



## PROPERTY DESCRIPTION

The Shops at Bagdad Corner offers a premier retail destination in the rapidly expanding Leander, Texas market. This Class A neighborhood retail center showcases exceptional architectural design and meticulous craftsmanship—every element has been thoughtfully executed to create an inviting, high quality environment for both tenants and visitors. Positioned at a high growth corridor, it provides outstanding visibility, accessibility, and long term value.

## PROPERTY HIGHLIGHTS

- Access to Bagdad Rd and Municipal Dr
- Up to 4,400 sf Drive Thru available for Lease or Purchase
- Parking ratio: 4.5/1000
- Shops consist of 4 Retail Buildings between 1,192sf-2,538sf suites
- Drive Thru Available

## OFFERING SUMMARY

<b>Sale Price:</b>	Call Broker for Pricing
<b>Lease Rate:</b>	Negotiable SF/yr (NNN)
<b>Number of Units:</b>	19
<b>Available SF:</b>	1,192 – 9,500 SF
<b>Lot Size:</b>	3.12 Acres
<b>Building Size:</b>	Construction Delivered March 2026 (Drive Thru) Building 1 – 4,433 sf Building 2 – 8,165 sf Building 3 – 9,760 sf Building 4 – 9,184 sf

FOR LEASE / FOR SALE

THE SHOPS AT BAGDAD CORNER

1012 MUNICIPAL DRIVE, LEANDER, TX 78641



FOR MORE  
INFORMATION:

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jcollins@stcroixca.com

St. Croix Capital Realty Advisors  
Office: 512.391.0718  
www.stcroixcra.com



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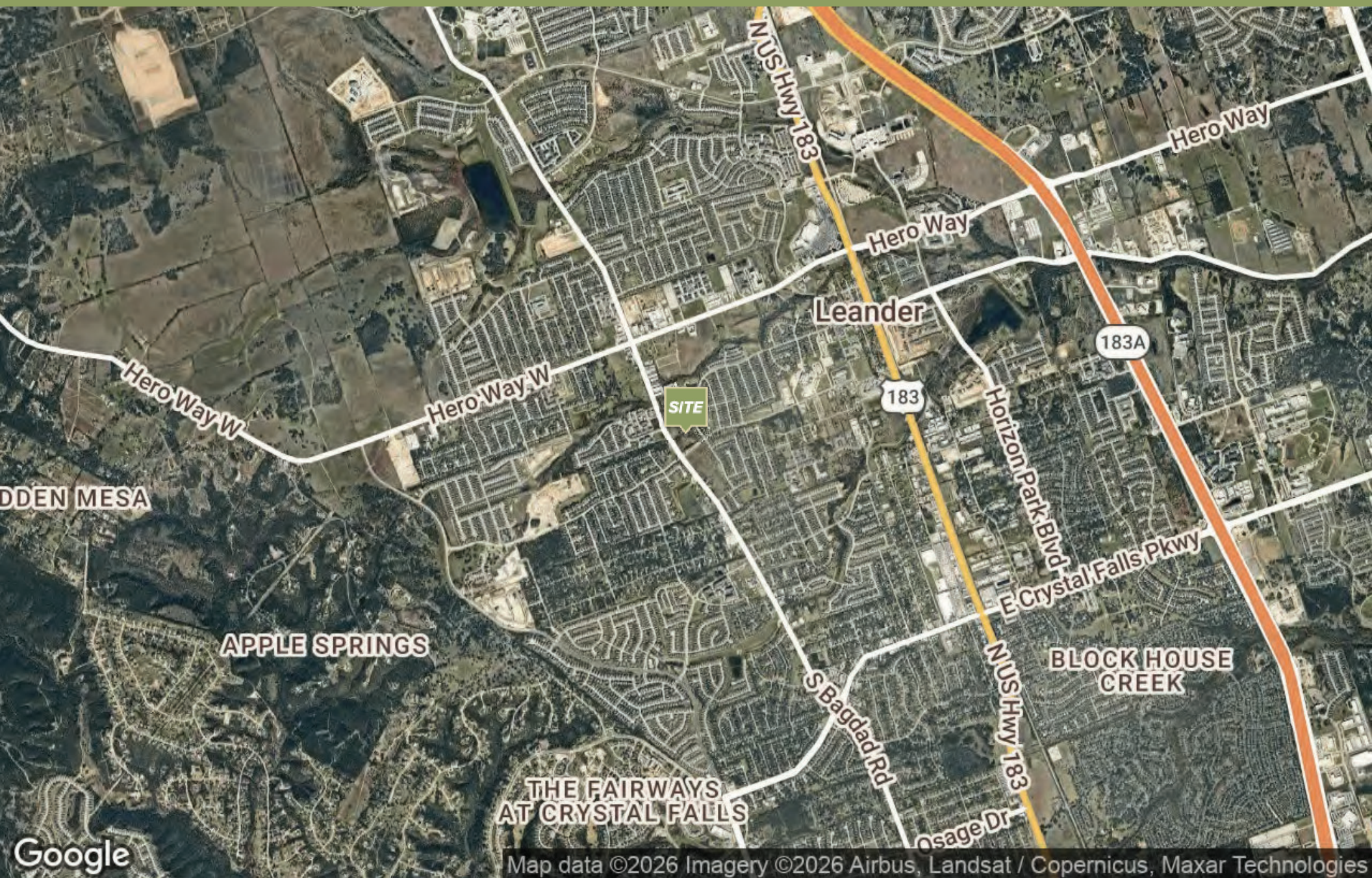
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# FOR LEASE / FOR SALE

# THE SHOPS AT BAGDAD CORNER

1012 MUNICIPAL DRIVE, LEANDER, TX 78641



Map data ©2026 Imagery ©2026 Airbus, Landsat / Copernicus, Maxar Technologies

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# FOR LEASE / FOR SALE

# THE SHOPS AT BAGDAD CORNER

1012 MUNICIPAL DRIVE, LEANDER, TX 78641



Map data ©2026 Imagery ©2026 Airbus, CNES / Airbus, Landsat / Copernicus

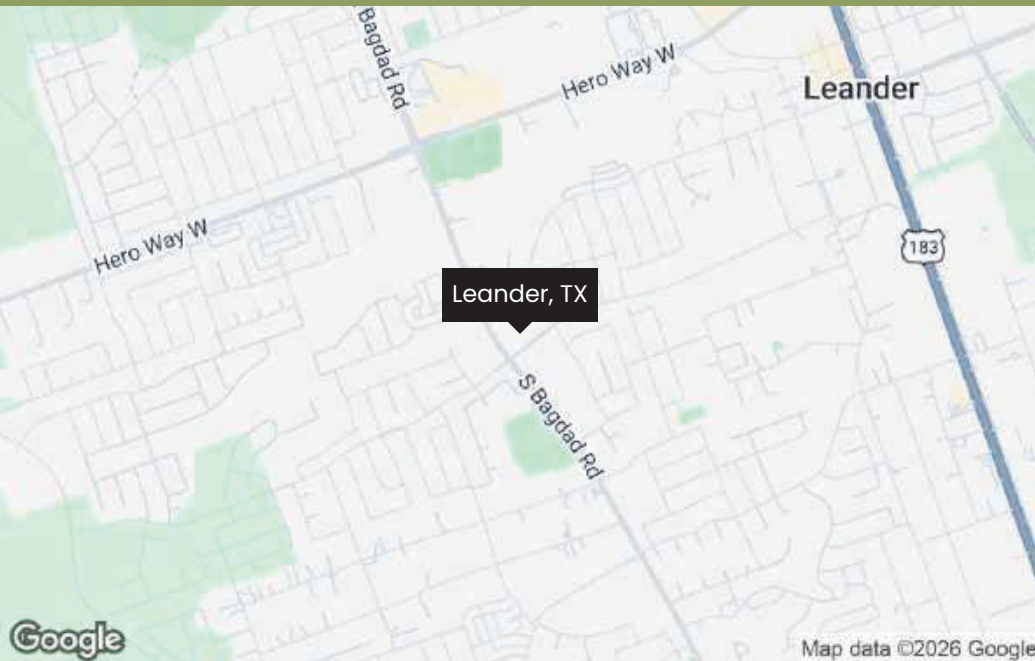
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## LEANDER, TX

### **Explosive Population Growth:**

Leander is one of the fastest growing cities in the U.S., with population increases reported at 8.62% year over year, reflecting sustained demand for retail, services, and lifestyle amenities.

### **Affluent Consumer Base:**

Leander households have exceptional buying power, with a median household income of approximately \$140,180, significantly higher than Texas and Austin metro averages. This positions retailers to tap into a strong, discretionary spending consumer market.

### **Highly Educated & Family Driven Community:**

The area attracts families seeking high quality schools—Leander ISD is among the fastest growing districts in the U.S., serving nearly 40,000 students across 42 campuses. This drives demand for neighborhood services, dining, health, and family oriented retail.

### **Strong Commuter Patterns & Mobility:**

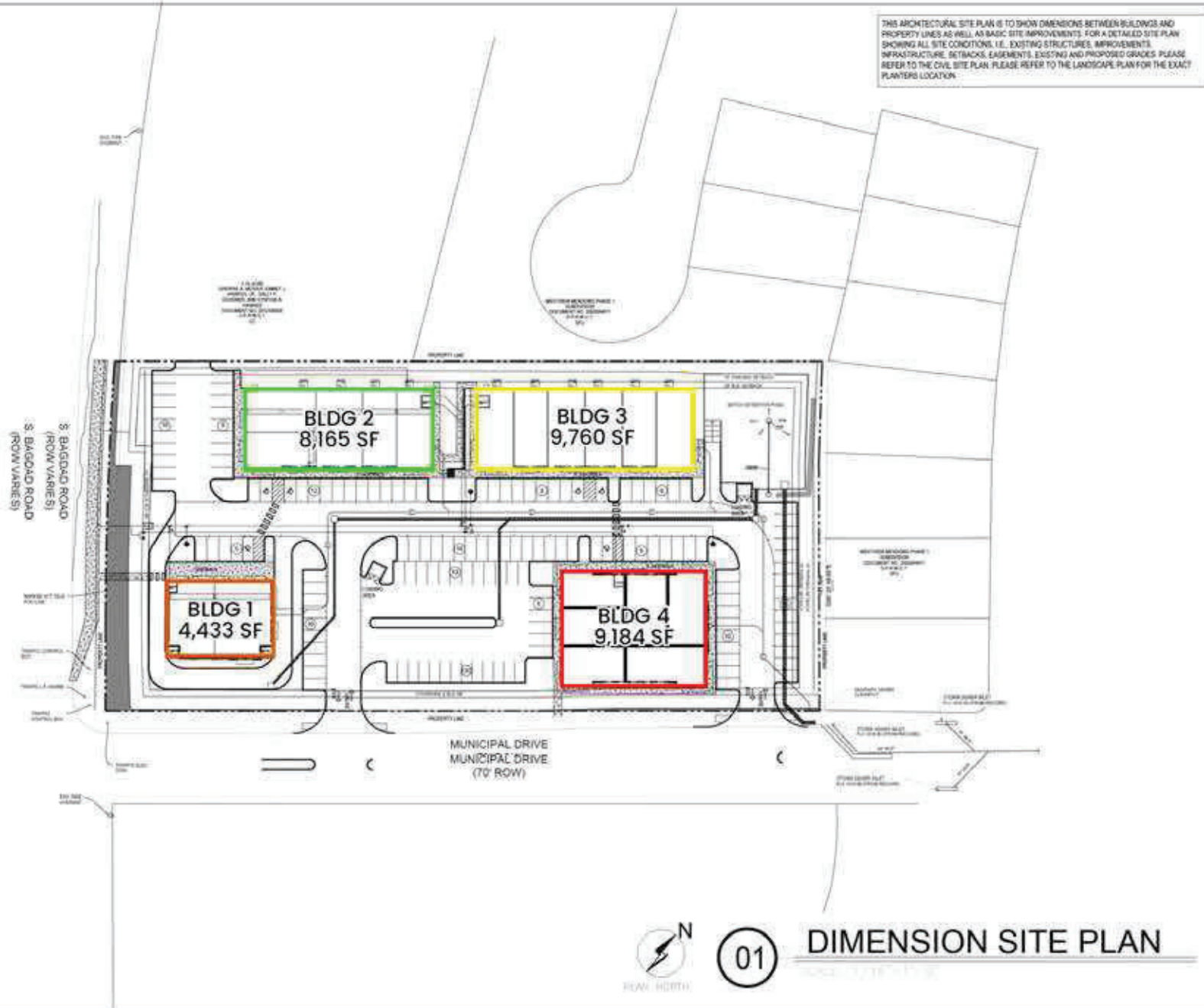
Residents report an average 30 minute commute, with the overwhelming majority traveling by car. High car dependency supports inline retail, quick service tenants, and convenience driven shopping.

### **Established Economic Growth & Stability:**

Leander has a diversified economic environment supported by technology, manufacturing, and healthcare, with excellent regional connectivity via US 183A and proximity to booming Austin area employment centers.

### **High Homeownership & Long Term Residency Patterns:**

With a 75.6% homeownership rate, Leander attracts stable, long term residents—ideal for retailers seeking predictable foot traffic and repeat clientele.



fk design  
100 (includes plan  
with 310  
plans, Texas 78707)

APPROVED BY THE  
CITY OF LEANDER, TEXAS



Original Date:  
Issue Log  
BLDG 1 NAME CENTER  
BLDG 2 NAME CENTER  
BLDG 3 NAME CENTER  
BLDG 4 NAME CENTER

DATE BY CHECK BY  
DATE BY CHECK BY

SHOPS AT BAGDAD CORNER  
RETAIL CENTER  
1012 MUNICIPAL DRIVE  
LEANDER, TEXAS 78641

Sheet Number:  
A101  
Project Number:  
23-011

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# BUILDING 1



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# BUILDING 2



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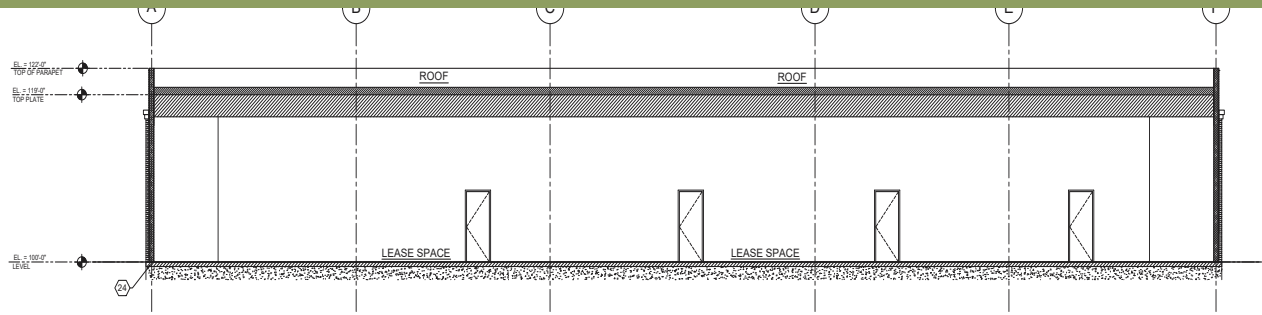
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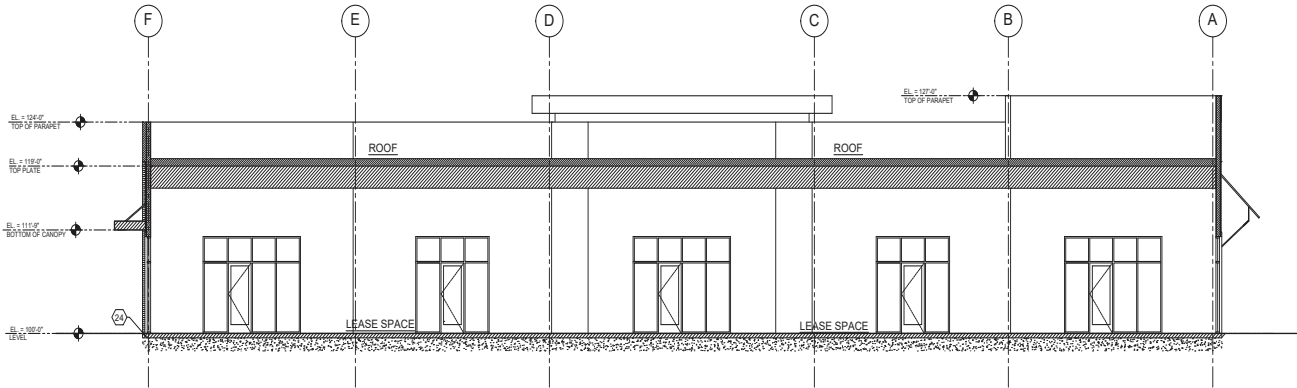




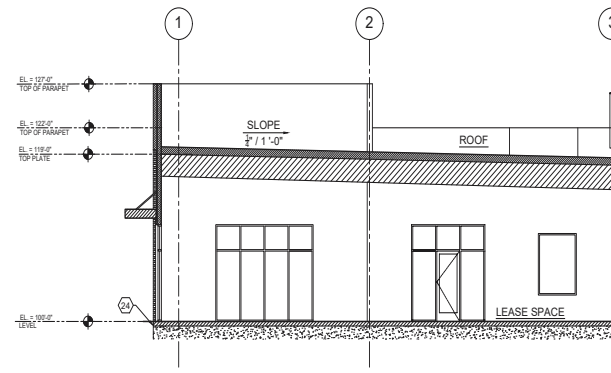
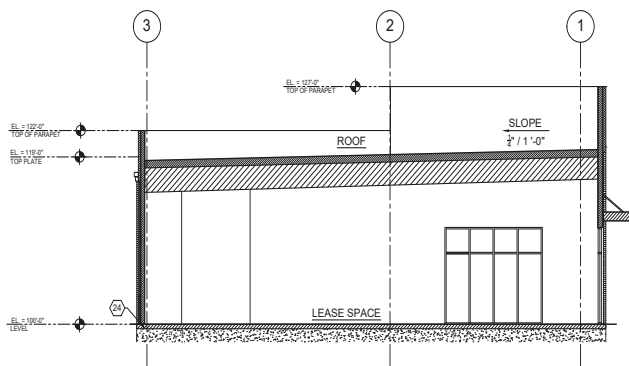
# BUILDING 2



**C** LONGITUDINAL SECTION BUILDING 2  
SCALE = 1/8"=1'-0"



**D** LONGITUDINAL SECTION BUILDING 2  
SCALE = 1/8"=1'-0"



CROSS SECTION

fk design  
400 Blue  
plano, TX  
09/27/2024

CREATIVE QUALITY DESIGN  
MAY DESIGN/ESTIMATE  
ARCHITECTS, INC. 19754  
COMMERCE/ST. LOUIS, MISSOURI

Original Date:  
03/01/2023  
Issue Log  
ISSUED FOR PERMIT: 09/24/2024  
ISSUED FOR CONSTRUCTION: 09/24/2024  
CITY COMMENTS: 09/24/2024

DRAWN BY: \_\_\_\_\_ CHECKED BY: \_\_\_\_\_  
NA

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SHOPS AT BAGDAD CORNER  
RETAIL CENTER, BUILDING 2  
1012 MUNICIPAL DRIVE  
LEANDER, TEXAS 78641

See document number 21-001-001-001 for details regarding the design of this project. The design is based on the information provided by the client and is not intended to be used for any other purpose. The design is not a contract and does not constitute an offer of insurance or any other financial product. The design is not a guarantee of performance and is not intended to be used for any other purpose. The design is not a contract and does not constitute an offer of insurance or any other financial product.

Sheet Number:  
A110-2

FOR MORE  
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# BUILDING 3



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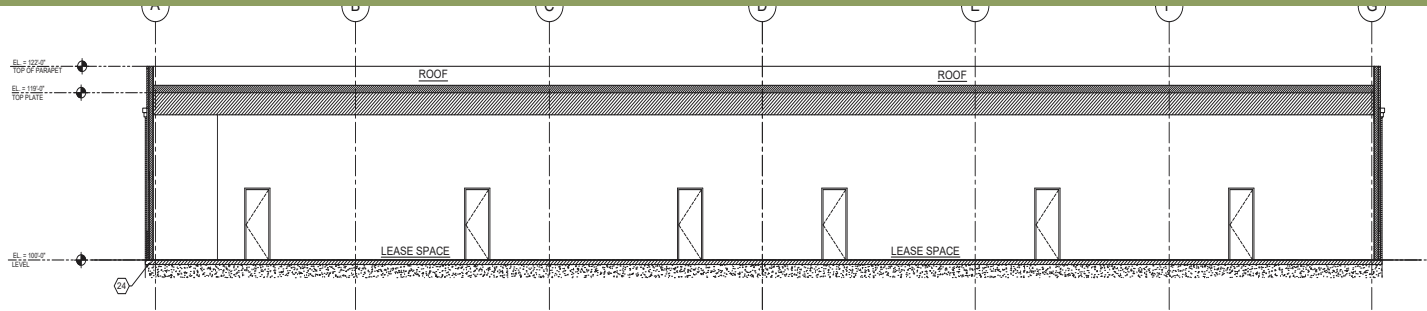
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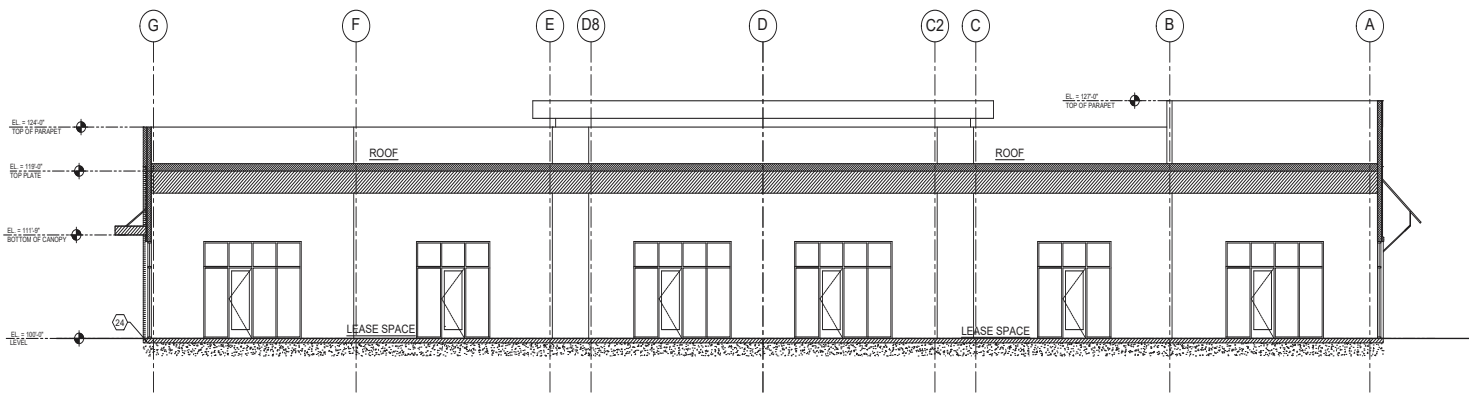




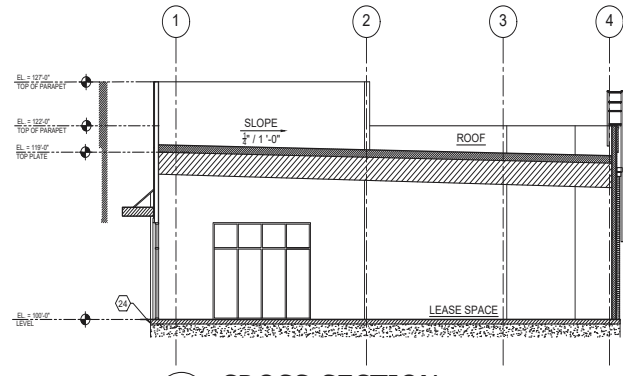
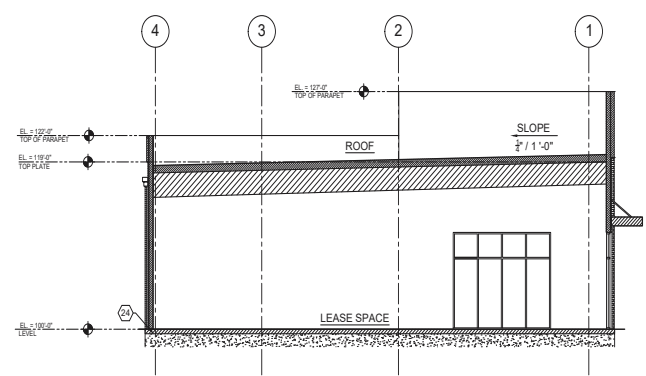
# BUILDING 3



**C** LONGITUDINAL SECTION BUILDING 3  
SCALE = 1/8"=1'-0"



**D** LONGITUDINAL SECTION BUILDING 3  
SCALE = 1/8"=1'-0"



CROSS SECTION

FLK DESIGN  
400 Blue  
plans  
09/27/2024

**M**  
CREATIVE QUALITY DESIGN  
MAY DESIGNER/STANDARD  
ARCHITECTS, P.C.  
COMMERCIAL/RESIDENTIAL/INDUSTRIAL

Original Date: 03/01/2023  
Issue Log  
ISSUED FOR PERMIT: 09/24/2024  
ISSUED FOR CONSTRUCTION: 09/24/2024  
CITY COMMENTS: 09/24/2024

DRAWN BY: JAV/RS CHECKED BY: JAV

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SHOPS AT BAGDAD CORNER  
RETAIL CENTER, BUILDING 3  
1012 MUNICIPAL DRIVE  
LEANDER, TEXAS 78641

ALL dimensions are in feet and inches. All dimensions are to the centerline of the member unless otherwise noted. All dimensions are to the finished condition. All dimensions are to the centerline of the member unless otherwise noted. All dimensions are to the finished condition. All dimensions are to the centerline of the member unless otherwise noted. All dimensions are to the finished condition.

Sheet Number:  
A110-3

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# BUILDING 4



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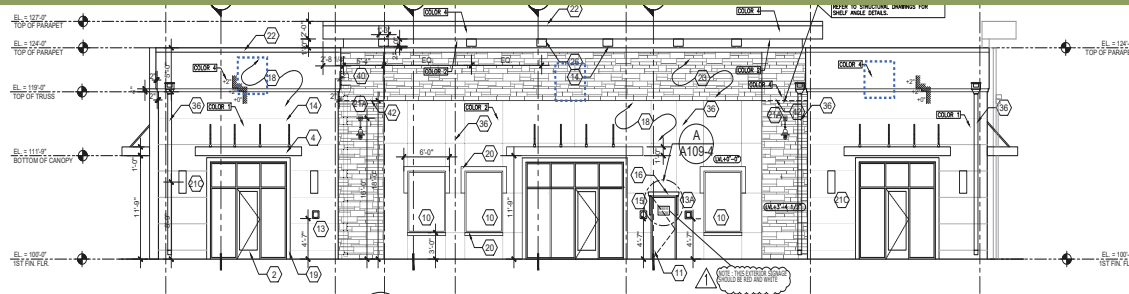
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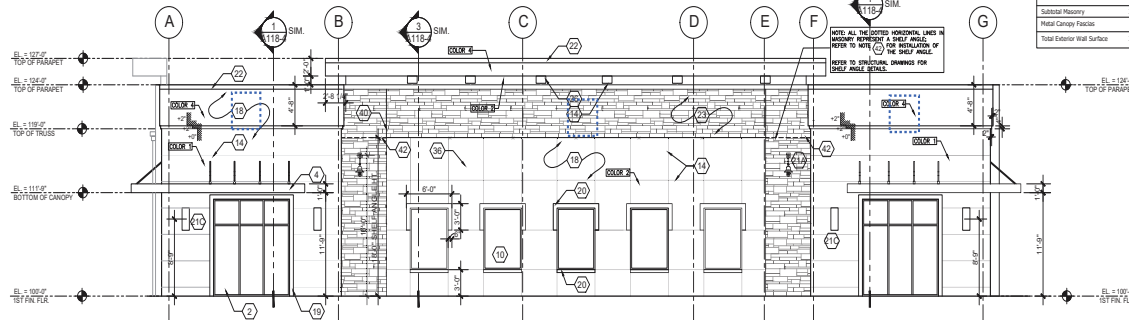
# BUILDING 4



**1 APPROACH-FRONT ELEVATION**  
SCALE = 1/8"-1'-0"  
BUILDING 4

**ELEVATION -1**  
Exterior Wall Materials Calculations

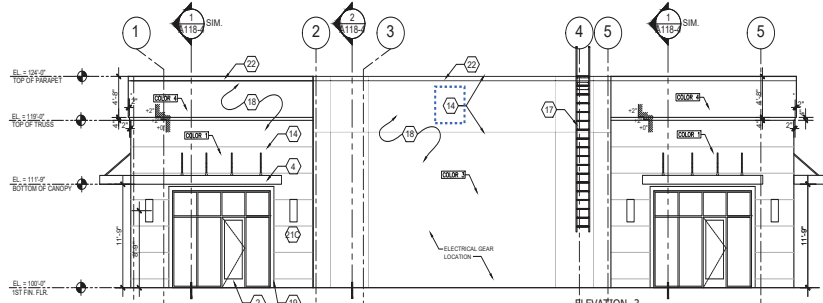
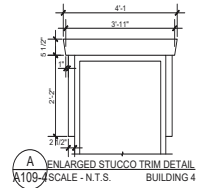
Total Exterior Surface	2,212.47
Opening	-469.47
NET EXTERIOR WALL SURFACE	1,742.99
Exterior Stone	584.47
Stucco, 3 part finish	1,158.52
Subtotal Masonry	1,742.99
Metal Canopy Facade	63.47
Total Exterior Wall Surface	1,806.46



**2 ROAD FACING ELEVATION**  
SCALE = 1/8"-1'-0"  
MUNICIPAL DRIVE FACING ELEVATION  
BUILDING 4

**ELEVATION -2**  
Exterior Wall Materials Calculations

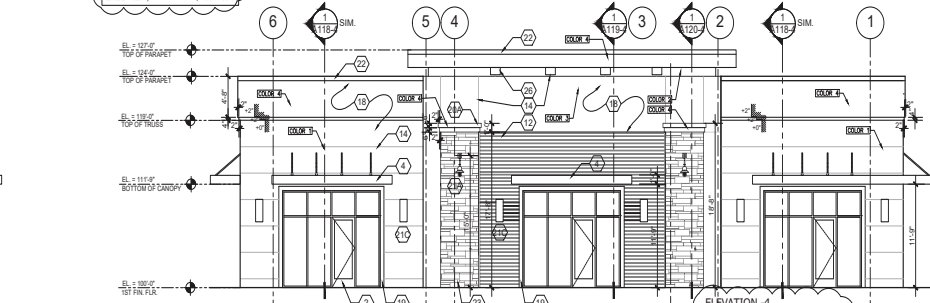
Total Exterior Surface	2,833.47
Opening	-793.87
NET EXTERIOR WALL SURFACE	2,039.60
Exterior Stone	530.47
Stucco, 3 part finish	1,499.13
Metal Canopy Facade	46.47
Subtotal Masonry	2,039.60



**3 SIDE ELEVATION**  
SCALE = 1/8"-1'-0"  
BUILDING 4

**ELEVATION -3**  
Exterior Wall Materials Calculations

Total Exterior Surface	2,212.47
Opening	-282.47
NET EXTERIOR WALL SURFACE	1,930.00
Exterior Stone	126.47
Stucco, 3 part finish	1,793.53
Subtotal Masonry	1,930.00
Metal Canopy Facade	46.47
Total Exterior Wall Surface	1,976.47



**4 SIDE ELEVATION**  
SCALE = 1/8"-1'-0"  
BUILDING 4

**ELEVATION -4**  
Exterior Wall Materials Calculations

Total Exterior Surface	2,212.47
Opening	-422.47
NET EXTERIOR WALL SURFACE	1,790.00
Exterior Stone	126.47
Stucco, 3 part finish	1,663.53
Metal Canopy Facade	46.47
Subtotal Masonry	1,790.00

- or residential uses in the direction of the light.
- All site utility lines are proposed to be located underground.
- Windows shall have a maximum exterior reflectivity of (20%) percent.

- KEYNOTE LEGEND**
- 1 ALUMINUM STOREFRONT PER WINDOW SCHEDULE.
  - 2 SLAZED ALUMINUM STOREFRONT PER DOOR SCHEDULE.
  - 3 SLAZED ALUMINUM STOREFRONT PER WINDOW SCHEDULE.
  - 4 NOT USED.
  - 5 DEEP CANOPY DESIGN IN ALUMINUM DESIGN. REFER ELEVATION FOR HEIGHTS. CANOPY SCOPE TO BE DRAWING FOR REVIEW.
  - 6 WINDOW BUILT BY THE CANOPY SUBCONTRACTOR. PROVIDE TENSILE BAR BOLTED AND ISOLATED SHIP DRAWING FOR REVIEW.
  - 7 NOT USED.
  - 8 FROD GLAZED ALUMINUM WINDOW PER DOOR SCHEDULE.
  - 9 FIRE RISER ROOM DOOR.
  - 10 FROD RISER ROOM DOOR.
  - 11 HERRIDGE IR-66 WALL PANEL SYSTEM. REFER EXTERIOR MATERIAL LIST FOR DETAILS.
  - 12 THE DEPARTMENT APPROVED ANCHOR BOLT #400 SERIES ACCESSIBLE INTO THE WALL SYSTEM. MOUNT AT 24" P.C. PERMANENTLY. CONTRACTOR SHALL FIELD LOCATE WITH THE CODE OFFICIAL BEFORE INSTALLATION.
  - 13 THE DEPARTMENT APPROVED ANCHOR BOLT #300 SERIES. ACCESSIBLE INTO THE WALL SYSTEM. MOUNT AT 24" P.C. PERMANENTLY. CONTRACTOR SHALL FIELD LOCATE WITH THE CODE OFFICIAL BEFORE INSTALLATION.
  - 14 STUCCO V-GROOVE PER MANUF. SPECS.
  - 15 PROVIDE AN APPROVED FIRE DEPARTMENT CONNECTION PER FIRE DEPT. CODES AND SPECS. REFER TO CIVIL PLANS FOR EXACT LOCATION. ALL FIRE DEPARTMENT CONNECTIONS FOR ACTIVATING FIRE DEPARTMENTERS WILL REQUIRE LOCKING AND FC CAPS. CONTRACTOR TO COORDINATE THE FC LOCATION WITH CIVIL PLANS.
  - 16 THE DEPARTMENT APPROVED ANCHOR BOLT #300 SERIES. ACCESSIBLE INTO THE WALL SYSTEM. MOUNT AT 24" P.C. PERMANENTLY. CONTRACTOR SHALL FIELD LOCATE WITH THE CODE OFFICIAL BEFORE INSTALLATION. IT SHALL HAVE A RED BACKGROUND WITH "W" WHITE LETTERS THAT READ "TOD". IT SHALL BE MOUNTED HIGH ABOVE THE CONNECTION AS TO NOT BE OBSTRUCTED BY VERTICAL LANDSCAPING, ETC.
  - 17 1/2" STUCCO TOP TRIM W/ 2" SIDE TRIM. (SEE ELEVATION)
  - 18 ROOF ACCESS LADDER PER BUILDERS SPECS. ANCHOR AND WEATHER BANDER TO BE PROPERLY DETAILED.
  - 19 FINISH LADDER WALL ANCHORS PER ANCHOR MANUFACTURERS RECOMMENDATIONS AND DETAILS.
  - 20 3/4" COAT 1/4" STUCCO FINISH OVER METAL LATH ON FELT PAPER. STUCCO ON WALLS WITH JOINTS.
  - 21 1/2" STUCCO TOP TRIM W/ 4" SIDE TRIM AS PER ELEVATION.
  - 22 STUCCO BOOT. SLOPE AWAY FROM WALL FOR WATER DRAINAGE.
  - 23 STUCCO PLASTER BOOT. SLOPE AWAY FROM WALL FOR WATER DRAINAGE.
  - 24 1/2" FINISH PUTTLE FOR ELECTRICAL. REFER SELECTED CEILING PLAN FOR FUTURE HEIGHTS.
  - 25 WALL FINISH PUTTLE FOR ELECTRICAL. REFER SELECTED CEILING PLAN FOR FUTURE HEIGHTS.
  - 26 FOR FUTURE HEIGHTS.
  - 27 RECEPTACLE WALL LIGHT FIXTURE PER ELECTRICAL. REFER SELECTED CEILING PLAN FOR FUTURE HEIGHTS.
  - 28 NOT USED.
  - 29 BREAK METAL CLADDING IN GAUGE COPING CAP. CONTRACTOR TO PROVIDE ENOUGH UNDERCUTTING TO GAUGE METAL TO PREVENT OIL DRAINING.
  - 30 UNFINISHED MASONRY. REFER ELEVATION FOR COLOR FOR SPECS.
  - 31 VERIFY STILES COLOR W/ OWNERS. PROVIDE KEEP HOLES AT LUG PER PROVIDE WRET. & HOR. REIN. BY ENGINEER. METAL CLADDING TO BE APPROVED BY DESIGN TEAM (W/ BLUE FOR SPECS).
  - 32 FOUNDATION PLANTERS. REF CIVIL SITE PLAN AND LANDSCAPE PLAN FOR DETAILS.
  - 33 1/4" GA CONCRETE HEAD AND DOWNSPUT AND OVERFLOW SCUMPER DISCHARGE AT GRADE.
  - 34 1/4" VERTICAL CONTROL JOINT IN MASONRY WALL.
  - 35 PROVIDE A SHELF ANGLE. REFER TO ELEVATION FOR SPECS. (REF. STRUCTURAL)
  - 36 AN 8" CONCRETE STOPS.
  - 37 WOODEN BRACKET-ESPRESSO COLOR; REF. ELEV. FOR HTS.
  - 38 WINDOW COVERS PER DOOR SCHEDULE.
  - 39 DRAWING FOR SITE PLAN - POSITIVE PROFILE GRADUALLY AWAY FROM BLDG.
  - 40 NOT USED.
  - 41 FOUNDATION PLANTERS. REF CIVIL SITE PLAN AND LANDSCAPE PLAN FOR DETAILS.
  - 42 1/4" GA CONCRETE HEAD AND DOWNSPUT AND OVERFLOW SCUMPER DISCHARGE AT GRADE.
  - 43 1/4" VERTICAL CONTROL JOINT IN MASONRY WALL.
  - 44 PROVIDE A SHELF ANGLE. REFER TO ELEVATION FOR SPECS. (REF. STRUCTURAL)

- ALUMINUM STOREFRONT**  
CFL U.S. ALUMINUM SERIES  
COLOR: SLATE GRAY 22-18 GAUGE  
WSP CENTER GLAZED STOREFRONT  
OR APPROVED EQUAL  
FINISH: BRONZE  
GLASS: MILLER GLASS OR APPROVED EQUAL  
(294) 538-4537  
METAL AWNING
- METAL COPING**  
COLOR: SLATE GRAY 22-18 GAUGE  
WMA CLAD OR APPROVED EQUAL  
P. (800) 409-7777  
PAINT  
COLOR: 3 SHERWIN WILLIAMS SW  
GLASS: MILLER GLASS OR APPROVED EQUAL  
METAL AWNING
- STUCCO WALL SYSTEM**  
S&P (www.sps.com) or (6300 SERIES) SYSTEM  
OR APPROVED EQUAL  
INTEGRATED STUCCO WALL SYSTEM
- MANUFACTURED MASONRY**  
MANUFACTURER: CULTURED STONE  
PATTERN: COUNTY Limestone  
COLOR: ECHO ROCK

**NOTE:**  
1 Please ensure the address is visible on the exterior of the building. Please see Article 505.1 in the Leander Code of Ordinance for more information. Building numbers and unit addressing shall be visible from the Fire Lane. Illuminated and contrasting in color from the background. The following criteria shall be applied for proper sizing and is based on the distance from the fire lane: 4' MIN. Height; Up to 50' = 4' MIN. Height 51' - 100'. Inspector will verify addressing for the building upon inspection.

10/14/2024

ST. CROIX CAPITAL REALTY ADVISORS

MADE IN TEXAS

MAX OVERSEAS STUDIO  
1900 W. UNIVERSITY AVE. SUITE 110  
AUSTIN, TEXAS 78705  
WWW.MAXOVERSEASSTUDIO.COM

Original Date: 03/01/2023  
Issue Log  
ISSUED FOR CONSTRUCTION: 09/24/2024  
CITY COMMENTS: 11/19/2024  
DRAWN BY: MARG  
CHECKED BY: HR  
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SHOPS AT BAGDAD CORNER  
RETAIL CENTER, BUILDING 4  
1012 MUNICIPAL DRIVE  
LEANDER, TEXAS 78641

Sheet Number: A109-4

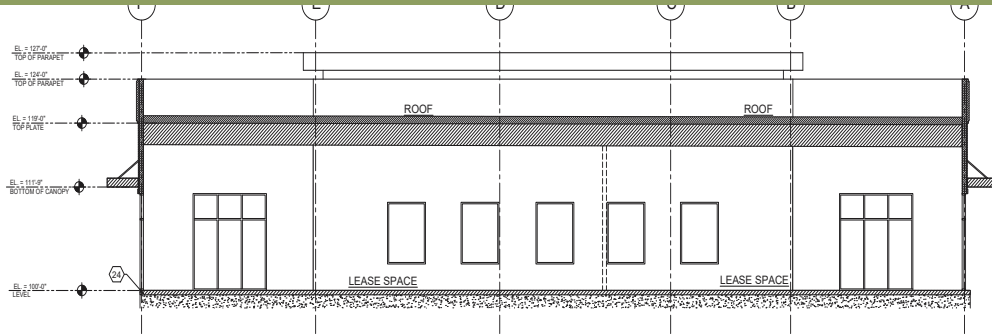
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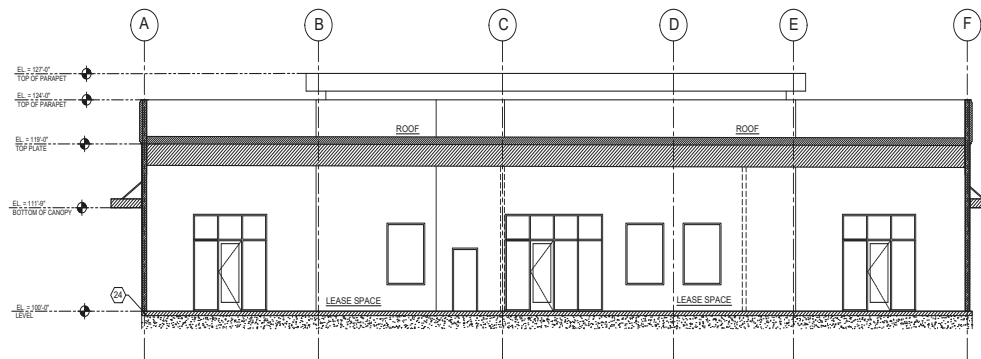
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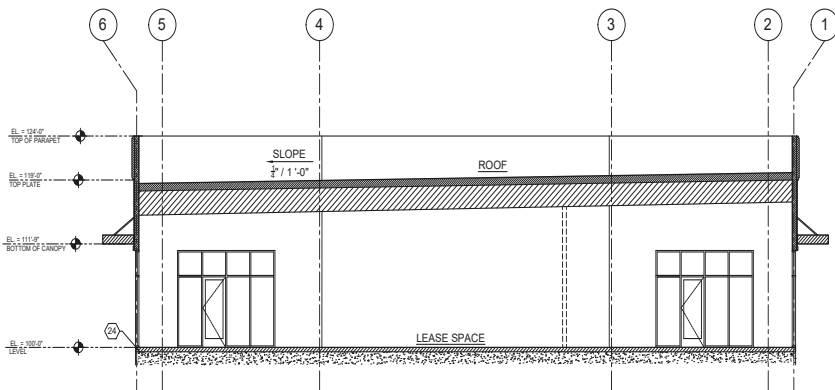
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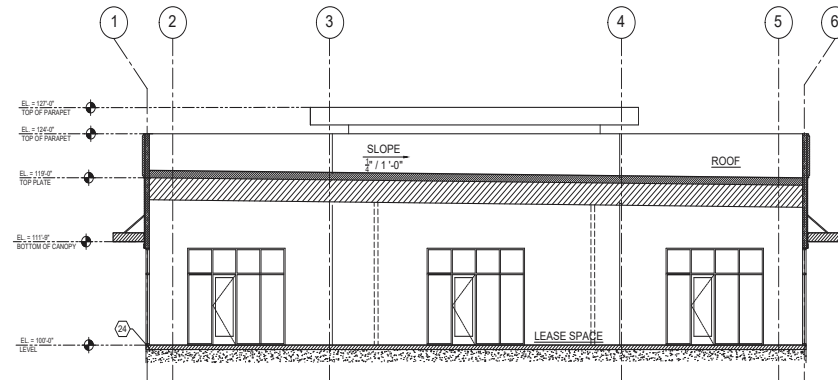
**D** LONGITUDINAL SECTION BUILDING 4  
SCALE = 1/8"=1'-0"



**C** LONGITUDINAL SECTION BUILDING 4  
SCALE = 1/8"=1'-0"




**B** CROSS SECTION BUILDING 4  
SCALE = 1/8"=1'-0"



**A** CROSS SECTION BUILDING 4

fk design  
400 Ohio  
plano, TX  
09/27/2024



**M**  
CREATIVE QUALITY DESIGN  
MAY DESIGN/ESTIMATE  
ARCHITECTURE/INTERIOR  
DESIGN/CONSTRUCTION

Original Date: 09/01/2023  
Issue Log  
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ISSUED FOR CONSTRUCTION: 09/24/2024  
CITY COMMENTS: 09/24/2024

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NA NA

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RETAIL CENTER, BUILDING 4  
1012 MUNICIPAL DRIVE  
LEANDER, TEXAS 78641

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# FOR LEASE / FOR SALE

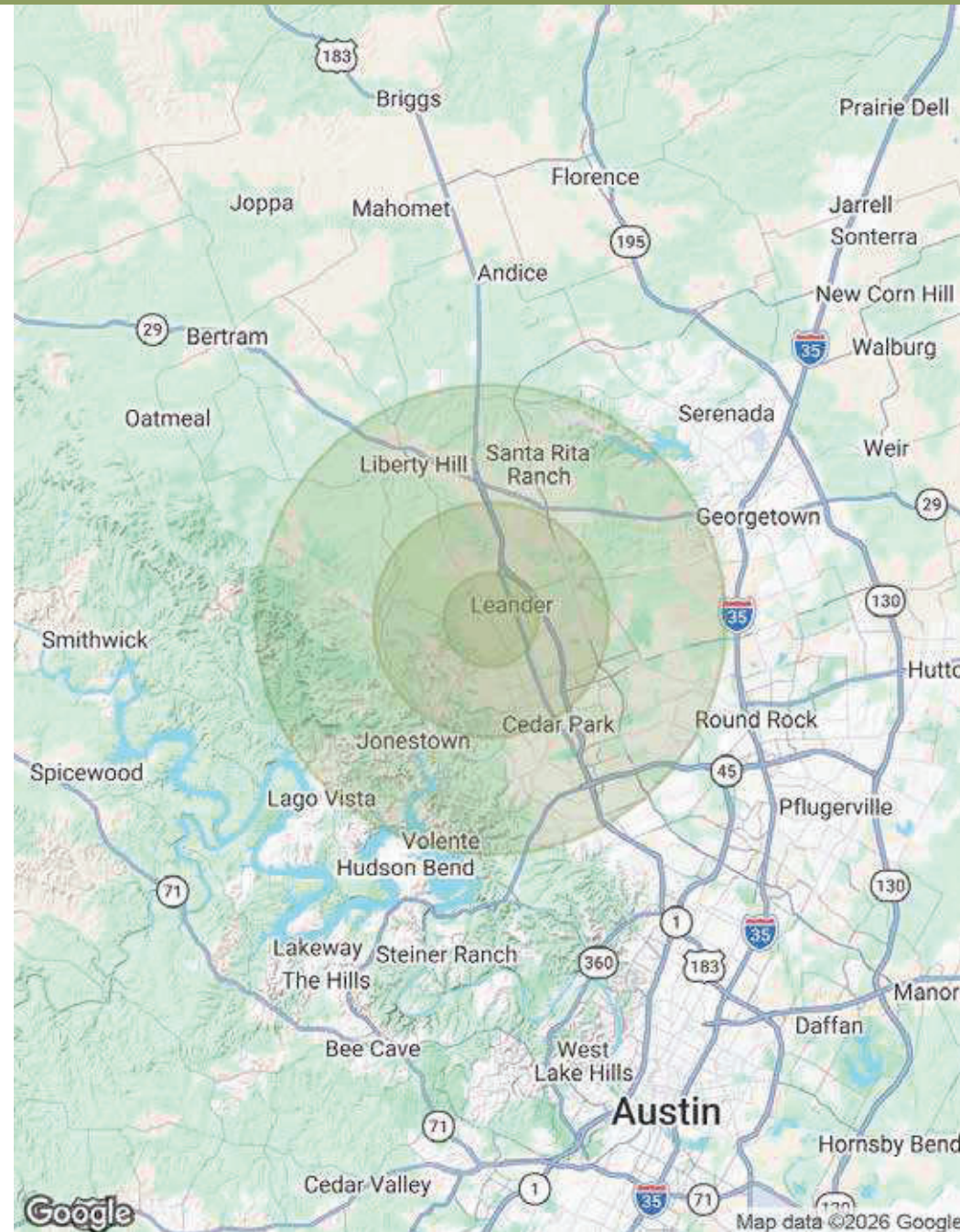
## THE SHOPS AT BAGDAD CORNER

1012 MUNICIPAL DRIVE, LEANDER, TX 78641

POPULATION	2 MILES	5 MILES	10 MILES
Total Population	36,085	127,081	363,064
Average Age	36	37	37
Average Age (Male)	35	36	37
Average Age (Female)	37	38	38

HOUSEHOLDS & INCOME	2 MILES	5 MILES	10 MILES
Total Households	12,392	44,113	131,707
# of Persons per HH	2.9	2.9	2.8
Average HH Income	\$136,561	\$144,579	\$161,732
Average House Value	\$470,894	\$522,614	\$576,739



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# Information About Brokerage Services

Texas law requires all real estate licensees to give the following information about brokerage services to prospective buyers, tenants, sellers and landlords.

### TYPES OF REAL ESTATE LICENSE HOLDERS:

- **A BROKER** is responsible for all brokerage activities, including acts performed by sales agents sponsored by the broker.
- **A SALES AGENT** must be sponsored by a broker and works with clients on behalf of the broker.

### A BROKER'S MINIMUM DUTIES REQUIRED BY LAW (A client is the person or party that the broker represents):

- Put the interests of the client above all others, including the broker's own interests;
- Inform the client of any material information about the property or transaction received by the broker;
- Answer the client's questions and present any offer to or counter-offer from the client; and
- Treat all parties to a real estate transaction honestly and fairly.

### A LICENSE HOLDER CAN REPRESENT A PARTY IN A REAL ESTATE TRANSACTION:

**AS AGENT FOR OWNER (SELLER/LANDLORD):** The broker becomes the property owner's agent through an agreement with the owner, usually in a written listing to sell or property management agreement. An owner's agent must perform the broker's minimum duties above and must inform the owner of any material information about the property or transaction known by the agent, including information disclosed to the agent or subagent by the buyer or buyer's agent.

**AS AGENT FOR BUYER/TENANT:** The broker becomes the buyer/tenant's agent by agreeing to represent the buyer, usually through a written representation agreement. A buyer's agent must perform the broker's minimum duties above and must inform the buyer of any material information about the property or transaction known by the agent, including information disclosed to the agent or seller's agent.

**AS AGENT FOR BOTH - INTERMEDIARY:** To act as an intermediary between the parties the broker must first obtain the written agreement of each party to the transaction. The written agreement must state who will pay the broker and, in conspicuous bold or underlined print, set forth the broker's obligations as an intermediary. A broker who acts as an intermediary:

- Must treat all parties to the transaction impartially and fairly;
- May, with the parties' written consent, appoint a different license holder associated with the broker to each party (owner and buyer) to communicate with, provide opinions and advice to, and carry out the instructions of each party to the transaction.
- Must not, unless specifically authorized in writing to do so by the party, disclose:
  - that the owner will accept a price less than the written asking price;
  - that the buyer/tenant will pay a price greater than the price submitted in a written offer; and
  - any confidential information or any other information that a party specifically instructs the broker in writing not to disclose, unless required to do so by law.

**AS SUBAGENT:** A license holder acts as a subagent when aiding a buyer in a transaction without an agreement to represent the buyer. A subagent can assist the buyer but does not represent the buyer and must place the interests of the owner first.

### TO AVOID DISPUTES, ALL AGREEMENTS BETWEEN YOU AND A BROKER SHOULD BE IN WRITING AND CLEARLY ESTABLISH:

- The broker's duties and responsibilities to you, and your obligations under the representation agreement.
- Who will pay the broker for services provided to you, when payment will be made and how the payment will be calculated.

**LICENSE HOLDER CONTACT INFORMATION:** This notice is being provided for information purposes. It does not create an obligation for you to use the broker's services. Please acknowledge receipt of this notice below and retain a copy for your records.

<b>St. Croix Capital Realty Advisors, LLC</b>	<b>90033153</b>	<b>jcollins@stcroixca.com</b>	<b>(512)391-0718</b>
Licensed Broker /Broker Firm Name or Primary Assumed Business Name	License No.	Email	Phone
<b>John W. Collins IV</b>	<b>561707</b>	<b>jcollins@stcroixca.com</b>	<b>(512)391-0718</b>
Designated Broker of Firm	License No.	Email	Phone
Licensed Supervisor of Sales Agent/ Associate	License No.	Email	Phone
<b>Jared Vincent</b>	<b>758362</b>	<b>jvincent@stcroixca.com</b>	<b>(512)391-0718</b>
Sales Agent/Associate's Name	License No.	Email	Phone
_____	_____	_____	_____
Buyer/Tenant/Seller/Landlord Initials	Date		

Regulated by the Texas Real Estate Commission

Information available at [www.trec.texas.gov](http://www.trec.texas.gov)

TXR-2501

IABS 1-0 Date

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