

NorthPark35 Building 5

INDUSTRIAL FOR LEASE

1805 Aviation Drive
Georgetown, Texas 78628



Omar Nasser, SIOR
512.684.3721
nasser@aquilacommercial.com

Joseph Cheek
512.684.3714
cheek@aquilacommercial.com

aquilacommercial.com/northpark35-building-5

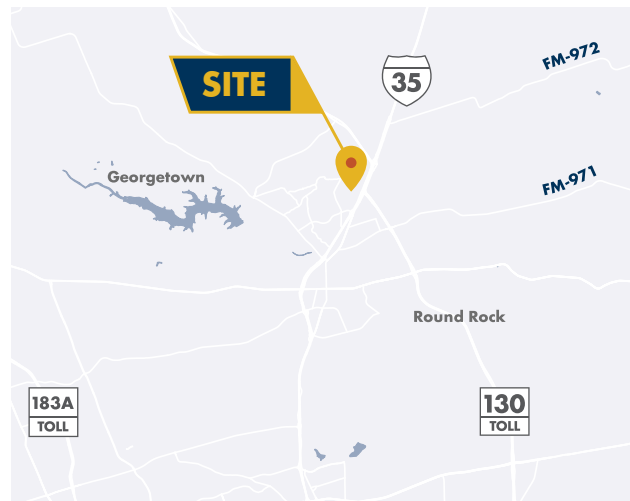
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This Class A industrial space in Georgetown, Texas offers approximately 100,000 SF within a 297,792 SF cross-dock building. Located at IH-35 and SH-130, it provides prime access to Austin and major Texas markets. The site features 100% HVAC, 36' clear height, ample power, and modern specs, with nearby retail, healthcare, and education amenities in a rapidly growing region.



Availability

- ~100,000 SF 100% HVAC cross-dock space
- ~1,000 SF office space
- Restrooms on both sides of the space

Excellent Proximity and Access

- Easy ingress/egress via SH-130 & IH-35
- Immediate access to Austin Metro and Central Texas distribution routes
- Located in the Texas Triangle, one of the fastest growing regions in the U.S.

Specs

- Column spacing: 52' x 52' typical with 60' speed bay
- Two 185' truck courts with trailer parking
- 20 dock-high doors
- 2 ramps with oversized doors
- Clear height: 36'
- ESFR sprinklers

An Established Industrial Location

- This building is part of NorthPark35, a premier Georgetown industrial development, with excellent proximity to major corporate neighbors and amenities.

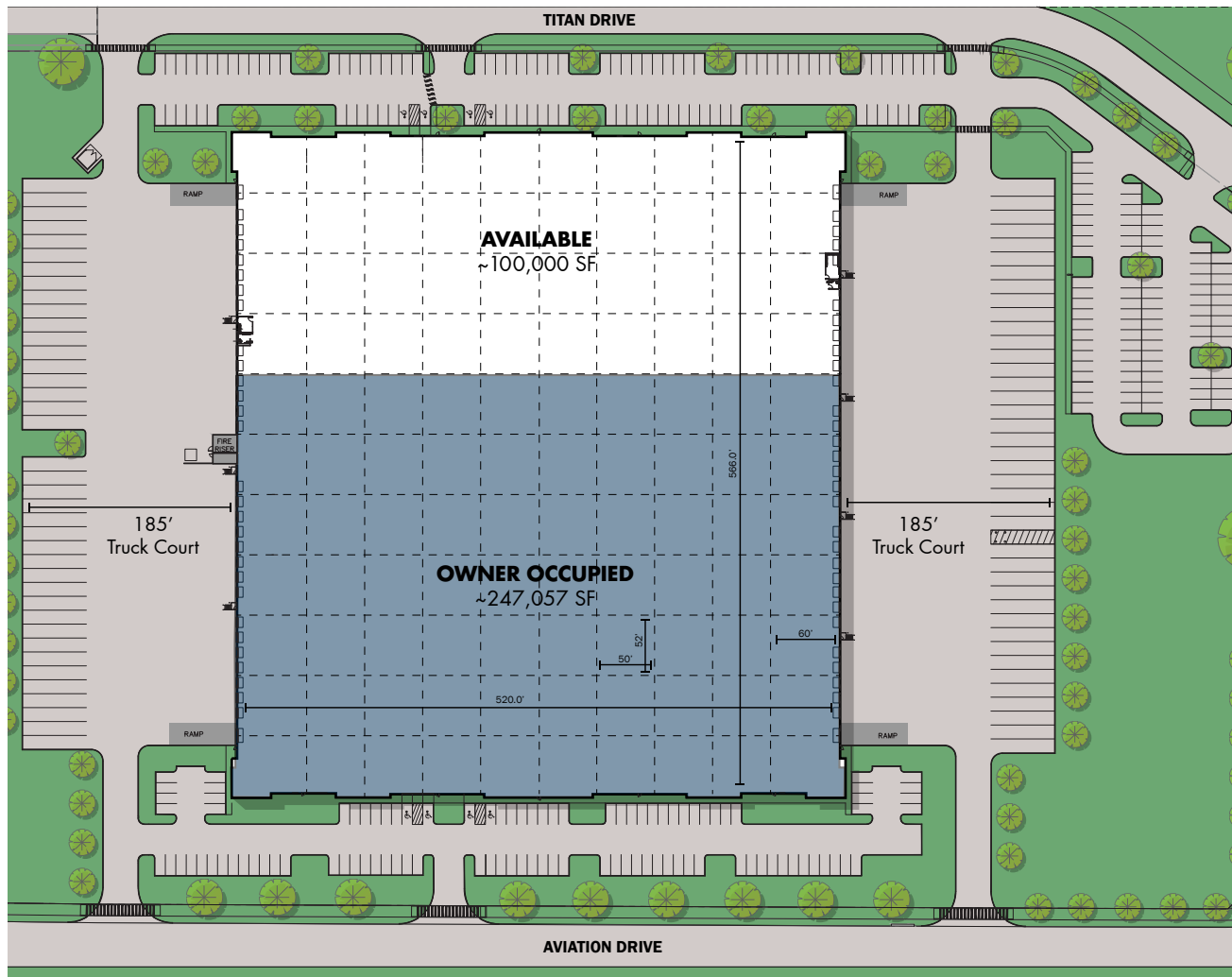


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BUILDING 5 FLOORPLAN AND SPECS



BUILDING 5 SPECS

TOTAL SIZE	297,792 SF
AVAILABLE SPACE	~100,000 SF
BUILDING TYPE	Cross Dock
COLUMN SPACING	52' x 52' Typical Bay with 60' Speed Bay
CLEAR HEIGHT	36'
HVAC	100%
RAMPS	2 with oversized doors
DOCK-HIGH DOORS	20
TRUCK COURT DEPTH	185'
CAR PARKING	101 spaces
TRAILER PARKING	28 trailer stalls
SPRINKLERS	ESFR



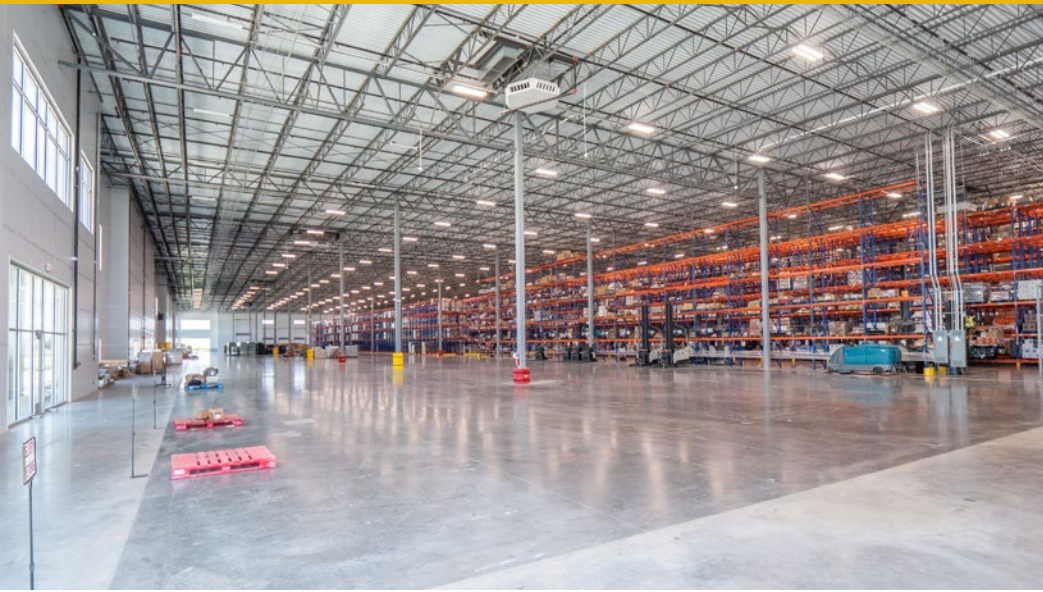
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CENTRAL TEXAS LOCATION



#1

Job Creator in the Nation;
Texas added 1.3 million jobs
from 2022-2024 (Houston Chronicle)

2nd

Largest Workforce in the U.S.
(U.S. Census Bureau)

50+

Fortune 500 Company HQs



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SITE PLAN



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GEORGETOWN LABOR FORCE & DEMOGRAPHICS

Known for its historic charm, vibrant downtown, and natural beauty, Georgetown is one of the most desirable cities in Central Texas. As part of the Greater Austin area, Georgetown has experienced steady population and economic growth while maintaining its family-friendly atmosphere and welcoming community. The city is home to top-rated schools, a growing workforce, and a strong sense of civic pride. With a median age around 38 and a diverse population, Georgetown attracts families, professionals, and retirees alike. For companies seeking a strategic location with access to talent, infrastructure, and a high quality of life, Georgetown is an ideal place to grow and thrive.



Household Income

\$108,673

median household income

34%

of residents make greater than \$100,000

44%

of residents make greater than \$75,000

Home Ownership

39,737

households

54.6%

homeownership

Population

67%

growth in population from 2020 - 2025



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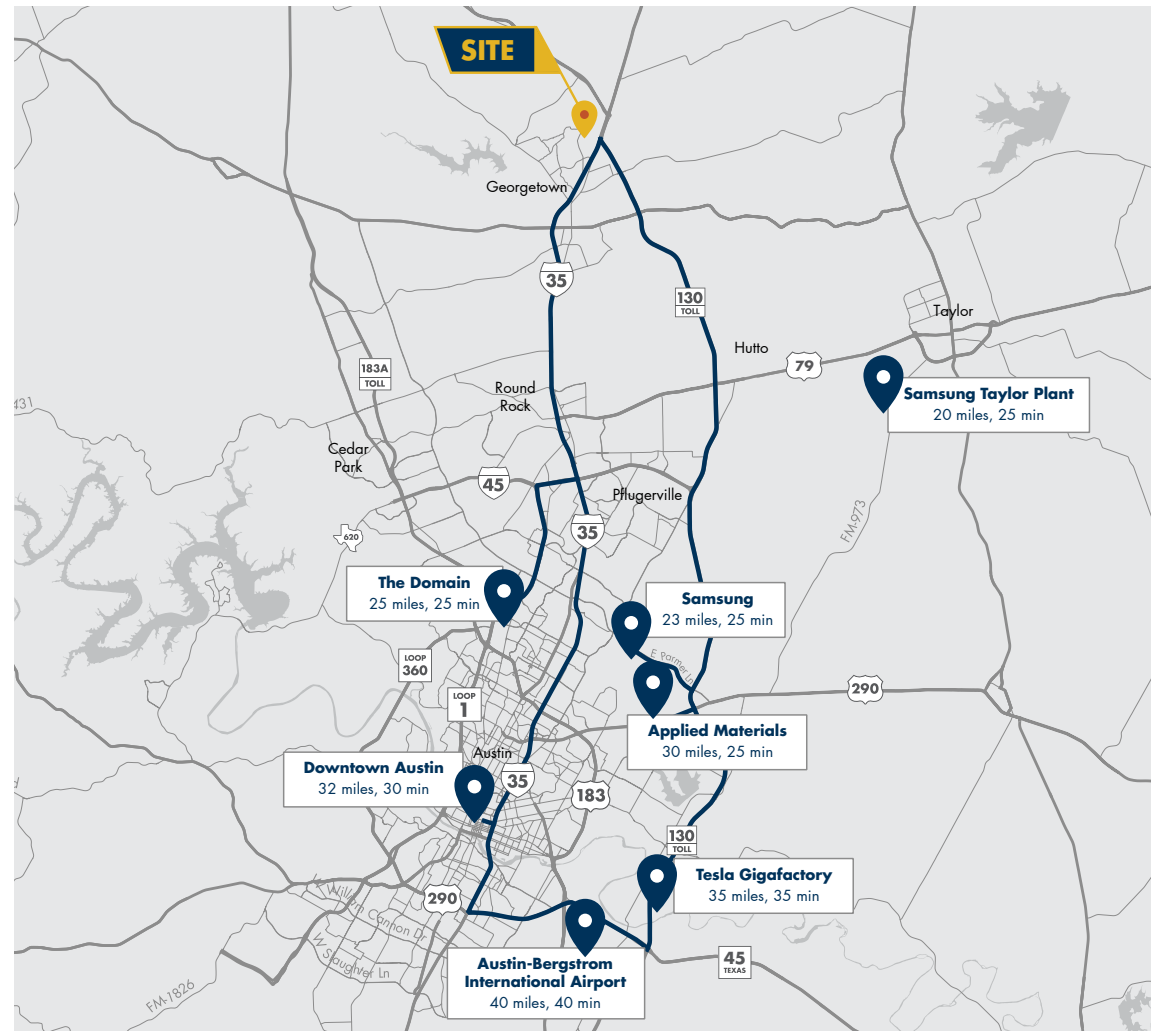
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DRIVE TIMES

Destination	Distance	Drive Time
Downtown Austin	32 mi.	30 min.
ABIA Airport	40 mi.	40 min.
Tesla Gigafactory	35 mi.	35 min.
Applied Materials	30 mi.	25 min.
Samsung Taylor Plant	20 mi.	25 min.
Samsung	23 mi.	25 min.
The Domain	25 mi.	20 min.
Temple/Belton	35 mi.	30 min.
San Antonio	110 mi.	1.5 hours
Houston	175 mi.	3 hours
Dallas/Ft. Worth	165 mi.	2.5 hours



NEARBY AMENITIES

Located just off IH-35 adjacent to the intersection of the 130 Toll Road in Georgetown, the site provides easy access to the Austin Metro and beyond. Tenants have convenient access to a broad selection of restaurants, retail, healthcare, residential and educational institutions, all within 10 miles.

Retail, Restaurants and Hospitality

- Round Rock Premium Outlet Mall
- IKEA, Bass Pro Shop, H-E-B, Target, Walmart
- Embassy Suites Hotel and Convention Center
- Plus, countless restaurants, retail and hotels

Healthcare

- Baylor Scott & White Medical Center
- Baylor Scott & White Cancer Center
- Ascension Seton Hospital
- Cornerstone Long Term Acute Hospital
- San Gabriel Rehab and Care Center

Education

- Southwestern University
- Texas State University Round Rock Campus
- St. Davids School of Nursing
- Austin Community College Round Rock Campus
- Texas A&M College of Medicine – Round Rock

Other

- Georgetown Municipal Airport
- Inner Space Cavern
- Teravista Masterplanned Community
- Teravista Golf Club
- Plus, thousands of single-family homes

