 249, Adelpia, NJ 07710  
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Fax: 732-625-9313  
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Certificate of Authorization No. 24GA38105200

*Robert D. Sive*  
**ROBERT D. SIVE**  
N.J. Professional Engineer No. 43816

DRAWN BY: M.M.	DATE: 11/11/09	SCALE: 1"=30'	SHEET: 3 OF 20	JOB NUMBER: 2058
DESIGNED BY: RS				
CHECKED BY: RS				

No.	Date	Revision	By	Chk.

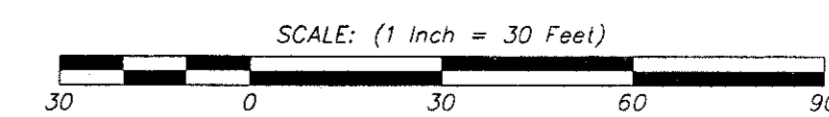
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**LEGEND**

- 150 --- = EXIST. CONTOUR
- 150.3 --- = EXIST. SPOT ELEVATION
- = EXIST. WOODS LINE
- = PROP. CLEARING LIMIT
- E --- = EXIST. UTILITY POLE W/OVERHEAD WIRES
- ⊠ = TEST PIT & PERMEABILITY TEST LOCATION
- 159.3 = PROP. ELEVATION
- TC=158.00  
C=158.00 = PROP. TOP OF CURB & GUTTER ELEVATIONS
- TW=159.30  
CW=156.0 = PROP. TOP OF WALL & GROUND AT WALL ELEVATIONS
- 150 --- = PROP. CONTOUR
- = DIRECTION OF OVERLAND STORMWATER FLOW
- ⊠ = PROP. TYPE 'N' DRAINAGE INLET
- ⊠ = PROP. MANHOLE
- ⊠ = PROP. HEADWALL
- ⊠ = PROP. OUTLET CONTROL STRUCTURE



**FINAL MAJOR SITE PLAN**  
**TAX LOT 33 BLOCK 69.01**  
 TAX MAP SHEET NO. 21, LAST REVISED 3/30/98  
 FREEHOLD TOWNSHIP  
 MONMOUTH COUNTY, NEW JERSEY

**GRADING PLAN**

Geller  
Sive &  
Company

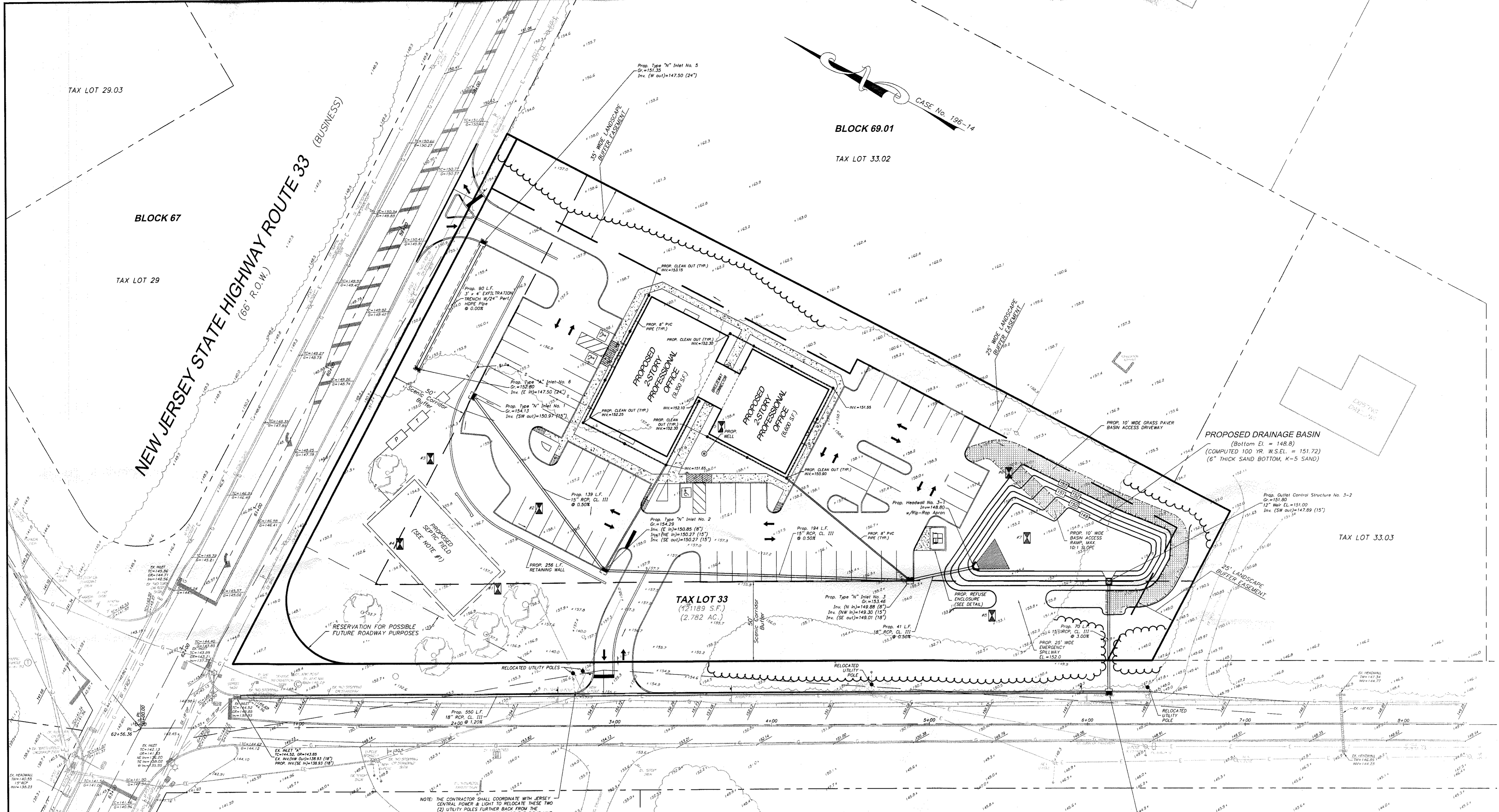
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*Robert D. Sive*  
**ROBERT D. SIVE**  
 N.J. Professional Engineer No. 43816

DRAWN BY:	M.M.	DATE:	SCALE:	SHEET:	JOB NUMBER:
CHECKED BY:	RS	11/11/09	1"=30'	4 OF 20	2058

No.	Date	Revision	By	Chk.



TAX LOT 29.03

BLOCK 67

TAX LOT 29

NEW JERSEY STATE HIGHWAY ROUTE 33  
(66' R.O.W.) (BUSINESS)

BLOCK 69.01

TAX LOT 33.02

CASE No. 196-14

TAX LOT 33.03

TAX LOT 33  
(2,782 S.F.)

WEMROCK ROAD  
(80' R.O.W.)

BLOCK 68.01

TAX LOT 29

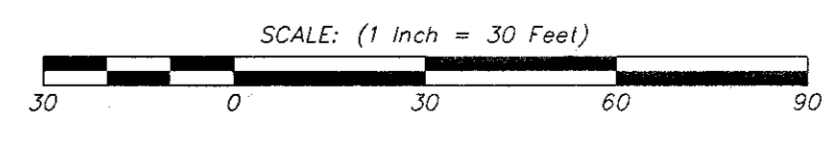
TAX LOT 29.01

NOTE: THE CONTRACTOR SHALL COORDINATE WITH JERSEY CENTRAL POWER & LIGHT TO RELOCATE THESE TWO (2) UTILITY POLES FURTHER BACK FROM THE WEMROCK ROAD CURB OUTSIDE OF THE SIGN LINE (TRIANGLE) AREA, IF POSSIBLE.

- NOTES:**
1. THE PROPOSED SEPTIC SYSTEM SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS ENTITLED "SEPTIC SYSTEM DESIGN, TAX LOT 33, BLOCK 69.01, FREEHOLD TOWNSHIP, MONMOUTH COUNTY, NEW JERSEY", PREPARED BY GELLER SIVE & COMPANY, DATED 7/23/07, LAST REVISED 3/11/09.
  2. THE EXISTING SEPTIC TANK(S) SHALL BE LOCATED, PUMPED, FILLED WITH SAND AND PROPERLY DECOMMISSIONED IN ACCORDANCE WITH NUDEP, COUNTY AND TOWNSHIP STANDARDS.
  3. THE EXISTING ON-SITE WELL SHALL BE LOCATED AND SEALED BY A LICENSED WELL DRILLER IN ACCORDANCE WITH NUDEP, COUNTY AND TOWNSHIP STANDARDS.
  4. ANY EXISTING SEPTIC DISPOSAL FIELD MATERIAL UNCOVER/EXCAVATED FROM THE PROPERTY SHALL BE BURIED ON-SITE.

**LEGEND**

- = EXIST. WOODS LINE
- = EXIST. UTILITY POLE W/OVERHEAD WIRES
- = TEST PIT & PERMEABILITY TEST LOCATION
- = OVERLAND STORMWATER FLOW
- = PROP. ELEVATION
- = PROP. CONTOUR
- = PROP. LIMIT OF CLEARING
- = PROP. TYPE "N" INLET & PIPE
- = PROP. MANHOLE & PIPE
- = PROP. HEADWALL & PIPE
- = PROP. OUTLET CONTROL STRUCTURE & PIPE



No.	Date	Revision	By	Chk.

FINAL MAJOR SITE PLAN  
**TAX LOT 33 BLOCK 69.01**  
TAX MAP SHEET NO. 21, LAST REVISED 3/30/98  
FREEHOLD TOWNSHIP  
MONMOUTH COUNTY, NEW JERSEY

**UTILITY PLAN**

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Certificate of Authorization No. 24GA28105200

*RDT Sive*  
**ROBERT D. SIVE**  
N.J. Professional Engineer No. 43816

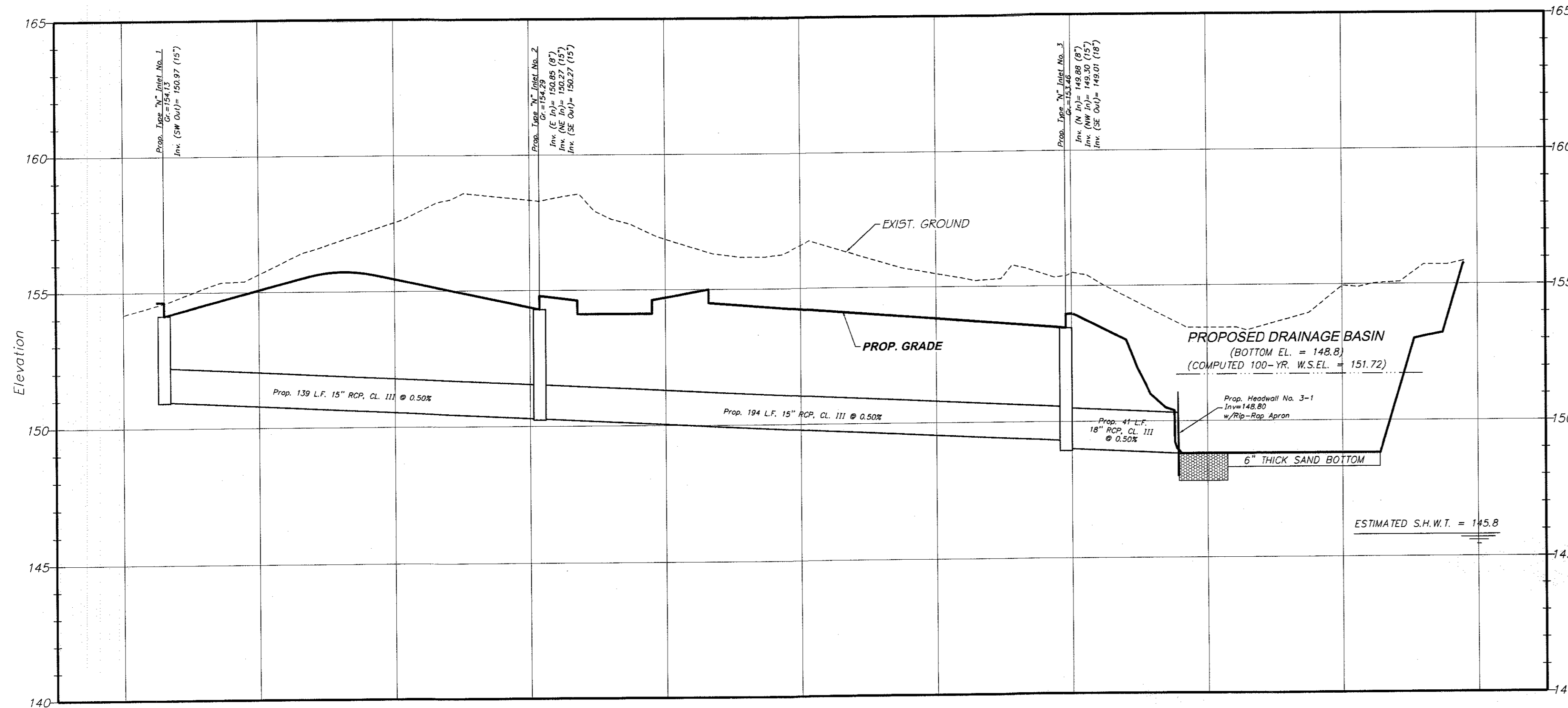
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DESIGNED BY: R5				
CHECKED BY: R5				

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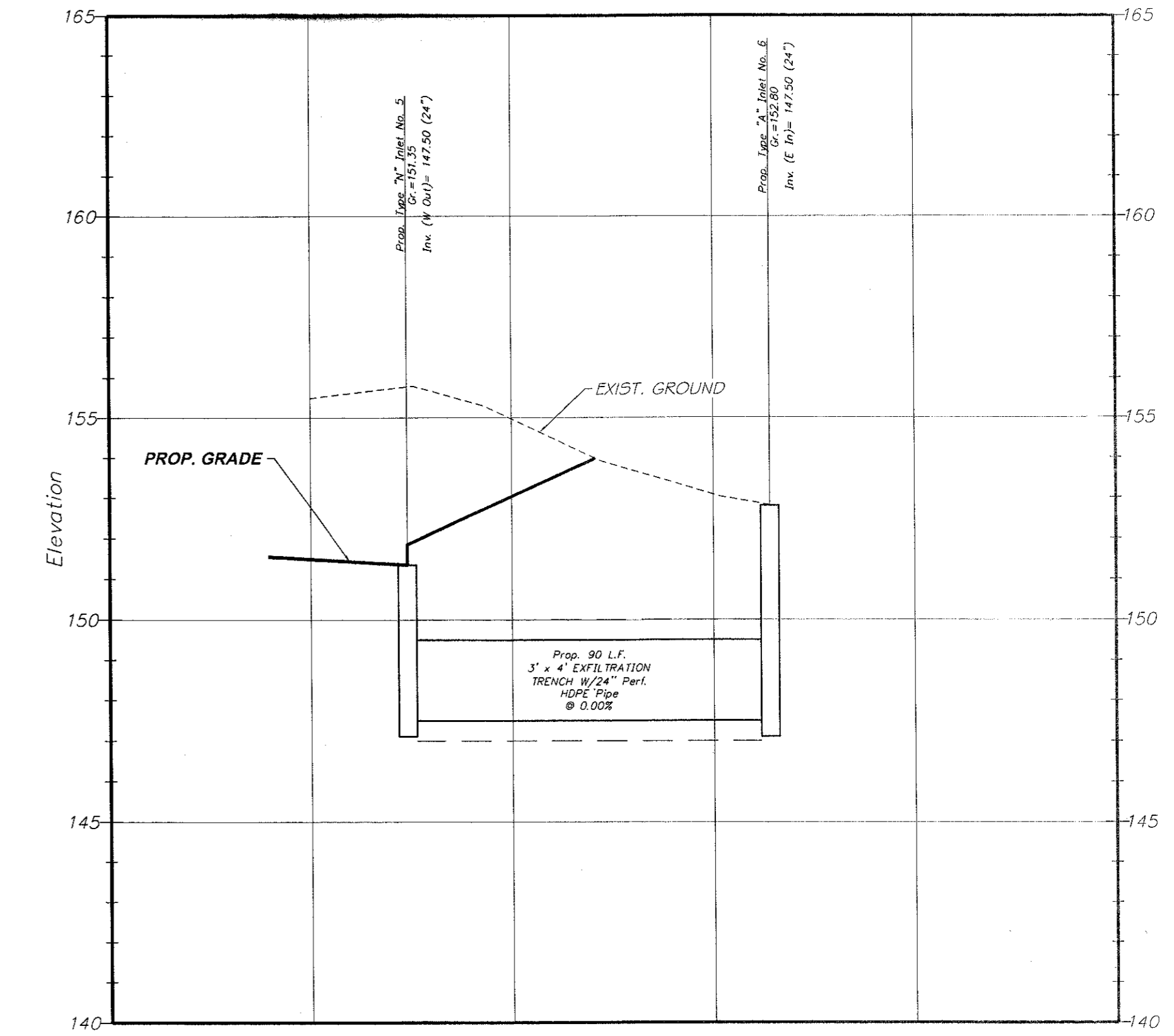






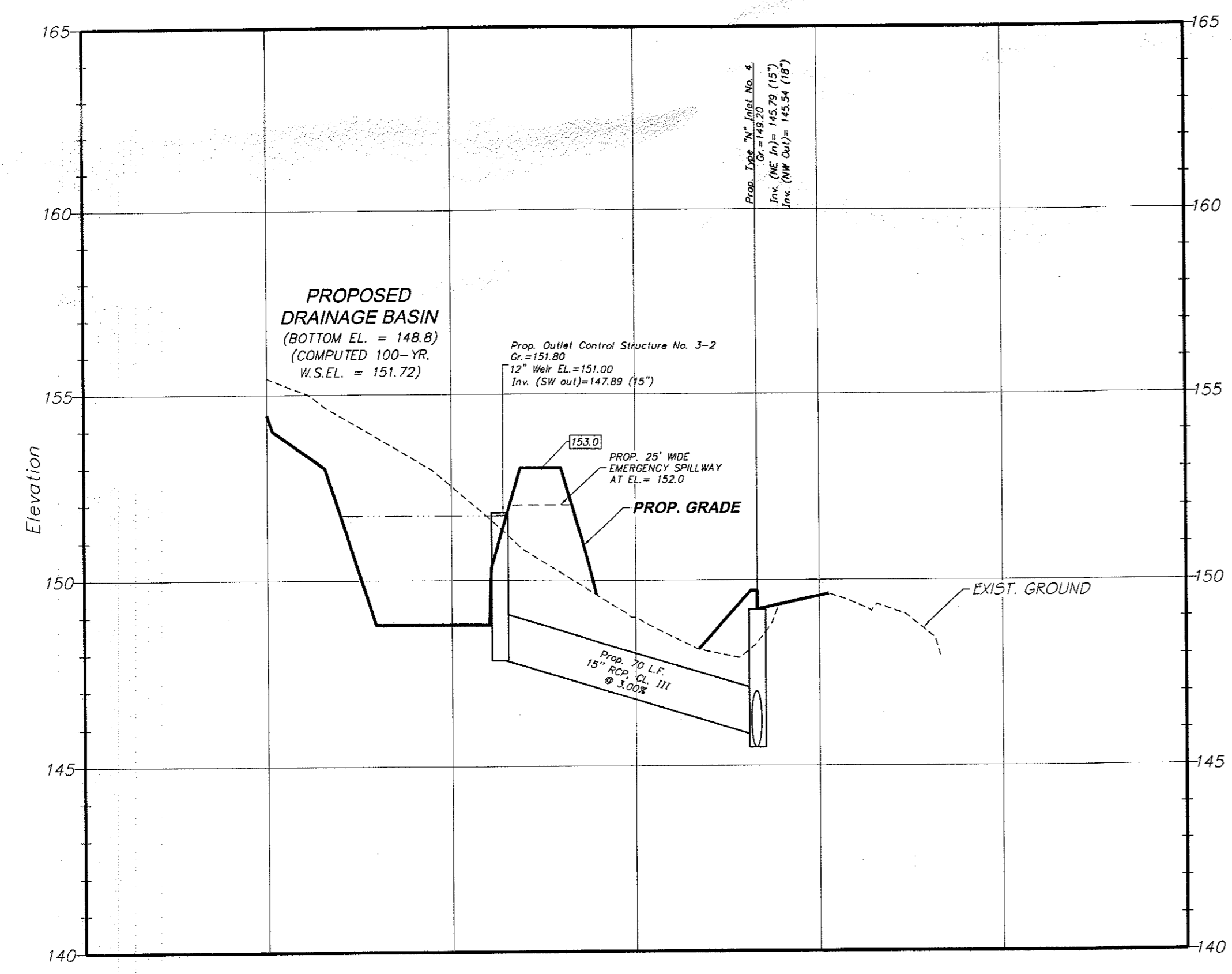
**PROFILE OF DRAINAGE SYSTEM TO BASIN**

Scale: Horiz. 1"=30'  
Vert. 1"=3'



**PROFILE OF EXFILTRATION TRENCH SYSTEM**

Scale: Horiz. 1"=30'  
Vert. 1"=3'



**PROFILE OF DRAINAGE BASIN TO INLET NO. 4**

Scale: Horiz. 1"=30'  
Vert. 1"=3'

**SUBSURFACE CONDITIONS :**

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**FINAL MAJOR SITE PLAN**  
**TAX LOT 33 BLOCK 69.01**  
TAX MAP SHEET NO. 21, LAST REVISED 3/30/98  
FREEHOLD TOWNSHIP  
MONMOUTH COUNTY, NEW JERSEY

**DRAINAGE SYSTEM PROFILE SHEET**

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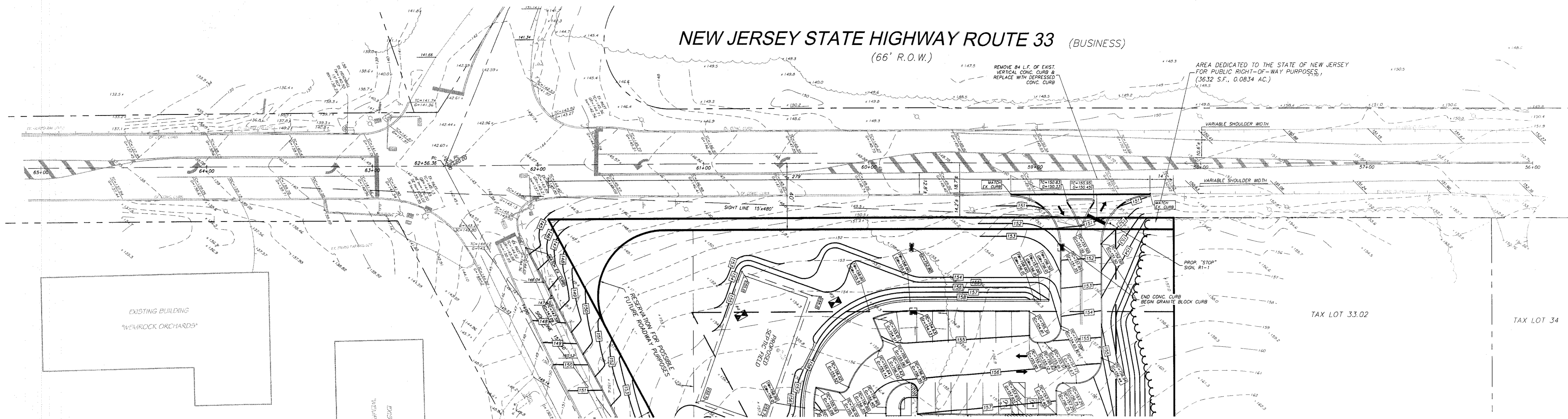
Office Location: 958 Adelphia Road, Adelphia, NJ 07710  
Mailing Address: PO Box 249, Adelphia, NJ 07710  
Phone: 732-625-7919  
Fax: 732-625-9313  
www.gellersive.com  
Certificate of Authorization No. 24GA28105200

*R.D. Sive*  
**ROBERT D. SIVE** N.J. Professional Engineer No. 43816  
DATE: 11/16/09

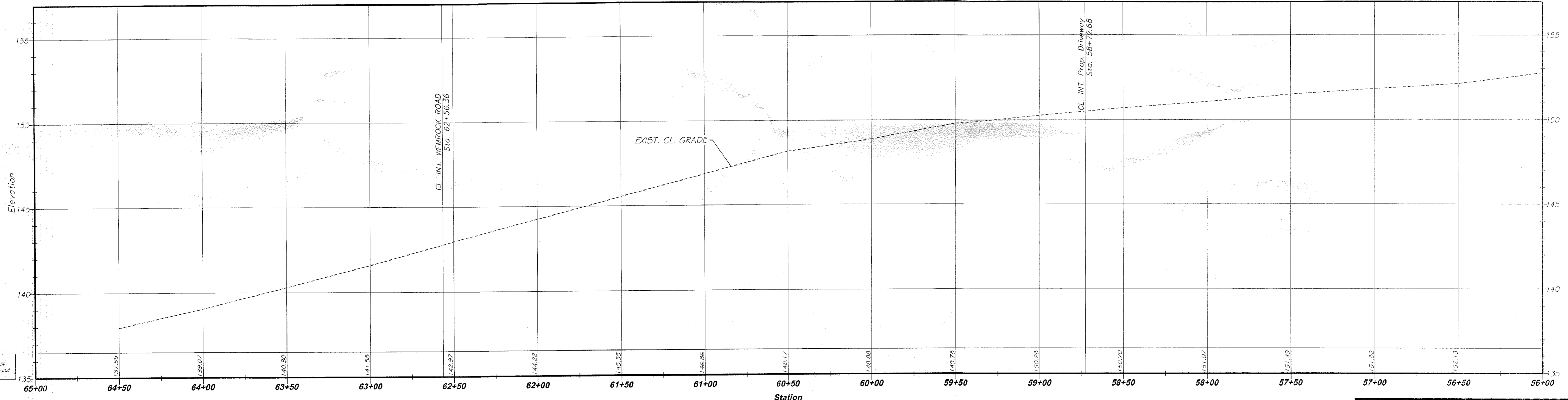
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CHECKED BY: R5				

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**NEW JERSEY STATE HIGHWAY ROUTE 33 (BUSINESS)**  
(66' R.O.W.)



SCALE: (1" = 30 Feet)



**CENTERLINE PROFILE OF ROUTE 33**  
Scale: Horiz. 1"=30'  
Vert. 1"=3'

- LEGEND**
- - - - - = EXIST. CONTOUR
  - ..... = EXIST. SPOT ELEVATION
  - ~~~~~ = EXIST. WOODS LINE
  - ~~~~~ = PROP. CLEARING LIMIT
  - = EXIST. UTILITY POLE W/OVERHEAD WIRES
  - ⊠ = TEST PIT & PERMEABILITY TEST LOCATION
  - 158.7 = PROP. ELEVATION
  - TC=156.00 (CW=155.50) = PROP. TOP OF CURB & GUTTER ELEVATION
  - TW=155.30 (CW=156.0) = PROP. TOP OF WALL & GROUND AT WALL ELEVATIONS
  - 152 = PROP. CONTOUR
  - ☐ = PROP. TYPE 'N' DRAINAGE INLET

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TAX MAP SHEET NO. 21, LAST REVISED 3/30/98  
**FREEHOLD TOWNSHIP**  
**MONMOUTH COUNTY, NEW JERSEY**

**ROUTE 33 PLAN & PROFILE**

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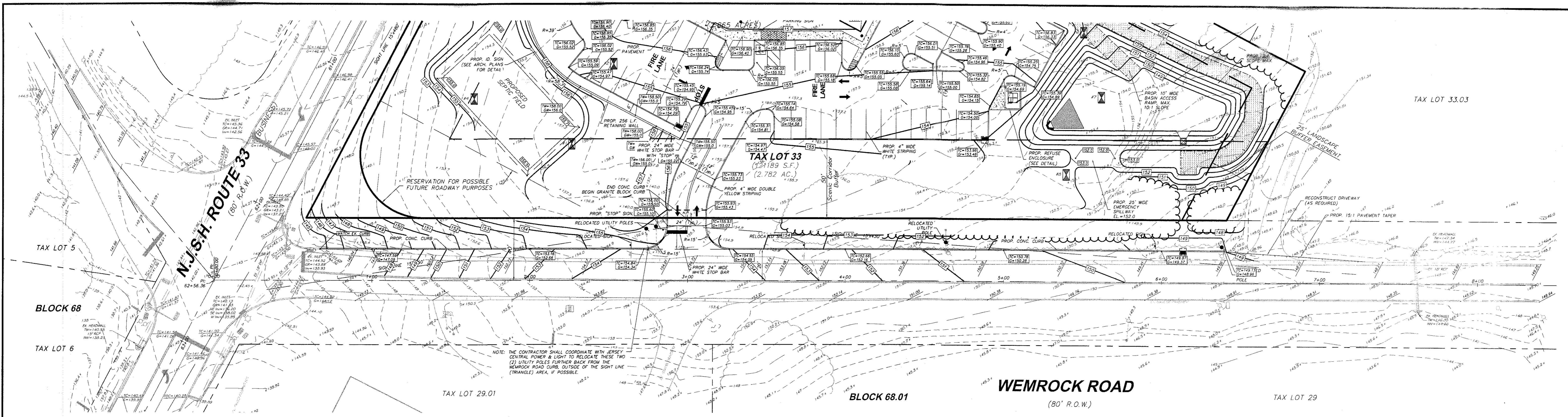
Office Location: 958 Adelphia Road, Adelphia, NJ 07710  
Mailing Address: PO Box 249, Adelphia, NJ 07710  
Phone: 732-625-7919  
Fax: 732-625-9313  
www.gellersive.com  
Certificate of Authorization No. 24CA281(520)

*Robert D. Sive*  
**ROBERT D. SIVE** N.J. Professional Engineer No. 43816  
DATE: 11/16/09

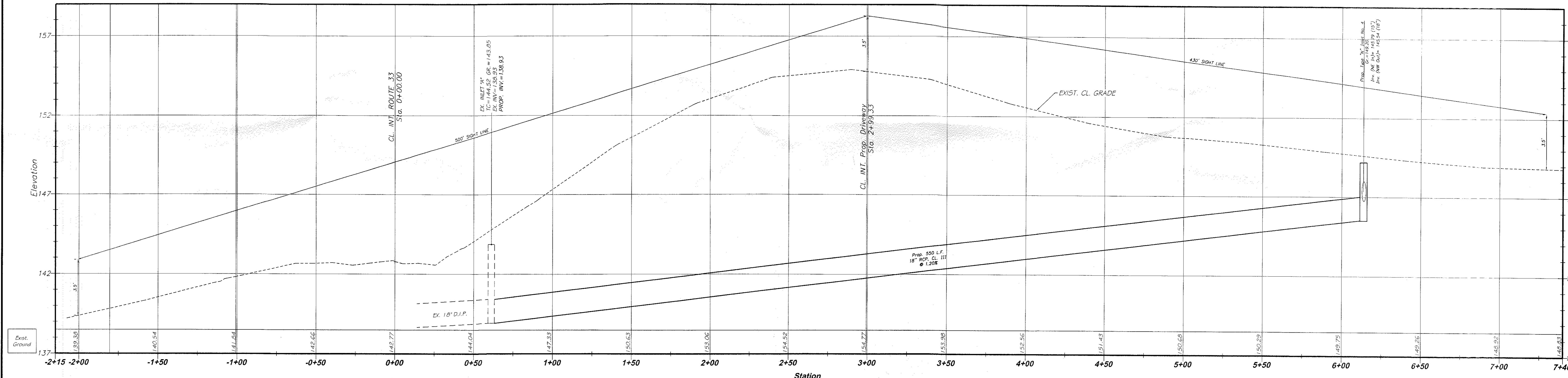
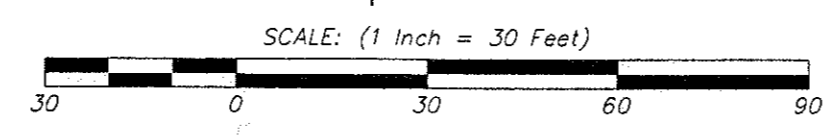
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DESIGNED BY: RS	11/11/09	AS SHOWN	10 OF 20	2058
CHECKED BY: RS				

No.	Date	Revision	By	Chk.

Date: 11/16/09  
 Project: Route 33 Business  
 Sheet: 11 of 20  
 Scale: 1"=30'  
 Author: Robert D. Sive  
 Designer: Robert S. Sive  
 Checker: Robert S. Sive  
 Title: Professional Engineer  
 License No.: 43816



NOTE: THE CONTRACTOR SHALL COORDINATE WITH JERSEY CENTRAL POWER & LIGHT TO RELOCATE THESE TWO (2) UTILITY POLES FURTHER BACK FROM THE WEMROCK ROAD CURB, OUTSIDE OF THE SIGHT LINE (TRIANGLE) AREA, IF POSSIBLE.



**CENTERLINE PROFILE OF WEMROCK ROAD**  
Scale: Horiz. 1"=30'  
Vert. 1"=3'

**LEGEND**

- = EXIST. CONTOUR
- = EXIST. SPOT ELEVATION
- ~ = EXIST. WOODS LINE
- - - = PROP. CLEARING LIMIT
- = EXIST. UTILITY POLE W/OVERHEAD WIRES
- ⊠ = TEST PIT & PERMEABILITY TEST LOCATION
- = PROP. ELEVATION
- = PROP. TOP OF WALL & GROUND AT WALL ELEVATIONS
- = PROP. CONTOUR
- = DIRECTION OF OVERLAND STORMWATER FLOW
- = PROP. TYPE 'N' DRAINAGE INLET
- = PROP. MANHOLE
- ▽ = PROP. HEADWALL
- ⊠ = PROP. OUTLET CONTROL STRUCTURE

**SUBSURFACE CONDITIONS :**  
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MONMOUTH COUNTY, NEW JERSEY

**WEMROCK ROAD PLAN & PROFILE**

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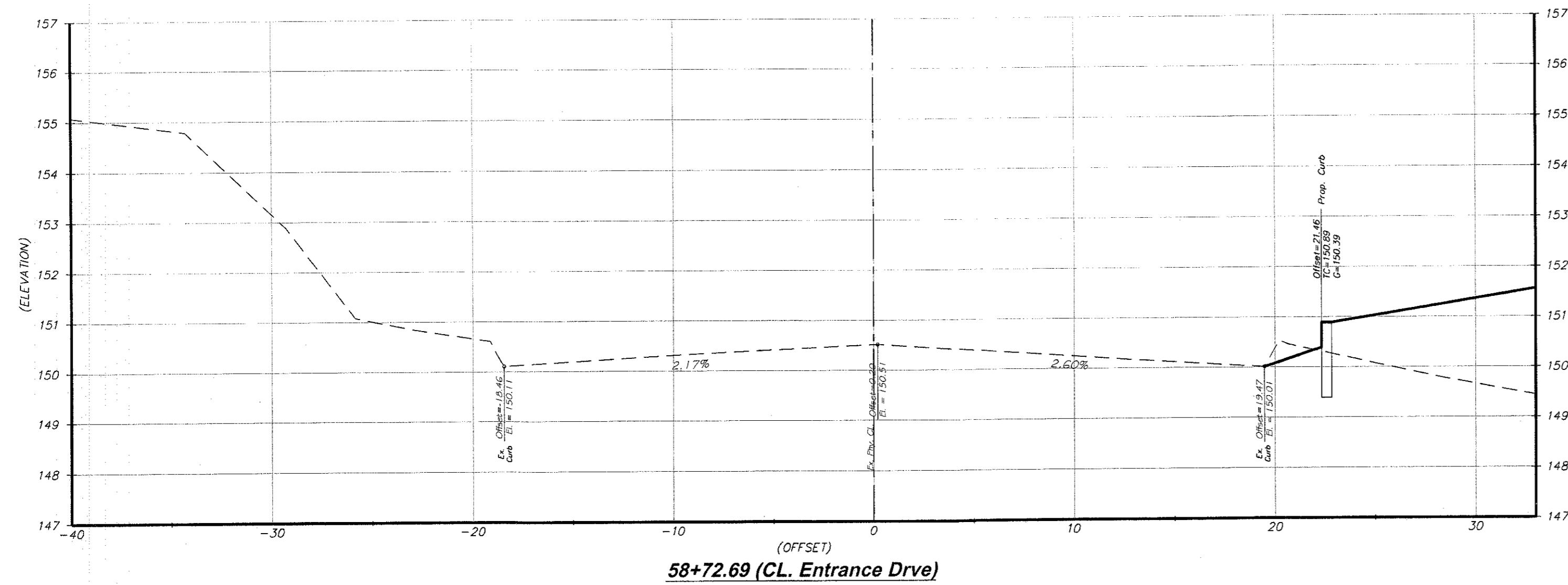
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Certificate of Authorization No. 24GA28105200

**Robert D. Sive**  
N.J. Professional Engineer No. 43816

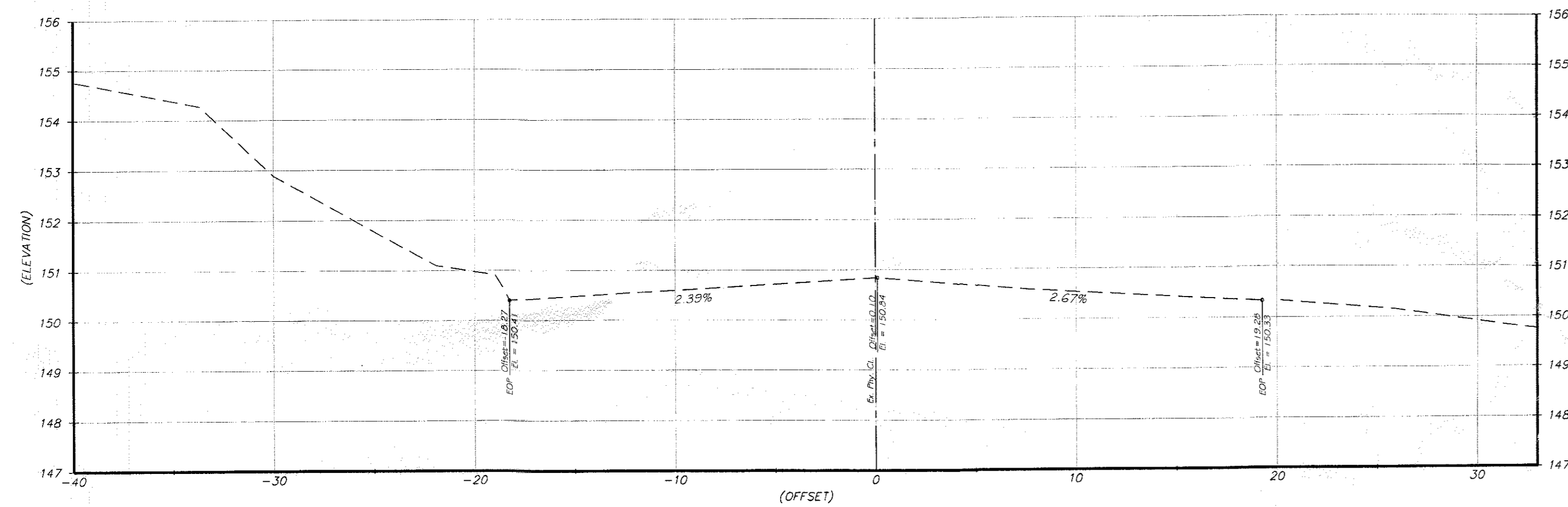
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DESIGNED BY: RS				
CHECKED BY: RS				

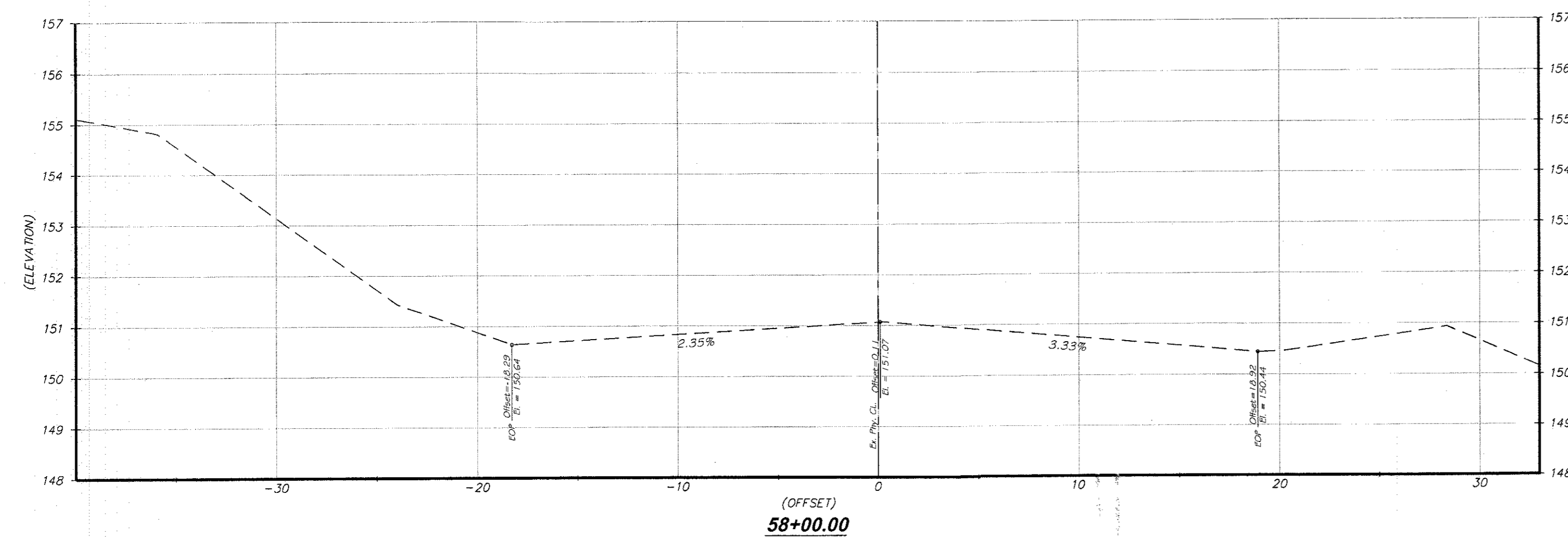
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 Sheet: 11 OF 20  
 Job: 2058



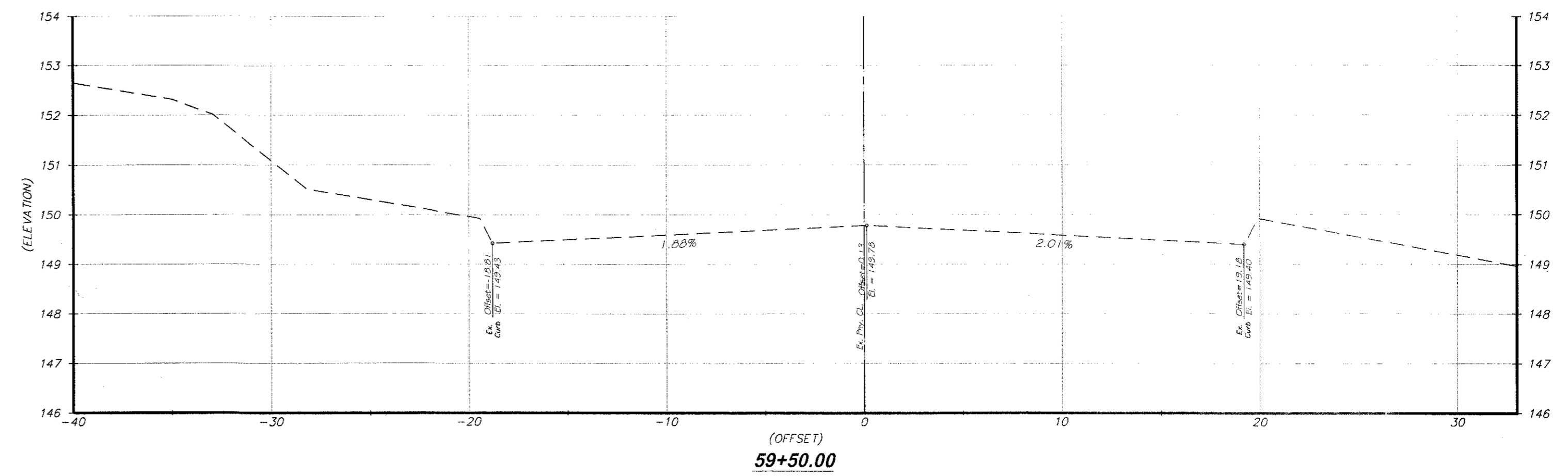
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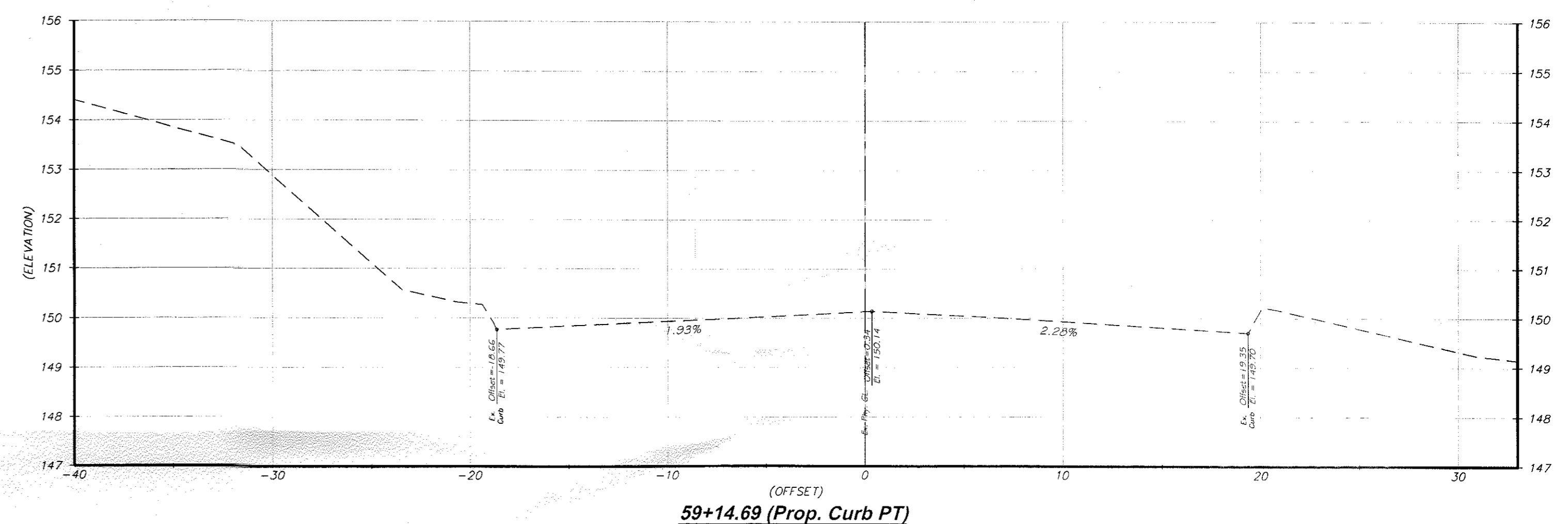
58+30.67 (Prop. Curb PC)



58+00.00



59+50.00



59+14.69 (Prop. Curb PT)

SCALE :  
 HORIZ - 1"=5'  
 VERT. - 1"=2'

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FINAL MAJOR SITE PLAN  
 TAX LOT 33 BLOCK 69.01  
 TAX MAP SHEET NO. 21, LAST REVISED 3/30/98  
 FREEHOLD TOWNSHIP  
 MONMOUTH COUNTY, NEW JERSEY

ROUTE 33 CROSS SECTIONS

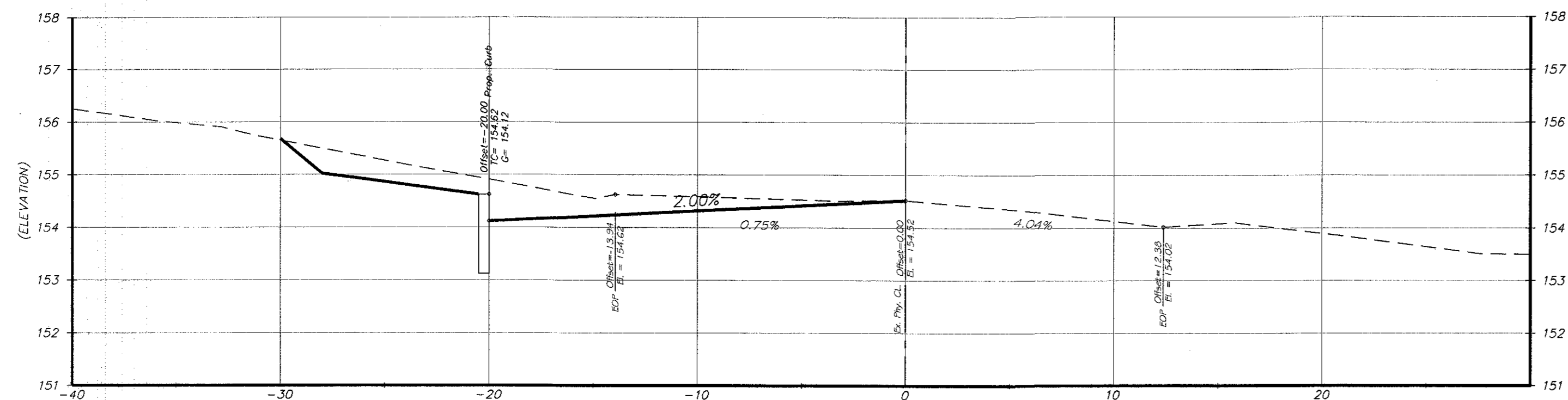
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 www.gellersive.com  
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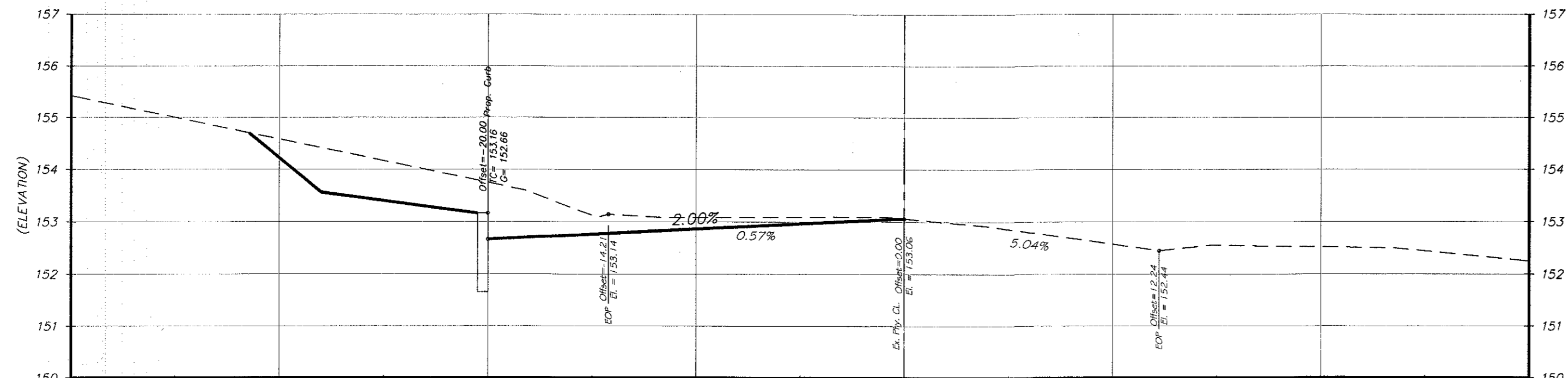
*Robert Sive*  
**ROBERT D. SIVE**  
 N.J. Professional Engineer No. 43816

No.	Date	Revision	By	Chk.	DATE	SCALE	SHEET	JOB NUMBER
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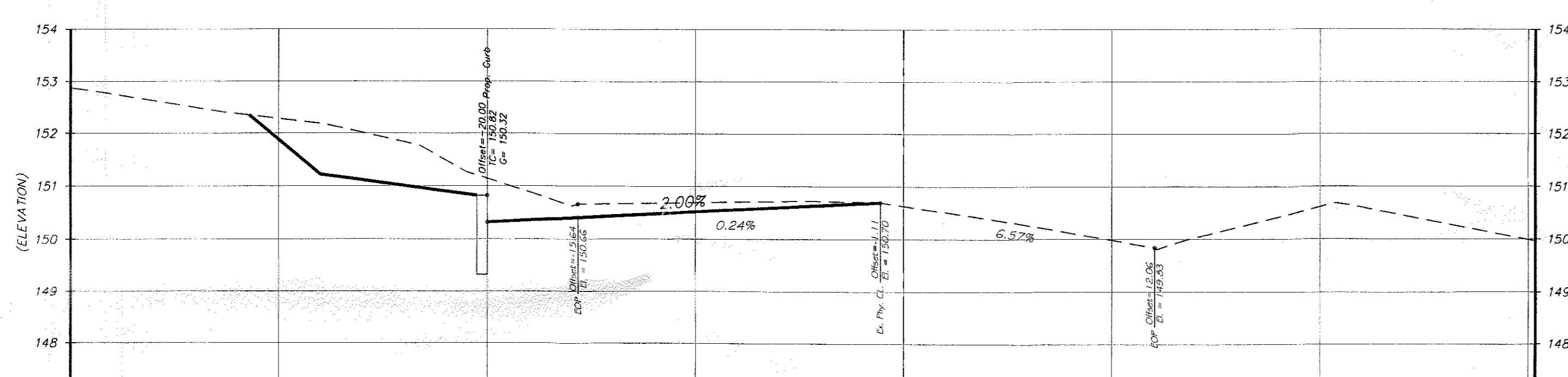
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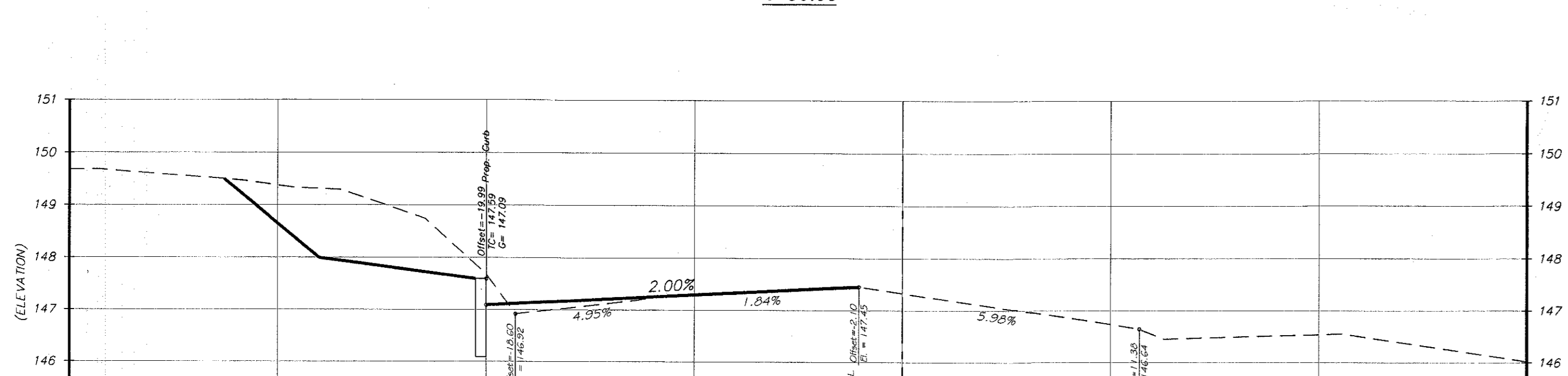
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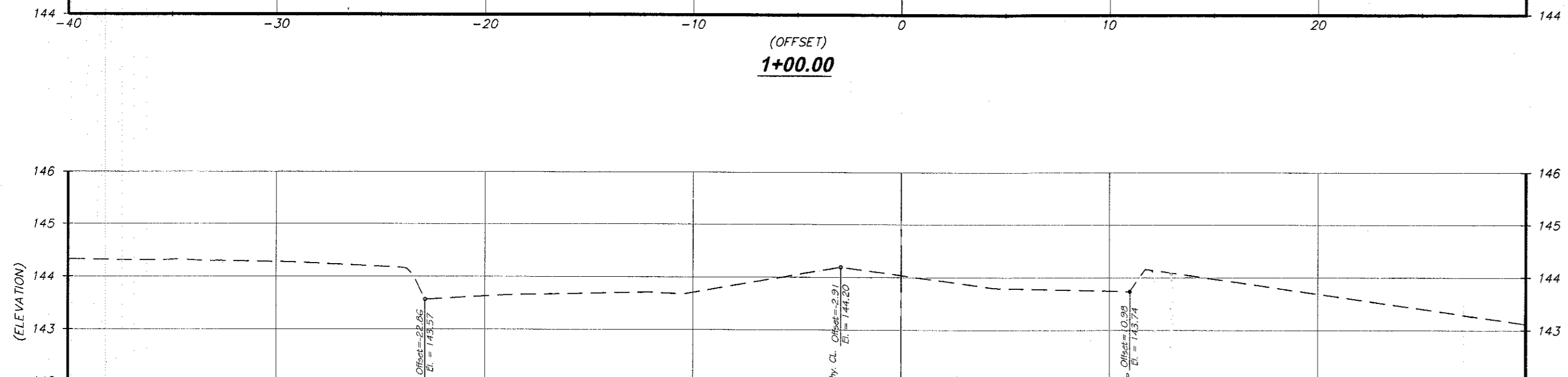
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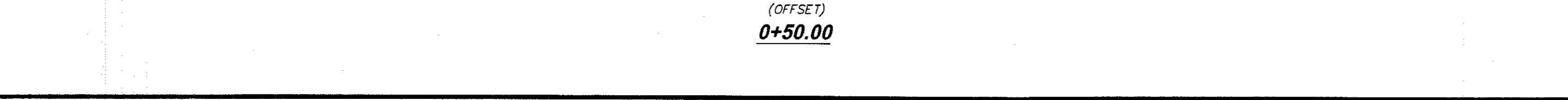
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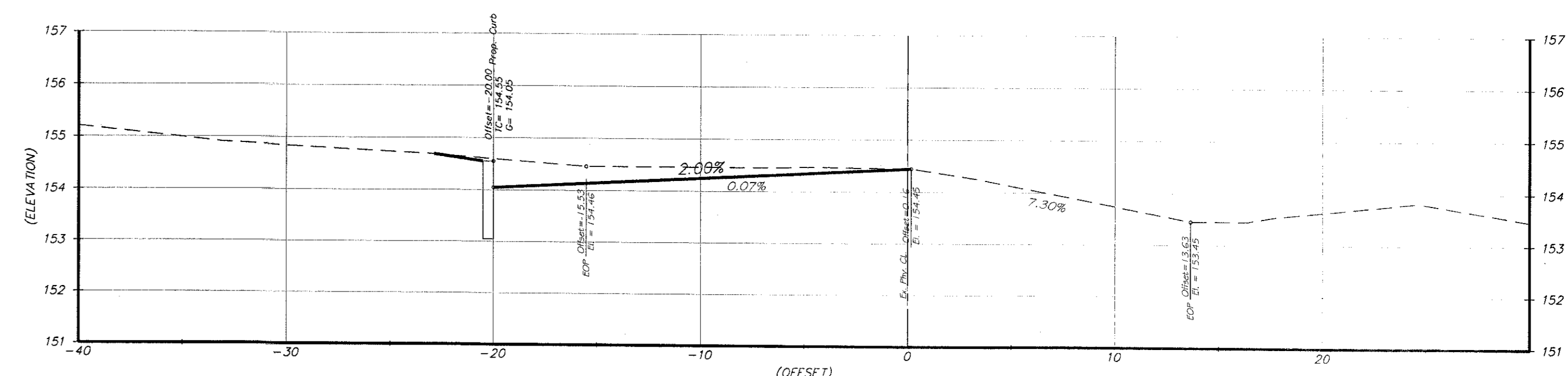
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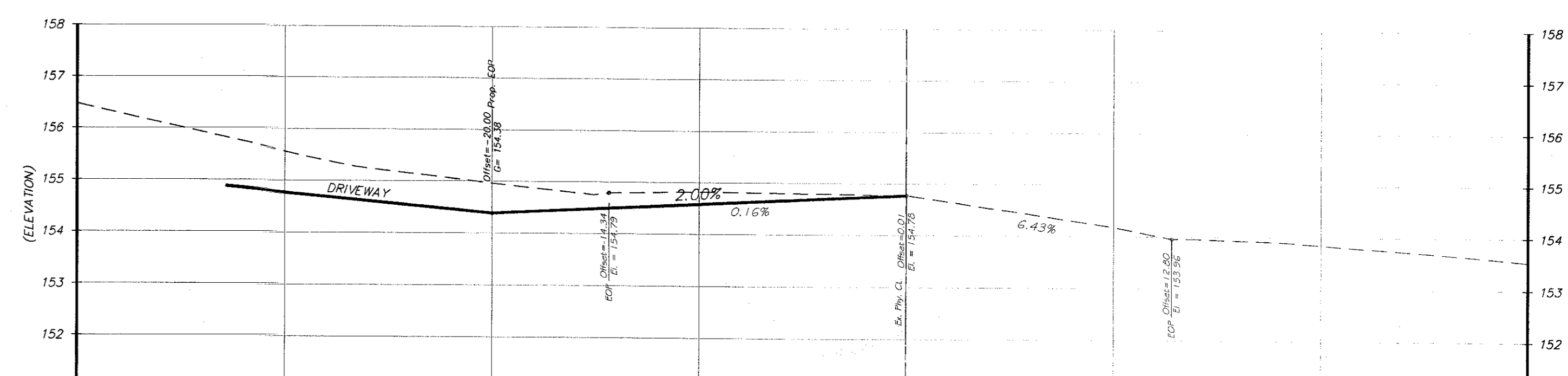
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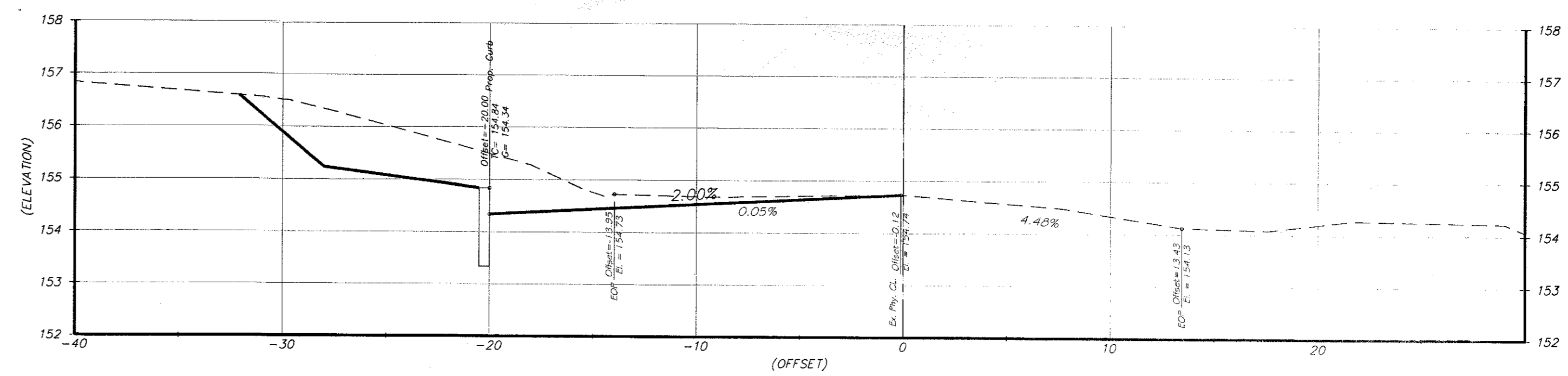
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(OFFSET) **2+99.33 (CL. Entrance Drive)**



(OFFSET) **2+72.33 (Prop. Curb PC)**

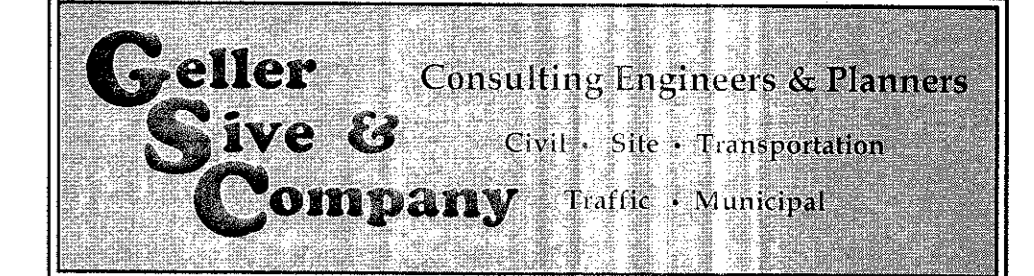
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 VERT. - 1"=2'

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FINAL MAJOR SITE PLAN  
**TAX LOT 33 BLOCK 69.01**  
 TAX MAP SHEET NO. 21, LAST REVISED 3/30/98  
 FREEHOLD TOWNSHIP  
 MONMOUTH COUNTY, NEW JERSEY

**WEMROCK ROAD CROSS SECTIONS**



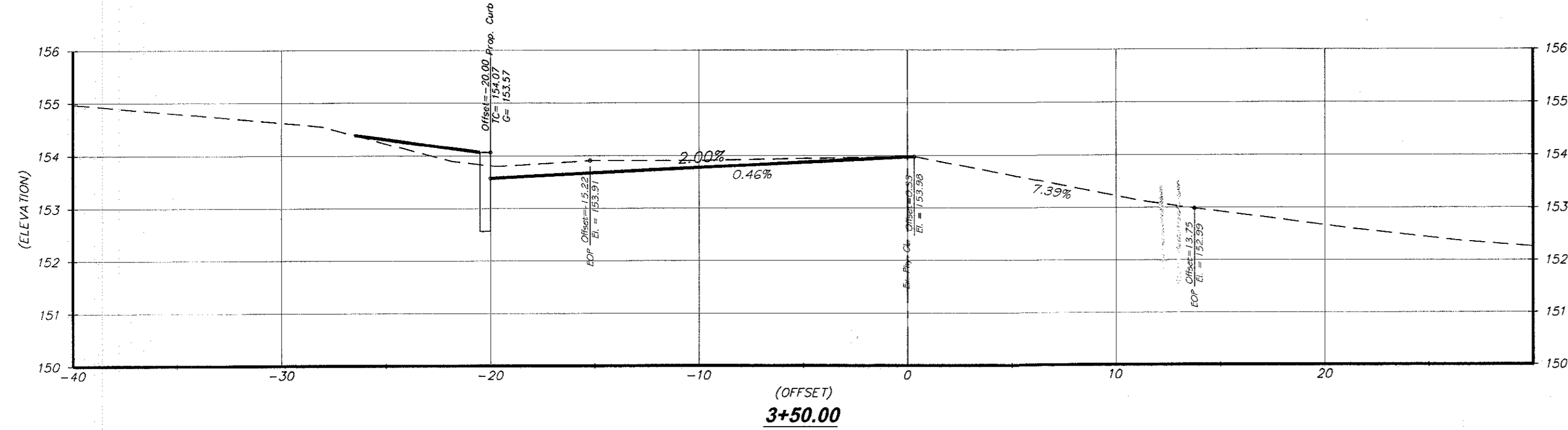
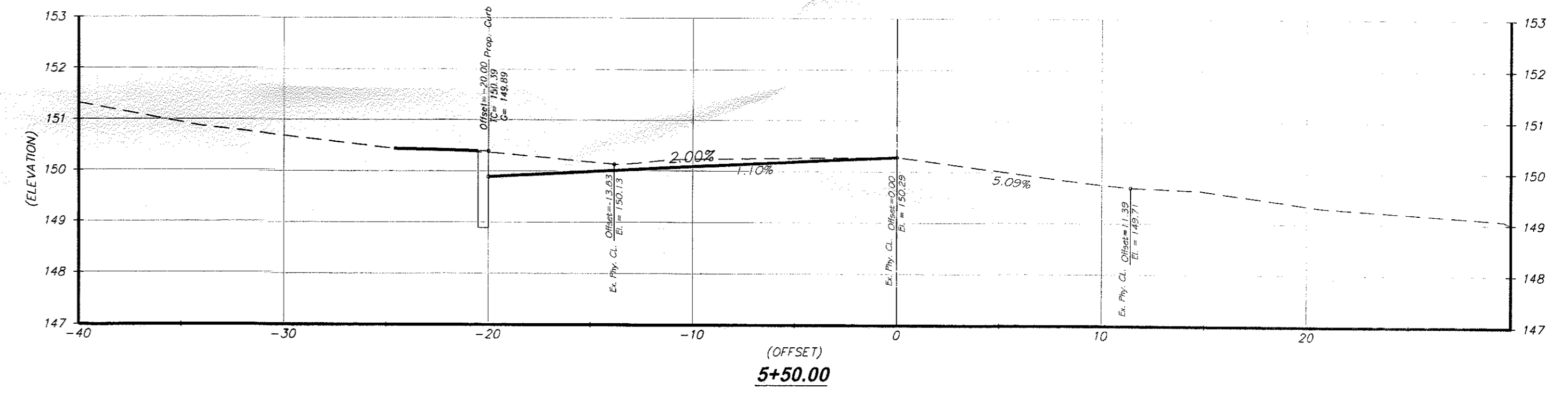
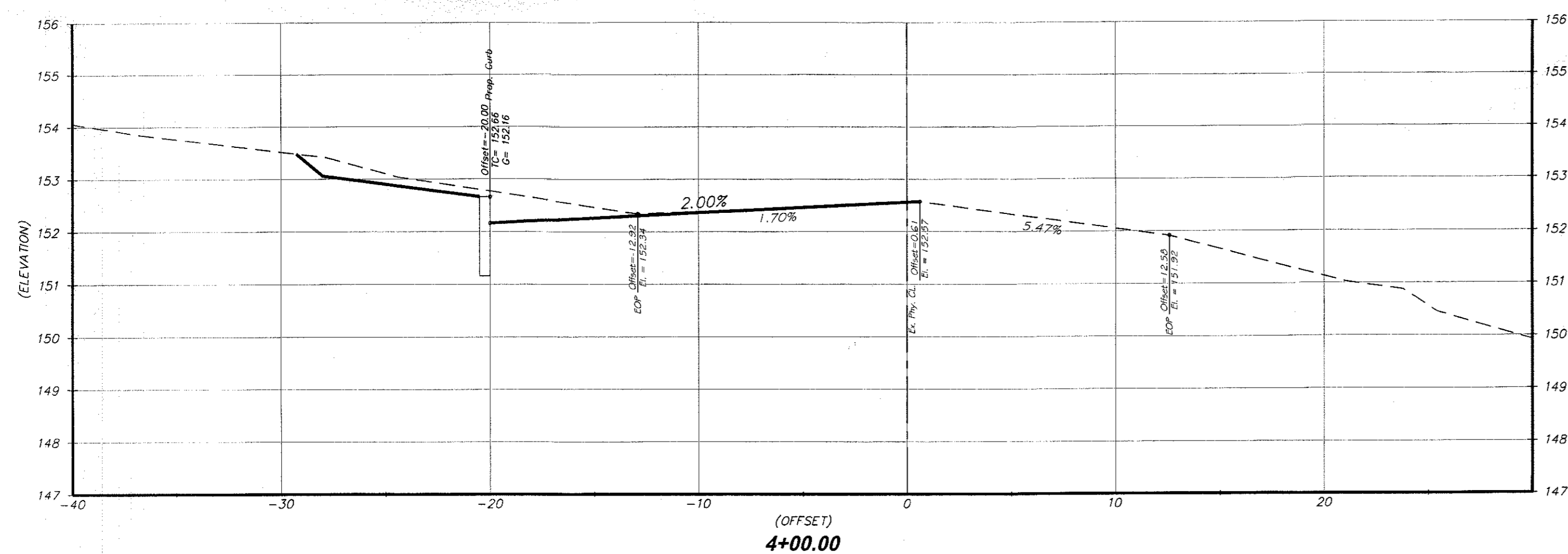
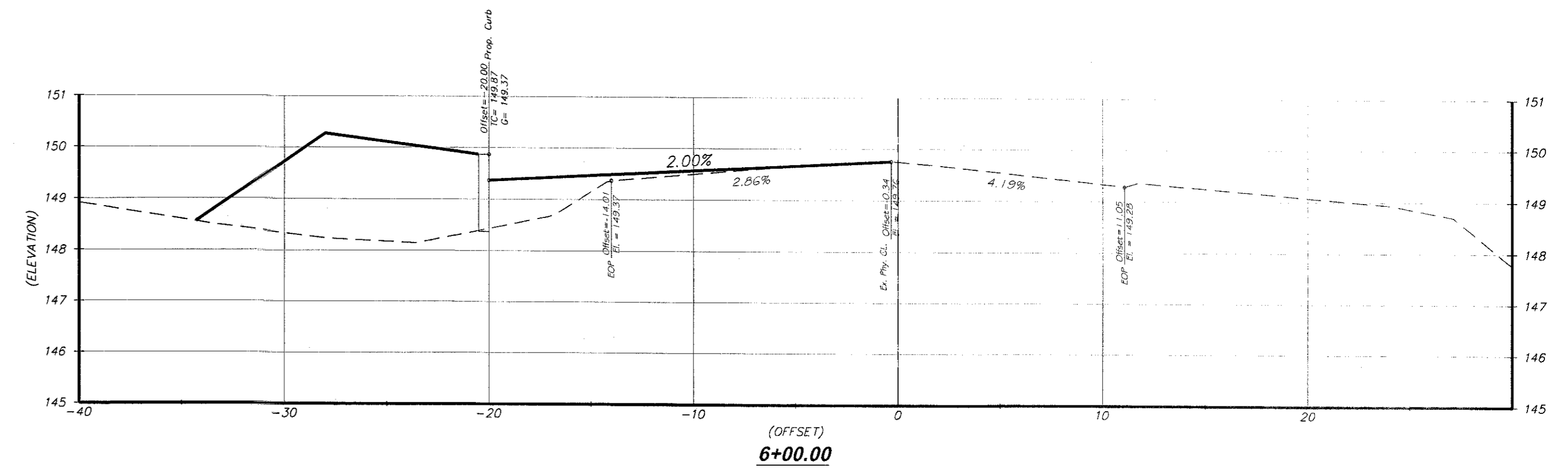
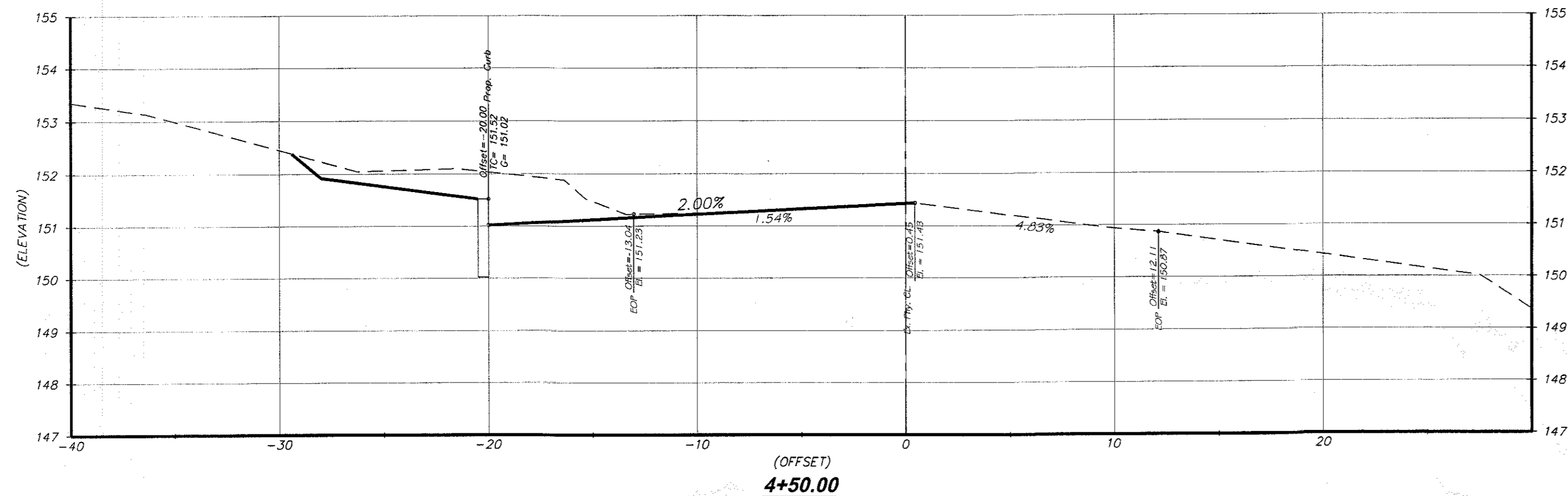
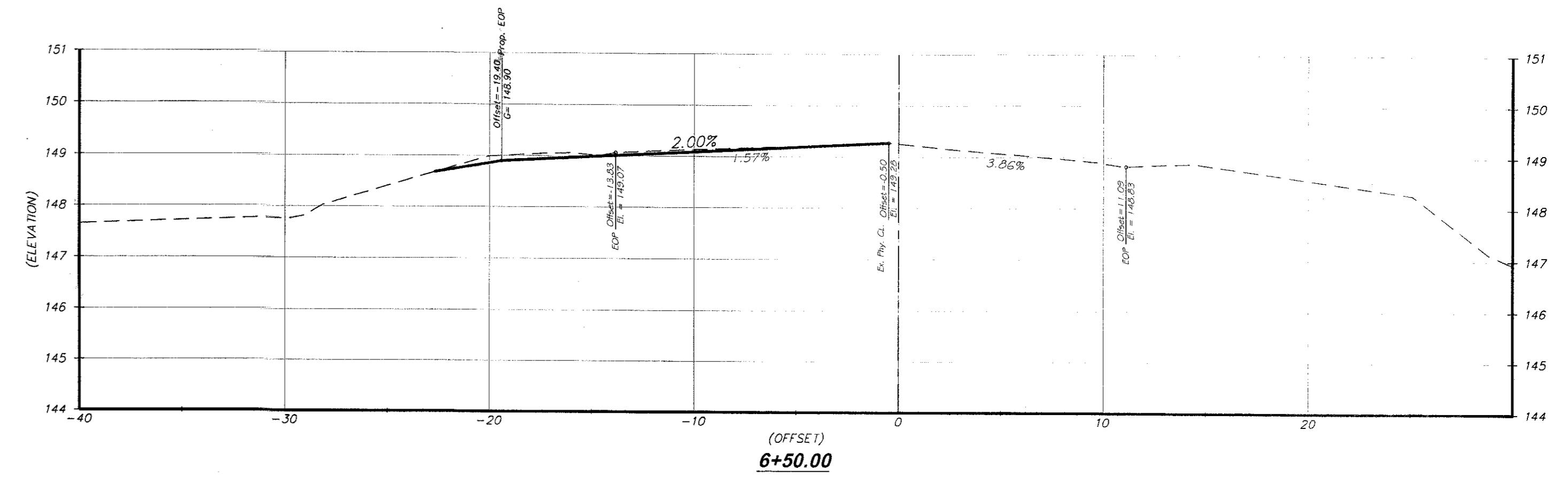
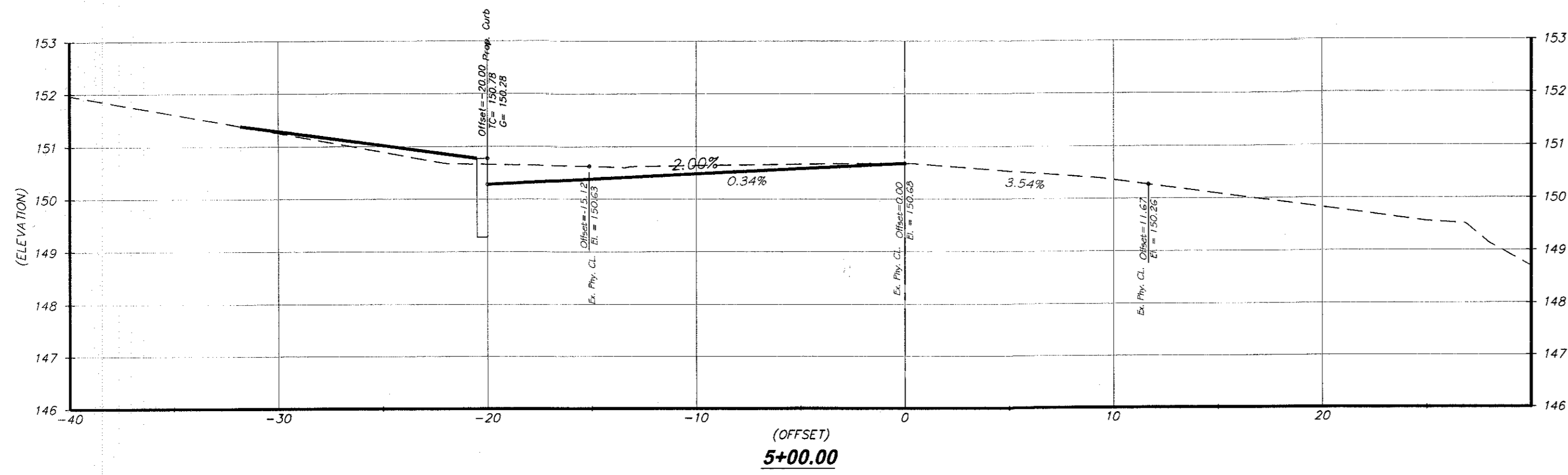
Office Location: 958 Adelphia Road, Adelphia, NJ 07710  
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 Certificate of Authorization No. 24GA28105200

**Robert D. Sive**  
 N.J. Professional Engineer No. 43816  
 DATE: 11/11/09

No.	Date	Revision	By	Chk.

DRAWN BY:	DATE:	SCALE:	SHEET:	JOB NUMBER:
M.M.	11/11/09	AS SHOWN	13 OF 20	2058

File: P:\2008\Projects\Wemrock\Drawings\Site\Sheet - Wemrock Road Cross Sections (3).dwg Date: 11/11/09 2:54 PM Plotted: 11/11/09 2:54 PM



SCALE :  
 HORIZ - 1"=5'  
 VERT - 1"=2'

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**WEMROCK ROAD CROSS SECTIONS**

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**ROBERT D. SIVE**  
 N.J. Professional Engineer No. 43816

11/11/09  
 DATE

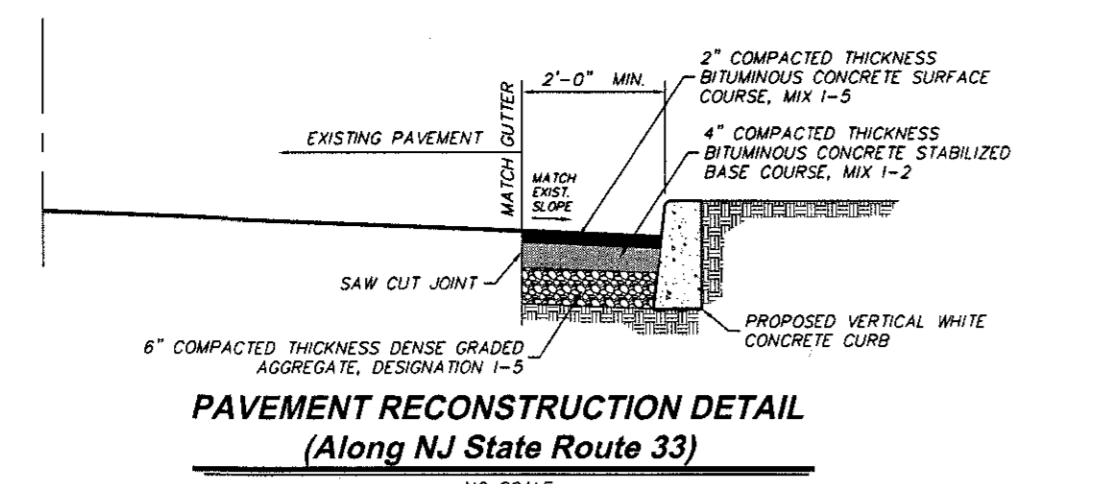
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No.	Date	Revision	By	Chk.

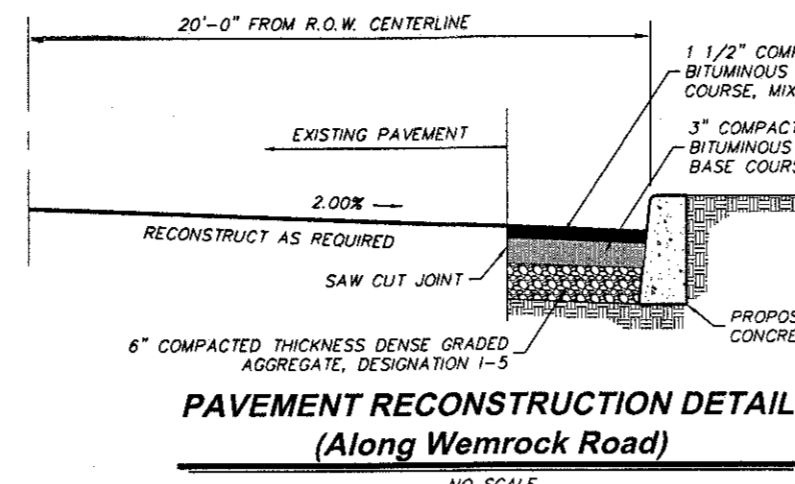
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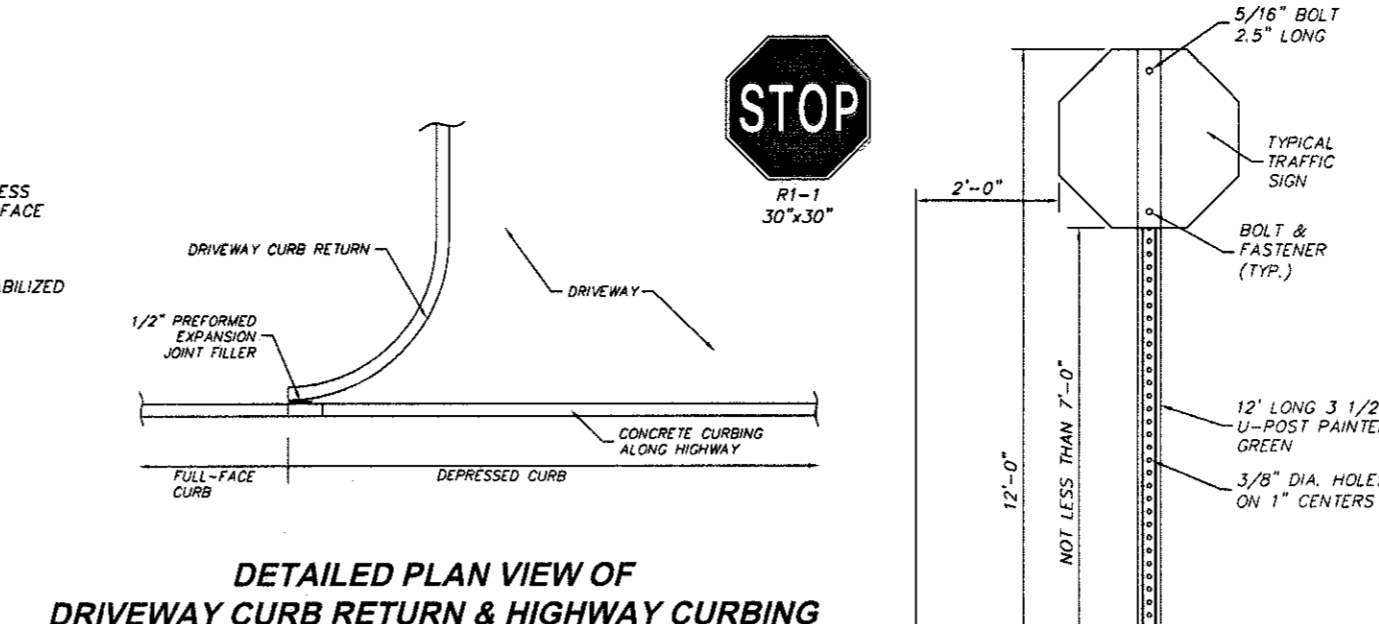
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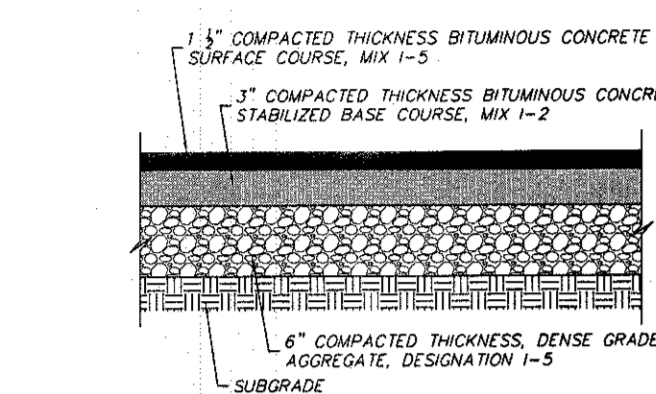
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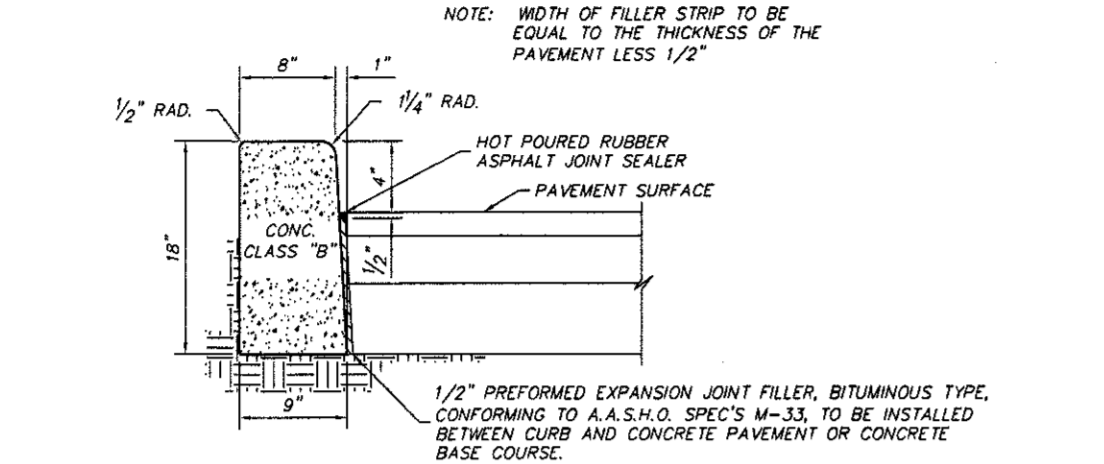
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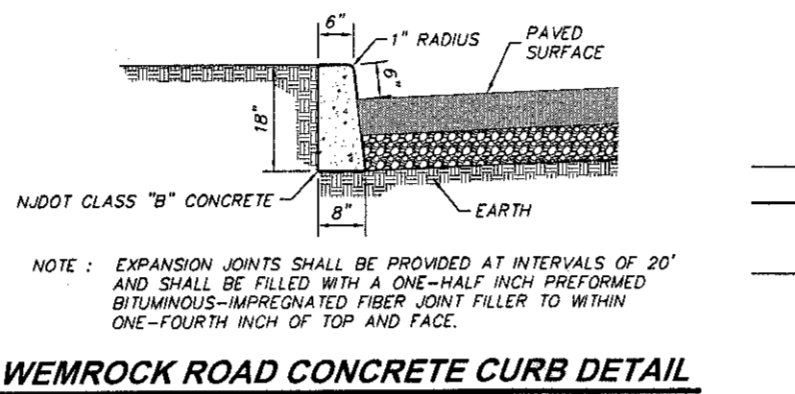
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NO SCALE



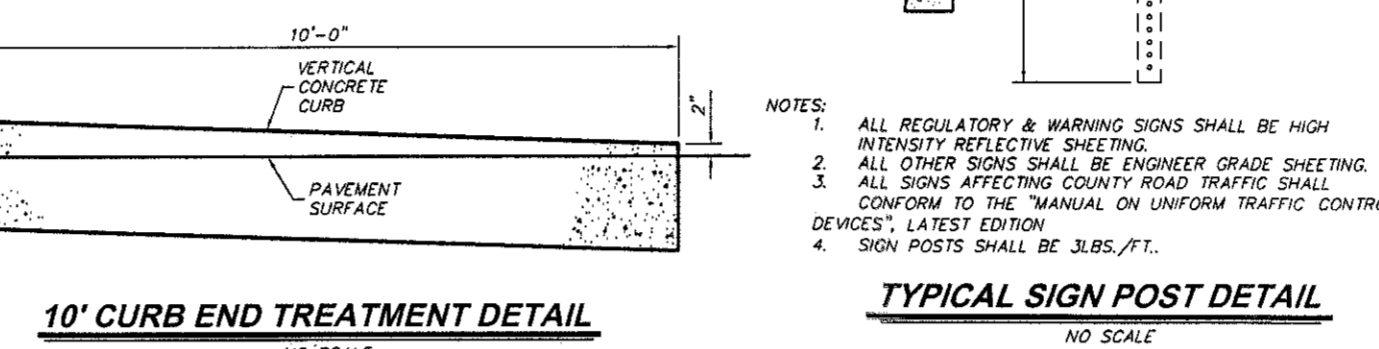
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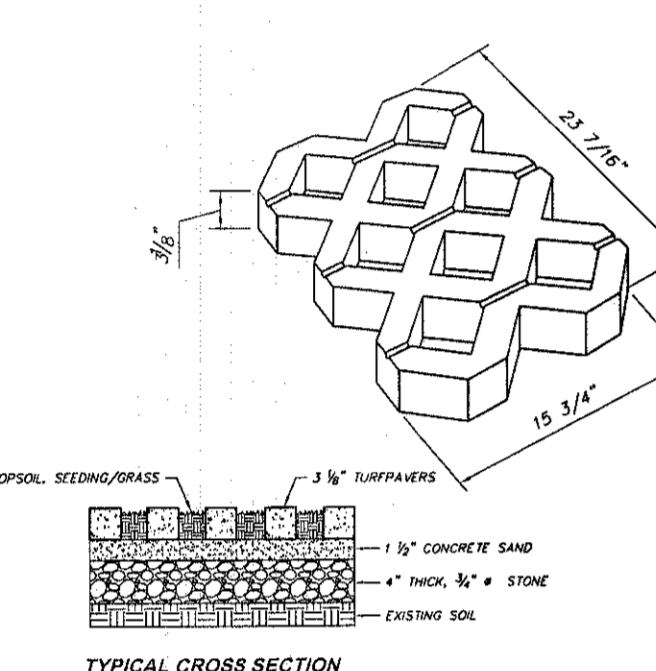
**STATE HIGHWAY CURB**  
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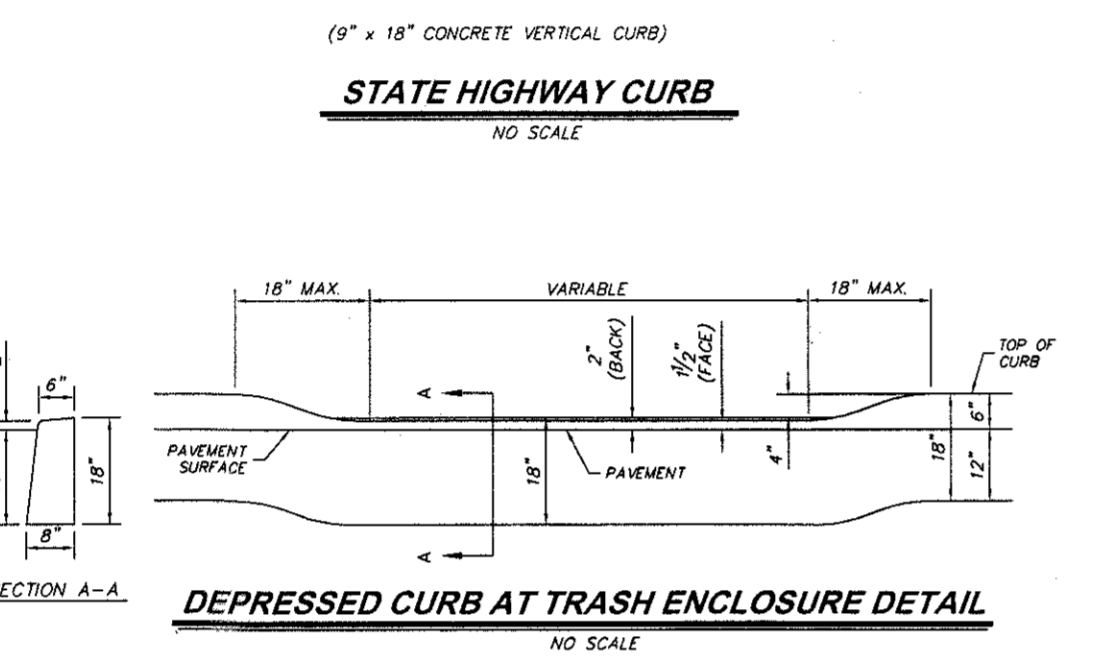
**WEMROCK ROAD CONCRETE CURB DETAIL**  
NO SCALE



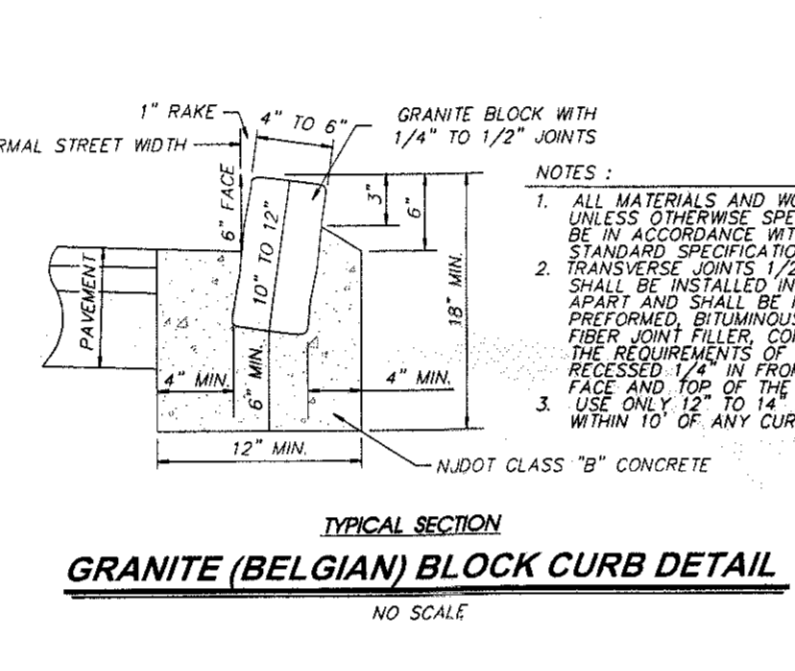
**10' CURB END TREATMENT DETAIL**  
NO SCALE



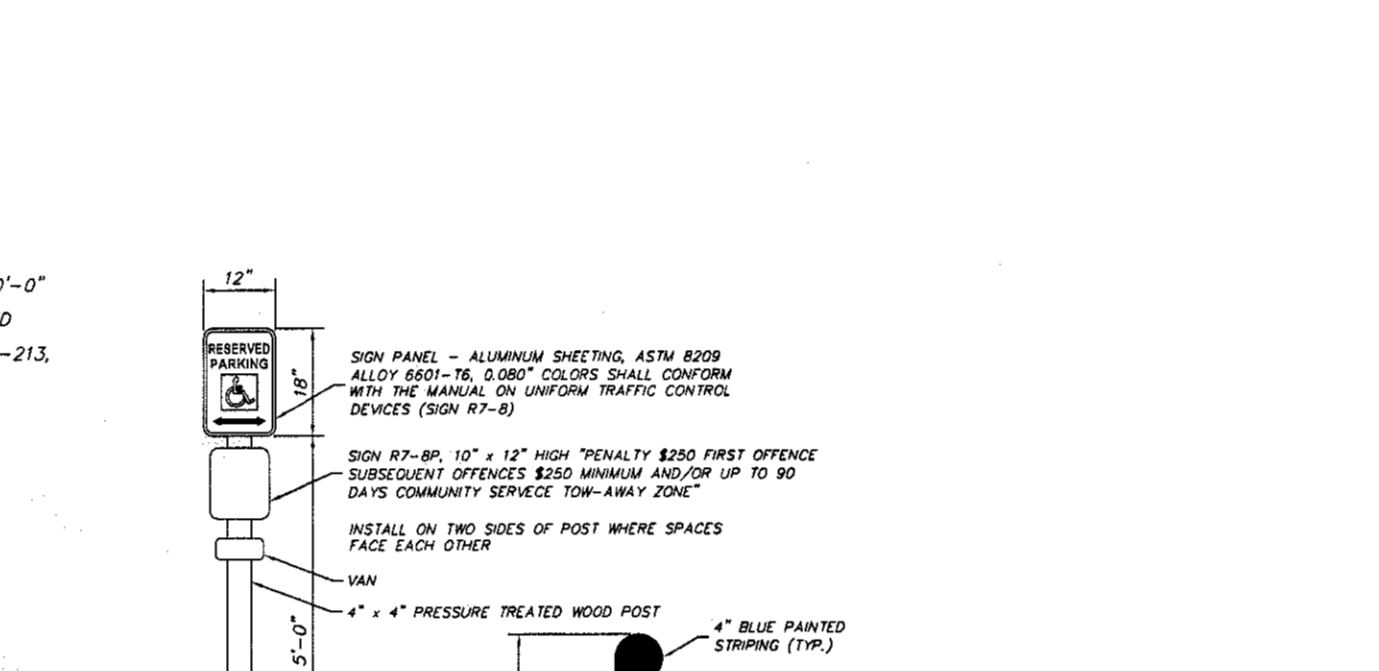
**TURF PAVER DETAIL**  
NO SCALE



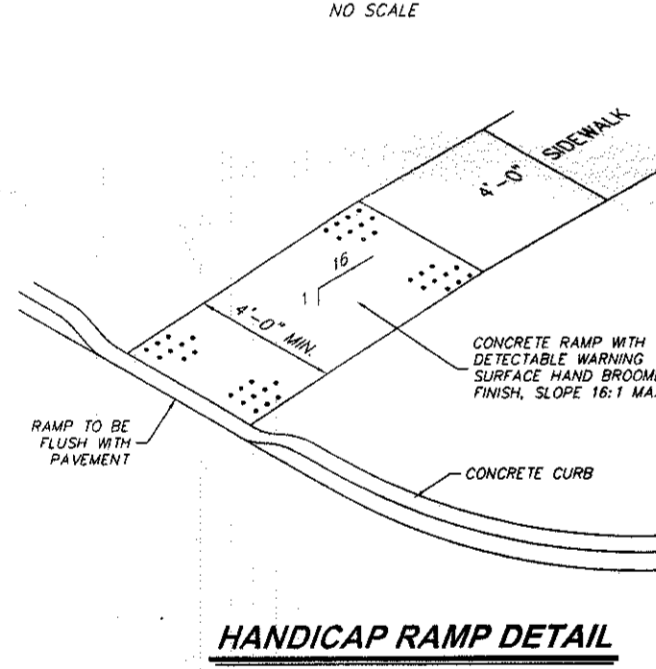
**DEPRESSED CURB AT TRASH ENCLOSURE DETAIL**  
NO SCALE



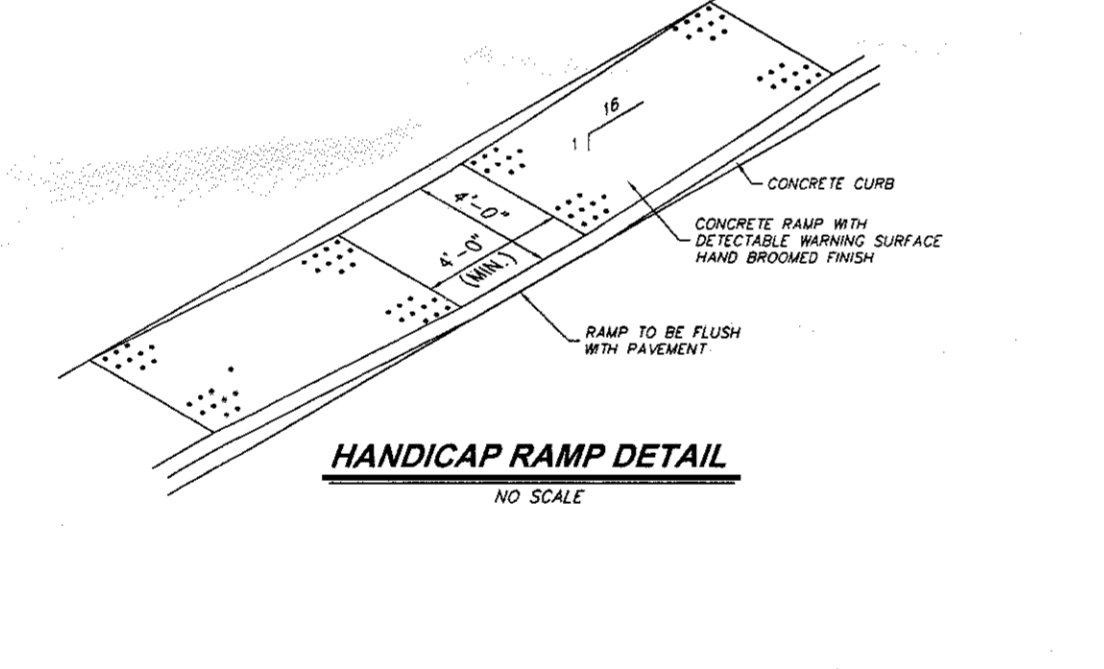
**GRANITE (BELGIAN) BLOCK CURB DETAIL**  
NO SCALE



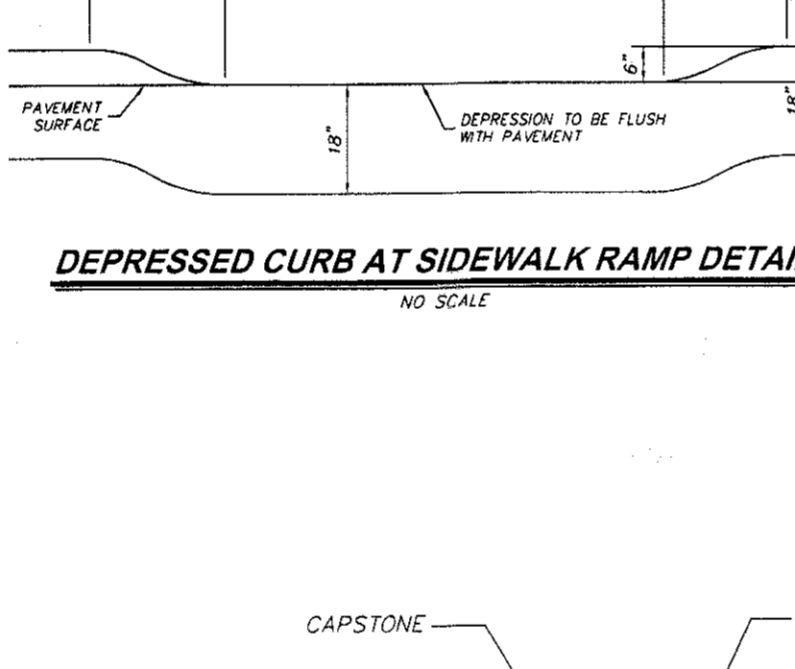
**HANDICAPPED PARKING SYMBOL**  
NO SCALE



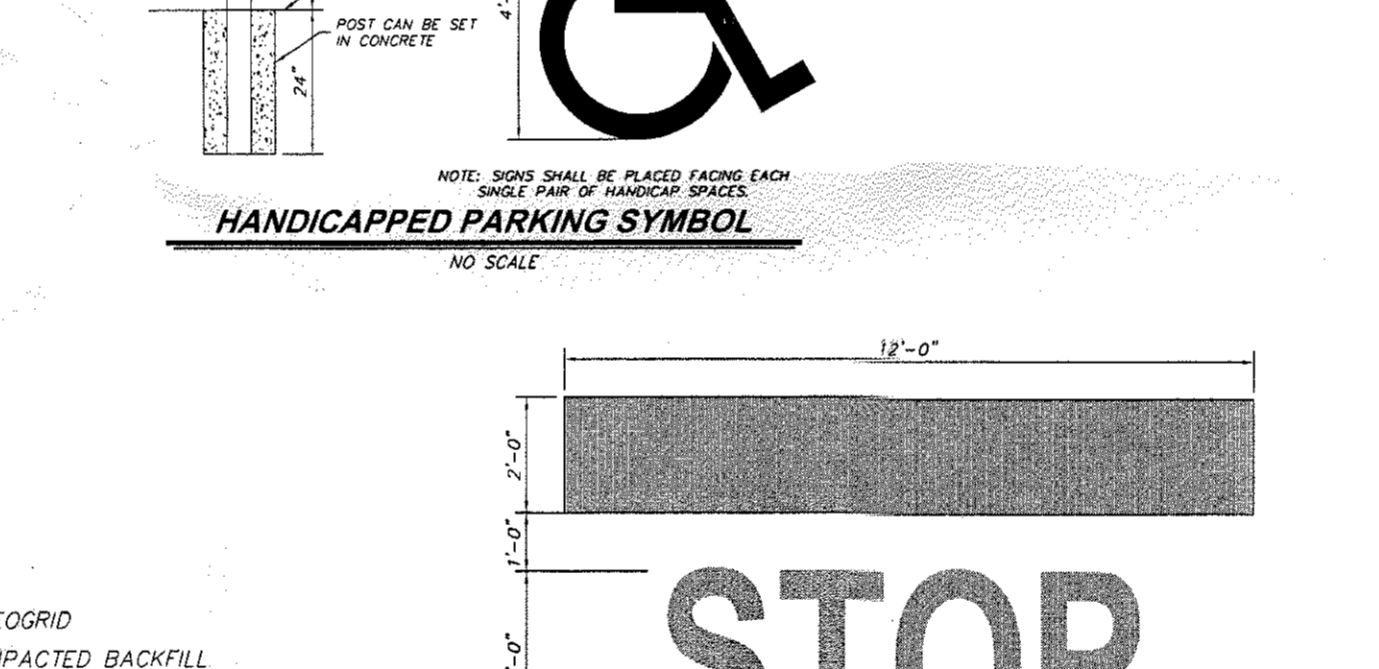
**HANDICAP RAMP DETAIL**  
NO SCALE



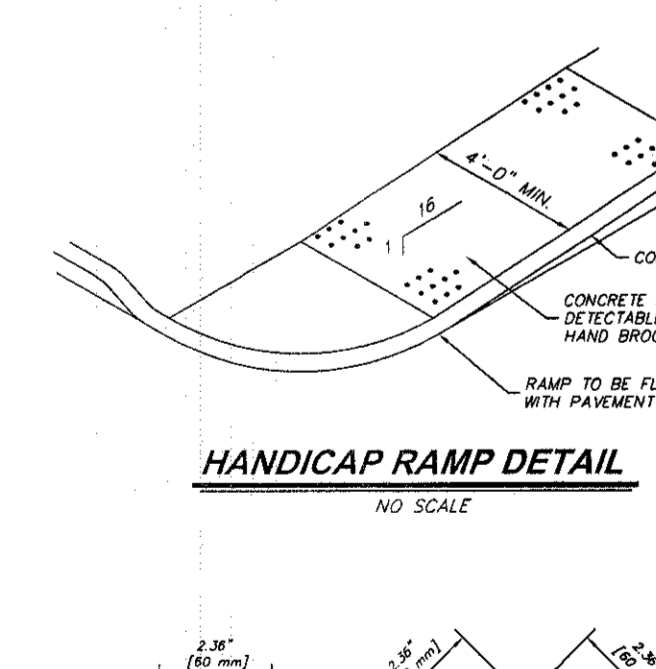
**HANDICAP RAMP DETAIL**  
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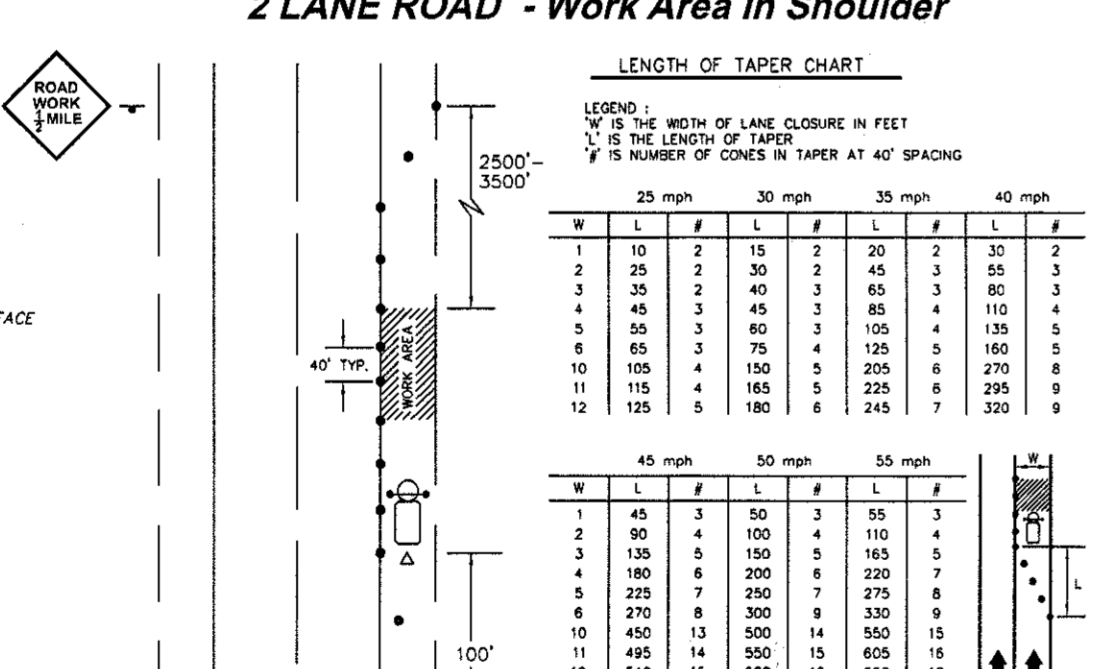
**DEPRESSED CURB AT SIDEWALK RAMP DETAIL**  
NO SCALE



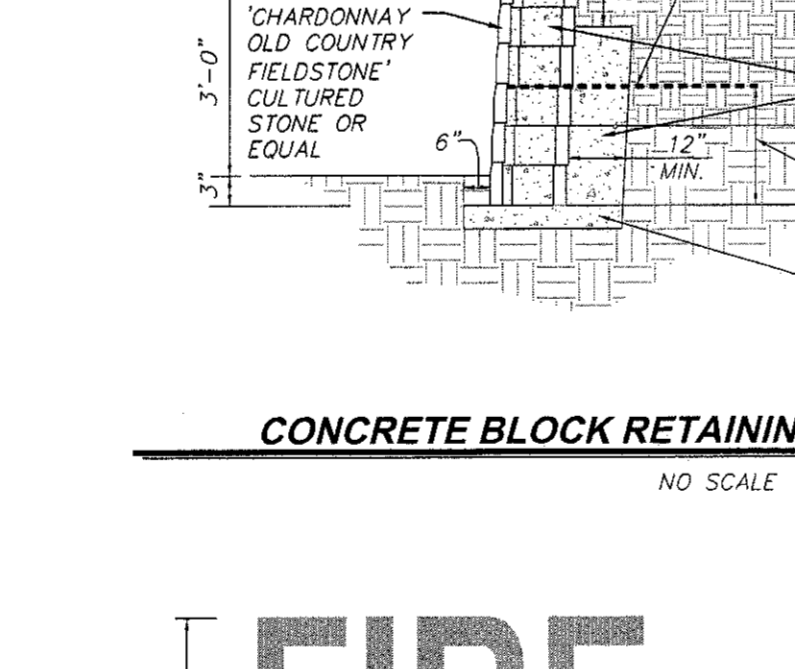
**HANDICAPPED PARKING SYMBOL**  
NO SCALE



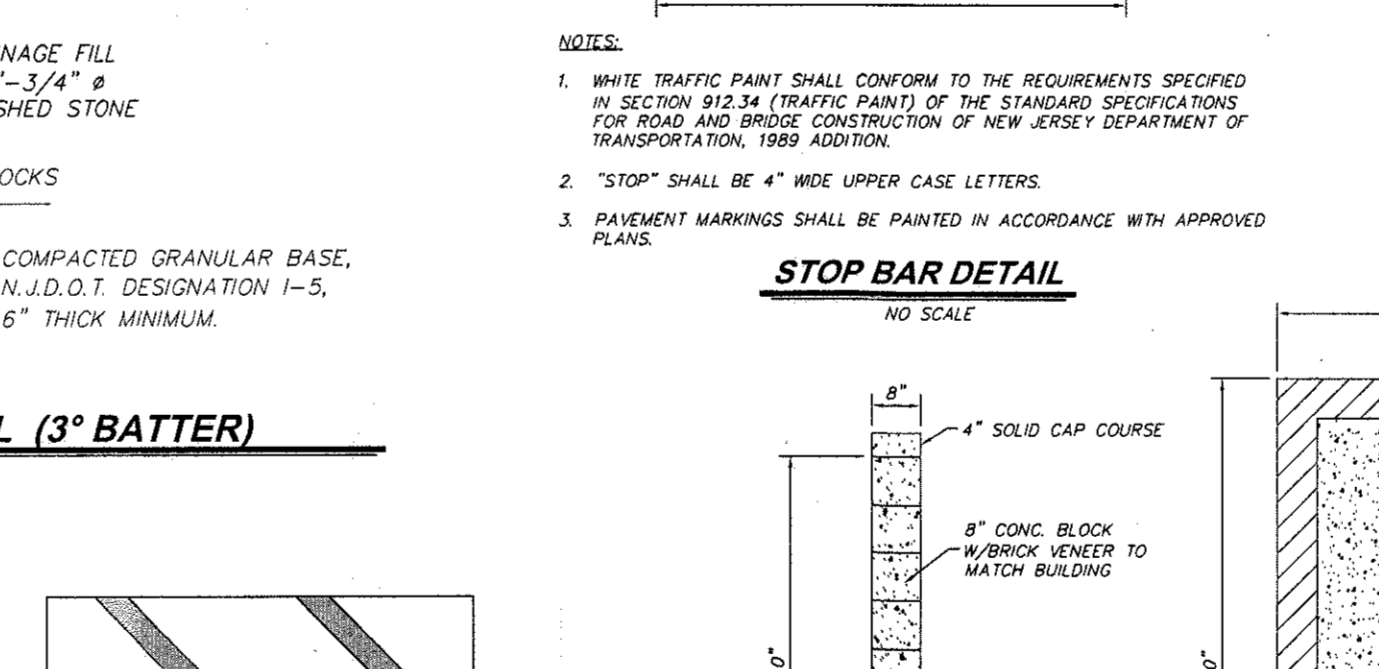
**HANDICAP RAMP DETAIL**  
NO SCALE



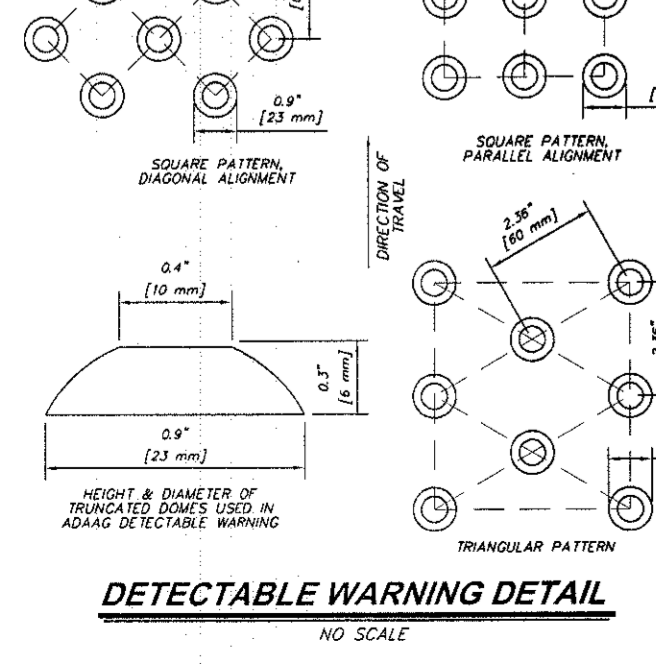
**HANDICAP RAMP DETAIL**  
NO SCALE



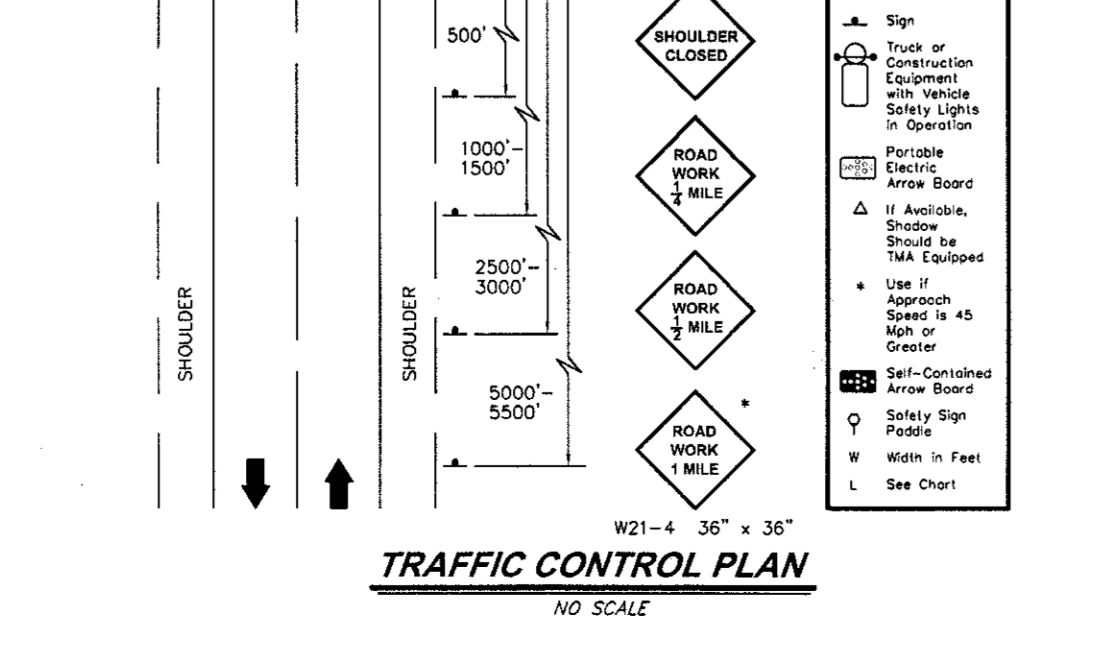
**CONCRETE BLOCK RETAINING WALL (3° BATTER)**  
NO SCALE



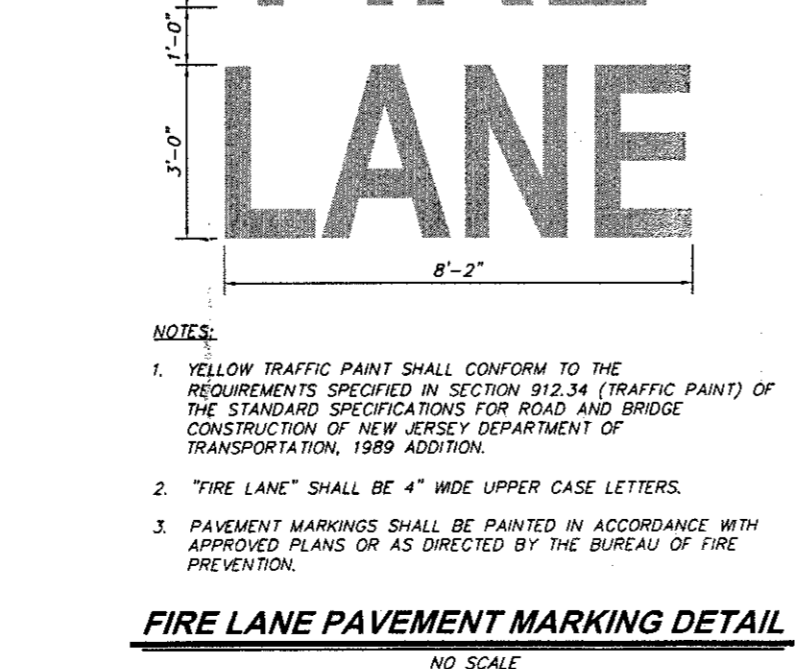
**FIRE LANE**  
NO SCALE



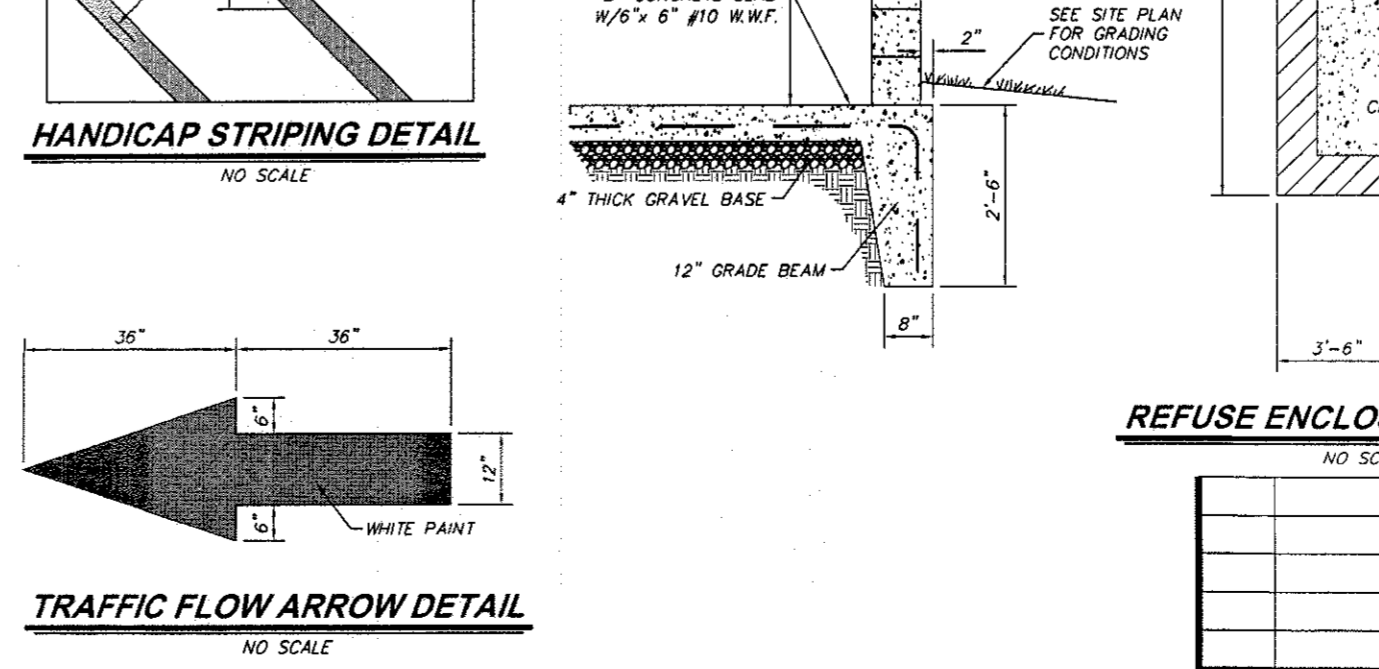
**DETECTABLE WARNING DETAIL**  
NO SCALE



**TRAFFIC CONTROL PLAN**  
NO SCALE



**FIRE LANE PAVEMENT MARKING DETAIL**  
NO SCALE



**HANDICAP STRIPING DETAIL**  
NO SCALE

Job Name: Wemrock, LLC  
Job Number: 2058  
Block: 69.01 Tax Lot: 33

Test Pit No: 1  
Date: 12/28/06  
Weather: 40°F

Depth	Color/Hue	Color Descriptor	Texture	Mottle or Fragments
0-3"			Topsoil	
3"-11"	10YR 6/8	Brownish Yellow	Soft Single Grain Loamy Sand w/ 30% Gravel	
11"-91"	7.5YR 4/6	Strong Brown	Soft Subangular Blocky Sandy Loam	15% Iron Stone
91"-120"	7.5YR 6/8	Reddish Yellow	Soft Subangular Blocky Sandy Loam	15% Iron Stone

Comments:  
Existing Elevation = 157.5  
Seasonal High Ground Water Indicators Not Observed  
Ground Water Not Encountered  
Witnessed By: Christine Whitehead  
Soil Type: Evesboro, EVC  
Hydrological Soil Group: A  
Permeability Test Performed on 1/3/07  
K = 49.8 in/hr @ 65" Depth  
K = 51.1 in/hr @ 85" Depth

Job Name: Wemrock, LLC  
Job Number: 2058  
Block: 69.01 Tax Lot: 33

Test Pit No: 3  
Date: 12/28/06  
Weather: 40°F

Depth	Color/Hue	Color Descriptor	Texture	Mottle or Fragments
0-13"			Topsoil	
13"-105"	7.5YR 5/6	Strong Brown	Soft Subangular Blocky Sandy Loam	15% Iron Stone
105"-120"	7.5YR 6/8	Reddish Yellow	Soft Subangular Blocky Sandy Loam	15% Iron Stone

Comments:  
Existing Elevation = 154.3  
Seasonal High Ground Water Indicators Not Observed  
Ground Water Not Encountered  
Witnessed By: Christine Whitehead  
Soil Type: Evesboro, EVC  
Hydrological Soil Group: A  
Permeability Test Performed on 1/3/07  
K = 24.1 in/hr @ 65" Depth  
K = 18.7 in/hr @ 85" Depth

Job Name: Wemrock, LLC  
Job Number: 2058  
Block: 69.01 Tax Lot: 33

Test Pit No: 5  
Date: 12/28/06  
Weather: 40°F

Depth	Color/Hue	Color Descriptor	Texture	Mottle or Fragments
0-10"			Topsoil	
10"-120"	7.5YR 4/6	Strong Brown	Soft Subangular Blocky Sandy Loam	Common Medium Distinct Yellowish Red (5YR 5/8) Mottles @ 115" 15% Iron Stone

Comments:  
Existing Elevation = 158.4  
Seasonal High Ground Water Indicators Observed @ 115" (Elevation = 148.9)  
Ground Water Not Encountered  
Witnessed By: Christine Whitehead  
Soil Type: Evesboro, EVC  
Hydrological Soil Group: A  
Permeability Test Performed on 1/3/07  
K = 37.3 in/hr @ 65" Depth  
K = 49.5 in/hr @ 85" Depth

Job Name: Wemrock, LLC  
Job Number: 2058  
Block: 69.01 Tax Lot: 33

Test Pit No: 7  
Date: 12/28/06  
Weather: 40°F

Depth	Color/Hue	Color Descriptor	Texture	Mottle or Fragments
0-12"			Gravel	
12"-120"	7.5YR 5/8	Strong Brown	Soft Subangular Blocky Sandy Loam w/ 5% Gravel	Common Medium Distinct Yellowish Red (5YR 5/8) Mottles @ 105"

Comments:  
Existing Elevation = 153.8  
Seasonal High Ground Water Indicators Observed @ 105" (Elevation = 144.8)  
Ground Water Not Encountered  
Witnessed By: Christine Whitehead  
Soil Type: Evesboro, EVC  
Hydrological Soil Group: A  
Permeability Test Performed on 1/3/07  
K = 44.1 in/hr @ 65" Depth  
K = 78.1 in/hr @ 85" Depth

Job Name: Wemrock, LLC  
Job Number: 2058  
Block: 69.01 Tax Lot: 33

Test Pit No: 2  
Date: 12/28/06  
Weather: 40°F

Depth	Color/Hue	Color Descriptor	Texture	Mottle or Fragments
0-8"			Topsoil	
8"-105"	7.5YR 4/6	Strong Brown	Soft Subangular Blocky Sandy Loam	15% Iron Stone
105"-120"	7.5YR 5/8	Strong Brown	Soft Subangular Blocky Sandy Loam	15% Iron Stone

Comments:  
Existing Elevation = 157.5  
Seasonal High Ground Water Indicators Not Observed  
Ground Water Not Encountered  
Witnessed By: Christine Whitehead  
Soil Type: Evesboro, EVC  
Hydrological Soil Group: A  
Permeability Test Performed on 1/3/07  
K = 49.8 in/hr @ 65" Depth  
K = 51.1 in/hr @ 85" Depth

Job Name: Wemrock, LLC  
Job Number: 2058  
Block: 69.01 Tax Lot: 33

Test Pit No: 4  
Date: 12/28/06  
Weather: 40°F

Depth	Color/Hue	Color Descriptor	Texture	Mottle or Fragments
0-8"			Topsoil	
8"-111"	7.5YR 4/6	Strong Brown	Soft Subangular Blocky Sandy Loam	15% Iron Stone
111"-120"	7.5YR 6/8	Reddish Yellow	Soft Subangular Blocky Sandy Loam	15% Iron Stone

Comments:  
Existing Elevation = 154.5  
Seasonal High Ground Water Indicators Not Observed  
Ground Water Not Encountered  
Witnessed By: Christine Whitehead  
Soil Type: Evesboro, EVC  
Hydrological Soil Group: A  
Permeability Test Performed on 1/3/07  
K = 80.0 in/hr @ 65" Depth

Job Name: Wemrock, LLC  
Job Number: 2058  
Block: 69.01 Tax Lot: 33

Test Pit No: 6  
Date: 12/28/06  
Weather: 40°F

Depth	Color/Hue	Color Descriptor	Texture	Mottle or Fragments
0-8"			Topsoil	
8"-115"	7.5YR 4/6	Strong Brown	Soft Subangular Blocky Sandy Loam	15% Iron Stone

Comments:  
Existing Elevation = 156.8  
Seasonal High Ground Water Indicators Not Observed  
Ground Water Not Encountered  
Witnessed By: Christine Whitehead  
Soil Type: Evesboro, EVC  
Hydrological Soil Group: A  
Permeability Test Performed on 1/3/07  
K = 49.5 in/hr @ 65" Depth

Job Name: Wemrock, LLC  
Job Number: 2058  
Block: 69.01 Tax Lot: 33

Test Pit No: 8  
Date: 12/28/06  
Weather: 40°F

Depth	Color/Hue	Color Descriptor	Texture	Mottle or Fragments
0-20"			Old Gravel Driveway	
20"-120"	7.5YR 5/8	Strong Brown	Soft Subangular Blocky Sandy Loam	Common Medium Distinct Yellowish Red (5YR 5/8) Mottles @ 72" 15% Iron Stone

Comments:  
Existing Elevation = 153.1  
Seasonal High Ground Water Indicators Observed @ 85" (Elevation = 145.8)  
Ground Water Not Encountered  
Witnessed By: Christine Whitehead  
Soil Type: Evesboro, EVC  
Hydrological Soil Group: A  
Permeability Test Performed on 1/3/07  
K = 36.4 in/hr @ 65" Depth  
K = 65.9 in/hr @ 85" Depth

**FINAL MAJOR SITE PLAN**  
**TAX LOT 33 BLOCK 69.01**  
TAX MAP SHEET NO. 21, LAST REVISED 3/30/98  
**FREEHOLD TOWNSHIP**  
MONMOUTH COUNTY, NEW JERSEY

**CONSTRUCTION DETAILS**

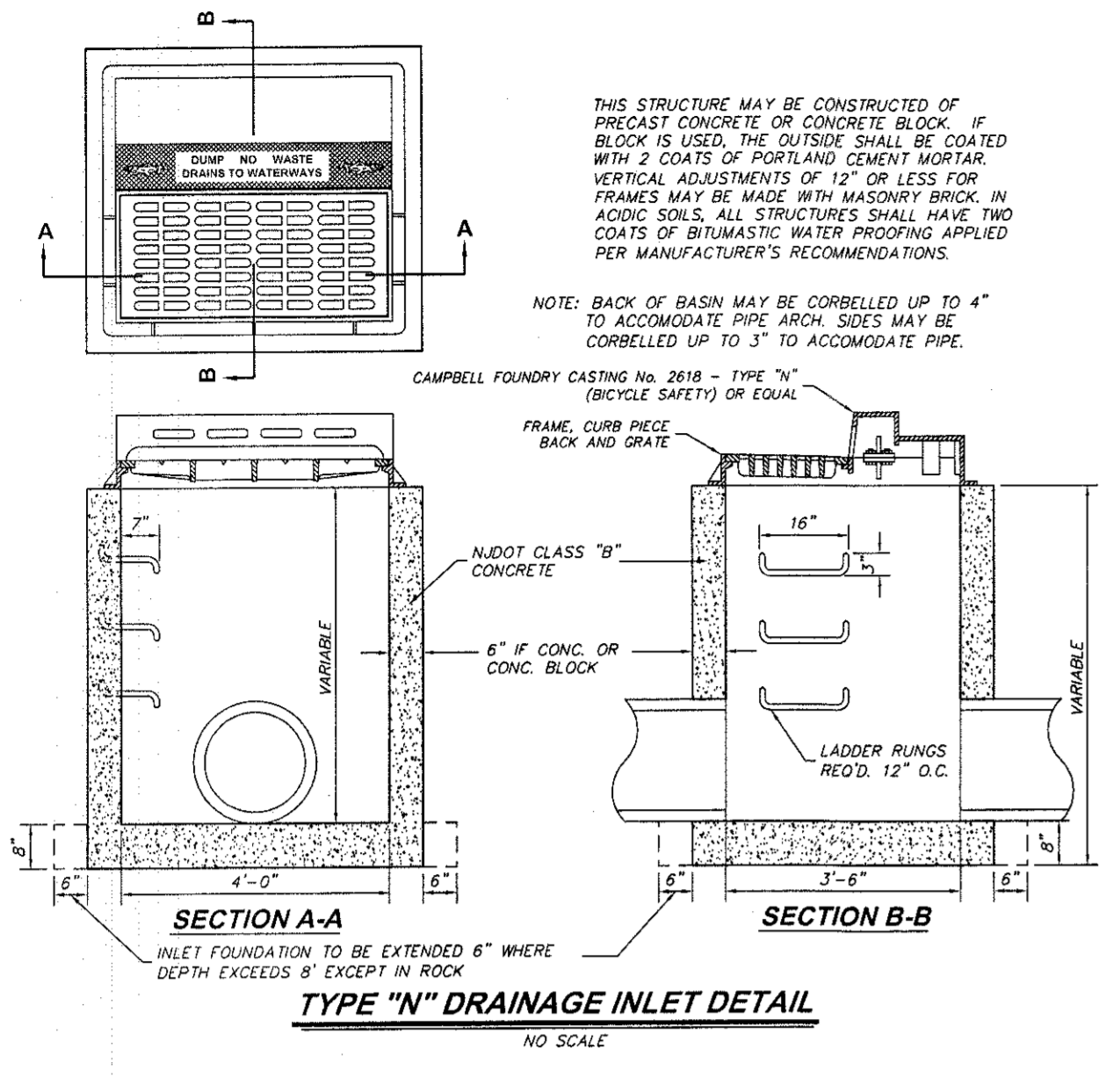
**Geller Sive & Company** Consulting Engineers & Planners  
Civil • Site • Transportation  
Traffic • Municipal

Office Location: 958 Adelphia Road, Adelphia, NJ 07710  
Mailing Address: PO Box 249, Adelphia, NJ 07710  
Phone: 732-625-7919  
Fax: 732-625-9313  
www.gellersive.com

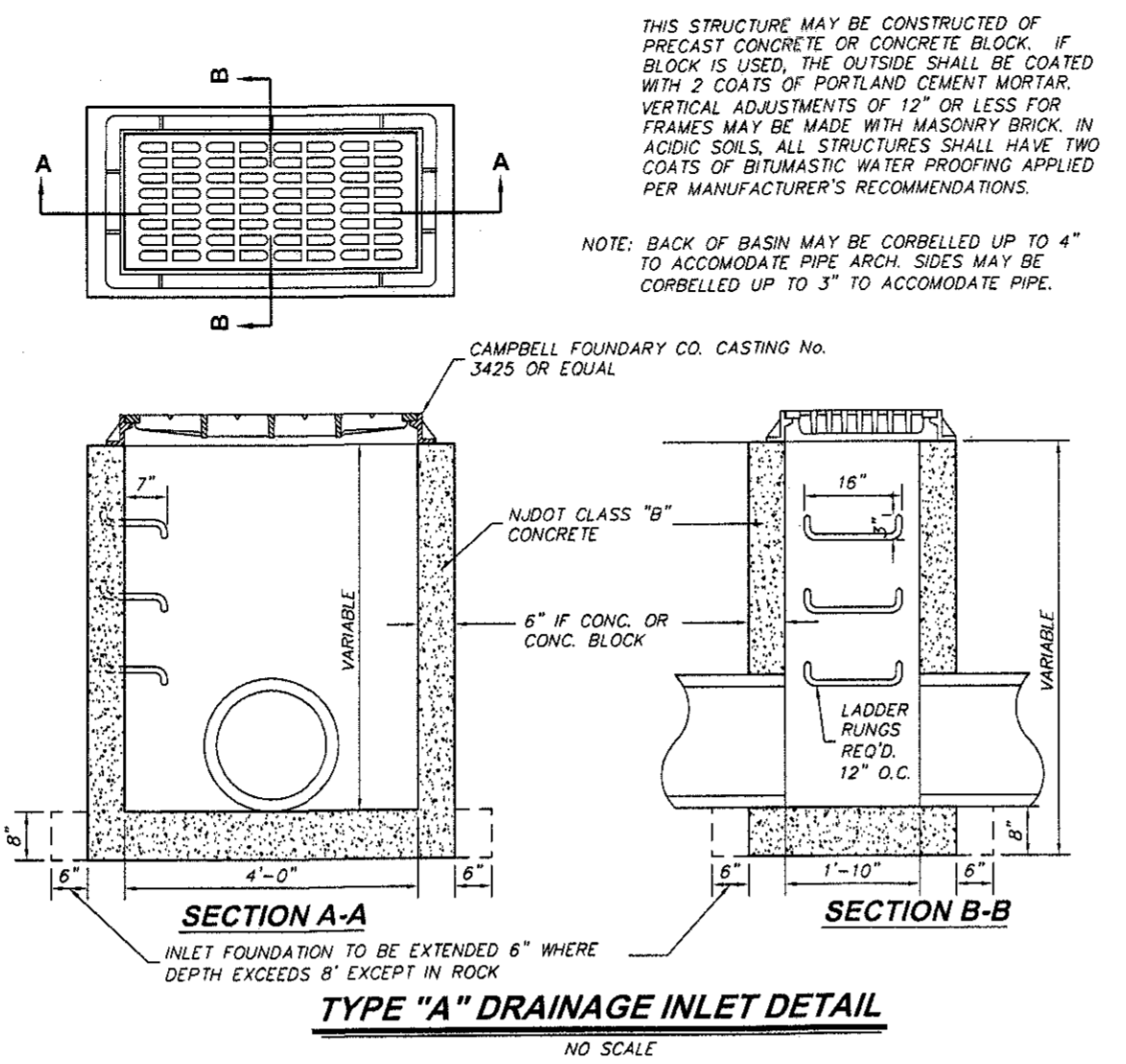
Certificate of Authorization No. 24GA28105200

**ROBERT D. SIVE**  
N.J. Professional Engineer No. 43816

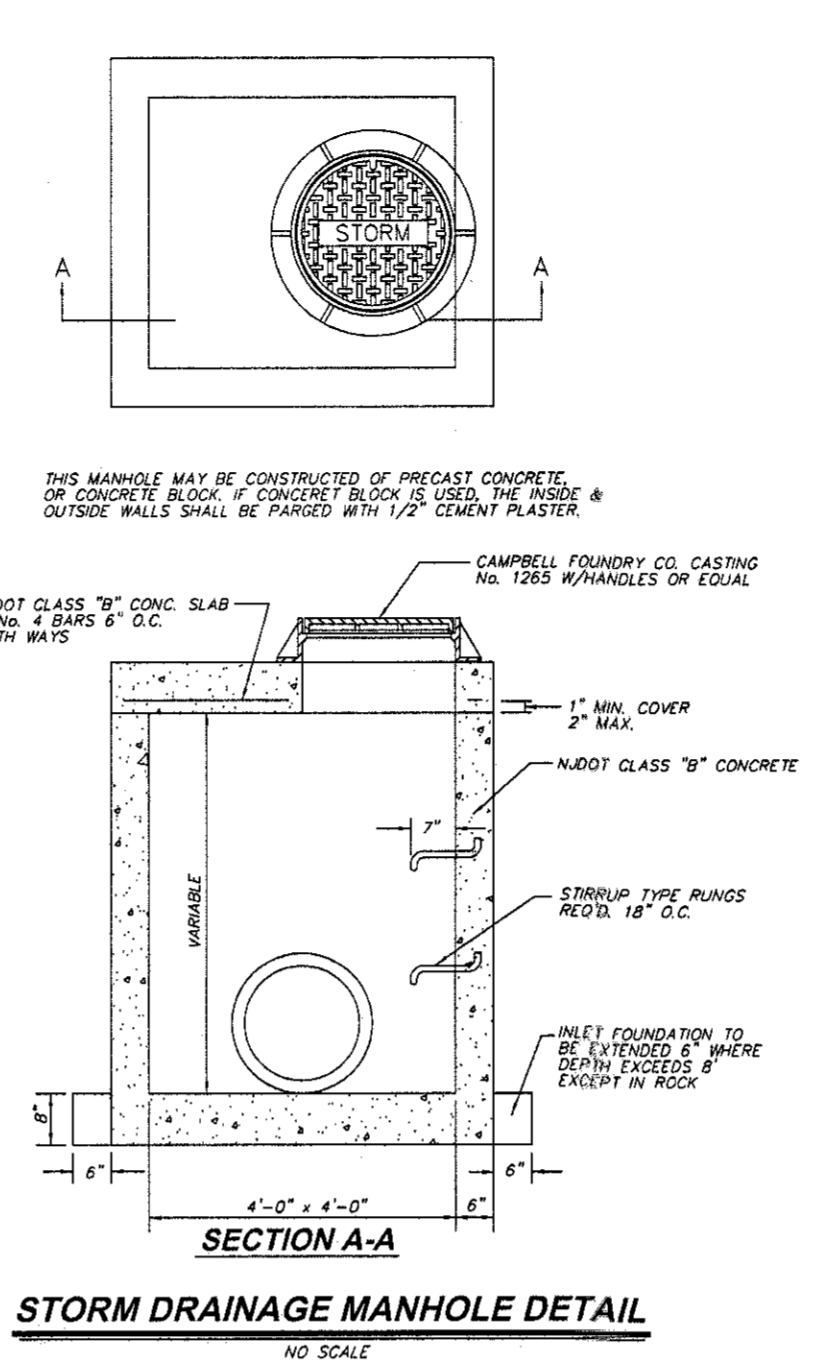
DESIGNED BY: M.M. DATE: 11/11/09 SCALE: AS SHOWN SHEET: 15 OF 20 JOB NUMBER: 2058  
CHECKED BY: RS



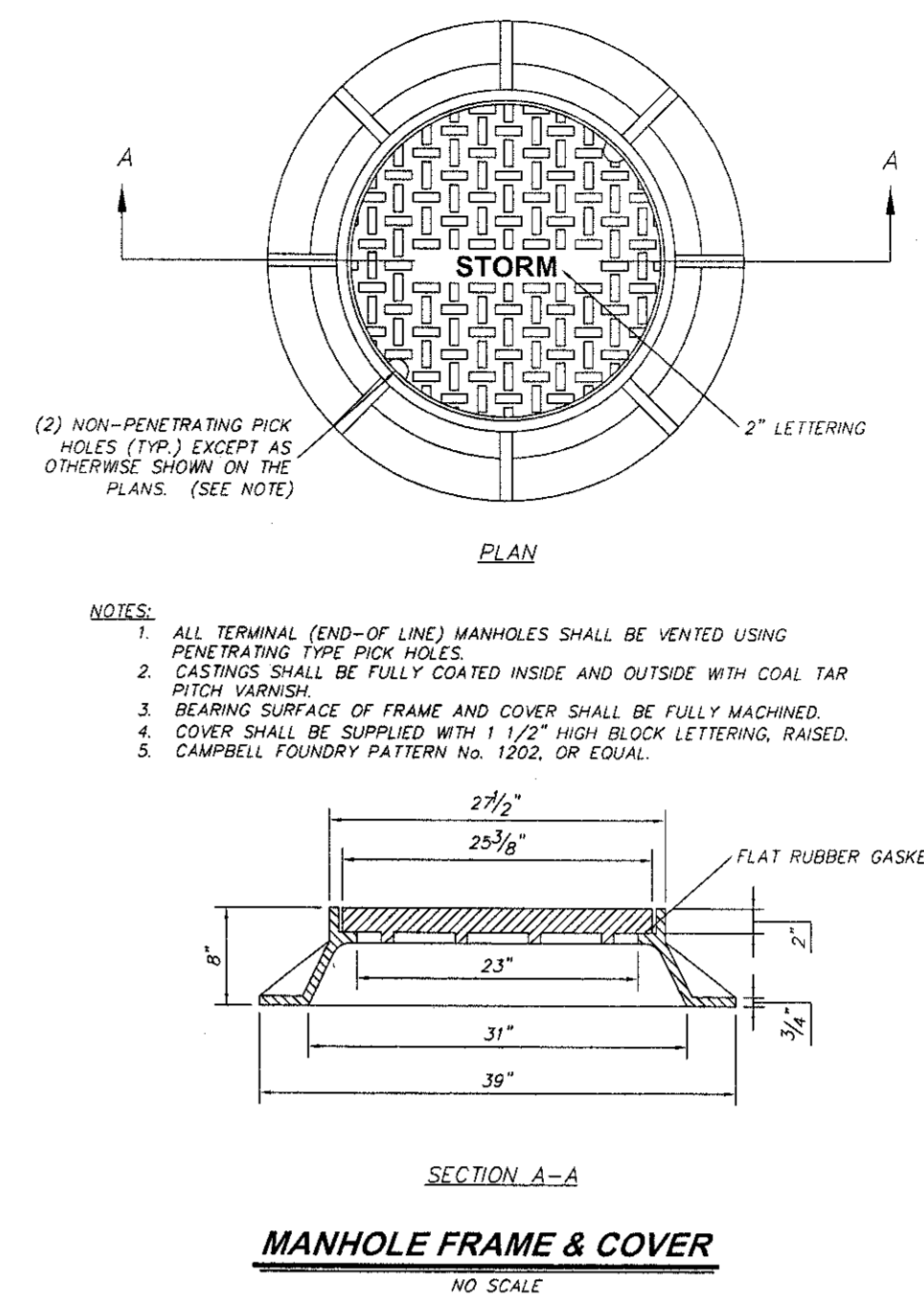
**TYPE "N" DRAINAGE INLET DETAIL**  
NO SCALE



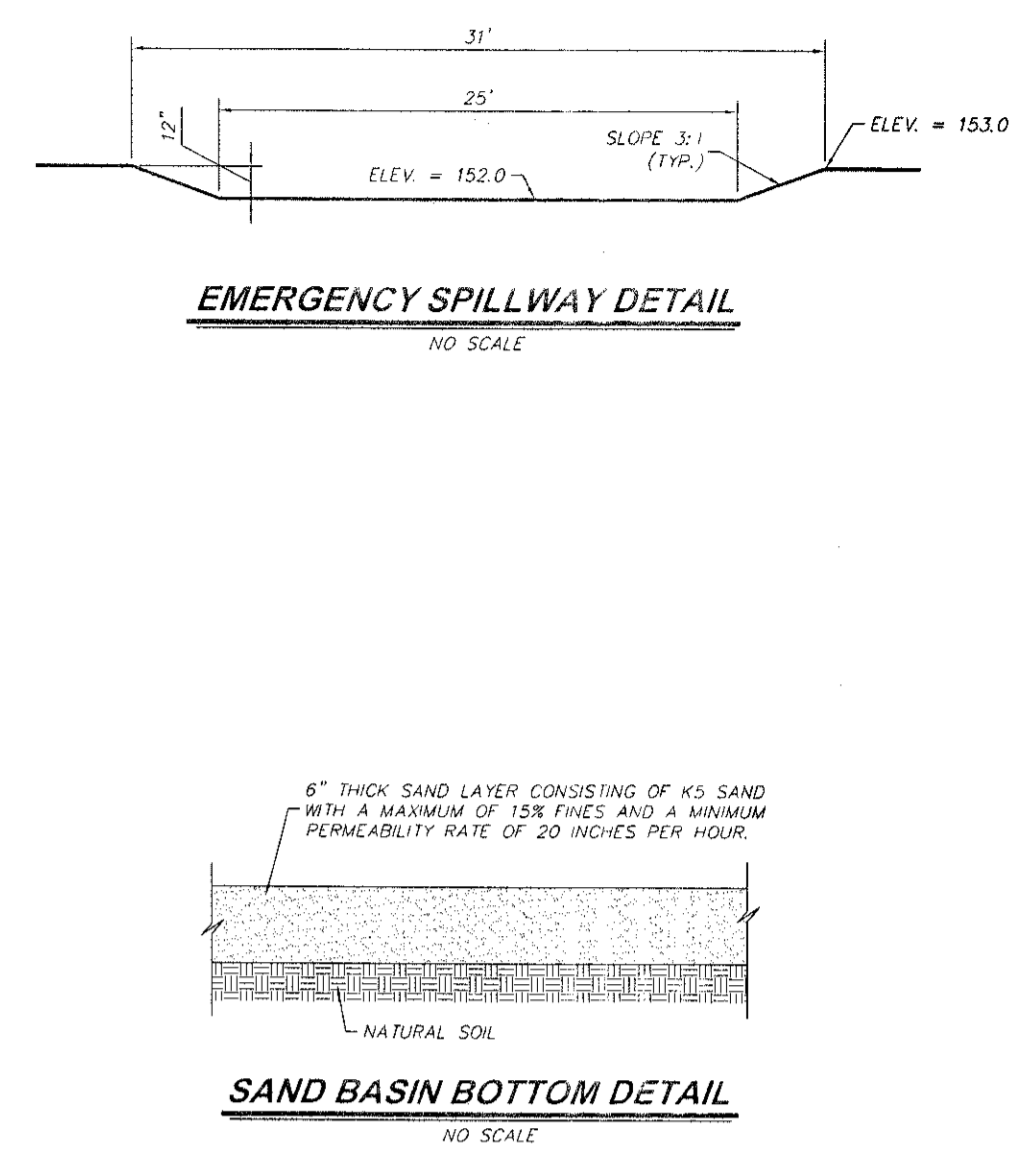
**TYPE "A" DRAINAGE INLET DETAIL**  
NO SCALE



**STORM DRAINAGE MANHOLE DETAIL**  
NO SCALE



**MANHOLE FRAME & COVER**  
NO SCALE

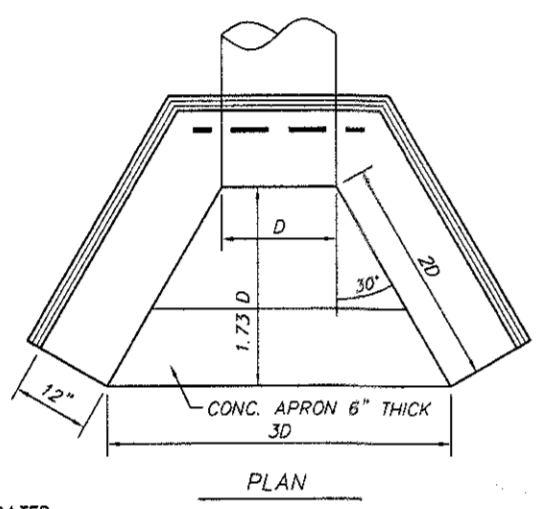


**EMERGENCY SPILLWAY DETAIL**  
NO SCALE

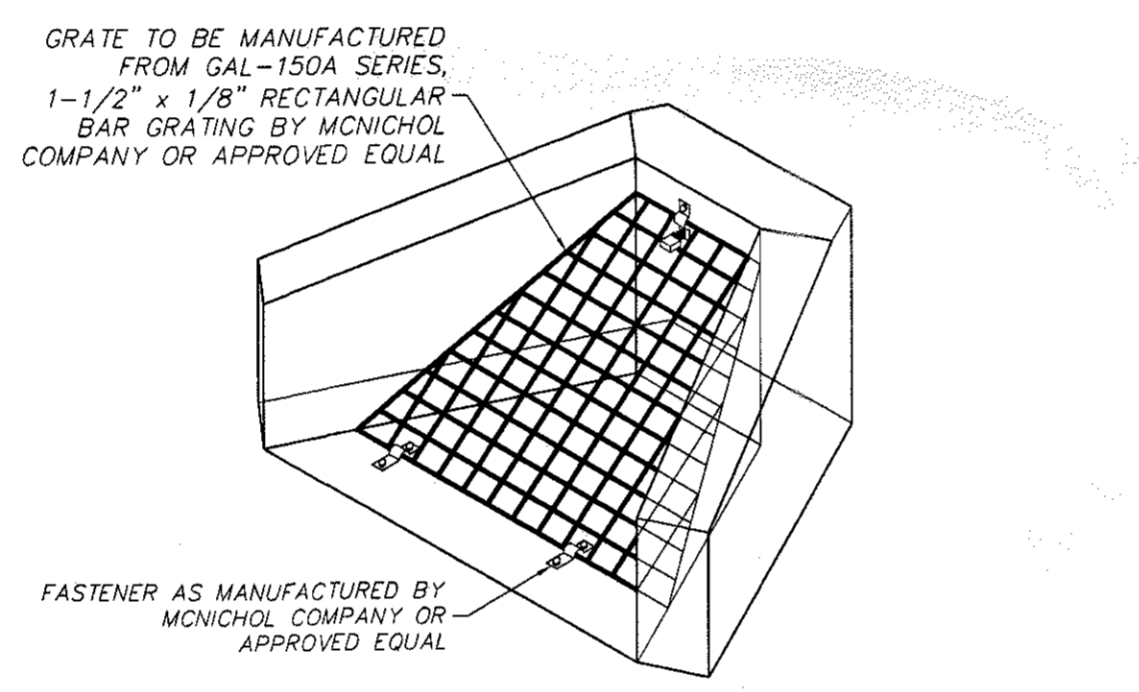
**SAND BASIN BOTTOM DETAIL**  
NO SCALE

PIPE SIZE	HEADWALLS IN CUBIC YARDS CORR. METAL	APRONS IN CUBIC YARDS REIN. CONC.	APRONS IN CUBIC YARDS CONC.
12"	1.4	1.4	0.2
15"	1.7	1.7	0.2
18"	2.1	2.1	0.3
21"	2.5	2.5	0.4
24"	2.9	2.9	0.5
27"	3.3	3.4	0.6
30"	3.7	3.8	0.7
36"	4.7	4.8	0.9
42"	5.6	6.3	1.2
48"	7.6	8.4	1.5
54"	9.7	10.7	1.8
60"	12.2	13.4	2.1
66"	15.0	16.4	2.5
72"	18.1	19.9	3.0

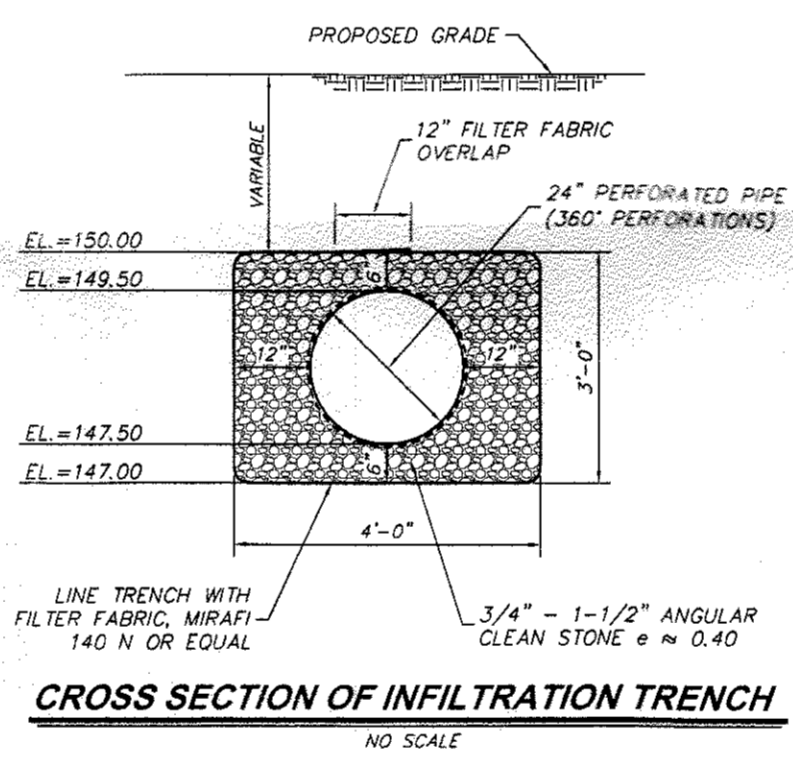
GENERAL NOTES:  
1. ALL EDGES TO BE CHAMFERED 1".  
2. CONCRETE TO BE N.J.D.O.T. CLASS "C".  
3. EXPOSED PORTIONS OF WALL TO BE RUBBED & FLOATED.  
4. FOR ARCH PIPE, THE SPAN SHALL BE SUBSTITUTED FOR "D".



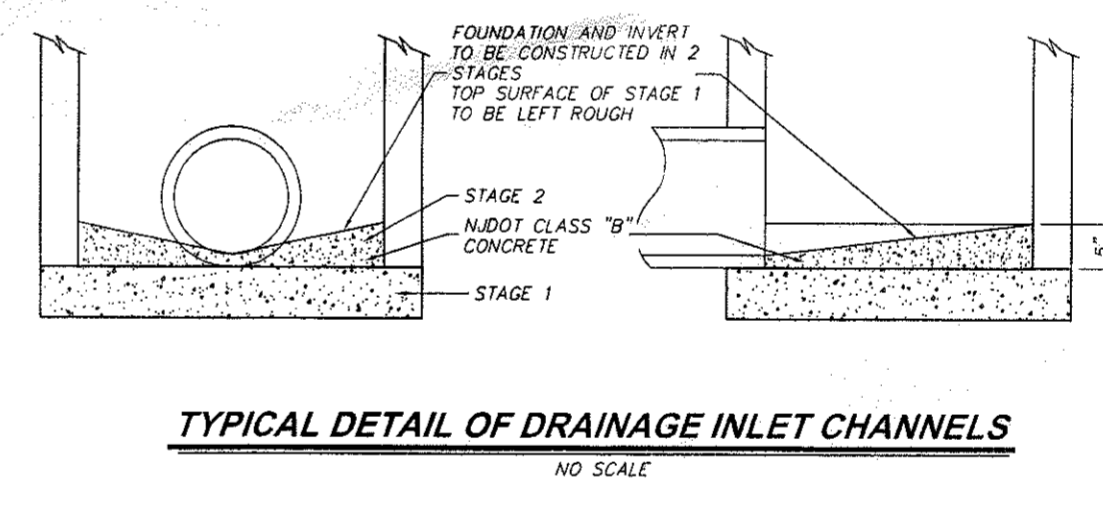
PLAN



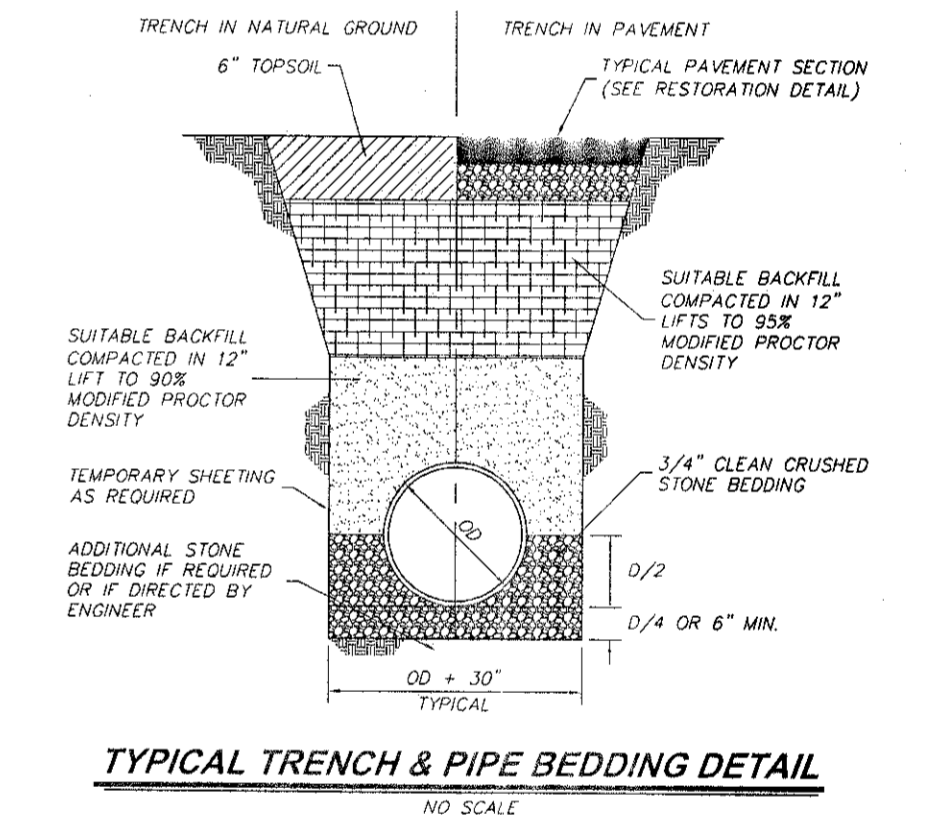
**OUTLET STRUCTURE & HEADWALL TRASH RACK DETAIL**  
NO SCALE



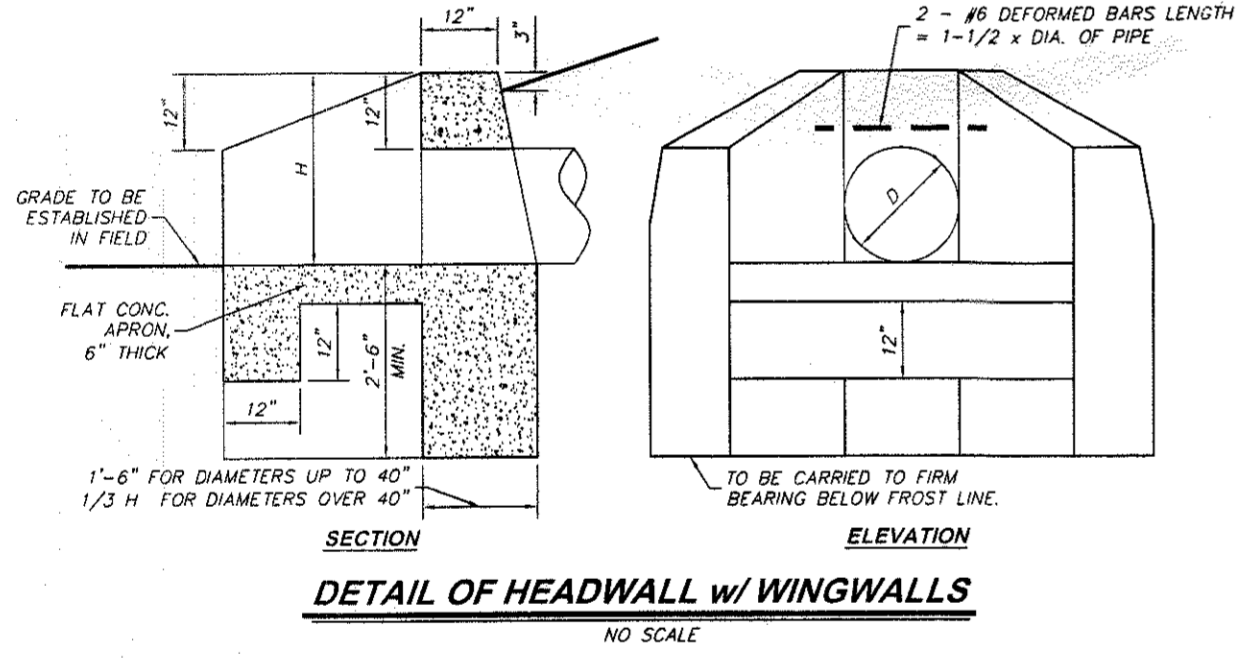
**CROSS SECTION OF INFILTRATION TRENCH**  
NO SCALE



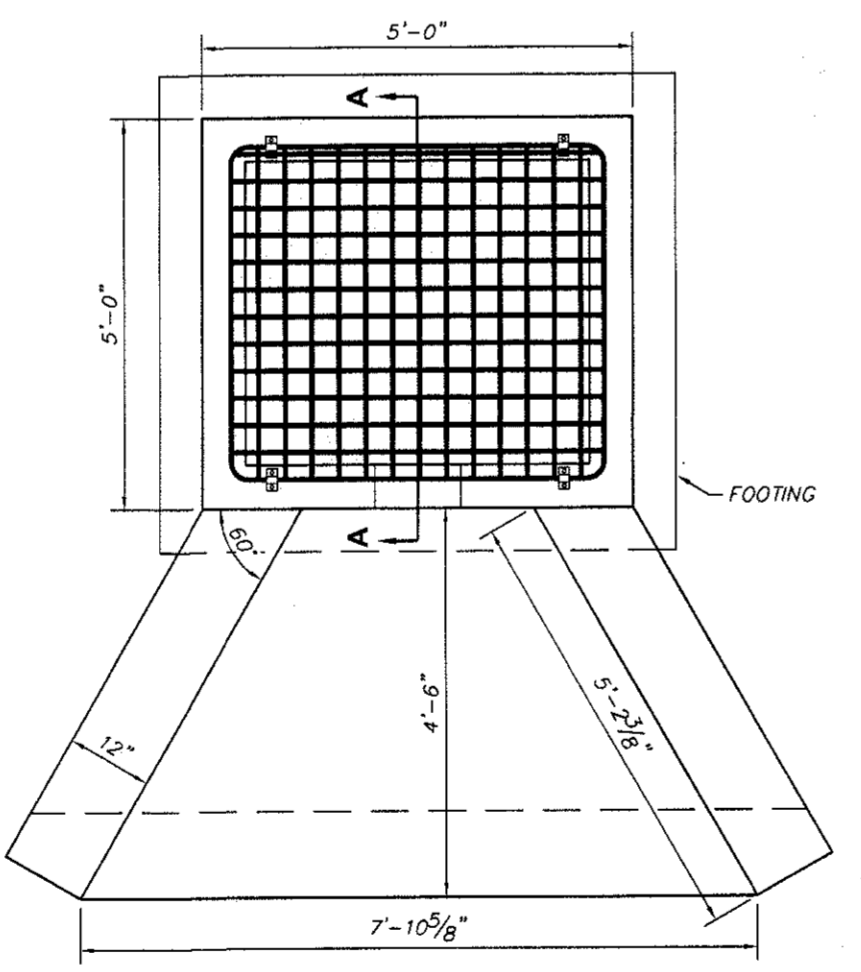
**TYPICAL DETAIL OF DRAINAGE INLET CHANNELS**  
NO SCALE



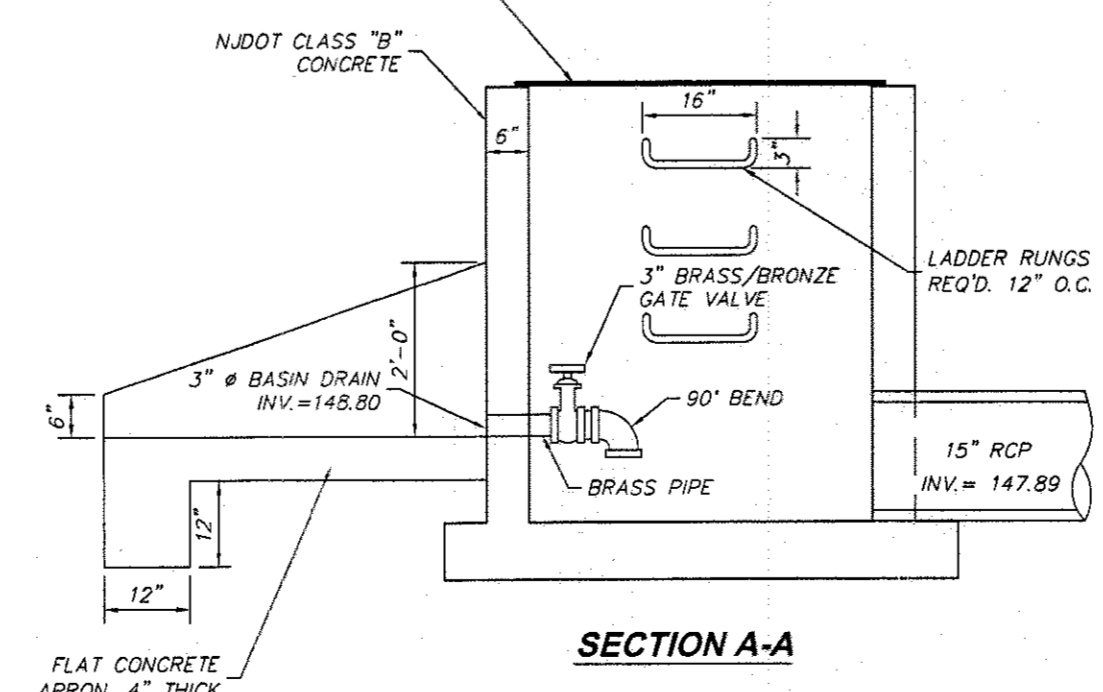
**TYPICAL TRENCH & PIPE BEDDING DETAIL**  
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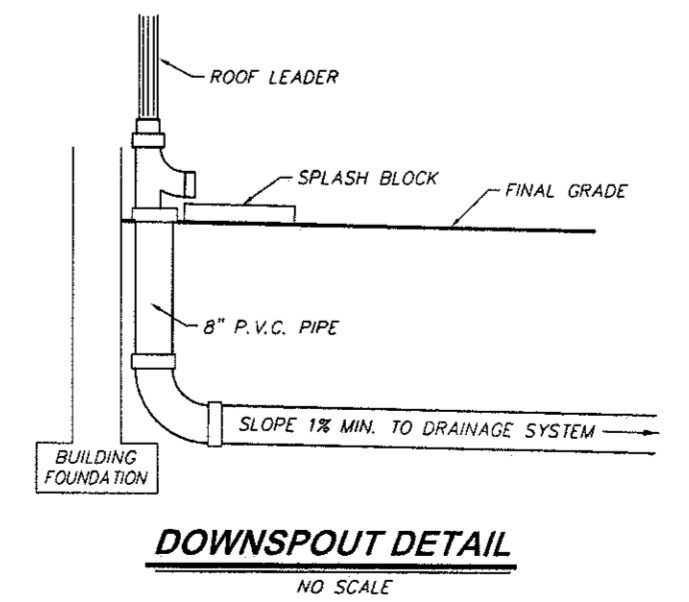
**DETAIL OF HEADWALL w/ WINGWALLS**  
NO SCALE



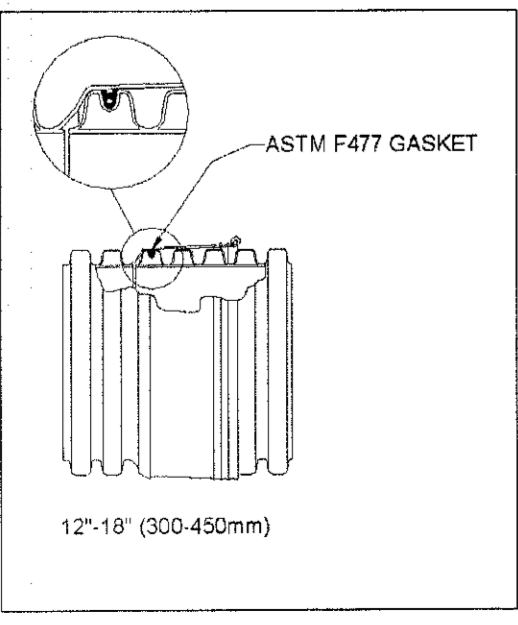
**OUTLET CONTROL STRUCTURE DETAIL**  
NO SCALE



**SECTION A-A**



**DOWNSPOUT DETAIL**  
NO SCALE



**PERFORATED SURE-LOK ST H.D.P.E. PIPE CONNECTION DETAILS**  
NO SCALE

**FINAL MAJOR SITE PLAN**  
**TAX LOT 33 BLOCK 69.01**  
TAX MAP SHEET NO. 21, LAST REVISED 3/30/98  
**FREEHOLD TOWNSHIP**  
**MONMOUTH COUNTY, NEW JERSEY**

**CONSTRUCTION DETAILS**

**Geller Sive & Company** Consulting Engineers & Planners  
Civil • Site • Transportation  
Traffic • Municipal

Office Location: 958 Adelphi Road, Adelphi, NJ 07710  
Mailing Address: P.O. Box 240, Adelphi, NJ 07710  
Phone: 732-625-7919  
Fax: 732-625-9313  
www.gellersive.com  
Certificate of Authorization No. 24GA28105200

**ROBERT D. SIVE** Professional Engineer No. 43816  
DATE: 11/16/09

DRAWN BY: M.M.	DATE: 11/11/09	SCALE: AS SHOWN	SHEET: 16 OF 20	JOB NUMBER: 2058
CHECKED BY: R5				

File: P:\1050\Drawings\Plan\Detailing.dwg, Sheet: Detail 2, Date: 11/12/09, 11:42 am, By: mchiccol, Software: AutoCAD, AutoCAD 2008





**LAWN AND LANDSCAPED AREA MAINTENANCE**

DESCRIPTION: MAINTENANCE INVOLVES ROUTINE PERIODIC INSPECTION OF THE VEGETATION, FERTILIZATION AND THE CORRECTION OF EROSION PROBLEMS.

- SCHEDULE III - ANNUALLY OR AS NOTED
- SHRUBS & TREES - BETWEEN MARCH 1 AND APRIL 15
- MOWING - AS REQUIRED
- FERTILIZE - FALL - BETWEEN SEPTEMBER 1 AND OCTOBER 15
- LIMING - BETWEEN SEPTEMBER 1 AND OCTOBER 15
- SOIL TESTING - BETWEEN SEPTEMBER 1 AND OCTOBER 15
- PEST & DISEASE CONTROL - AS REQUIRED
- OVERSEEDING - BETWEEN SEPTEMBER 1 AND OCTOBER 15 (AS REQUIRED)
- AERATION - BETWEEN SEPTEMBER 1 AND OCTOBER 15 (AS REQUIRED)

1. MAINTENANCE - GENERAL
  - A. THE CONTRACTOR SHALL INSPECT ALL AREAS TO VERIFY THAT ALL WORK IS BEING PERFORMED PROPERLY AND AS SCHEDULED, LOCATE POTENTIAL PROBLEMS AND CORRECT UNACCEPTABLE CONDITIONS. A BRIEF VERBAL REPORT IS TO BE SUBMITTED TO THE OWNER. PROBLEMS REQUIRING IMMEDIATE ATTENTION SHALL BE REPORTED TO THE OWNER.
2. SHRUBS & TREES:
  - A. THESE PLANTS SHALL BE MAINTAINED IN A NATURAL SETTING. NO SHEARING IS ALLOWED. SHRUBS AND TREES WILL BE HAND-PRUNED TO REMOVE DEAD OR DISEASED BRANCHES. DEAD PLANT MATERIAL SHALL BE REPLACED IN KIND UNLESS CULTURAL REQUIREMENTS NECESSITATE CHANGE. WHEN PLANTING WITHIN COMPACTED SLOPES, EXCAVATE LARGER HOLES AND BACKFILL WITH SUITABLE PLANTING MEDIUM.
3. MOWING:
  - A. ALL CLIPPINGS ARE TO BE RAKED, BAGGED AND DISPOSED OFF-SITE TO PREVENT CLOGGING OF THE OUTLET CONTROL STRUCTURE.
4. FERTILIZE:
  - A. ALL: FERTILIZER ANALYSES AND RATES ARE TO BE BASED ON SOIL TEST RESULTS. STANDARD FERTILIZER BLENDS RATHER THAN CUSTOM BLENDS ARE ASSUMED.
5. LIMING:
  - A. ONE APPLICATION IN THE FALL AS REQUIRED BY A SOIL TEST. MINIMUM REQUIREMENTS - LIME WITH PULVERIZED DOLOMITE LIMESTONE AT A RATE OF 100 LBS/1,000 SF.
6. SOIL TESTING:
  - A. THE CONTRACTOR SHALL TAKE SOIL SAMPLES FROM GRASSED AREAS FOR THE FOLLOWING ANALYSES: PH, AVAILABLE MG. P, K, C, RECOMMENDED NITROGEN APPLICATION. COPIES OF THE ANALYSES FOR EACH AREA ARE TO BE FURNISHED TO THE OWNER. SAMPLES SHALL BE TAKEN BEFORE LIMING AND FERTILIZATION AS NOTED ON THE SCHEDULE.
7. TURF DISEASE AND PEST CONTROL:
  - A. AS REQUIRED, SUBMIT TO THE OWNER THE FOLLOWING INFORMATION BEFORE SPRAYING:
    - i. TARGETED PESTS OR DISEASES
    - ii. MATERIALS AND METHODS USED.
8. OVERSEEDING:
  - A. OVERSEEDING IS SCHEDULED, AS REQUIRED PER FIELD INSPECTION; OR A MINIMUM OF ONCE EVERY FOUR (4) YEARS. A VARISEEDER OR EQUAL EQUIPMENT SHOULD BE USED TO OVERSEED DESIGNATED LAWN AREAS. SEED TYPE AND RATE PER THE FOLLOWING SCHEDULE:
    - i. SEED TYPE AND RATES FOR GRASS BASIN BOTTOMS:
      - LOFT RECLAIM CONSERVATION MIX - DAMP FORMULA (AT A RATE OF 5 LBS/1,000 SF)
      - 45% TALL FESCUES
      - 10% PERENNIAL RYEGRASS
      - 25% POA TRIVIALIS
      - 10% SALT TOLERANT GRASS
      - 5% REDTOP
      - 5% REED CANARY GRASS
    - ii. SEED TYPE AND RATES FOR LAWN AREAS, GRASS BASIN SIDE SLOPES AND BERMS:
      - SCS SEED MIX 16
      - 3.5 LBS/1,000 SF TALL FESCUES
      - 0.4 LBS/1,000 SF KENTUCKY BLUE GRASS (BLEND)
      - 0.4 LBS/1,000 SF PERENNIAL RYEGRASS (BLEND)
    - iii. SEED TYPE AND RATES FOR LOW MAINTENANCE AREAS:
      - LOFTS RECLAIM NATIVE GRASS MIXTURE - (AT A RATE OF 60 LBS/ACRE)
      - 30% LITTLE BLUESTEM
      - 20% INDIAN GRASS
      - 20% AZURE BLUE FESCUE
      - 15% SIDE OATS GRAMA
      - 10% BIG BLUESTEM
      - 5% SWITCHGRASS
9. AERATION:
  - A. A CORING WITH 3" MINIMUM HOLLOW TINES SHOULD BE USED TO AERATE LAWN AREAS. FOLLOWED BY A STEEL DRAG MAT TO DISPERSE CORES. CORING SHOULD BE TIMED FOR ADEQUATE SOIL MOISTURE TO INSURE PROPER PENETRATION AND PLUG REMOVAL. CORING SHOULD BE DONE IN CONJUNCTION WITH FERTILIZATION AND/OR LIMING AND OVERSEEDING IN THE FALL, ONCE A YEAR.

**INFILTRATION BASIN MAINTENANCE**

DESCRIPTION: EFFECTIVE INFILTRATION BASIN PERFORMANCE REQUIRES REGULAR AND EFFECTIVE MAINTENANCE. MAINTENANCE INVOLVES ROUTINE PERIODIC INSPECTION OF THE VEGETATION, THE REMOVAL OF ACCUMULATED SEDIMENT/DEBRIS AND THE CORRECTION OF ANY STRUCTURAL OR EROSION PROBLEMS.

- SCHEDULE I - FOUR TIMES ANNUALLY AND AFTER STORMS EXCEEDING 1 INCH OF RAINFALL
- SCHEDULE IA - ONCE A MONTH DURING THE GROWING SEASON
- SCHEDULE II - BI-ANNUALLY, DURING THE GROWING SEASON AND THE NON-GROWING SEASON
- SCHEDULE III - ANNUALLY

1. MAINTENANCE - GENERAL
  - A. THE CONTRACTOR SHALL INSPECT ALL AREAS TO VERIFY THAT ALL WORK IS BEING PERFORMED PROPERLY AND AS SCHEDULED, LOCATE POTENTIAL PROBLEMS AND CORRECT UNACCEPTABLE CONDITIONS. A BRIEF VERBAL REPORT IS TO BE SUBMITTED TO THE OWNER. PROBLEMS REQUIRING IMMEDIATE ATTENTION SHALL BE REPORTED TO THE OWNER.
2. MAINTENANCE - SCHEDULE I
  - A. BASIN OUTLET WORKS: INSPECT FOR AND CLEAR DEBRIS FROM THE TRASH RACK AND EXIT PORTS OF THE BASIN OUTLET STRUCTURES. THIS IS TO PREVENT CLOGGING OF THE OUTLETS AND SUBSEQUENT BACKUP OF DETAINED WATER.
  - B. INSPECT RECEIVING STRUCTURES FOR DAMAGE, OBSTRUCTIONS AND UNSIGHTLY DEBRIS. ALL OBSTRUCTIONS SHALL BE REMOVED IMMEDIATELY AND ANY DAMAGE REPAIRED.
  - C. INSPECT FOR AND CLEAR EXCESSIVE DEBRIS FROM THE BASIN BOTTOM, PIPE INLETS AND APPROXS.
  - D. INSPECT FOR ANY EROSION OF BANKS OR OTHER HAZARDS. ANY EROSION SHALL BE IMMEDIATELY REPAIRED AND STABILIZED ACCORDINGLY. MAINTAIN SEEDED AREAS UNTIL THEY ARE ESTABLISHED.
  - E. ANY PROBLEMS OR DEFECTS SHALL BE REPORTED TO THE OWNER.
3. MAINTENANCE - SCHEDULE IA (MONTHLY DURING GROWING SEASON)
  - A. VEGETATED AREAS: MOWING AND/OR TRIMMING OF VEGETATION MUST BE PERFORMED ON A REGULAR SCHEDULE BASED ON SPECIFIC SITE CONDITIONS. GRASS SHOULD BE MOWED AT LEAST ONCE A MONTH DURING THE GROWING SEASON.
4. MAINTENANCE - SCHEDULE II (BI-ANNUALLY)
  - A. ONCE ESTABLISHED, INSPECTION OF VEGETATION HEALTH, DENSITY AND DIVERSITY SHOULD BE PERFORMED DURING THE GROWING AND NON-GROWING SEASON AT LEAST TWICE ANNUALLY.
  - B. THE VEGETATIVE COVER SHOULD BE MAINTAINED AT 85 PERCENT. IF VEGETATION HAS GREATER THAN 50 PERCENT DAMAGE, THE AREA SHOULD BE REESTABLISHED IN ACCORDANCE WITH THE ORIGINAL SPECIFICATIONS (SEE SEEDING SPECIFICATION) AND THE INSPECTION REQUIREMENTS PRESENTED ABOVE. ALL USE OF FERTILIZERS, MECHANICAL TREATMENTS, PESTICIDES AND OTHER MEANS TO ASSURE OPTIMUM VEGETATION HEALTH MUST NOT COMPROMISE THE INTENDED PURPOSE OF THE VEGETATIVE FILTER. ALL VEGETATION DEFICIENCIES SHOULD BE ADDRESSED WITHOUT THE USE OF FERTILIZERS AND PESTICIDES WHENEVER POSSIBLE.
5. MAINTENANCE - SCHEDULE III (ANNUALLY)
  - A. VEGETATED AREAS MUST BE INSPECTED ANNUALLY FOR EROSION AND SCOUR. VEGETATED AREAS MUST BE INSPECTED FOR UNWANTED GROWTH, WHICH MUST BE REMOVED WITH MINIMUM DISTURBANCE TO THE PLANTING SOIL BED AND REMAINING VEGETATION.
  - B. WHEN ESTABLISHING OR RESTORING VEGETATION, BIWEEKLY INSPECTIONS OF VEGETATION HEALTH MUST BE PERFORMED DURING THE FIRST GROWING SEASON OR UNTIL THE VEGETATION IS ESTABLISHED.
  - C. TILL THE BASIN BOTTOM SAND SURFACE WITH LIGHT EQUIPMENT AS FIELD CONDITIONS WARRANT.
6. BASIN PERFORMANCE CRITERIA:
  - A. THE INFILTRATION BASIN SHOULD COMPLETELY DRAIN WITHIN 72-HOURS OF THE END OF THE DESIGN STORM. IF THE 72-HOUR MAXIMUM DRAIN TIME IS EXCEEDED, THE BASIN'S OUTLET CONTROL STRUCTURE, BOTTOM, UNDERDRAIN SYSTEM AND BOTH GROUNDWATER AND TAILWATER LEVELS MUST BE EVALUATED. APPROPRIATE MEASURES MUST BE TAKEN TO COMPLY WITH THE MAXIMUM DRAIN TIME REQUIREMENTS AND TO MAINTAIN THE PROPER FUNCTIONING OF THE BASIN.
7. PREVENTION OF WATER POLLUTION
  - A. THE CONTRACTOR'S ACTIVITIES SHALL BE PERFORMED BY METHODS THAT WILL PREVENT ENTRANCE OR ACCIDENTAL SPILLAGE OF SOLID MATTER, CONTAMINATES, DEBRIS OR OTHER POLLUTANTS AND WASTES INTO THE DOWNSTREAM CONVEYANCE SYSTEM. SUCH POLLUTANTS AND WASTES INCLUDE, BUT ARE NOT RESTRICTED TO, REFUSE, GARBAGE, CEMENT, COLLECTED SILT AND SEDIMENT, ETC. DISPOSAL OF DEBRIS AND TRASH SHOULD BE DONE ONLY AT SUITABLE DISPOSAL/RECYCLING SITES AND MUST COMPLY WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WASTE REGULATIONS.

**EXTENDED DETENTION BASIN MAINTENANCE**

DESCRIPTION: EFFECTIVE DETENTION BASIN PERFORMANCE REQUIRES REGULAR AND EFFECTIVE MAINTENANCE. MAINTENANCE INVOLVES ROUTINE PERIODIC INSPECTION OF THE VEGETATION, THE REMOVAL OF ACCUMULATED SEDIMENT/DEBRIS AND THE CORRECTION OF ANY STRUCTURAL OR EROSION PROBLEMS.

- SCHEDULE I - FOUR TIMES ANNUALLY AND AFTER STORMS EXCEEDING 1 INCH OF RAINFALL
- SCHEDULE IA - ONCE A MONTH DURING THE GROWING SEASON
- SCHEDULE II - BI-ANNUALLY, DURING THE GROWING SEASON AND THE NON-GROWING SEASON
- SCHEDULE III - ANNUALLY

1. MAINTENANCE - GENERAL
  - A. THE CONTRACTOR SHALL INSPECT ALL AREAS TO VERIFY THAT ALL WORK IS BEING PERFORMED PROPERLY AND AS SCHEDULED, LOCATE POTENTIAL PROBLEMS AND CORRECT UNACCEPTABLE CONDITIONS. A BRIEF VERBAL REPORT IS TO BE SUBMITTED TO THE OWNER. PROBLEMS REQUIRING IMMEDIATE ATTENTION SHALL BE REPORTED TO THE OWNER.
2. MAINTENANCE - SCHEDULE I
  - A. BASIN OUTLET WORKS: INSPECT FOR AND CLEAR DEBRIS FROM THE TRASH RACK AND EXIT PORTS OF THE BASIN OUTLET STRUCTURES. THIS IS TO PREVENT CLOGGING OF THE OUTLETS AND SUBSEQUENT BACKUP OF DETAINED WATER.
  - B. INSPECT RECEIVING STRUCTURES FOR DAMAGE, OBSTRUCTIONS AND UNSIGHTLY DEBRIS. ALL OBSTRUCTIONS SHALL BE REMOVED IMMEDIATELY AND ANY DAMAGE REPAIRED.
  - C. INSPECT FOR AND CLEAR EXCESSIVE DEBRIS FROM THE BASIN BOTTOM, LOW FLOW CHANNEL, PIPE INLETS AND APPROXS.
  - D. INSPECT FOR ANY EROSION OF BANKS OR OTHER HAZARDS. ANY EROSION SHALL BE IMMEDIATELY REPAIRED AND STABILIZED ACCORDINGLY. MAINTAIN SEEDED AREAS UNTIL THEY ARE ESTABLISHED.
  - E. ANY PROBLEMS OR DEFECTS SHALL BE REPORTED TO THE OWNER.
3. MAINTENANCE - SCHEDULE IA (MONTHLY DURING GROWING SEASON)
  - A. VEGETATED AREAS: MOWING AND/OR TRIMMING OF VEGETATION MUST BE PERFORMED ON A REGULARLY SCHEDULED BASIS AS SPECIFIC SITE CONDITIONS WARRANT. GRASS SHOULD BE MOWED AT LEAST ONCE A MONTH DURING THE GROWING SEASON.
4. MAINTENANCE - SCHEDULE II (BI-ANNUALLY)
  - A. ONCE ESTABLISHED, INSPECTION OF VEGETATION HEALTH, DENSITY AND DIVERSITY SHOULD BE PERFORMED DURING THE GROWING AND NON-GROWING SEASON AT LEAST TWICE ANNUALLY.
  - B. THE VEGETATIVE COVER SHOULD BE MAINTAINED AT 85 PERCENT. IF VEGETATION HAS GREATER THAN 50 PERCENT DAMAGE, THE AREA SHOULD BE REESTABLISHED IN ACCORDANCE WITH THE ORIGINAL SPECIFICATIONS (SEE SEEDING SPECIFICATION) AND THE INSPECTION REQUIREMENTS PRESENTED ABOVE. ALL USE OF FERTILIZERS, MECHANICAL TREATMENTS, PESTICIDES AND OTHER MEANS TO ASSURE OPTIMUM VEGETATION HEALTH MUST NOT COMPROMISE THE INTENDED PURPOSE OF THE VEGETATIVE FILTER. ALL VEGETATION DEFICIENCIES SHOULD BE ADDRESSED WITHOUT THE USE OF FERTILIZERS AND PESTICIDES WHENEVER POSSIBLE.
5. MAINTENANCE - SCHEDULE III (ANNUALLY)
  - A. VEGETATED AREAS MUST BE INSPECTED ANNUALLY FOR EROSION AND SCOUR. VEGETATED AREAS MUST BE INSPECTED FOR UNWANTED GROWTH, WHICH MUST BE REMOVED WITH MINIMUM DISTURBANCE TO THE PLANTING SOIL BED AND REMAINING VEGETATION.
  - B. WHEN ESTABLISHING OR RESTORING VEGETATION, BIWEEKLY INSPECTIONS OF VEGETATION HEALTH MUST BE PERFORMED DURING THE FIRST GROWING SEASON OR UNTIL THE VEGETATION IS ESTABLISHED.
6. BASIN PERFORMANCE CRITERIA:
  - A. THE DETENTION BASIN SHOULD COMPLETELY DRAIN WITHIN 72-HOURS OF THE END OF THE DESIGN STORM. IF THE 72-HOUR MAXIMUM DRAIN TIME IS EXCEEDED, THE BASIN'S OUTLET CONTROL STRUCTURE, BOTTOM, UNDERDRAIN SYSTEM AND BOTH GROUNDWATER AND TAILWATER LEVELS MUST BE EVALUATED. APPROPRIATE MEASURES MUST BE TAKEN TO COMPLY WITH THE MAXIMUM DRAIN TIME REQUIREMENTS AND TO MAINTAIN THE PROPER FUNCTIONING OF THE BASIN.
7. PREVENTION OF WATER POLLUTION
  - A. THE CONTRACTOR'S ACTIVITIES SHALL BE PERFORMED BY METHODS THAT WILL PREVENT ENTRANCE OR ACCIDENTAL SPILLAGE OF SOLID MATTER, CONTAMINATES, DEBRIS OR OTHER POLLUTANTS AND WASTES INTO THE DOWNSTREAM CONVEYANCE SYSTEM. SUCH POLLUTANTS AND WASTES INCLUDE, BUT ARE NOT RESTRICTED TO, REFUSE, GARBAGE, CEMENT, COLLECTED SILT AND SEDIMENT, ETC. DISPOSAL OF DEBRIS AND TRASH SHOULD BE DONE ONLY AT SUITABLE DISPOSAL/RECYCLING SITES AND MUST COMPLY WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WASTE REGULATIONS.

**EXFILTRATION SYSTEM MAINTENANCE**

DESCRIPTION: EXFILTRATION SYSTEM MAINTENANCE INVOLVES ROUTINE PERIODIC INSPECTION OF THE STORM COLLECTION SYSTEM, THE REMOVAL OF ACCUMULATED SEDIMENT/DEBRIS AND THE CORRECTION OF ANY STRUCTURAL PROBLEMS.

- SCHEDULE A - FIRST MONTH
- SCHEDULE I - FOUR TIMES ANNUALLY

1. INSPECTION - GENERAL
  - A. THE CONTRACTOR SHALL INSPECT ALL AREAS TO VERIFY THAT ALL WORK IS BEING PERFORMED PROPERLY AND AS SCHEDULED, LOCATE POTENTIAL PROBLEMS AND CORRECT UNACCEPTABLE CONDITIONS. A BRIEF VERBAL REPORT IS TO BE SUBMITTED TO THE OWNER. PROBLEMS REQUIRING IMMEDIATE ATTENTION SHALL BE REPORTED TO THE OWNER.
2. INSPECTION - SCHEDULE A (FIRST MONTH)
  - A. NEW INSTALLATION: CHECK THE CONDITION OF THE SYSTEM AFTER EVERY RUNOFF EVENT FOR THE FIRST 30 DAYS. CHECKING INCLUDES A VISUAL INSPECTION TO ASCERTAIN THAT THE SYSTEM IS FUNCTIONING PROPERLY AND MEASURING THE AMOUNT OF DEPOSITION THAT HAS OCCURRED. THIS CAN BE DONE WITH A "DIP STICK" THAT IS CALIBRATED SO THE DEPTH OF DEPOSITION CAN BE TRACKED. BASED ON THE BEHAVIOR OF THE UNIT RELATIVE TO STORM EVENT, INSPECTIONS CAN BE SCHEDULED ON PROJECTIONS USING STORM EVENTS VS. POLLUTANT BUILDUP.
3. INSPECTION - SCHEDULE I (FOUR TIMES ANNUALLY)
  - A. ONGOING OPERATIONS: FLOATABLES SHOULD BE REMOVED AFTER EACH SIGNIFICANT STORM EVENT. THE CONTENTS OF THE SYSTEM CAN BE REMOVED USING A VACUUM TRUCK, OR OTHER MEANS.
4. PREVENTION OF WATER POLLUTION
  - A. THE CONTRACTOR'S ACTIVITIES SHALL BE PERFORMED BY METHODS THAT WILL PREVENT ENTRANCE OR ACCIDENTAL SPILLAGE OF SOLID MATTER, CONTAMINATES, DEBRIS OR OTHER POLLUTANTS AND WASTES INTO THE DOWNSTREAM CONVEYANCE SYSTEM. SUCH POLLUTANTS AND WASTES INCLUDE, BUT ARE NOT RESTRICTED TO, REFUSE, GARBAGE, CEMENT, COLLECTED SILT AND SEDIMENT, ETC. DISPOSAL OF DEBRIS AND TRASH SHOULD BE DONE ONLY AT SUITABLE DISPOSAL/RECYCLING SITES AND MUST COMPLY WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WASTE REGULATIONS.
5. ESTIMATED MAINTENANCE COSTS:
  - A. A VACUUM TRUCK IS RECOMMENDED FOR CLEANOUT AND CAN BE EASILY ACCOMPLISHED IN LESS THAN 30-40 MINUTES FOR MOST INSTALLATIONS. STANDARD VACUUMING OPERATIONS SHOULD BE EMPLOYED FROM THE INLET AND MANHOLE STRUCTURES. DISPOSAL OF MATERIAL FROM THE UNIT SHOULD BE IN ACCORDANCE WITH THE LOCAL MUNICIPALITY REQUIREMENTS.
  - B. THE CLEAN-OUT COST IS BASED ON A TYPICAL FOUR (4) HOUR MINIMUM RETAIL CLEAN-OUT CHARGE AT \$125 PER HOUR, RESULTING IN A MINIMUM COST OF \$500 REGARDLESS IF ONE OR FOUR CDS UNITS WERE CLEANED.

**STORMWATER COLLECTION SYSTEM MAINTENANCE**

DESCRIPTION: STORMWATER COLLECTION SYSTEM MAINTENANCE INVOLVES ROUTINE PERIODIC INSPECTION OF THE STORM COLLECTION SYSTEM, THE REMOVAL OF ACCUMULATED SEDIMENT/DEBRIS AND THE CORRECTION OF ANY STRUCTURAL PROBLEMS.

- SCHEDULE I - FOUR TIMES ANNUALLY AND AFTER STORMS EXCEEDING 1 INCH OF RAINFALL
- SCHEDULE III - ANNUALLY

1. INSPECTION - GENERAL
  - A. THE CONTRACTOR SHALL INSPECT ALL AREAS TO VERIFY THAT ALL WORK IS BEING PERFORMED PROPERLY AND AS SCHEDULED, LOCATE POTENTIAL PROBLEMS AND CORRECT UNACCEPTABLE CONDITIONS. A BRIEF VERBAL REPORT IS TO BE SUBMITTED TO THE OWNER. PROBLEMS REQUIRING IMMEDIATE ATTENTION SHALL BE REPORTED TO THE OWNER.
2. INSPECTION - SCHEDULE I
  - A. INLETS, CONDUIT, OUTFALLS AND OTHER CONVEYANCE ELEMENTS: INSPECT FOR AND CLEAR DEBRIS FROM THE GRATINGS, INLETS AND PIPES. THIS IS TO PREVENT CLOGGING OF THE INLETS AND SUBSEQUENT BACKUP OF STORMWATER RUNOFF. ANY PROBLEMS OR DEFECTS SHALL BE REPORTED TO THE OWNER.
3. INSPECTION - SCHEDULE III (ANNUALLY)
  - A. VISUAL INSPECTION OF ALL COMPONENTS OF THE ONSITE STORMWATER COLLECTION SYSTEM: INSPECT FOR AND REMOVE SILT AND SEDIMENT, LITTER AND OTHER DEBRIS FROM ALL INLETS, GRATINGS AND DRAINAGE PIPES. ALL INLETS AND MANHOLES ARE TO BE VACUUMED (FREQUENCY OF VACUUMING MAY BE ADJUSTED IF MAINTENANCE RECORDS INDICATE THAT SEDIMENT AND DEBRIS ACCUMULATION IS INSIGNIFICANT) IN THE EVENT THAT THE ACCUMULATED MATERIAL EXCEEDS 10% OF THE PIPE DIAMETER, IT MUST BE FLUSHED/VACUUMED OUT OF THE SYSTEM.
4. PREVENTION OF WATER POLLUTION
  - A. THE CONTRACTOR'S ACTIVITIES SHALL BE PERFORMED BY METHODS THAT WILL PREVENT ENTRANCE OR ACCIDENTAL SPILLAGE OF SOLID MATTER, CONTAMINATES, DEBRIS OR OTHER POLLUTANTS AND WASTES INTO THE DOWNSTREAM CONVEYANCE SYSTEM. SUCH POLLUTANTS AND WASTES INCLUDE, BUT ARE NOT RESTRICTED TO, REFUSE, GARBAGE, CEMENT, COLLECTED SILT AND SEDIMENT, ETC. DISPOSAL OF DEBRIS AND TRASH SHOULD BE DONE ONLY AT SUITABLE DISPOSAL/RECYCLING SITES AND MUST COMPLY WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WASTE REGULATIONS.

**STORMWATER MANAGEMENT MAINTENANCE**

ON SITE STORMWATER MANAGEMENT MAINTENANCE WILL BE PERFORMED BY:  
 NAME: WEIROCK, LLC  
 ADDRESS: 16 PERRINE CIRCLE, PERRINEVILLE, NJ 08535  
 PHONE #: (609) 577-5129  
 CONTACT PERSON: ROGAN O'DONNELL

- MAINTENANCE RESPONSIBILITIES:
1. THE ABOVE REFERENCED PARTY SHALL MAINTAIN A DETAILED LOG OF ALL PREVENTATIVE AND CORRECTIVE MAINTENANCE FOR THE STORMWATER MANAGEMENT MEASURES SHOWN ON THE PLANS, INCLUDING A RECORD OF ALL INSPECTIONS AND COPIES OF ALL MAINTENANCE RELATED WORK ORDERS.
  2. THE PERSON RESPONSIBLE FOR MAINTENANCE IDENTIFIED ABOVE SHALL EVALUATE THE EFFECTIVENESS OF THE MAINTENANCE PLAN AT LEAST ONCE A YEAR AND ADJUST THE PLAN AS NEEDED.
  3. THE PERSON RESPONSIBLE FOR MAINTENANCE IDENTIFIED ABOVE SHALL RETAIN AND MAKE AVAILABLE UPON REQUEST BY ANY PUBLIC ENTITY WITH ADMINISTRATIVE, HEALTH, ENVIRONMENTAL OR SAFETY AUTHORITY OVER THE SITE, THE MAINTENANCE PLAN AND THE DOCUMENTATION REQUIRED ABOVE.
  4. FOLLOWING IS A LIST OF SPECIFIC AREAS REQUIRING MAINTENANCE. FOR DETAILED INFORMATION AND SCHEDULES REFER TO THE SPECIFIC SUBSECTION FOR EACH ITEM:
    - A. LAWN & LANDSCAPED AREA MAINTENANCE
    - B. STORMWATER COLLECTION SYSTEM MAINTENANCE
    - C. EXFILTRATION SYSTEM MAINTENANCE
    - D. INFILTRATION/DETENTION BASIN MAINTENANCE

FINAL MAJOR SITE PLAN  
**TAX LOT 33 BLOCK 69.01**  
 TAX MAP SHEET NO. 21, LAST REVISED 3/30/98  
 FREEHOLD TOWNSHIP  
 MONMOUTH COUNTY, NEW JERSEY

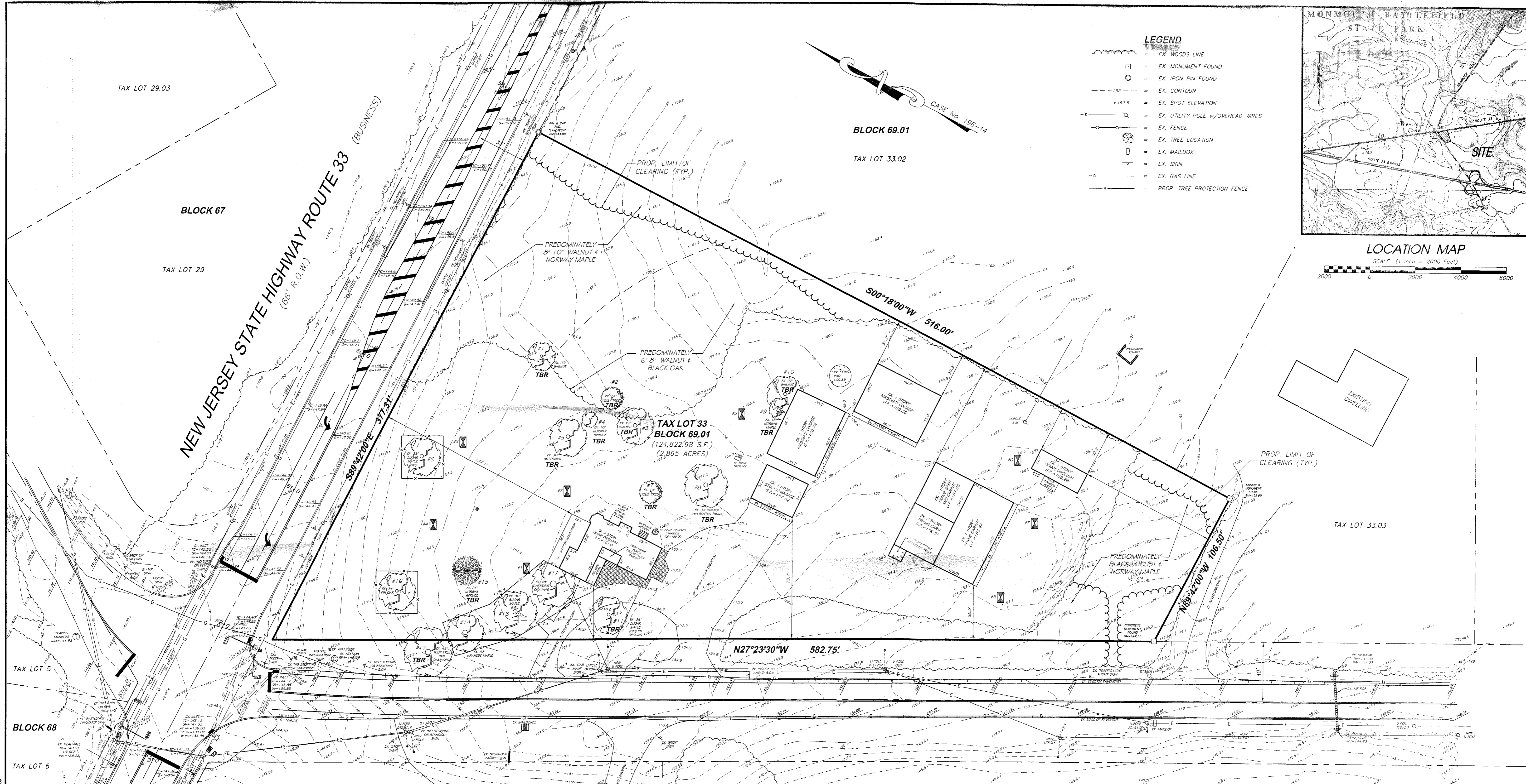
**MAINTENANCE PLAN**

**Geller Sive & Company** Consulting Engineers & Planners  
 Civil • Site • Transportation  
 Traffic • Municipal

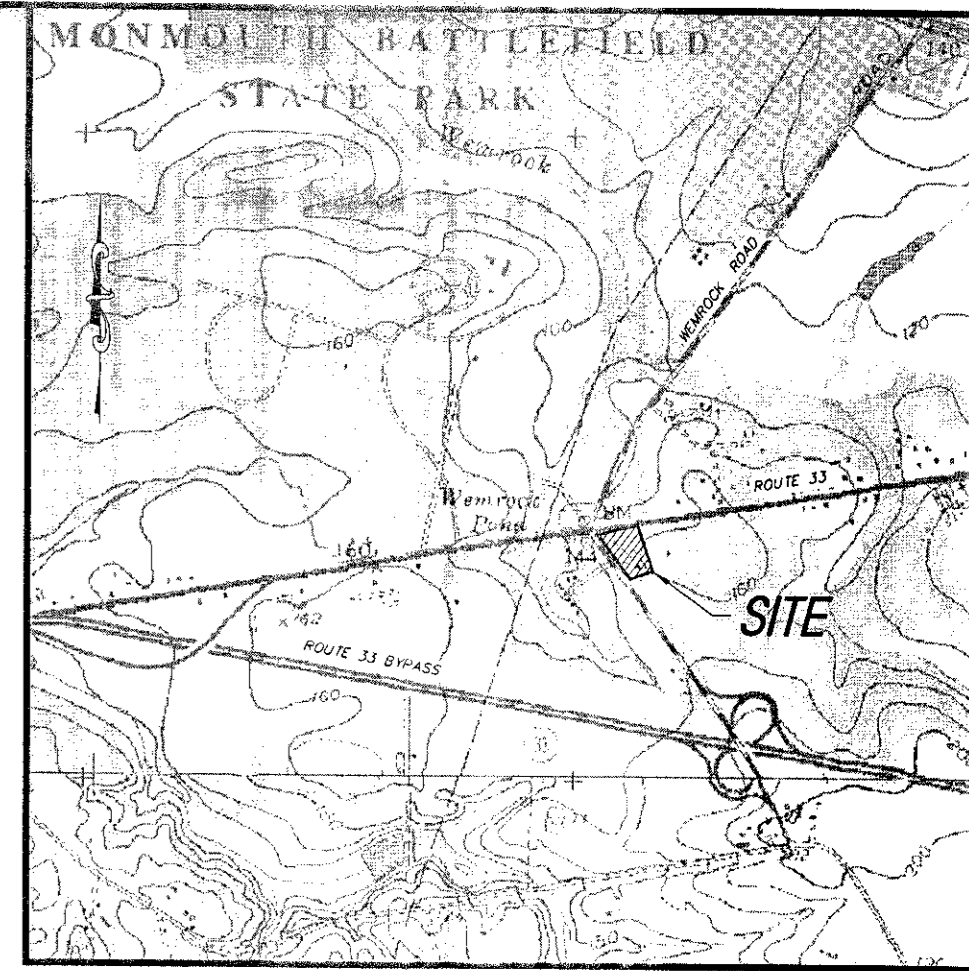
Office Location: 958 Adelphia Road, Adelphia, NJ 07710  
 Mailing Address: PO Box 249, Adelphia, NJ 07710  
 Phone: 732-625-7919  
 Fax: 732-625-9313  
 www.gellersive.com  
 Certificate of Authorization No. 24CA28105200

**ROBERT D. SIVE**  
 N.J. Professional Engineer No. 43816  
 DATE: 11/16/09

No.	Date	Revision	By	Chk.	SHEET	JOB NUMBER	
					19 OF 20	2058	
DRAWN BY: M.M.						DATE: 11/11/09	SCALE: AS SHOWN
DESIGNED BY: AS							
CHECKED BY: RS							



- LEGEND**
- - - - - EX. WOODS LINE
  - EX. MONUMENT FOUND
  - EX. IRON PIN FOUND
  - - - - - EX. CONTOUR
  - + 152.5 EX. SPOT ELEVATION
  - - - - - EX. UTILITY POLE w/OVERHEAD WIRES
  - EX. FENCE
  - EX. TREE LOCATION
  - EX. MAILBOX
  - ↑ EX. SIGN
  - - - - - EX. GAS LINE
  - - - - - PROP. TREE PROTECTION FENCE



**LOCATION MAP**  
SCALE: (1 inch = 2000 Feet)

TAX LOT 29.03

BLOCK 67

TAX LOT 29

**NEW JERSEY STATE HIGHWAY ROUTE 33 (BUSINESS)**  
(66' R.O.W.)

BLOCK 69.01

TAX LOT 33.02

PROP. LIMIT OF CLEARING (TYP.)

PREDOMINATELY 8"-10" WALNUT & NORWAY MAPLE

PREDOMINATELY 6"-8" WALNUT & BLACK OAK

**TAX LOT 33 BLOCK 69.01**  
(124,822.98 S.F.)  
(2.865 ACRES)

PROP. LIMIT OF CLEARING (TYP.)

TAX LOT 33.03

PREDOMINATELY BLACK LOCUST & NORWAY MAPLE

N27°23'30"W 582.75'

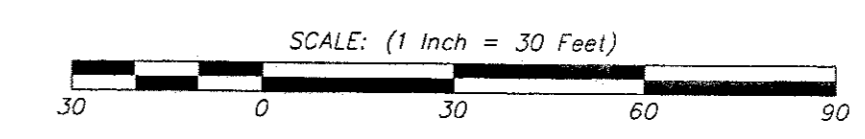
**WEMROCK ROAD**  
(80' R.O.W.)

#	Tree	Size	Comments
1	Juglans nigra	Black Walnut 20"	Remove
2	Ilex opaca	American Holly 14"	Remove
3	Juglans nigra	Black Walnut 27"	Remove
4	Picea abies	Norway Spruce 10"	Remove
5	Juglans cinerea	Butternut 30"	Remove
6	Acer saccharum	Sugar Maple 29"	Heritage/Historic - Save
7	Ilex opaca	American Holly 14"	Remove
8	Juglans nigra	Black Walnut 34"	Heritage/Historic - Rotted Trunk - Remove
9	Acer platanoides	Norway Maple 14"	Remove
10	Juglans nigra	Black Walnut 27"	Remove
11	Acer saccharum	Sugar Maple 25"	Heritage/Historic - In Decline - Remove
12	Quercus prinus	Chestnut Oak 48"	Heritage/Historic - Save
13	Acer saccharum	Sugar Maple 38"	Heritage/Historic - Save
14	Acer palmatum	Japanese Maple 37"	Save
15	Picea abies	Norway Spruce 24"	Remove
16	Quercus palustris	Pin Oak 24"	Save
17	Liriodendron tulipifera	Tulip Tree 45"	Heritage/Historic - Damaged - Remove

**ZONE: HISTORICAL COMMERCIAL ZONE - HC**

MINIMUMS - (CORNER LOT)	REQUIRED	EXISTING
LOT AREA	80,000 S.F.	124,823 S.F.
LOT WIDTH	250 FT.	324.67 FT.
LOT FRONTAGE	200 FT.	960.06 FT.
LOT DEPTH	300 FT.	241 FT.
BUFFER ZONE	50 FT.	30.2 FT.
PRINCIPAL BUILDING FRONT SETBACK	100 FT.	35.4 FT.
REAR SETBACK	50 FT.	202.4 FT.
SIDE SETBACK	50 FT.	330.9 FT.
ACCESSORY BUILDING REAR SETBACK	30 FT.	90.3 FT.
SIDE SETBACK	30 FT.	30.2 FT.
MAXIMUMS		
BUILDING COVERAGE	10 %	8.5 %
ACC. BUILDING COVERAGE	5 %	6.5 %
IMPERVIOUS COVERAGE	15 %	9.5 %
PRINCIPAL BUILDING HEIGHT	35 FT. (2-1/2 STY.)	<35 FT. (2-STY.)
FLOOR AREA RATIO	0.10	0.093

**ELEVATION CONVERSION NOTE:**  
THE ELEVATIONS SHOWN ON THIS MAP ARE IN N.G.V.D. 1929  
THE CONVERSION FACTOR TO N.A.V.D. 1988 IS -0.82 IN ELEVATION



**FINAL MAJOR SITE PLAN**  
**TAX LOT 33 BLOCK 69.01**  
TAX MAP SHEET NO. 21, LAST REVISED 3/30/98  
**FREEHOLD TOWNSHIP**  
**MONMOUTH COUNTY, NEW JERSEY**

**TREE SAVE PLAN - TREE CLEARING PLAN**

**Geller Sive & Company**  
Consulting Engineers & Planners  
Civil • Site • Transportation  
Traffic • Municipal

Office Location: 988 Adelphia Road, Adelphia, NJ 07710  
Mailing Address: PO Box 249, Adelphia, NJ 07710  
Phone: 732-625-7919  
Fax: 732-625-9313  
www.gellersive.com  
Certificate of Authorization No. 24CA28105200

**ROBERT D. SIVE**  
N.J. Professional Engineer No. 43816  
DATE: 11/10/09

DRAWN BY:	DATE:	SCALE:	SHEET:	JOB NUMBER:
M.M.	11/11/09	1"=30'	20 OF 20	2058

File: P:\2009\Drawings\Tree\TreeClearing.dwg Date: 11/11/09 3:32 pm By: M.M. Sive