

CONSTRUCTION PLANS

for

FAMILY SHOPPING CENTER

OKALOOSA COUNTY, FLORIDA

PARCEL ID No.

16-2S-25-0000-0033-0000

ELECTRIC SERVICE:
FLORIDA POWER & LIGHT
1655 S. FERDON BLVD.
CRESTVIEW, FL 32536
PHONE: (850) 659-4628

TELEPHONE SERVICE:
ATT/DISTRIBUTION
2711 SOUTH FERDON BLVD
CRESTVIEW, FL 32536
PHONE: (850) 689-4309

WATER & SEWER SERVICE:
OKALOOSA COUNTY
217 CARMEL DRIVE
FORT WALTON BEACH, FLORIDA 32547
PHONE: (850) 852-2189

CABLE SERVICE:
SPECTRUM NETWORKS
121 NICOLE LANE
CRESTVIEW, FL 32539
PHONE: (850) 659-2405

GAS SERVICE:
OKALOOSA GAS DISTRICT
101 S. MAIN STREET
CRESTVIEW, FL 32536
PHONE: (850) 729-4700

811 (KNOW WHAT'S BELOW) SERVICE:
SUNSHINE STATE ONE CALL
11 PLANTATION ROAD
DEWBERRY, FL 32713
PHONE: (800) 432-4770 OR 811

OKALOOSA COUNTY GROWTH MANAGEMENT:
1250 N. ELGIN PARKWAY, SUITE 301
SHALIMAR, FL 32579
PHONE: (850) 651-7180

OKALOOSA COUNTY ENGINEERING DEPT.:
1759 S. FERDON BLVD.
CRESTVIEW, FL 32536
PHONE: (850) 689-5772

OKALOOSA COUNTY TRAFFIC DEPT.:
1759 S. FERDON BLVD.
CRESTVIEW, FL 32536
PHONE: (850) 689-5772

BUILDING DEPARTMENT NOTES:

1. *Site shall comply with The Florida Building Code 7th Edition (2020) Accessibility*
2. *Final site shall be graded to provide pedestrian and parking ADA accessibility*
3. *Separate permits are required for the following if applicable*
Construction trailers, sales centers, dumpster enclosures, lift stations, swimming pools, playground equipment, wall signs, monument signs, retaining/landscape walls, entry wall features, site lighting, generators, storage sheds, storage buildings, lightning protection systems, bulk oxygen storage tanks, fences, awnings, grease traps, paint spray booths, underground/above ground fuel storage tanks and helpads, EV charging stations etc.

DESCRIPTION AS FURNISHED: O.R. BOOK 2570 PAGE 3708 OF THE PUBLIC RECORDS OF OKALOOSA COUNTY, FLORIDA
BEGINNING AT THE PERMANENT REFERENCE MONUMENT NUMBER LB 2337 MARKING THE SOUTHWEST CORNER OF LOT 2, BLOCK "C", QUAIL RUN, PLAT BOOK 8, PAGE 47, OKALOOSA COUNTY, FLORIDA, PROCEED SOUTH 87 DEGREES 50 MINUTES 35 SECONDS WEST FOR A DISTANCE OF 234.92 FEET ALONG THE NORTH RIGHT-OF-WAY LINE OF STATE ROAD 30 TO LAKE AVENUE; THENCE GO NORTH 02 DEGREES 51 MINUTES 37 SECONDS WEST FOR A DISTANCE OF 180.00 FEET ALONG LAKE AVENUE; THENCE GO NORTH 87 DEGREES 50 MINUTES 35 SECONDS EAST FOR A DISTANCE OF 81.13 FEET; THENCE GO SOUTH 02 DEGREES 09 MINUTES 25 SECONDS EAST FOR A DISTANCE OF 30.00 FEET TO THE SOUTHWEST CORNER OF LOT 4, BLOCK "C", QUAIL RUN; THENCE GO NORTH 87 DEGREES 50 MINUTES 34 SECONDS EAST FOR A DISTANCE OF 156.00 FEET; THENCE GO SOUTH 02 DEGREES 09 MINUTES 25 SECONDS EAST FOR A DISTANCE OF 150.00 FEET TO THE POINT OF BEGINNING.



SITE LOCATION
NTS



Know what's below.
Call before you dig.

FL STATUTE 553.851 (1979) REQUIRES
MIN. OF 2 DAYS AND MAX. OF 5 DAYS
NOTICE BEFORE YOU EXCAVATE.

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DEVELOPER/OWNER:
MARISOL M. FERNANDEZ
3240 HERITAGE OAKS CIRCLE
NAVARRE, FLORIDA 32566
(407)729-0855
MARISOLMFERNANDEZ5@GMAIL.COM

ENGINEER:
HC ENGINEERING, INC
HERMINIO CRUZ, P.E.
PROFESSIONAL ENGINEER FLORIDA LIC. #60048
4650 WASHINGTON AVENUE, SUITE 352
NEW ORLEANS, LA 70125
(504)454-0500
HCRUZ@HC-ENGINEERING.COM

DESIGN CONSULTANT:
PEAY DESIGN CONSULTANT, LLC
CHARLES E. PEAY
4477 MARSHALL STREET
ORLANDO, FLORIDA 32811
407-256-1793
CHARLES.PEAY@GMAIL.COM

SURVEYOR:
NORTHWEST FLORIDA LAND SURVEYING, INC.
JEFF SIMMONS PSM 7354
479 N. PACE BOULEVARD
PENSACOLA, FL 32505
(850)432-1052

APPLICABLE CODE:

- FLORIDA BUILDING CODE 2020 7th Edition
- NFPA 70 NATIONAL ELECTRIC CODE 2017
- NFPA 72 NATIONAL FIRE ALARM CODE 2015
- NFPA 101 LIFE SAFETY CODE 2017
- FLORIDA BUILDING CODE 2020, 7th Edition
- FLORIDA FIRE PREVENTION CODE 2020, 7th Edition

ENGINEERING DEPARTMENT NOTES:

1. SITE SHALL COMPLY WITH THE FLORIDA BUILDING CODE 7TH EDITION (2020) ACCESSIBILITY.
2. SEPARATE PERMITS ARE REQUIRED FOR THE FOLLOWING IF APPLICABLE.

CONSTRUCTION TRAILERS, SALES CENTERS, DUMPSTER ENCLOSURES, LIFT STATIONS, SWIMMING POOLS, PLAYGROUND EQUIPMENT, RETAINING WALLS, ENTRY WALL FEATURES, ACCESS GATES, SITE LIGHTING, GENERATORS, FENCES, GREASE TRAPS, FIRE ALARM AND SPRINKLER, ETC.

REVISIONS

NO.	DATE	DESCRIPTION
1	07/08/24	REVISED PER OKALOOSA COUNTY COMMENTS
2	11-17-2023	REVISED PER FIRE MARSHAL COMMENTS

4650 WASHINGTON AVE
SUITE 352
NEW ORLEANS
LA 70125
P(504)454-0500
LICENSE: 60048

COVER SHEET

US 98 / LAKE AVENUE INTERSECTION
OKALOOSA COUNTY, FLORIDA

HERMINIO CRUZ
DATE: May 20, 2025

SHEET NO.
01 OF 19

FAMILY SHOPPING CENTER

BOUNDARY AND TOPOGRAPHICAL SURVEY

OF A PORTION OF SECTION 16
TOWNSHIP 2 SOUTH, RANGE 25 WEST
OKALOOSA COUNTY, FLORIDA

DESCRIPTION AS FURNISHED: O.R. BOOK 2570 PAGE 3708 OF THE PUBLIC RECORDS OF OKALOOSA COUNTY, FLORIDA

BEGINNING AT THE PERMANENT REFERENCE MONUMENT NUMBER LB 2337 MARKING THE SOUTHWEST CORNER OF LOT 2, BLOCK "C", QUAIL RUN, PLAT BOOK 8, PAGE 47, OKALOOSA COUNTY, FLORIDA, PROCEED SOUTH 87 DEGREES 50 MINUTES 35 SECONDS WEST FOR A DISTANCE OF 234.92 FEET ALONG THE NORTH RIGHT-OF-WAY LINE OF STATE ROAD 30 TO LAKE AVENUE; THENCE GO NORTH 02 DEGREES 51 MINUTES 37 SECONDS WEST FOR A DISTANCE OF 180.00 FEET ALONG LAKE AVENUE; THENCE GO NORTH 87 DEGREES 50 MINUTES 35 SECONDS EAST FOR A DISTANCE OF 81.13 FEET; THENCE GO SOUTH 02 DEGREES 09 MINUTES 25 SECONDS EAST FOR A DISTANCE OF 30.00 FEET TO THE SOUTHWEST CORNER OF LOT 4, BLOCK "C", QUAIL RUN; THENCE GO NORTH 87 DEGREES 50 MINUTES 34 SECONDS EAST FOR A DISTANCE OF 156.00 FEET; THENCE GO SOUTH 02 DEGREES 09 MINUTES 25 SECONDS EAST FOR A DISTANCE OF 150.00 FEET TO THE POINT OF BEGINNING.

GENERAL NOTES:

1. THE BEARINGS AS SHOWN HEREON ARE REFERENCED TO THE ASSUMED BEARING OF NORTH 87 DEGREES 50 MINUTES 39 SECONDS EAST ALONG THE EAST LINE OF THE PROPERTY AS PER THE DESCRIPTION AS FURNISHED AS RECORDED IN O.R. BOOK 2570 AT PAGE 3708 OF THE PUBLIC RECORDS OF OKALOOSA COUNTY, FLORIDA.
2. THE SURVEY DATUM AS SHOWN HEREON IS REFERENCED TO THE DESCRIPTION AS FURNISHED AND TO EXISTING FIELD MONUMENTATION.
3. NO TITLE SEARCH WAS PROVIDED TO NOR PERFORMED BY NORTHWEST FLORIDA LAND SURVEYING, INC., FOR THE SUBJECT PROPERTY. THERE MAY BE DEEDS OF RECORD, UNRECORDED DEEDS, EASEMENTS, RIGHTS-OF-WAY, STATE AND/OR FEDERAL JURISDICTIONAL AREAS OR OTHER INSTRUMENTS WHICH COULD AFFECT THE SUBJECT PROPERTY.
4. THE PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE "X", OUTSIDE 0.2% ANNUAL CHANCE OF FLOOD, AS DETERMINED FROM FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA (UNINCORPORATED AREAS), MAP NUMBER 12091C 0417 J, REVISED MARCH 09, 2021.
5. THIS SURVEY DOES NOT DETERMINE OWNERSHIP.
6. THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17.051 - 5J-17.053 FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, TO THE BEST OF MY KNOWLEDGE AND BELIEF.
7. THE MEASUREMENTS AS SHOWN HEREON WERE MADE TO UNITED STATES STANDARDS.
8. THE MEASUREMENTS OF THE BUILDINGS AND/OR FOUNDATIONS SHOWN HEREON DO NOT INCLUDE CONCRETE FOOTERS OR EAVE OVERHANGS.
9. FENCE LOCATIONS SHOWN HEREON MAY BE EXAGGERATED AND NOT TO SCALE FOR CLARITY PURPOSES
10. FEDERAL AND STATE COPYRIGHT ACTS PROTECT THIS MAP FROM UNAUTHORIZED USE. THIS MAP IS NOT TO BE COPIED OR REPRODUCED IN WHOLE OR PART AND IS NOT TO BE USED FOR THE BENEFIT OF ANY OTHER PERSON, COMPANY OR FIRM, WITHOUT PRIOR WRITTEN CONSENT OF THE COPYRIGHT OWNER, FRED R. THOMPSON, AND IS TO BE RETURNED TO OWNER UPON REQUEST.
11. THIS DOCUMENT MUST BE COMPARED TO THE ORIGINAL HARD COPY ISSUED ON THE SURVEY DATE WITH A RAISED SEAL TO INSURE THE ACCURACY OF THE INFORMATION AND TO FURTHER INSURE THAT NO CHANGES, ALTERATIONS OR MODIFICATIONS HAVE BEEN MADE. NO RELIANCE SHOULD BE MADE ON A DOCUMENT TRANSMITTED BY COMPUTER OR OTHER ELECTRONIC MEANS UNLESS FIRST COMPARED TO THE ORIGINAL SIGNED AND SEALED DOCUMENT.
12. THIS SURVEY MAY BE SUBJECT TO ADDITIONAL REQUIREMENTS BY COUNTY, STATE OR OTHER AGENCIES.
13. ENCROACHMENTS ARE AS SHOWN.
14. THE ELEVATIONS AS SHOWN HEREON ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988, FROM ESCAMBIA COUNTY GEODETIC CONTROL POINT STAMPED "ESC 4075" HAVING A PUBLISHED ELEVATION OF 109.05 FEET. BASED ON ESCAMBIA COUNTY, FLORIDA GPS NETWORK SURVEY PERFORMED BY BASKERVILLE DONOVAN, INC. DATED 10/15/97.
15. THE PURPOSE OF THIS SURVEY IS TO RETRACE AND MONUMENT THE DEED OF RECORD ON THE GROUND AS WELL AS LOCATE ON SITE IMPROVEMENTS, EVIDENCE OF POSSESSION, AND ENCROACHMENTS TO BE SHOWN ON THE SURVEY TO SCALE AND THEIR RELATIONSHIP TO THE BOUNDARY.

DENOTES:

- ⊙ ~ 1/2" CAPPED IRON ROD, NUMBERED 7277 (PLACED)
- ⊙ ~ 1/2" CAPPED IRON ROD, NUMBER ILLEGIBLE (FOUND)
- ⊙ ~ 1/2" IRON ROD, UNNUMBERED (FOUND)
- ⊙ ~ 1" IRON PIPE, UNNUMBERED (FOUND)
- ⊙ ~ 4" CONCRETE MONUMENT, NUMBER ILLEGIBLE (FOUND)
- (D) ~ DEED INFORMATION
- (F) ~ FIELD INFORMATION
- R/W ~ RIGHT OF WAY
- P.I. ~ POINT OF INTERSECTION
- O.R. ~ OFFICIAL RECORD
- ⊙ ~ BENCHMARK

PROPERTY LINE TABLE		
LINE	LENGTH	BEARING
L1 (F)	30.00'	N 02°01'03" W
L1 (D)	30.00'	N 02°09'25" W

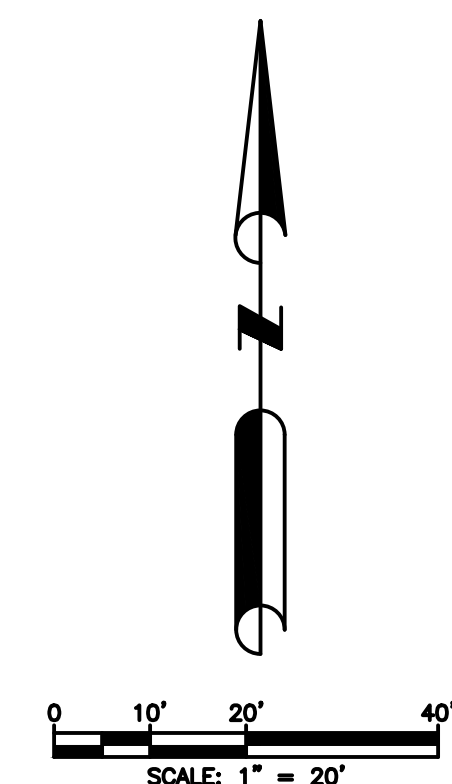
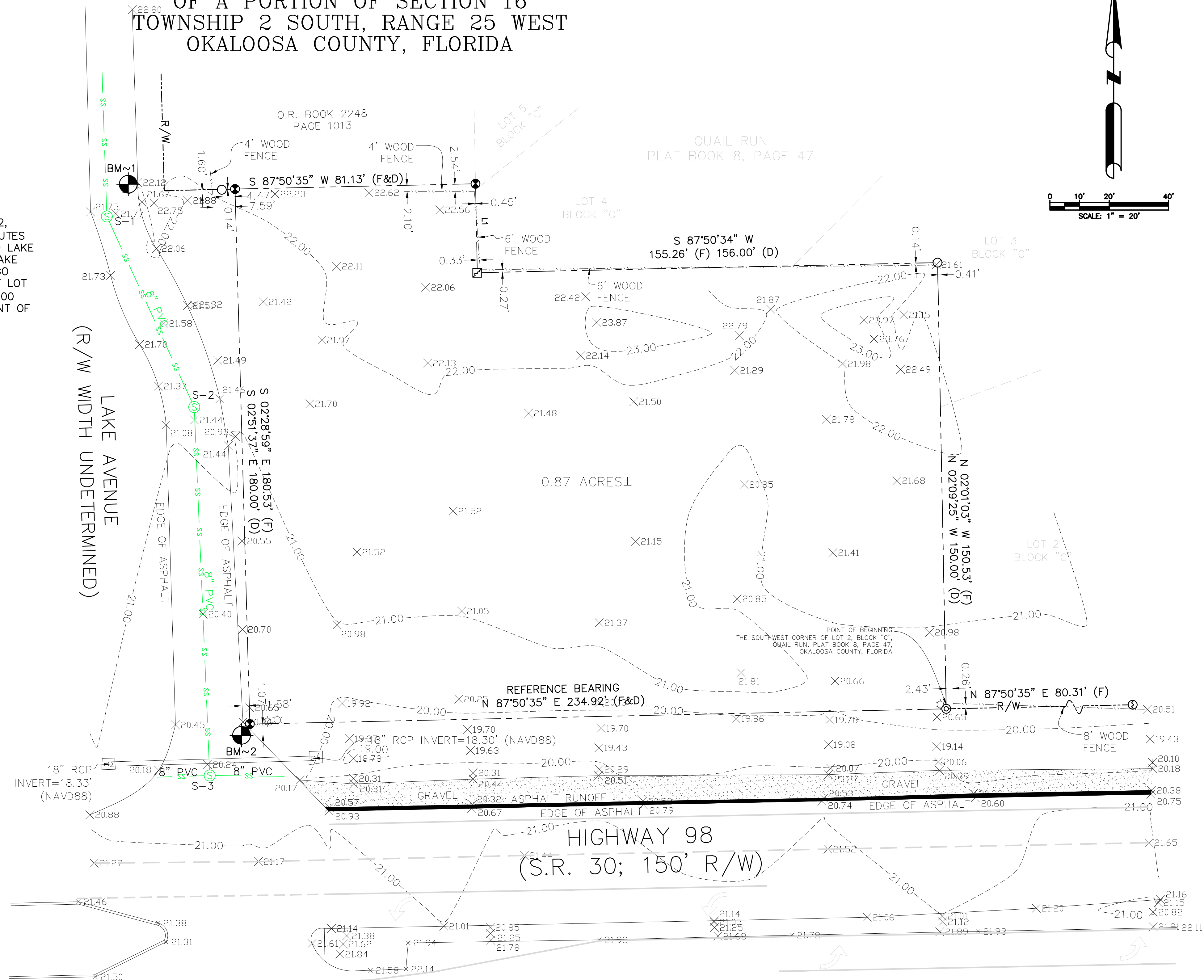
BENCHMARK DATA
 BM~1: NAIL AND DISK IN ASPHALT
 ELEVATION= 21.98' (NAVD88)
 BM~2: NAIL AND DISK IN ASPHALT
 ELEVATION= 20.26' (NAVD88)

SEWER MANHOLE DETAIL					
LABEL	N-INVERT	S-INVERT	E-INVERT	W-INVERT	TOP ELEVATION
S-1	13.58'	13.50'	N/A	N/A	22.00'
S-2	14.21	14.35'	N/A	N/A	22.03'
S-3	12.06	N/A	9.94'	10.04'	20.84'

NORTHWEST FLORIDA LAND SURVEYING, INC.
 479 N. PACE BOULEVARD, PENSACOLA, FLORIDA 32505

12/19/2022

JEFF SIMMONS, PROFESSIONAL SURVEYOR AND MAPPER
 REGISTRATION NUMBER 7354 CORP. NUMBER 7277
 STATE OF FLORIDA



NO.	DATE	APPR.	REVISIONS
1.	01/6/23		ADD MEDIAN TURNING LANES

NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED PROFESSIONAL LAND SURVEYOR

NORTHWEST FLORIDA LAND SURVEYING, INC.
 A PROFESSIONAL SERVICE ORGANIZATION
 479 N. PACE BLVD., PENSACOLA, FL 32505
 (850) 432-1052

DESIGNED BY: ADS
 DRAWN BY: ADS
 CHECKED BY: JAS
 DATE: 12/19/2022

SCALE: 1"=30'
 FIELD DATE: 12/16/22
 FIELD BOOK: RR17
 PAGE: 26

BOUNDARY AND TOPOGRAPHICAL SURVEY
 OF A PORTION OF SECTION 16
 TOWNSHIP 2 SOUTH, RANGE 25 WEST
 OKALOOSA COUNTY, FLORIDA
 PREPARED FOR AND REQUESTED BY:
 MARISOL FERNANDEZ

PROJECT NO.	NO.
25566-22	1 OF 1
INDEX	20 SHEETS

GENERAL NOTES:

- 1. THESE GENERAL NOTES APPLY TO ALL WORK IN THIS SET OF DRAWINGS.
2. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR(S) TO ENSURE THAT ALL REQUIRED PERMITS ARE OBTAINED & ARE IN HAND AT THE JOB SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
3. THE SPECIFICATIONS, NOTES & PLANS CALL ATTENTION TO CERTAIN REQUIRED FEATURES OF THE CONSTRUCTION BUT DO NOT PURPORT TO COVER ALL DETAILS OF DESIGN & CONSTRUCTION.
4. ALL EQUIPMENTS SHALL BE HANDLED, STORED, INSTALLED, TESTED & OPERATED IN STRICT ACCORDANCE WITH THE APPLICABLE MANUFACTURER'S WRITTEN INSTRUCTIONS.
5. ALL WORK SHALL BE ACCOMPLISHED TO THE HIGHEST QUALITY CRAFTSMANSHIP STANDARDS AS APPROVED BY THE ENGINEER.
6. ALL WORK SHALL BE ACCOMPLISHED IN STRICT ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, & LOCAL CODES, ORDINANCES & REGULATIONS.
7. APPARENT ERRORS, DISCREPANCIES OR OMISSIONS ON THE DRAWINGS SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION BEFORE BIDDING.
8. AFTER COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL PERFORM SITE CLEAN-UP OPERATION FOR REMOVAL OF ALL TRASH, DEBRIS, EXCESS MATERIAL & EQUIPMENT.
9. THE CONTRACTOR SHALL COMPLY WITH ALL RULES, REGULATIONS, & SPECIFICATIONS OF OKALOOSA COUNTY FOR SITE IMPROVEMENT IN THE ABSENCE OF A PARTICULAR REQUIREMENT.
10. FLORIDA LAW (F.S. 553.851) PROTECTION OF UNDERGROUND PIPELINES MANDATES THAT 'NO EXCAVATOR SHALL COMMENCE OR PERFORM ANY EXCAVATION IN ANY PUBLIC OR PRIVATE STREET, ALLEY, RIGHT-OF-WAY DEDICATED TO THE PUBLIC USE, OR GAS UTILITY EASEMENT WITHOUT FIRST OBTAINING INFORMATION CONCERNING THE POSSIBLE LOCATION OF GAS PIPELINES IN THE AREA OF THE PROPOSED EXCAVATION.'
11. CONTRACTOR SHALL NOTIFY ALL APPROPRIATE UTILITY COMPANIES OF PROPOSED START OF WORK IN ACCORDANCE WITH THEIR STANDARD REQUIREMENTS; INCLUDING BUT NOT LIMITED TO WATER, SEWER, POWER, TELEPHONE, GAS, & CABLE TV COMPANIES.
12. ANY DIFFERING SITE CONDITIONS FROM THAT WHICH IS REPRESENTED HEREON, WHETHER ABOVE, ON OR BELOW THE SURFACE OF THE GROUND, SHOULD BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER & OWNER IN WRITING.
13. THE CONTRACTOR SHALL FURNISH OWNER WITH ACCURATE RECORD DRAWINGS PREPARED BY A LICENSED PROFESSIONAL SURVEYOR SHOWING AS-CONSTRUCTED HORIZONTAL & VERTICAL DIMENSIONING OF THE WORK.
14. ALL PRIVATE & PUBLIC PROPERTIES AFFECTED BY THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTED UNLESS SPECIFIED BY THE PLANS.

GEOMETRY NOTES:

- 1. THESE PLANS ARE BASED ON A SURVEY PREPARED FOR THE OWNER BY NW FLORIDA LAND SURVEYING INC OF PENSACOLA, DATED 01/06/2023
2. ELEVATIONS SHOWN HEREON ARE BASED UPON AND MATCHED TO OKALOOSA COUNTY BENCHMARK DESIGNATION L1195009, HAVING A PUBLISHED ELEVATION OF 109.05, NORTH AMERICAN VERTICAL DATUM OF 1988, (NAVD 88).
3. CONTRACTOR SHALL STAKE ALL IMPROVEMENTS USING THE GEOMETRIC DATA PROVIDED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO COMPLETELY STAKE & CHECK ALL IMPROVEMENTS TO ENSURE ADEQUATE POSITIONING, BOTH HORIZONTAL & VERTICAL, PRIOR TO THE INSTALLATION OF ANY IMPROVEMENTS.
4. ALL DIMENSIONS ARE TO THE FACE OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
5. CONTRACTOR SHALL VERIFY THE ACCURACY OF THE BUILDING GEOMETRY SHOWN WITH THAT IN THE FINAL ARCHITECTURAL DRAWINGS, PRIOR TO STAKE-OUT, & SHALL NOTIFY OWNER & ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.

MARKING, STRIPING, & SIGNAGE NOTES:

- 1. ALL MARKINGS MUST COMPLY WITH THE F.D.O.T. ROADWAY & TRAFFIC DESIGN STANDARDS, MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION, & THE OKALOOSA COUNTY LAND DEVELOPMENT CODE.
2. HANDICAP PARKING SPACES SHALL BE PROPERLY SIGNED & STRIPED IN ACCORDANCE WITH FLORIDA STATUTE 316, THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES & OTHER APPLICABLE STANDARDS.
3. HANDICAP SIGN SHALL BE F.D.O.T. SPECIFICATION FTP 25.

PAVING, GRADING, & DRAINAGE NOTES:

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH OKALOOSA COUNTY CONSTRUCTION SPECIFICATIONS & OTHER COUNTY GENERAL & SPECIAL SPECIFICATIONS, & THE LATEST EDITION OF THE FLORIDA DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION.
2. SUBSURFACE INFORMATION PROVIDED WITH THESE DRAWINGS WAS OBTAINED FOR USE IN ESTABLISHING DESIGN CRITERIA FOR THE PROJECT.
3. THE LOCATIONS OF EXISTING UTILITIES & STORM DRAINAGE SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE & ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR.
4. ALL FILL MATERIAL IN GENERAL IMPROVEMENT AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% OF THE SOIL'S MODIFIED PROCTOR MAXIMUM DRY DENSITY AS DETERMINED BY AASHTO T-180.
5. ALL UNDERGROUND UTILITIES INCLUDING CONDUIT FOR ELECTRICAL, CABLE TV, & TELEPHONE SHALL BE INSTALLED PRIOR TO PAVEMENT CONSTRUCTION.
6. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY PROBLEMS REQUIRING DEVIATION FROM THESE PLANS & SPECIFICATIONS.
7. THE CONTRACTOR SHALL SUBMIT DETAILED SHOP DRAWINGS OF ALL MAJOR ITEMS PROPOSED FOR THIS PROJECT TO THE ENGINEER PRIOR TO ORDERING ANY OF THE EQUIPMENT.
8. ALL DISTURBED AREAS MUST BE SODDED UNLESS OTHERWISE NOTED ON THE PLANS.
9. PROVIDE HANDICAP ACCESS WHERE SIDEWALKS MEET CURBS.

EROSION CONTROL NOTES:

- 1. ALL EROSION & SEDIMENT CONTROL WORK SHALL CONFORM WITH OKALOOSA COUNTY SPECIFICATIONS, SUBJECT TO AUTHORIZED & APPROVED VARIANCES, WAIVERS &/OR CONDITIONAL CHANGES.
2. EROSION & SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CONSTRUCTION.
3. CONTRACTOR SHALL SUBMIT AN EROSION CONTROL PLAN AT THE PRE-CONSTRUCTION MEETING.
4. ALL CLEARED AREAS FOR IMPROVEMENT &/OR CONSTRUCTION SHALL BE WATERED TO PREVENT WIND EROSION.
5. PRIOR TO LAND CLEARING THE CONTRACTOR SHALL PROVIDE TREE PROTECTION BARRIER TO MEET THE REQUIREMENTS OF OKALOOSA COUNTY.
6. THE CONTRACTOR SHALL SELECTIVELY CLEAR ONLY THE AREAS REQUIRED FOR CONSTRUCTION & STABILIZE ANY POTENTIAL EROSION AREAS IMMEDIATELY FOLLOWING COMPLETION OF CONSTRUCTION.

OCWS WATER & SEWER NOTES:

- 1. A MANDATORY PRECONSTRUCTION MEETING SHALL BE HELD, AT THE OCWS ENGINEERING DEPT, WITH ALL INVOLVED PARTIES, INCLUDING THE DEVELOPER, ENGINEER-OF-RECORD, AND CONTRACTOR.
2. COORDINATE ALL UTILITY TIE-INS WITH OCWS MAINTENANCE (850) 609-7034 A MINIMUM OF FIFTEEN (15) WORKING DAYS PRIOR TO CONSTRUCTION.
3. COORDINATE WITH LOCAL FIRE DEPARTMENT ON INSPECTION REQUIREMENTS AND TESTING.
4. ALL UTILITY CONSTRUCTION SHALL BE INSPECTED BY THE OCWS ENGINEERING DEPARTMENT (850) 609-6161, INCLUDING, BUT NOT LIMITED TO PRESSURE TESTING, FINISHED GRADE DEPTH, AND SERVICE LOCATIONS.
5. PRIOR TO OCWS SIGNING FDEP CLEARANCE APPLICATIONS (INVOLVING NEW MAINS), THE FOLLOWING ITEMS ARE REQUIRED:
6. PRIOR TO OCWS ACCEPTANCE OF INFRASTRUCTURE AND THE SETTING OF WATER METERS, THE FOLLOWING ITEMS ARE REQUIRED:
7. CAPACITY EXPANSION CHARGES SHALL BE PAID IN FULL PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
8. A MINIMUM 15'-0" CLEARANCE SHALL BE MAINTAINED BETWEEN UTILITY MAINS AND PROPOSED BUILDINGS.
9. NO UTILITY CONNECTIONS WILL BE MADE INTO COUNTY/FDOT RIGHT-OF-WAY AND/OR EASEMENTS WITHOUT AN APPROVED UTILITY PERMIT.
10. THE CONTRACTOR WILL BE RESPONSIBLE FOR EXTENDING THE PROPOSED WATER AND SEWER MAINS FROM THE UTILITY MAIN CONNECTIONS PROVIDED BY OCWS INTO THE DEVELOPMENT.
11. ALL WATER UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH OCWS REQUIREMENTS AND SPECIFICATIONS.
12. A MINIMUM 36" (AND A MAXIMUM 42" FOR WATER) COVER IS REQUIRED FROM TOP OF ALL PROPOSED UTILITY LINES AND SERVICES FROM FINISHED GRADES, INCLUDING SWALES AND BASINS.
13. ALL LOT CORNERS, RIGHTS-OF-WAY, AND REAR EASEMENT LINES SHALL BE LOCATED AND PROPERLY MARKED, PRIOR TO THE CONTRACTOR INSTALLING MAINS AND SERVICES.
14. A MINIMUM HORIZONTAL CLEARANCE OF 36" IS REQUIRED FROM POWER TRANSFORMER/BOX PERIMETER TO ANY UTILITY MAINS AND SERVICES.
15. CLEANOUTS ARE REQUIRED ON ALL SEWER SERVICES AND SHOULD BE LOCATED AT THE BACK OF THE RIGHT-OF-WAY OR EASEMENT LINE.
16. THE CLEANOUT SHALL BE 6-12" BELOW GRADE AND INSIDE A PLASTIC METER BOX WITH A GREEN LID.
17. SHALL BE TRAFFIC-RATED/BRASS, AND NO METER BOX IS REQUIRED.

OKALOOSA COUNTY UTILITIES STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

Table with 4 columns: APPENDIX A, STANDARD DRAWINGS, APPENDIX A, STANDARD DRAWINGS. It details horizontal and vertical separation requirements for various utility types like Potable Water, Wastewater, and Sanitary Sewer.

F.D.E.P. CONSTRUCTION NOTES:

- 1. THE PERMITTEE SHALL BE SEPARATELY RESPONSIBLE FOR APPROPRIATE CONSTRUCTION, DISINFECTION & TESTING BEYOND THE METER TO ASSURE POTABILITY AT THE POINT OF USE.
2. POTABLE WATER PIPES WILL BE DISINFECTED IN ACCORDANCE WITH AWWA SPECIFICATIONS C651.
3. POTABLE PIPES WILL BE HYDROSTATICALLY TESTED IN ACCORDANCE WITH SPECIFICATION NUMBERS C600 & C605/M23 FOR DUCTILE IRON & PVC PIPES, RESPECTIVELY.
4. DUCTILE IRON PIPE (3" TO 64") - AWWA C150/AWWA C151; LINING PER AWWA C104, COATING PER AWWA C116.
5. POLYETHYLENE PIPE (1/2" - 3") - AWWA C901 WITH VALVES & FITTINGS (AWWA C800);
6. METERS PER AWWA SERIES C700 THROUGH C710.

NON-AWWA PVC PIPES (ALLOWED ONLY FOR SIZES LESS THAN 4 INCHES) MUST HAVE A MINIMUM PRESSURE CLASS OF 200 PSI AND MUST BEAR THE NSF MARK ON EACH INSTALLED LENGTH.

CONNECTION TO EXISTING WATER MAINS:

- 1. IF CONNECTION OF THE PROPOSED ACTIVITY TO THE WATER MAIN WILL RESULT IN DEPRESSURIZATION OF THE EXISTING SYSTEM BELOW 20 POUNDS PER SQUARE INCH, ONE OF THE FOLLOWING MUST OCCUR:
A. PRECAUTIONARY BOIL WATER NOTICES MUST BE ISSUED IN CASES OF PLANNED DISTRIBUTION INTERRUPTIONS, WHICH DEEMED AN IMMINENT PUBLIC HEALTH THREAT BY THE D.E.P. CENTRAL DISTRICT OR WILL AFFECT BACTERIOLOGICAL QUALITY OF THE DRINKING WATER UNLESS THE PUBLIC WATER SYSTEM CAN DEMONSTRATE, BY SOUND ENGINEERING JUDGMENT, THAT THE INTEGRITY OF THE WATER QUALITY ARE EXPECTED TO OCCUR & NOT DEEMED AN IMMINENT PUBLIC HEALTH RISK.
B. IN CASES OF BRIEF INTERRUPTION IN SERVICE, ADVISORIES (NOT BOIL WATER NOTICES) SHOULD BE ISSUED IF TEMPORARY CHANGES IN WATER QUALITY ARE EXPECTED TO OCCUR & NOT DEEMED AN IMMINENT PUBLIC HEALTH RISK.

AIR/VACUUM RELIEF VALVES:

- 1. ALL AIR/VACUUM RELIEF VALVES MUST END IN A DOWN-TURNED ELBOW WITH AT LEAST 12 INCHES ABOVE THE SURROUNDING GRADE UNLESS THE WET SEASON WATER TABLE CAN BE SHOWN TO BE BELOW THE VAULT BOTTOM

FILLING OF WATERMAINS:

- 1. FILLING OF PROPOSED WATER MAINS FROM EXISTING WATER MAINS WILL BE DONE IN ACCORDANCE WITH AWWA SPECIFICATIONS C651.

MATERIAL SPECIFICATIONS:

PAVING, GRADING, & DRAINAGE:

- 1. PAVING MATERIALS SHALL CONFORM WITH F.D.O.T. STANDARDS & SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION, LATEST EDITION.
2. STORM DRAINS SHALL BE REINFORCED CONCRETE PIPE, PER ASTM C-76 CLASS III, UNLESS OTHERWISE SPECIFIED.
3. ALL STORM STRUCTURES SHALL CONFORM WITH F.D.O.T. STANDARD INDEX DRAWINGS & SPECIFICATIONS EXCEPT THAT DITCH BOTTOM INLETS IN PAVED AREAS SHALL HAVE TRAVERSABLE, TRAFFIC BEARING, GRATES SUPPORTED BY STEEL ANGLE SEATS OR SUPPORTED ON FOUR SIDES.
4. ALL TYPE "P" STRUCTURE BOTTOMS SHALL BE ROUND UNLESS OTHERWISE SPECIFIED & SHALL HAVE 4 FEET MINIMUM DIAMETER.

MATERIAL SPECIFICATIONS: (WATER & SEWER)

WATER MATERIAL:

MATERIAL USED IN THE CONSTRUCTION OF THE WATER DISTRIBUTION SYSTEM SHALL ADHERE TO THE REQUIREMENTS OUTLINED IN THE OKALOOSA COUNTY MANUAL OF STANDARDS & SPECIFICATIONS. THE FOLLOWING INFORMATION IS TO PROVIDE GENERAL GUIDANCE IN THE PREPARATION OF CONSTRUCTION PLANS & SPECIFICATIONS, & IN NO WAY LIMITS OKALOOSA COUNTY'S RIGHTS TO APPROVE OR DISAPPROVE PLANS, SPECIFICATIONS OR INSTALLATIONS.

- 1. PVC PIPE
A. ALL PVC PIPE OF NOMINAL DIAMETER SIX (6) THROUGH TWELVE (12) INCHES SHALL BE MANUFACTURED IN ACCORDANCE WITH AWWA STANDARD C900, LATEST EDITION.
B. ANY FITTINGS REQUIRED SHALL BE MECHANICAL JOINT DUCTILE IRON OR GRAY IRON CONFORMING TO ANSI/AWWA A21.10/C110, 250 PSI MINIMUM PRESSURE RATING, OR DUCTILE IRON COMPACT FITTINGS FOUR (4) THROUGH TWELVE (12) INCHES IN ACCORDANCE WITH ANSI/AWWA A21.53/C153.
C. PVC PIPE SHALL HAVE INTEGRAL BELL PUSH ON TYPE JOINTS CONFORMING TO ASTM D3139.
2. DUCTILE IRON PIPE
A. ALL DUCTILE IRON PIPE OF NOMINAL DIAMETER FOUR (4) THROUGH FIFTY FOUR (54) INCHES SHALL CONFORM TO ANSI/AWWA A21.51/C151.
B. ANY FITTINGS REQUIRED SHALL BE MECHANICAL JOINT DUCTILE IRON OR GRAY IRON CONFORMING TO ANSI/AWWA A21.10/C110, 250 PSI MINIMUM PRESSURE RATING, OR DUCTILE IRON COMPACT FITTINGS FOUR (4) THROUGH TWELVE (12) INCHES IN ACCORDANCE WITH ANSI/AWWA A21.53/C153.
C. JOINTS FOR DUCTILE IRON PIPE & FITTING JOINTS SHALL BE PUSH-ON OR MECHANICAL JOINTS CONFORMING TO ANSI/AWWA A21.11/C111.
D. WHERE DUCTILE IRON PIPE & FITTINGS ARE TO BE BELOW GROUND OR INSTALLED IN A CASING PIPE THE COATING SHALL BE A MINIMUM 1.0 MIL THICK IN ACCORDANCE WITH ANSI/AWWA A21.51/C151.
E. ALL DUCTILE IRON PIPE & FITTINGS SHALL HAVE AN INTERIOR PROTECTIVE LINING OF CEMENT-MORTAR WITH A SEAL COAT OF ASPHALTIC MATERIAL IN ACCORDANCE WITH ANSI/AWWA A21.4/C104.
F. THE PIPE SHALL BE POLYETHYLENE ENCASED (8 MILS) WHERE SHOWN ON THE DRAWINGS OR REQUIRED BY THE COUNTY IN ACCORDANCE WITH ANSI/AWWA A21.51/C151.
3. SERVICE PIPE, STOPS, FITTINGS, & SERVICE SADDLES
A. ALL SERVICE LINES SHALL BE 1", 1-1/2" OR 2" POLYETHYLENE TUBING CONFORMING TO SPECIFICATIONS IN AWWA C800 & AWWA C901.
B. CORPORATION STOPS SHALL BE 1", 1-1/2" OR 2" BRASS, EQUIPPED WITH CONNECTIONS COMPATIBLE WITH THE POLYETHYLENE TUBING & THREADED IN ACCORDANCE WITH SPECIFICATIONS IN AWWA C800 & C901.
C. FITTINGS SHALL BE BRASS, CAST & MACHINED IN ACCORDANCE WITH SPECIFICATIONS IN AWWA C800 & AWWA C901, WITH COMPATIBLE POLYETHYLENE TUBING CONNECTIONS.
D. A SERVICE SADDLE SHALL BE USED FOR ALL SERVICE LINE TAPS. SERVICE SADDLES SHALL BE DOUBLE STRAP, ANCHORED BY A MINIMUM FOUR (4) BOLT PATTERN ON A DUCTILE IRON SADDLE BODY.
E. THE COUNTY MAY REQUIRE A STAINLESS STEEL STRAP & FUSION EPOXY OR NYLON COATED DUCTILE IRON BODY WITH STAINLESS STEEL HARDWARE IN AREAS DESIGNATED AS CORROSIVE.

SEWER MATERIAL:

- 1. PVC GRAVITY SEWER PIPE
a. PVC GRAVITY SEWER PIPE (4"-15"), ASTM D3034, SDR 26, UNIFORM MINIMUM "PIPE STIFFNESS" AT FIVE (5) PERCENT DEFLECTION SHALL BE 46 PSI.
b. PVC GRAVITY SEWER PIPE (18"-27"), ASTM F679, SDR 26, UNIFORM MINIMUM "PIPE STIFFNESS" AT FIVE (5) PERCENT DEFLECTION SHALL BE 46 PSI.
c. ALL PVC PIPE SHALL BEAR THE NSF-DW SEAL.
2. ALL PIPE SHALL HAVE A HOMING MARK ON THE SPOGOT PROVIDED BY THE MANUFACTURER.
3. JOINTS MATERIALS
a. PVC SEWER PIPE JOINTS SHALL BE FLEXIBLE ELASTOMERIC SEALS PER ASTM D 3212.
b. JOINTS BETWEEN PIPES OF DIFFERENT MATERIALS SHALL BE MADE WITH A FLEXIBLE MECHANICAL COMPRESSION COUPLING WITH NO. 304 STAINLESS STEEL BANDS.
4. FITTINGS
a. UNLESS OTHERWISE SPECIFIED, WYE BRANCHES SHALL BE PROVIDED IN THE GRAVITY SEWER MAIN FOR SERVICE LATERAL CONNECTIONS.
b. PLUGS FOR STUB OUTS SHALL BE OF THE SAME MATERIAL AS THE PIPE, AND GASKETED WITH THE SAME GASKET MATERIAL AS THE PIPE JOINT, OR BE OF MATERIAL APPROVED BY THE COUNTY.

Table with 10 columns and 1 row, containing revision information: 07/08/24 REVISED PER OKALOOSA COUNTY COMMENTS

Professional information for K Engineering: 4650 WASHINGTON AVE SUITE 352 NEW ORLEANS LA 70125 P(504)454-0500 LICENSE: 60048

GENERAL NOTES US 98 / LAKE AVENUE INTERSECTION OKALOOSA COUNTY, FLORIDA

HERMINIO CRUZ DATE May 20, 2025

SHEET NO. 03 OF 19

F:\CURRENT_PROJECTS\2023\0112_FAMILY_PLAZA\DWG\02_GENERAL NOTES.dwg * May 20, 2025 - 7:52pm * plotted by cpeay

BUILDING LOCATION POINT TABLE			
POINT #	NORTHING	EASTING	DESCRIPTION
B1	N 520400.78	E 1255843.48	BUILDING PAD CORNER
B2	N 520404.09	E 1255894.44	BUILDING PAD CORNER
B3	N 520465.08	E 1255933.27	BUILDING PAD CORNER
B4	N 520463.67	E 1255933.27	BUILDING PAD CORNER
B5	N 520443.58	E 1255933.66	BUILDING PAD CORNER
B6	N 520441.76	E 1255842.68	BUILDING PAD CORNER

POND WALL LOCATION POINT TABLE			
POINT #	NORTHING	EASTING	DESCRIPTION
PW1	N 520448.73	E 1255794.67	POND WALL CORNER
PW2	N 520448.49	E 1255928.57	POND WALL CORNER
PW3	N 520463.56	E 1255928.27	POND WALL CORNER
PW4	N 520461.68	E 1255838.04	POND WALL CORNER
PW5	N 520491.67	E 1255837.45	POND WALL CORNER
PW6	N 520490.71	E 1255793.43	POND WALL CORNER

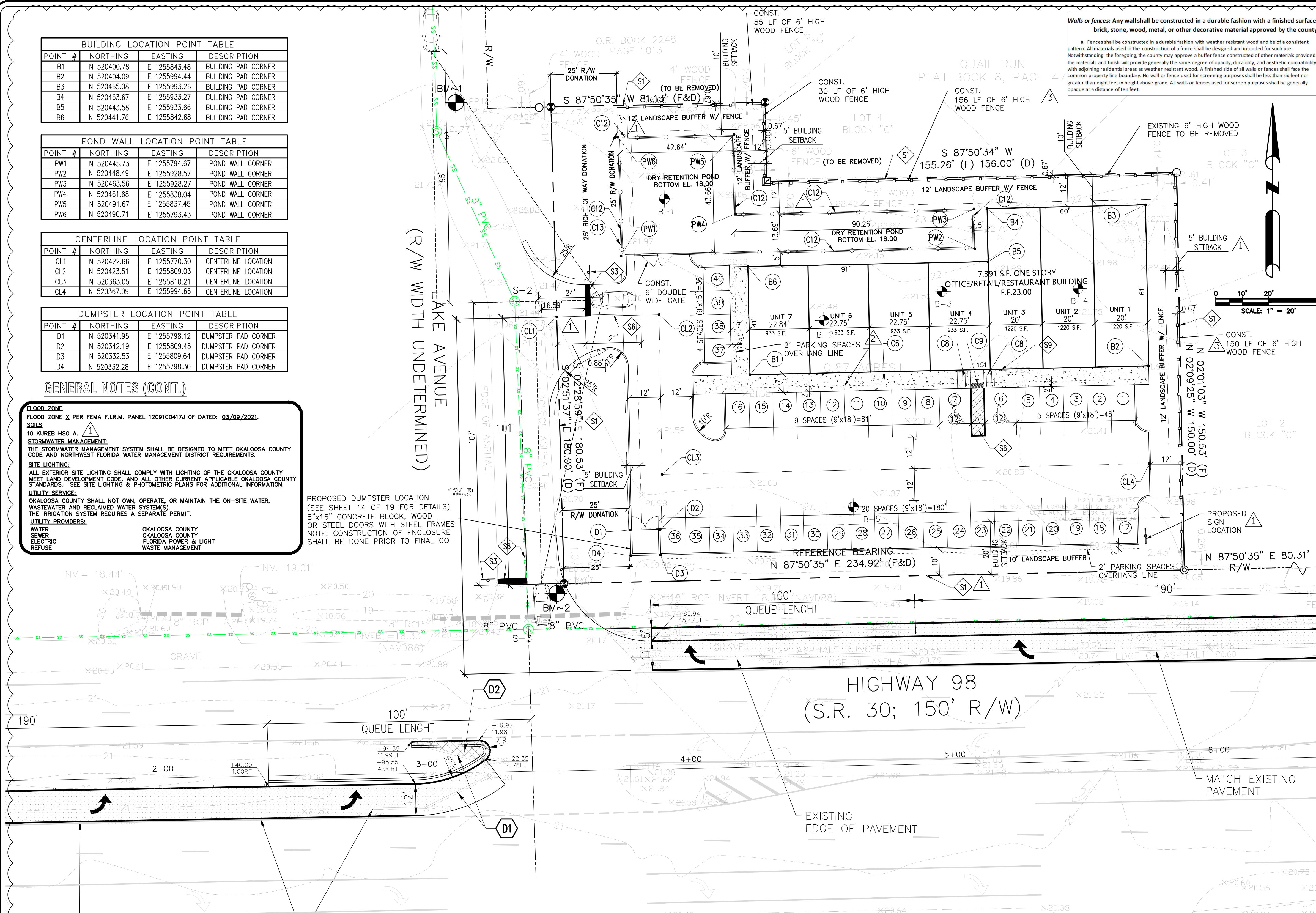
CENTERLINE LOCATION POINT TABLE			
POINT #	NORTHING	EASTING	DESCRIPTION
CL1	N 520422.66	E 1255770.30	CENTERLINE LOCATION
CL2	N 520423.51	E 1255809.03	CENTERLINE LOCATION
CL3	N 520363.05	E 1255810.21	CENTERLINE LOCATION
CL4	N 520367.09	E 1255994.66	CENTERLINE LOCATION

DUMPSTER LOCATION POINT TABLE			
POINT #	NORTHING	EASTING	DESCRIPTION
D1	N 520341.95	E 1255798.12	DUMPSTER PAD CORNER
D2	N 520342.19	E 1255809.45	DUMPSTER PAD CORNER
D3	N 520332.53	E 1255809.64	DUMPSTER PAD CORNER
D4	N 520332.28	E 1255798.30	DUMPSTER PAD CORNER

GENERAL NOTES (CONT.)

FLOOD ZONE
FLOOD ZONE X PER FEMA F.I.R.M. PANEL 12091C0417J OF DATED: 03/09/2021.
SOILS
10 KUREB HSG A
STORMWATER MANAGEMENT:
THE STORMWATER MANAGEMENT SYSTEM SHALL BE DESIGNED TO MEET OKALOOSA COUNTY CODE AND NORTHWEST FLORIDA WATER MANAGEMENT DISTRICT REQUIREMENTS.
SITE LIGHTING:
ALL EXTERIOR SITE LIGHTING SHALL COMPLY WITH LIGHTING OF THE OKALOOSA COUNTY MEET LAND DEVELOPMENT CODE, AND ALL OTHER CURRENT APPLICABLE OKALOOSA COUNTY STANDARDS. SEE SITE LIGHTING & PHOTOMETRIC PLANS FOR ADDITIONAL INFORMATION.
UTILITY SERVICE:
OKALOOSA COUNTY SHALL NOT OWN, OPERATE, OR MAINTAIN THE ON-SITE WATER, WASTEWATER AND RECLAIMED WATER SYSTEM(S).
THE IRRIGATION SYSTEM REQUIRES A SEPARATE PERMIT.
UTILITY PROVIDERS:
WATER: OKALOOSA COUNTY
SEWER: OKALOOSA COUNTY
ELECTRIC: FLORIDA POWER & LIGHT
REFUSE: WASTE MANAGEMENT

PROPOSED DUMPSTER LOCATION (SEE SHEET 14 OF 19 FOR DETAILS)
8'x16' CONCRETE BLOCK, WOOD OR STEEL DOORS WITH STEEL FRAMES
NOTE: CONSTRUCTION OF ENCLOSURE SHALL BE DONE PRIOR TO FINAL CO



GENERAL NOTES

- THE INTENT OF THIS PROJECT IS TO CONSTRUCT A 7,391 S.F. BUILDING SHOPPING CENTER WITH 40 PARKING SPACES.
- CONTRACTOR IS TO PROVIDE STRIPING, TRAFFIC MARKINGS AND SIGNAGE IN ACCORDANCE WITH THE COUNTY CODE.
- POTABLE WATER SERVICE & SANITARY SHALL BE PROVIDED BY THE OKALOOSA COUNTY WATER & SEWER SYSTEM.
- SEE ARCHITECTURAL PLANS FOR EXACT BUILDING SLAB/SIDEWALK DIMENSIONS AND SPECIFICATIONS.
- ALL PARKING AREAS TO BE CONSTRUCTED PER DETAIL. ALL MATERIALS USED SHALL BE IN ACCORDANCE WITH THE LATEST APPLICABLE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) SPECIFICATIONS OKALOOSA COUNTY ROAD CONSTRUCTION SPECIFICATIONS.
- REFER TO THE SECTION DETAILS FOR ALL DRIVEWAY CONSTRUCTION.
- THE ENGINEER/ARCHITECT ASSUMES NO RESPONSIBILITY FOR UTILITY INFORMATION SHOWN ON THE CONTRACT DRAWINGS. THE CONTRACTOR IS RESPONSIBLE TO HAVE THE COUNTY AND/OR ANY OTHER UTILITY FIELD LOCATE ITS FACILITIES PRIOR TO EXCAVATION.
- THE SITE IS TO BE CLEARED AND GRUBBED.
- ALL UNPAVED AREAS WITHIN THE CONSTRUCTION AREA AND DRAINAGE POND SHALL BE SODDED AND/OR LANDSCAPED.
- POLYETHYLENE SHALL BE SDR-9, PRESSURE CLASS 200 FOR WATER AND REUSE SERVICE PIPE. WATER SHALL BE BLUE. REUSE SHALL BE PURPLE.
- THE BUILDING & SIGN DRAWINGS SHALL BE SUBMITTED AND PERMITTED UNDER SEPARATE DOCUMENTS.
- CONTRACTOR SHALL VERIFY TOPOGRAPHIC INFORMATION PRIOR TO COMMENCING CONSTRUCTION OR ORDERING STRUCTURES. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- ALL BID QUANTITIES SHALL BE SUBMITTED TO THE ENGINEER FOR VERIFICATION PRIOR TO BID ACCEPTANCE BY THE DEVELOPER.
- THIS DEVELOPMENT SHALL MEET THE TREE POINT REQUIREMENT SET FORTH BY OKALOOSA COUNTY PLANNING AND ENVIRONMENTAL SERVICES DEPARTMENT.
- THIS DEVELOPMENT SHALL BE CONSTRUCTED IN ONE PHASE.
- THERE ARE NO EXISTING BUILDINGS ON SITE.
- THERE ARE NO ENVIRONMENTALLY SENSITIVE LANDS WITHIN THE CONSTRUCTION LIMITS OF THE SITE.
- THE BUILDING & SIGN DRAWINGS SHALL BE SUBMITTED AND PERMITTED UNDER SEPARATE DOCUMENTS.
- NO FIRE LANES EXIST ON THIS PLAN.
- ALL PORTIONS OF THE PROPOSED BUILDINGS SHALL LIE WITHIN 300' RADIUS OF THE HYDRANTS SHOWN ON UTILITY PLANS.
- ALL SITE LIGHTING SHALL BE DESIGNED TO A MINIMUM OF 150 MPH WIND LOAD AND SHALL BE DOWN LIGHTING.
- BOUNDARY SURVEY INFORMATION TO BE PROVIDED.
- ALL SITE LIGHTING SHALL BE DESIGNED AS TO COMPLY WITH THE REQUIREMENTS SET FORTH IN THE LAND DEVELOPMENT CODE.
- TRAFFIC CONTROL ON ALL STATE, COUNTY AND LOCAL RIGHTS OF WAY SHALL MEET THE REQUIREMENT OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE REQUIREMENTS OF THE STATE AND ANY LOCAL AGENCY HAVING JURISDICTION.
- ANY PART OF AN ACCESSIBLE ROUTE WITH A SLOPE GREATER THAN 1:12 SHALL BE CONSIDERED A RAMP.
- SURFACES ALONG THE ACCESSIBLE ROUTES SHALL BE SLIP RESISTANT & SHALL COMPLY WITH "F.A.C.B.C." 4.3.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO FURNISH ALL MATERIAL AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN CONFORMANCE WITH THE OKALOOSA COUNTY SPECIFICATIONS AND REQUIREMENTS. HE SHALL OBTAIN A COPY OF THE SOIL REPORT REFERENCED HEREIN AND VISIT THE SITE PRIOR TO BIDDING TO DETERMINE EXISTING CONDITIONS. HE SHALL CLEAR AND GRUB ALL RIGHT-OF-WAYS, TRACTS AND APPROPRIATE EASEMENTS UNLESS OTHERWISE INDICATED, REMOVING TREES, STUMPS, ROOTS, MUCK, AND ALL OTHER DELETERIOUS MATERIAL.
- THE EXACT LOCATIONS OF EXISTING UTILITIES ARE UNKNOWN. THE CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO BIDDING BY NOTIFYING THE UTILITY COMPANY TO LOCATE THEIR UTILITIES OR BY FIELD VERIFICATION. HE SHALL BE RESPONSIBLE TO REPAIR ANY DAMAGED UTILITY RESULTING FROM HIS CONSTRUCTION AT HIS OWN EXPENSE.
- THE REQUIREMENTS OF THE OKALOOSA COUNTY STANDARD SPECIFICATIONS AND STANDARD DETAILS SHALL GOVERN ALL UTILITIES WORK. WHERE A CONFLICT EXISTS IN THE REQUIREMENTS OF A REFERENCED MATERIAL OR INSTALLATION STANDARD, THE REQUIREMENTS OF OKALOOSA COUNTY SHALL PREVAIL. WHERE THE REQUIREMENTS OF LOCAL AGENCY HAVING JURISDICTION ARE MORE STRINGENT, THOSE REQUIREMENTS SHALL PREVAIL.
- THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE, AT ALL TIMES, ONE COPY OF THE CONTRACT DOCUMENTS INCLUDING STAMPED APPROVED PLANS, SPECIFICATIONS, AND ANY SPECIAL PROVISIONS AND COPIES OF ANY REQUIRED CONSTRUCTION PERMITS.
- ANY DISCREPANCIES ON THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD PRIOR TO COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE ENGINEER OF RECORD.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL REQUIRED CONSTRUCTION PERMITS (OKALOOSA COUNTY R.O.W. UTILIZATION & UTILITY PERMITS, ETC.) AND BONDS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL CONTACT ALL CONCERNED UTILITIES AT LEAST 48 HOURS IN ADVANCE OF CONSTRUCTION OPERATIONS.
- ALL COPIES OF REQUIRED TEST RESULTS ARE TO BE SENT TO OKALOOSA COUNTY DIRECTLY FROM THE TESTING AGENCY.
- ALL PAVING AND DRAINAGE TO BE CONSTRUCTED PER APPROVED PLANS PRIOR TO RECEIVING A CERTIFICATE OF OCCUPANCY.
- THE ENGINEER/ARCHITECT ASSUMES NO RESPONSIBILITY FOR UTILITY INFORMATION SHOWN ON THE CONTRACT DRAWINGS. THE CONTRACTOR IS RESPONSIBLE TO HAVE THE COUNTY AND/OR ANY OTHER UTILITY FIELD LOCATE ITS FACILITIES PRIOR TO EXCAVATION.
- ALL BUFFER WALL ELEVATIONS MUST COMPLY WITH THE LAND DEVELOPMENT CODE BUFFER WALLS SHALL BE A MINIMUM OF 6 FEET IN HEIGHT AS MEASURED FROM THE BASE FLOOR ELEVATION OF THE MOST ADJACENT BUILDING, ROAD OR PROPERTY, WHICHEVER IS GREATER.
- ALL SIGNAGE IS FOR INFORMATIONAL PURPOSE ONLY. ALL SIGNAGE REQUIRE A SEPARATE BUILDING PERMIT SUBMITTAL WITH COUNTY STAMPED APPROVED EIP SITE AND DRAINAGE SHEET.
- BUFFER WALLS, CANOPIES, ALL SIGNS, MONUMENT SIGNS, AND GARBAGE DUMPSTER STRUCTURE REQUIRE A SEPARATE BUILDING PERMIT IN ADDITION TO COUNTY STAMPED APPROVED EIP PLANS.

GENERAL CONSTRUCTION NOTES WITHIN F.D.O.T. R-O-W

- CONTRACTOR SHALL CONTACT THE FLORIDA DEPARTMENT OF TRANSPORTATION PRIOR TO COMMENCING ANY DEMOLITION/CONSTRUCTION WITHIN US-98 RIGHT-OF-WAY FOR INSPECTION SCHEDULING.
- ALL CONSTRUCTION, MATERIALS AND WORKMANSHIP ARE TO BE IN ACCORDANCE WITH LATEST EDITION OF FLORIDA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND STANDARDS.
- ALL AREAS IN EXISTING RIGHT-OF-WAYS DISTURBED BY CONSTRUCTION MUST BE SODDED.
- STREET OR HIGHWAY RESTORATION IS TO BE DONE AS PER LOCAL OR STATE AGENCY HAVING JURISDICTION.
- THE CONTRACTORS SHALL COMPLY WITH ALL RULES AND REGULATIONS OF THE STATE, COUNTY AND CITY AUTHORITIES REGARDING CLOSING OR RESTRICTING THE USE OF PUBLIC STREETS OR HIGHWAYS.
- TRAFFIC CONTROL ON ALL COUNTY AND STATE HIGHWAY RIGHT-OF-WAYS SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (U.S. DOT/FHA) AND THE REQUIREMENTS OF THE STATE AND ANY LOCAL AGENCY HAVING JURISDICTION.
- F.D.O.T. OFFICE NEEDS 48 HOURS NOTICE PRIOR TO WORK WITHIN THE R/W OR LANE CLOSURES.
- M.O.T. SETUP MUST BE SUPERVISED BY A CERTIFIED PERSON.
- TEST RESULTS ARE REQUIRED UPON REQUEST.
- THE ENGINEER'S CERTIFICATION ALONG WITH AS-BUILTS (IF REQUIRED) MUST BE SUBMITTED WITHIN 30 DAYS OF COMPLETION OF PROJECT.
- CONTRACTOR SHALL SAW CUT STRAIGHT LINES ON EXISTING ASPHALT PRIOR TO REPLACING ASPHALT.
- ALL DRAINAGE PIPE INSTALLED IN ROW SHALL BE TO FDOT SPECIFICATION AND WRAP PER INDEX 280
- ALL DISTURBED AREAS TO BE SODDED.

PARCEL ID: 16-2S-25-0000-0033-0000

DESCRIPTION	AREAS
BUILDING FOOT PRINT	7,391 SF = 0.170 AC (19.7%)
PAVEMENT/SIDEWALK	18,055 SF = 0.415 AC (48.2%)
OPEN SPACE	11,994 SF = 0.275 AC (32.1%)
TOTAL	37,440 SF = 0.860 AC (100.0%)

IMPERVIOUS SURFACE AREA CALCULATION	
BUILDING FOOT PRINT	7,391 SF = 0.170 AC (19.7%)
PAVEMENT/SIDEWALK	18,055 SF = 0.415 AC (48.2%)
TOTAL	25,446 SF = 0.585 AC (67.9%)

FLOOR AREA CALCULATION	
BUILDING FLOOR AREA	7,391 SF = 0.170 AC (19.7%)

ZONING MIXED USE (INSIDE UDAB) FLUM: MIXED USE
LANDUSE: COMMERCIAL
MAX BUILDING HEIGHT: 45 FT.

MAXIMUM LOT COVERAGE (IMPERVIOUS AREA) = 75% PROVIDED: 68%
FLOOR AREA RATIO NOT TO EXCEED (FAR) MAX ALLOWED 2.0
MINIMUM LOT FRONTAGE = 20 FT. PROVIDED 0.20

REQUIRED SETBACKS
FRONT (US 98) 20 FT
SIDE (LAKE AVENUE - WEST) 5 FT
SIDE (EAST) 5 FT
REAR (NORTH) 10 FT

PROVIDED SETBACKS
FRONT (US 98) 77 FT
SIDE (LAKE AVENUE - WEST) 48 FT
SIDE (EAST) 12 FT
REAR (NORTH) 12 FT

BUILDING AREA
SHOPPING CENTER GROSS BUILDING AREA = 7,391 SF

PARKING CALCULATION
7,391 SF SHOPPING CENTER (LESS THAN 30,000 SF)
= 4 SPACES/1,000 SF = 30 SPACES
TOTAL PARKING SPACES PROVIDED = 40 SPACES (INCLUDING 2 HANDICAPPED)

① SITE CONSTRUCTION KEYNOTES

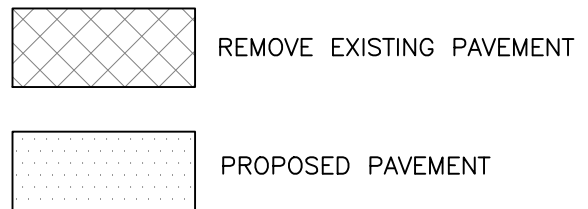
- C1. 6" HEAD CURB, TYPICAL.
- C2. 6" FLUSH CURB, TYPICAL.
- C3. ASPHALT PAVEMENT. HEAVY-DUTY IN DRIVE AISLES.
- C4. ASPHALT PAVEMENT. LIGHT-DUTY IN PARKING SPACES.
- C5. CONCRETE PAVEMENT.
- C6. CONCRETE SIDEWALK, TYPICAL.
- C7. MONOLITHIC CURB & SIDEWALK, TYPICAL.
- C8. HANDICAP ACCESS RAMP WITH A 12:1 MAX. SLOPE, TYPICAL.
- C9. DETECTABLE WARNING SURFACE PER FLORIDA BUILDING CODE.
- C10. DOUBLE DUMPSTER ENCLOSURE (9'-0"x20'-8" INSIDE.
- C11. WHEELSTOP PER F.D.O.T. INDEX No. 300, TYPICAL.
- C12. 4' HIGH CHAIN LINK FENCE AROUND ENTIRE PERIMETER OF DRY RETENTION POND TOP OF RETAINING WALL.
- C13. RETAINING WALL (CONCRETE BLOCK), SEE SHEET 6A.

② SITE STRIPING & SIGNAGE KEYNOTES

- S1. PROPERTY BOUNDARY / LOT LINE.
- S2. HANDICAP PARKING STALL, TYPICAL.
- S3. 24" THERMOPLASTIC STOP BAR WITH R-1-1 HIGH INTENSITY REFLECTORIZED "STOP" SIGN.
- S4. DIRECTIONAL ARROWS PER F.D.O.T. INDEX No. 17346, TYPICAL.
- S5. CROSSWALK STRIPING PER F.D.O.T. INDEX No. 17346, TYPICAL. (WHITE THERMOPLASTIC)
- S6. 6" DOUBLE LINE SOLID (YELLOW PAINT)
- S7. "PRIVATE ROAD" SIGN TO REMAIN.
- S8. 6" SINGLE SOLID LINE (WHITE PAINT).
- S9. HANDICAP SIGN, SEE SHEET 11 FOR DETAILS

③ DEMOLITION KEYNOTES

- D1. REMOVE EXISTING CURB
- D2. REMOVE EXISTING PAVEMENT



REVISIONS	
07/08/24	REVISED PER OKALOOSA COUNTY COMMENTS
08/24/24	REVISED PER OKALOOSA COUNTY COMMENTS
11/16/24	REVISED PER OKALOOSA COUNTY COMMENTS
02/12/25	REVISED PER OKALOOSA COUNTY COMMENTS

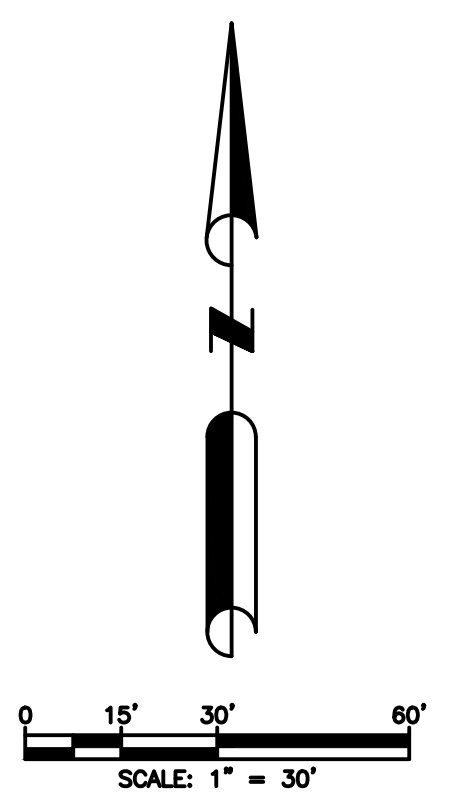
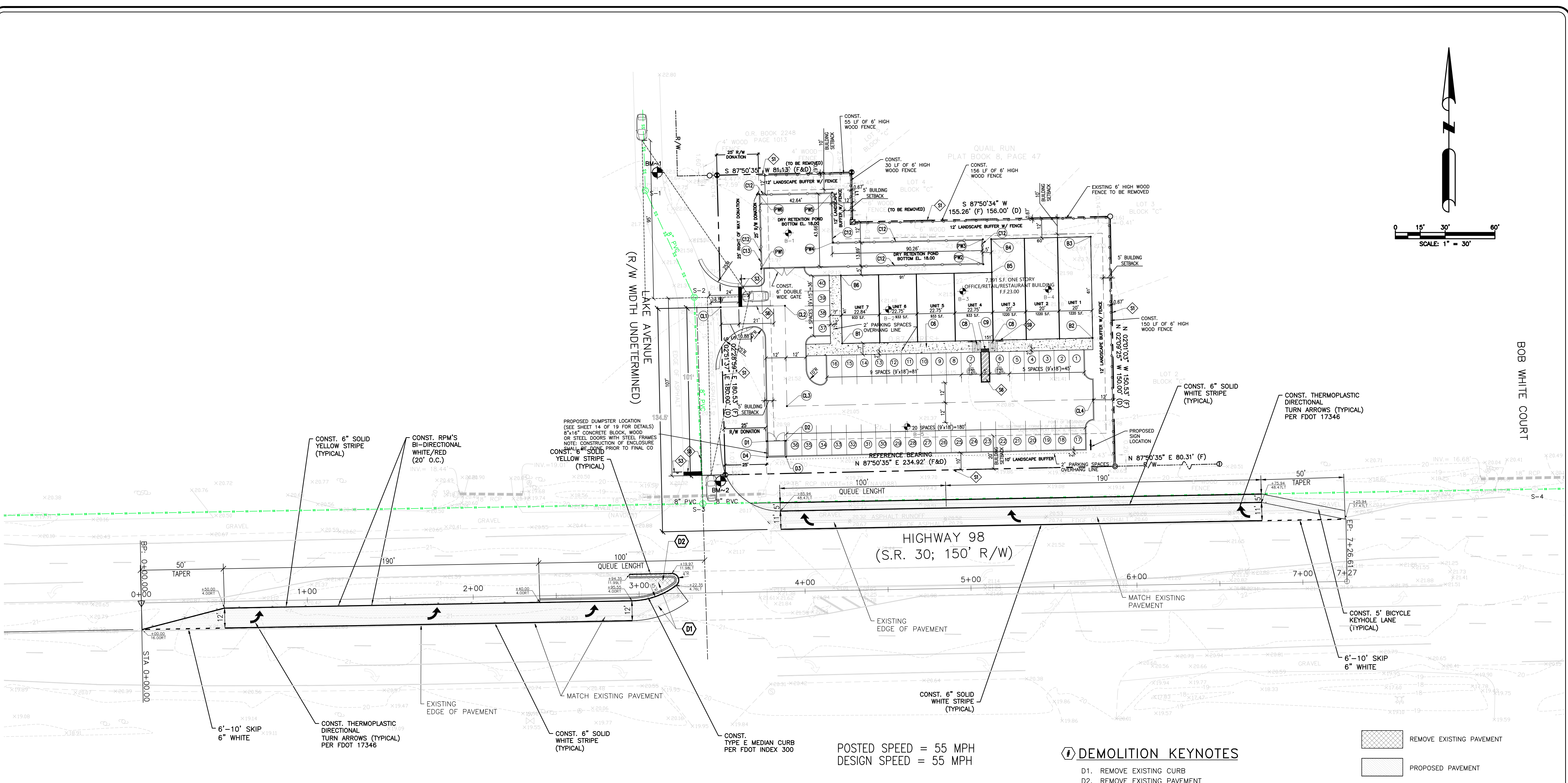
4650 WASHINGTON AVE
SUITE 352
NEW ORLEANS
LA 70125
P(504)454-0500
LICENSE: 60048

ENGINEERING

SITE DIMENSION PLAN
US 98 / LAKE AVENUE INTERSECTION
OKALOOSA COUNTY, FLORIDA

HERMINIO CRUZ
DATE: May 20, 2025

SHEET NO.
05 OF 19



REVISIONS

4650 WASHINGTON AVE
SUITE 352
NEW ORLEANS LA 70125
P(504)454-0500
LICENSE: 60048

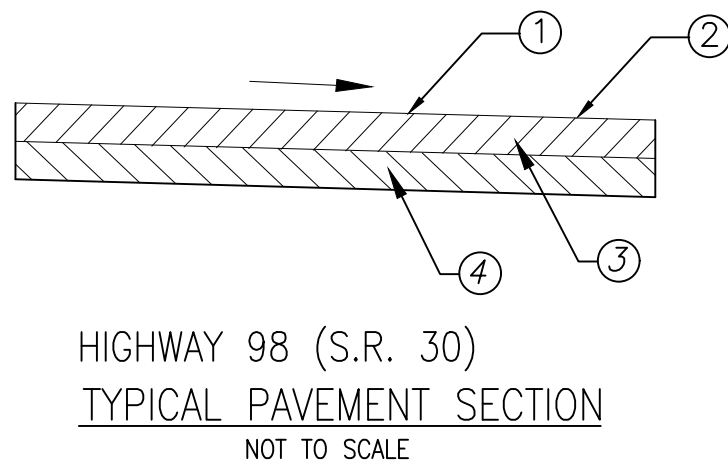
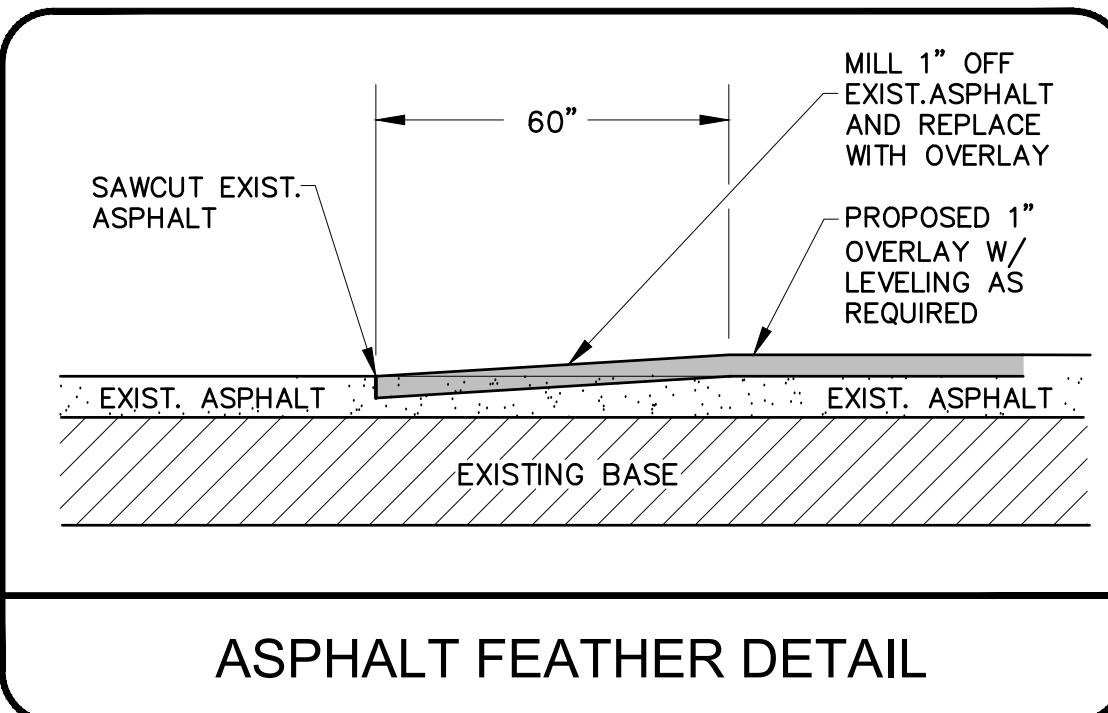
ENGINEERING

OFFSITE IMPROVEMENT DIMENSION PLAN

US 98 / LAKE AVENUE INTERSECTION
OKALOOSA COUNTY, FLORIDA

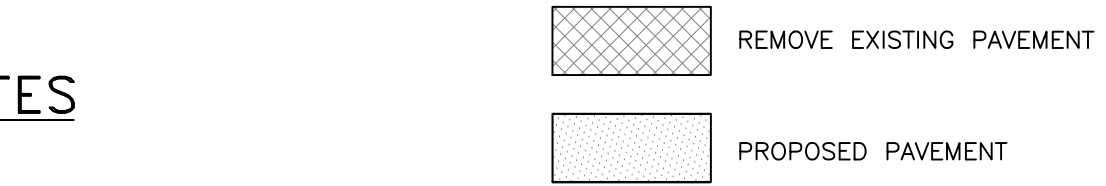
HERMINIO CRUZ
DATE: May 20, 2025

SHEET NO.
06 OF 19



- PAVEMENT SPECIFICATIONS:**
- ① 5/8" TYPE FC-9.5/12.5 FRICTION COURSE
 - ② 3.5" TYPE SP-9.5/12.5
 - ③ 9.5 LIMEROCK (98% MAX. DENSITY)
 - ④ MIN. 12" STABILIZED SUB-BASE COMPACTED TO MIN. 98% DENSITY OF MOD. PROCTOR AS DETERMINED BY AASHTO-T-180 OR LBR > 40

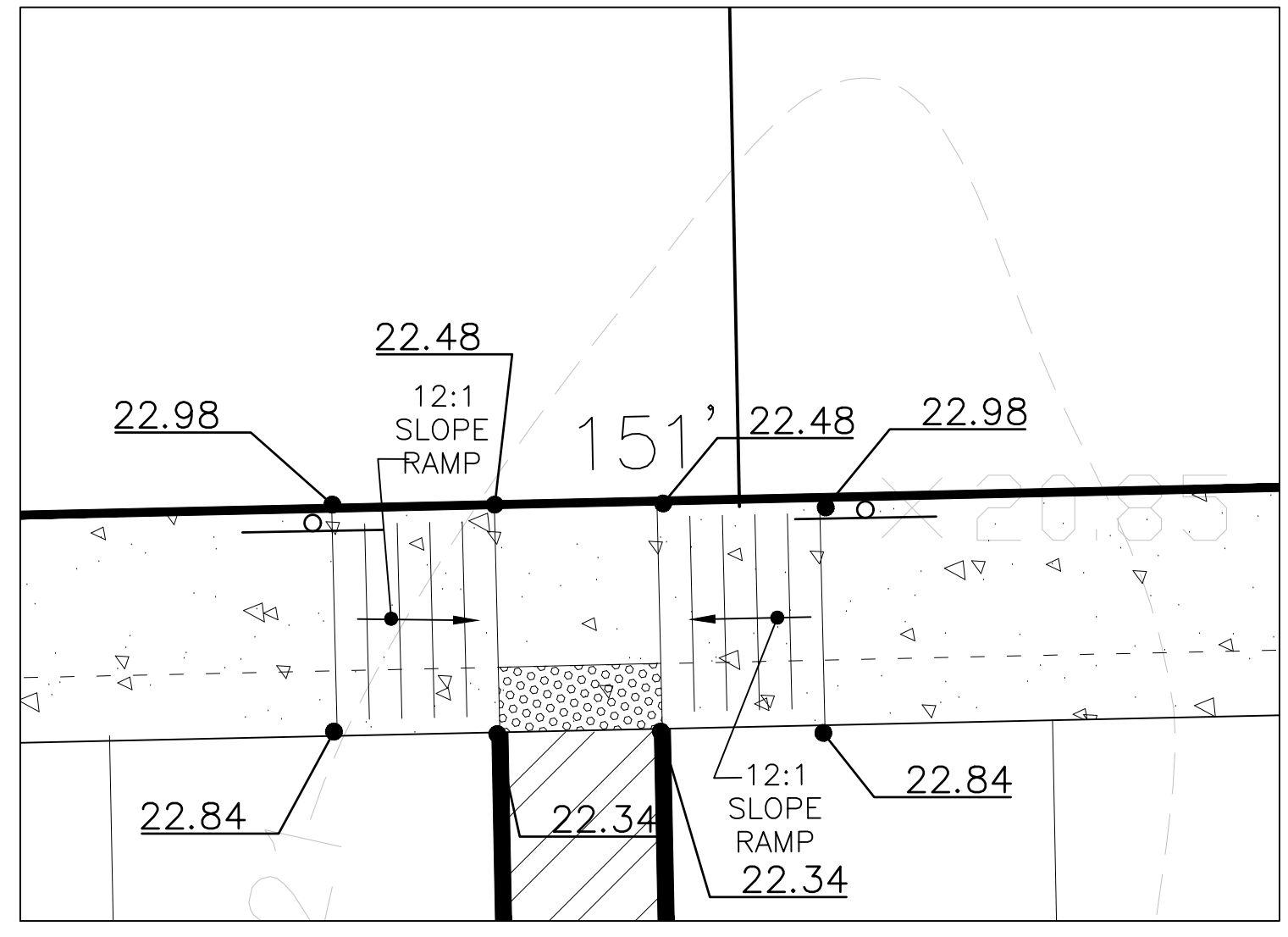
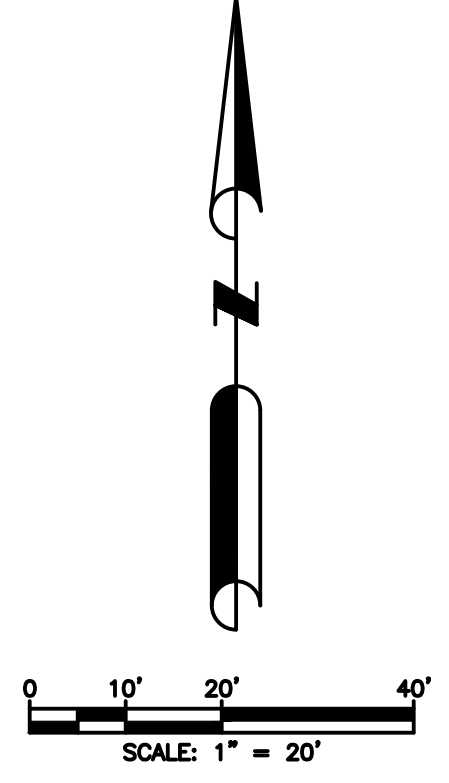
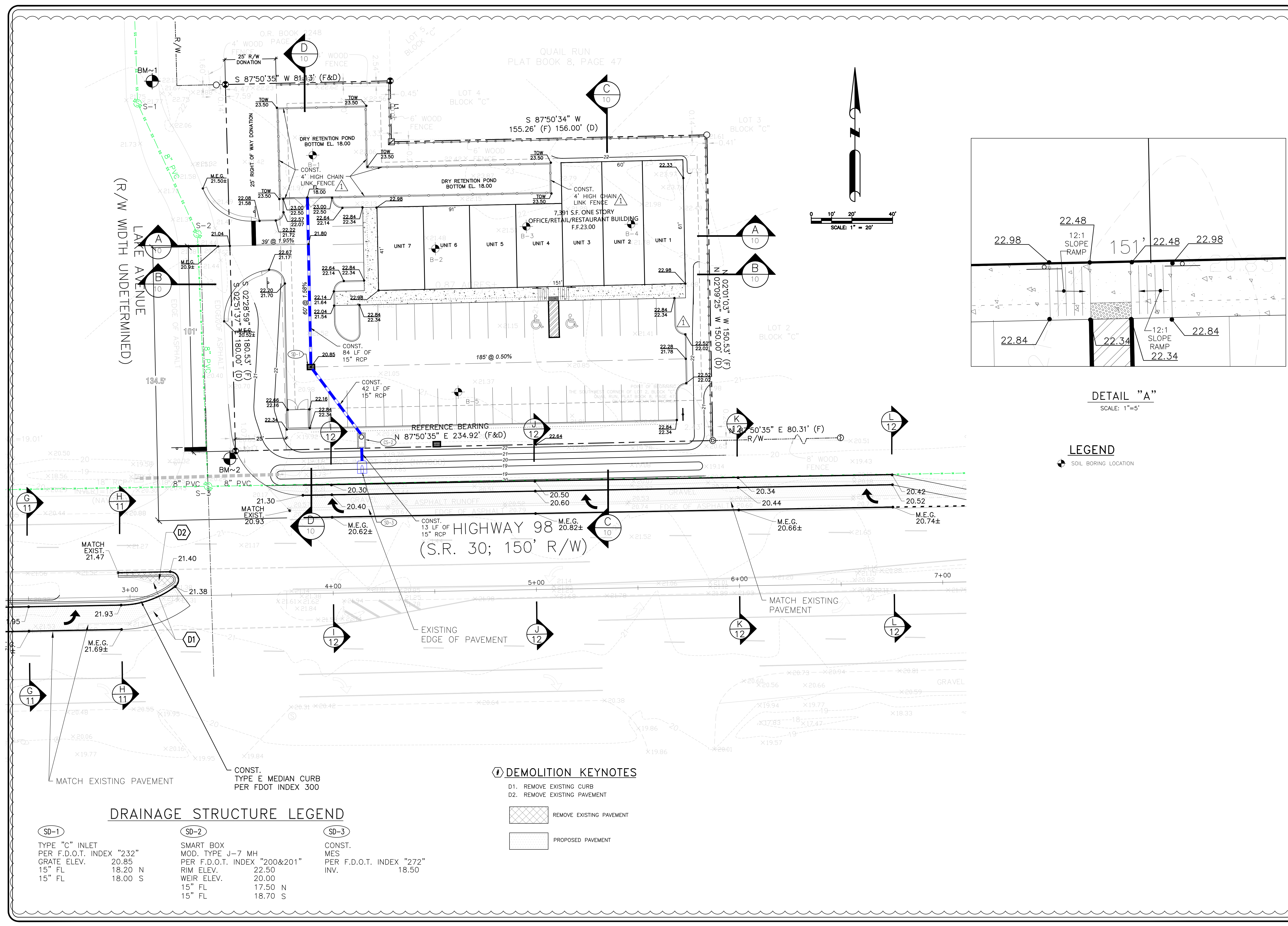
- POSTED SPEED = 55 MPH
DESIGN SPEED = 55 MPH
- DEMOLITION KEYNOTES**
- D1. REMOVE EXISTING CURB
 - D2. REMOVE EXISTING PAVEMENT



- NOTES:**
- 1.) FIELD VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION. IF CONFLICTS OCCUR, CONTACT ENGINEER PRIOR TO CONSTRUCTION.
 - 2.) REFER TO LANDSCAPE/HARDSCAPE PLANS FOR ENHANCEMENT FEATURES AND SIGNS.
 - 3.) ALL RADII ARE 5' UNLESS OTHERWISE NOTED.
 - 4.) ALL SIDEWALKS ARE 5' WIDE UNLESS OTHERWISE NOTED.
 - 5.) PROPOSED CROSSWALKS "SPECIAL EMPHASIS" PER FDOT INDEX 17346.
 - 6.) ALL SIGNAGE AND MARKINGS IN OKALOOSA COUNTY RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH FDOT INDEX 17346 AND MUTCD LATEST ADDITION.
 - 7.) DIRECTIONAL MEDIAN OPENINGS PER FDOT INDEX 527 AND TURN LANES PER FDOT INDEX 301.
 - 8.) CONTRACTOR SHALL SAWCUT A MINIMUM OF 1 FOOT INTO THE EXISTING PAVEMENT TO CREATE AND CLEAN EDGE FOR DRIVEWAY CONNECTION.
 - 9.) ALL PROPOSED STRIPING IN COUNTY RIGHT-OF-WAY SHALL BE THERMOPLASTIC.

GENERAL CONSTRUCTION NOTES WITHIN F.D.O.T. R-O-W

1. CONTRACTOR SHALL CONTACT THE FLORIDA DEPARTMENT OF TRANSPORTATION PRIOR TO COMMENCING ANY DEMOLITION/CONSTRUCTION WITHIN US-98 RIGHT-OF-WAY FOR INSPECTION SCHEDULING.
2. ALL CONSTRUCTION, MATERIALS AND WORKMANSHIP ARE TO BE IN ACCORDANCE WITH LATEST EDITION OF FLORIDA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND STANDARDS.
3. ALL AREAS IN EXISTING RIGHT-OF-WAYS DISTURBED BY CONSTRUCTION MUST BE SODDED.
4. STREET OR HIGHWAY RESTORATION IS TO BE DONE AS PER LOCAL OR STATE AGENCY HAVING JURISDICTION.
5. THE CONTRACTORS SHALL COMPLY WITH ALL RULES AND REGULATIONS OF THE STATE, COUNTY AND CITY AUTHORITIES REGARDING CLOSING OR RESTRICTING THE USE OF PUBLIC STREETS OR HIGHWAYS.
6. TRAFFIC CONTROL ON ALL COUNTY AND STATE HIGHWAY RIGHT-OF-WAYS SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (U.S. DOT/FHA) AND THE REQUIREMENTS OF THE STATE AND ANY LOCAL AGENCY HAVING JURISDICTION.
7. F.D.O.T. OFFICE NEEDS 48 HOURS NOTICE PRIOR TO WORK WITHIN THE R/W OR LANE CLOSURES.
8. M.O.T. SETUP MUST BE SUPERVISED BY A CERTIFIED PERSON.
9. TEST RESULTS ARE REQUIRED UPON REQUEST.
10. THE ENGINEER'S CERTIFICATION ALONG WITH AS-BUILTS (IF REQUIRED) MUST BE SUBMITTED WITHIN 30 DAYS OF COMPLETION OF PROJECT.
11. CONTRACTOR SHALL SAW CUT STRAIGHT LINES ON EXISTING ASPHALT PRIOR TO REPLACING ASPHALT.
12. ALL DRAINAGE PIPE INSTALLED IN ROW SHALL BE TO FDOT SPECIFICATION AND WRAP PER INDEX 280
13. ALL DISTURBED AREAS TO BE SODDED.



DETAIL "A"

LEGEND

REVISIONS

NO.	DATE	REVISION
07	08/24	REVISED PER OKALOOSA COUNTY COMMENTS

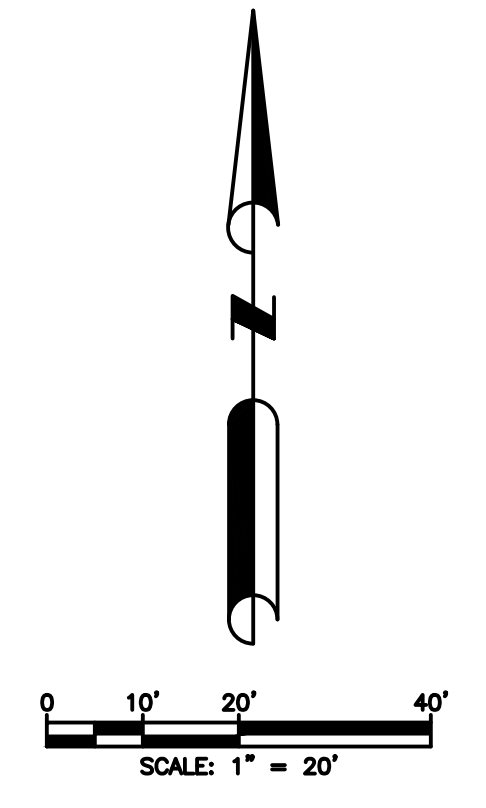
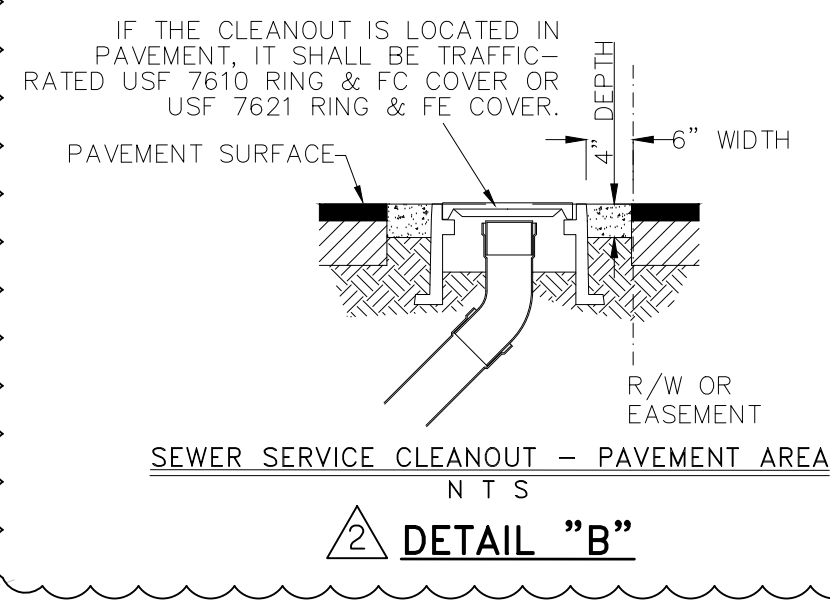
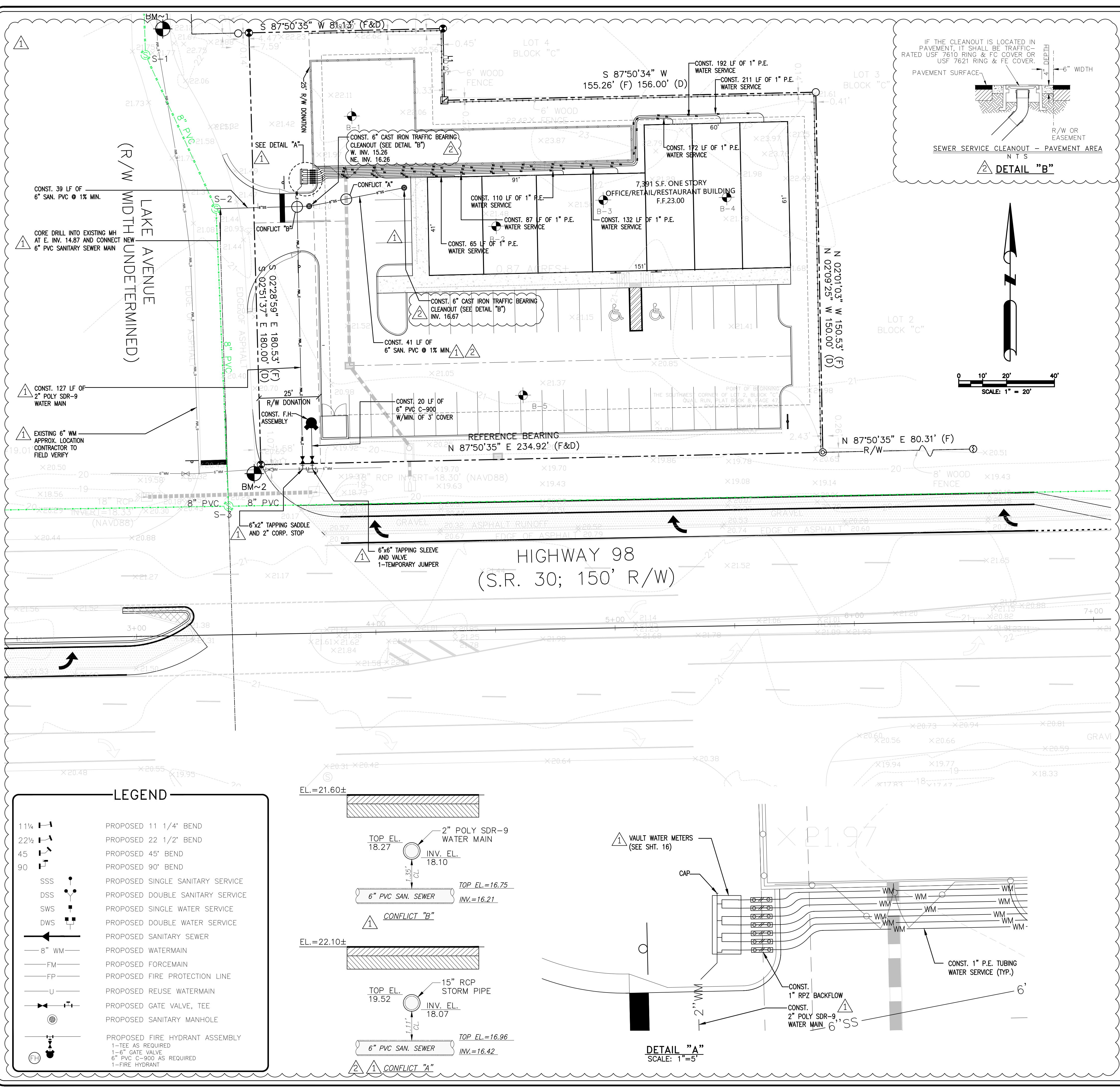
4650 WASHINGTON AVE
SUITE 352
NEW ORLEANS LA 70125
P(504)454-0500
LICENSE: 60048

PAVING, GRADING & DRAINAGE PLAN

US 98 / LAKE AVENUE INTERSECTION
OKALOOSA COUNTY, FLORIDA

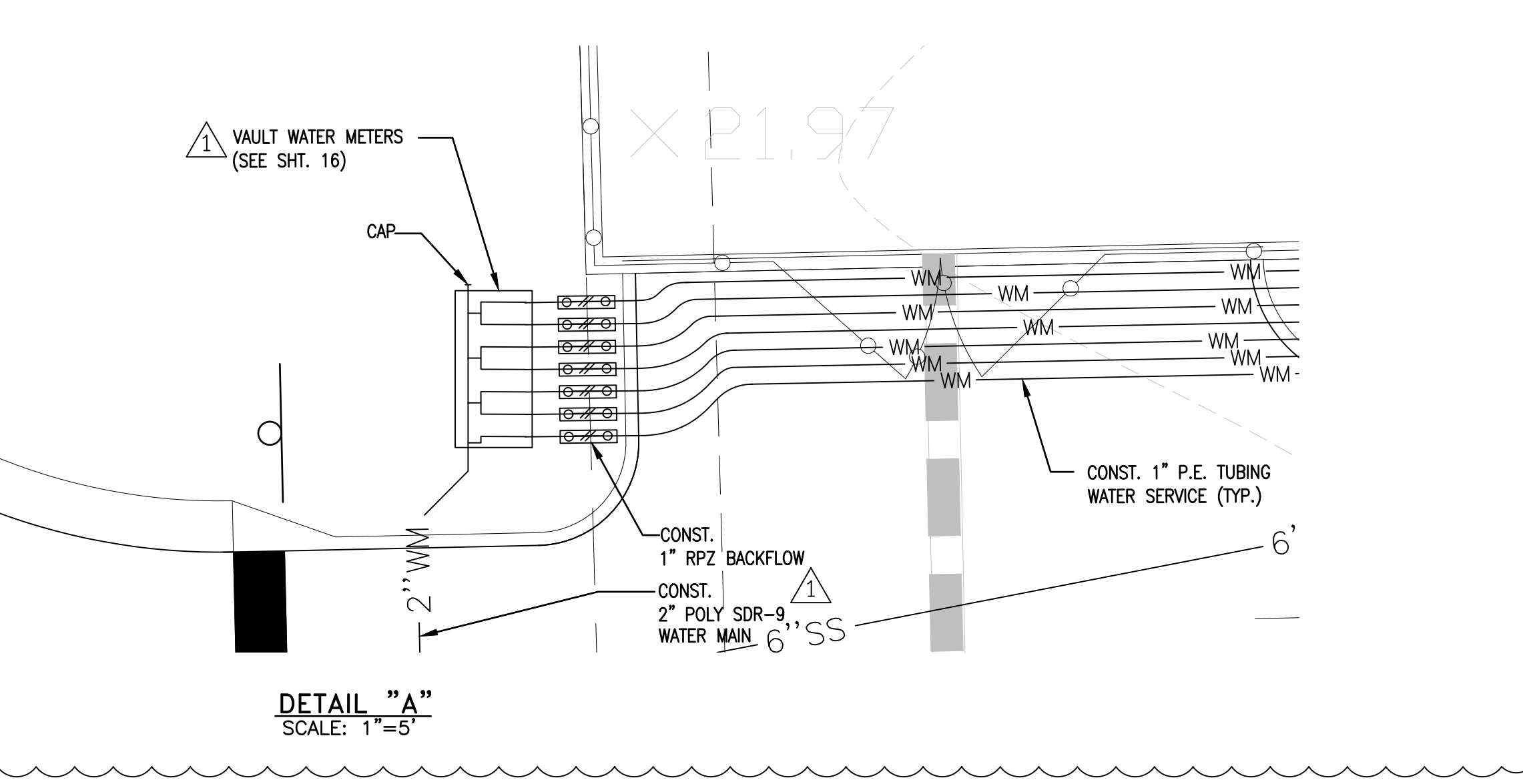
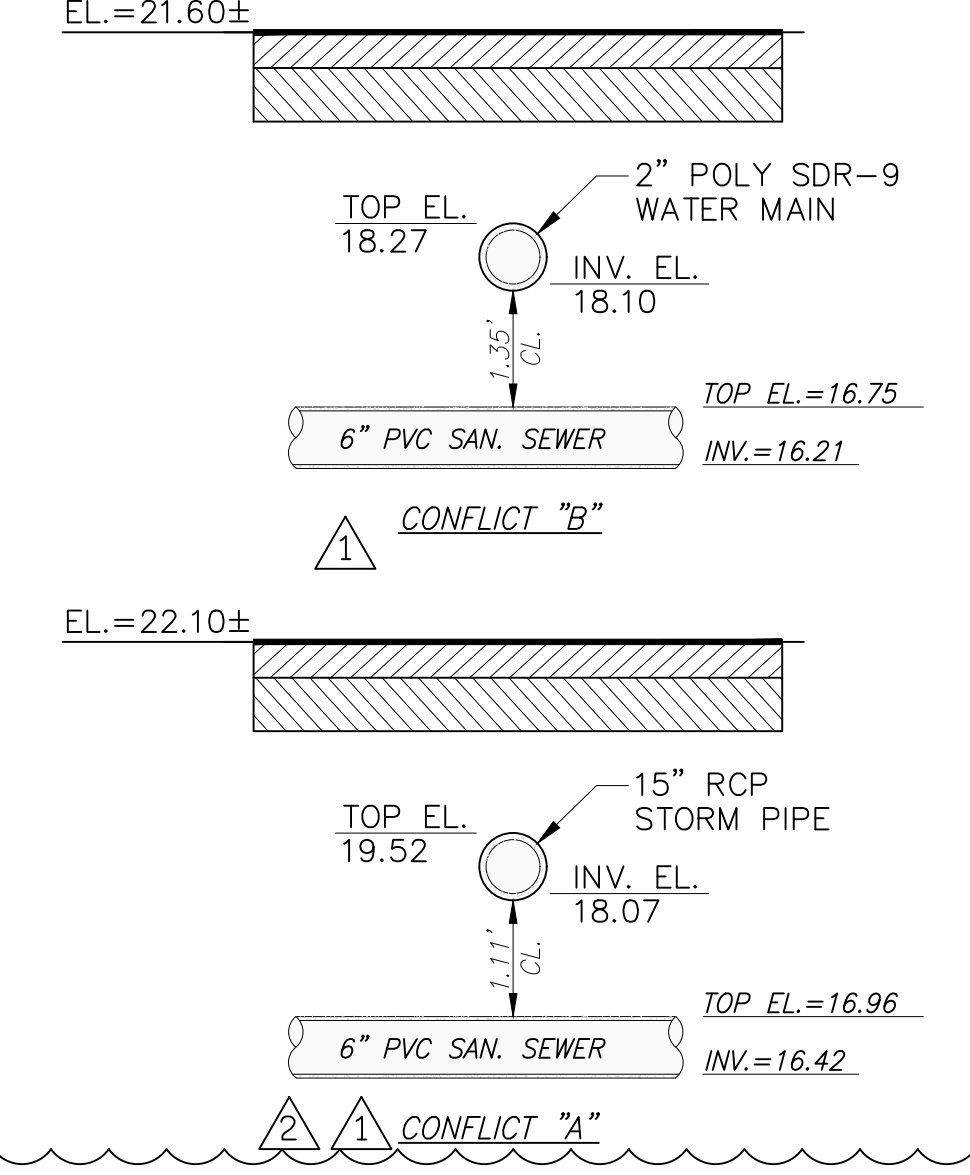
HERMINIO CRUZ
DATE: May 20, 2025

SHEET NO.
07 OF 19



LEGEND

11 1/4"	PROPOSED 11 1/4" BEND
22 1/2"	PROPOSED 22 1/2" BEND
45"	PROPOSED 45" BEND
90"	PROPOSED 90" BEND
SSS	PROPOSED SINGLE SANITARY SERVICE
DSS	PROPOSED DOUBLE SANITARY SERVICE
SWS	PROPOSED SINGLE WATER SERVICE
DWS	PROPOSED DOUBLE WATER SERVICE
—	PROPOSED SANITARY SEWER
—	PROPOSED WATERMAIN
—	PROPOSED FORCEMAIN
—	PROPOSED FIRE PROTECTION LINE
—	PROPOSED REUSE WATERMAIN
—	PROPOSED GATE VALVE, TEE
—	PROPOSED SANITARY MANHOLE
—	PROPOSED FIRE HYDRANT ASSEMBLY
—	1-TEE AS REQUIRED
—	6" PVC C-900 AS REQUIRED
—	1-FIRE HYDRANT



FIRE FLOW WORKSHEET I.S.O. METHOD

Date 12 / 13 / 23 CALCULATED BY: Charles Peay
 OKALOOSA COUNTY PERMIT # _____ OCCUPANCY TYPE "II-B" (Family Shopping Center)
 PROJECT ADDRESS _____
 CONSTRUCTION TYPE II-B NUMBER OF STORIES 1 OWNER _____

STEP 1 Take A_i which is 100% Sq. Ft. of 1st Floor Plus the Following Percentage of the Total Area of the Other Floors, and Find Its Square Root:

1st Fl	7,391	Sq. Ft. @ 100%
BUILDINGS CLASSIFIED AS CONSTRUCTION CLASSES 1-4: 50% OF ALL OTHER FLOORS.		
BUILDINGS CLASSIFIED AS CONSTRUCTION CLASS 5 OR 6: IF ALL VERTICAL OPENINGS ARE PROTECTED, 25% OF THE AREA NOT EXCEEDING THE TWO OTHER LARGEST FLOORS. IF ONE OR MORE VERTICAL OPENINGS IN THE BUILDING ARE UNPROTECTED, 50% OF THE AREA OF NOT EXCEEDING 8 OTHER FLOORS		
TOTAL	85.97	SQ. FT. FOR FIRE FLOW = A_i
<small>(Find square root of TOTAL SQ. FT. for fire flow)</small>		
7,391	SQ. FT. =	85.97 A_i

STEP 2 TAKE SQUARE ROOT OF A_i AND MULTIPLY BY "F" (COEFFICIENT FOR CONSTRUCTION TYPE):

F = Coefficient Related to the Class of Construction	Type
F = 1.5 for Construction Class 1 (Frame)	VI
F = 1.0 for Construction Class 2 (Joisted Masonry)	V
F = 0.8 for Construction Class 3 (Non-Combustible) & Construction Class 4 (Masonry Non-Combustible)	IV (II-B) III
F = 0.6 for Construction Class 5 (Modified Fire Resistant) & Construction Class 6 (Fire Resistant)	II I

SQ. RT. 85.97 X F 0.8 = 68.78

STEP 3 MULTIPLY RESULT OF STEP 2 (above) by 18:

68.78 X 18 = 1238 GPM (round off to nearest GPM by step 5 below)

STEP 4 MULTIPLY RESULT OF ROUNDED OFF GPM (X) FROM ABOVE BY THE OI (OCCUPANCY FACTOR)

C-1 (NON-COMB) CLAY, BLOCK STORAGE, ETC.	0.75
C-2 (LIMITED COMB) APPTS, OFFICE, CHURCH, ETC.	0.85
C-3 (COMB) MERCANTILE, RESTAURANTS, ETC.	1.00
C-4 (FREE BURNING) MIXED STG, COMB. & FLAM.	1.15
C-5 (RAPID BURNING) EXPLOSIVES, VAPORS, ETC.	1.25

ROUNDED GPM 1238 X OI 1.00 = 1238 GPM Sub Total

STEP 5 ROUND OFF TO THE NEAREST 250 GPM (ROUND UP OR DOWN)

500 TO 625 = 500 GPM	1876 TO 2125 = 2000 GPM
626 TO 875 = 750 GPM	2126 TO 2375 = 2250 GPM
876 TO 1125 = 1000 GPM	2376 TO 2625 = 2500 GPM
1126 TO 1375 = 1250 GPM	2626 TO 2875 = 2750 GPM
1376 TO 1625 = 1500 GPM	2876 TO 3125 = 3000 GPM
1626 TO 1875 = 1750 GPM	3126 TO 3375 = 3250 GPM

ROUNDED OFF TO THE NEAREST 250 GPM = 1250 GPM Sub Total

Fire Flow Estimate Continuation:
 Okaloosa County Permit # _____ Date 12 / 13 / 23

Rounded off GPM Sub Total from step 5 above 1250 b = (GPM)
 I.S.O. Sprinkler Reduction & Varies with Building Hazard.

Automatic Sprinklers: 0 Subtract 0 % Times b = 0 GPM

Subtotal 625 GPM

Building exposures:	Distance	Exposure
1. Front	+150-ft	Add <u>0</u> %
2. Left	+150-ft	Add <u>0</u> %
3. Rear	61-100-ft	Add <u>10</u> %
4. Right	61-100-ft	Add <u>10</u> %

The Percentage for any one side generally should not exceed the following limits for the separations shown:

Separation	Percentage	Total
10 feet	25%	Total <u>1500</u> GPM
11 - 30 feet	20%	
31 - 60 feet	15%	
61 - 100 feet	10%	
101 - 150 feet	5%	

Final Fire Flow Required 1500 GPM

Dwellings - For groupings of 1-family and small 2-family dwellings not exceeding 2 stories in height, the following short method may be used. (For other residential buildings, the regular method should be used.)

Exposure Distances (feet)	Suggested required fire flow
0 - 100'	500 gpm
31 - 100'	750 - 1000 gpm
11 - 30'	1000 - 1500 gpm
10' or less	1500 - 2000 gpm

OCWS WATER & SEWER NOTES:

- A MANDATORY PRECONSTRUCTION MEETING SHALL BE HELD, AT THE OCWS ENGINEERING DEPT, WITH ALL INVOLVED PARTIES, INCLUDING THE DEVELOPER, ENGINEER-OF-RECORD, AND CONTRACTOR, A MINIMUM OF TWO (2) WEEKS PRIOR TO CONSTRUCTION, IN ORDER TO ADDRESS CONSTRUCTION AND INSPECTION REQUIREMENTS. FAILURE TO HOLD A PRECONSTRUCTION MEETING COULD RESULT IN EXPENSIVE REWORK OF ITEMS NOT ACCEPTABLE BY OCWS STANDARDS.
- COORDINATE WITH LOCAL FIRE DEPARTMENT ON INSPECTION REQUIREMENTS AND TESTING.
- COORDINATE ALL UTILITY TIE-INS WITH OCWS MAINTENANCE (850) 609-7034 A MINIMUM OF FIFTEEN (15) WORKING DAYS PRIOR TO CONSTRUCTION.
- OCWS WILL PERFORM AND/OR OVERSEE ALL CONNECTIONS TO EXISTING WATER OR SEWER MAINS.
- ALL UTILITY CONSTRUCTION SHALL BE INSPECTED BY THE OCWS ENGINEERING DEPARTMENT (850) 609-6161, INCLUDING, BUT NOT LIMITED TO PRESSURE TESTING, FINISHED GRADE DEPTH, AND SERVICE LOCATIONS. AS A MINIMUM, A MANDATORY FORTY-EIGHT (48) HOUR NOTICE IS REQUIRED FOR ALL INSPECTIONS.
- PRIOR TO OCWS SIGNING FDEP CLEARANCE APPLICATIONS (INVOLVING NEW MAINS), THE FOLLOWING ITEMS ARE REQUIRED:
 - PASSING PRESSURE TESTS
 - PASSING BACTERIOLOGICAL TESTS
 - SATISFACTORY INSPECTION
 - COMPLETE ACCURATE AS-BUILTS RECEIVED
- PRIOR TO OCWS ACCEPTANCE OF INFRASTRUCTURE AND THE SETTING OF WATER METERS, THE FOLLOWING ITEMS ARE REQUIRED:
 - FDEP CLEARANCE
 - PASSING FINAL INSPECTION, AT ESTABLISHED FINISHED GRADE
 - ASSOCIATED RIGHT-OF-WAY AND/OR EASEMENTS EXECUTED AND RECORDED
 - WATER & SEWER CONSTRUCTION COST
 - 12-MONTH WARRANTY AGREEMENT, TO COVER ANY DAMAGES TO OCWS MAINTAINED UTILITIES, WHICH MAY BE CAUSED BY THE INSTALLATION OF OTHER UTILITIES OR INFRASTRUCTURE. THE WARRANTY REQUIRES THE DEVELOPER AND CONTRACTOR TO MAKE ALL REPAIRS OR PAY ASSOCIATED COST REQUIRED TO CORRECT DAMAGES(S).
 - CAPACITY EXPANSION CHARGES SHALL BE PAID IN FULL PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. COORDINATE CAPACITY EXPANSION CHARGES.
 - ACCOUNT SETUP, AND HYDRANT METERS WITH THE OCWS TAPS OFFICE AT (850) 609-6182.
 - A MINIMUM 15'-0" CLEARANCE SHALL BE MAINTAINED BETWEEN UTILITY MAINS AND PROPOSED BUILDINGS. THE CONTRACTOR SHALL PROVIDE PROPER SEPARATION FROM PROPOSED DRAINAGE SYSTEMS AND UTILITY PIPES, INCLUDING SERVICES.
 - NO UTILITY CONNECTIONS WILL BE MADE INTO COUNTY/FDOT RIGHT-OF-WAY AND/OR EASEMENTS WITHOUT AN APPROVED UTILITY PERMIT. ALL CROSSINGS UNDER EXISTING ROADS WILL BE BORED, UNLESS PERMITTED OTHERWISE. THE CONTRACTOR MUST REPAIR ANY PAVEMENT CUTS WITHIN THE SPECIFIED PERMIT AND COORDINATE ALL CUTS WITH GOVERNING AUTHORITY A MINIMUM 15 DAYS PRIOR TO WORK BEING DONE.
 - THE CONTRACTOR WILL BE RESPONSIBLE FOR EXTENDING THE PROPOSED WATER AND SEWER MAINS FROM THE UTILITY MAIN CONNECTIONS PROVIDED BY OCWS INTO THE DEVELOPMENT.
 - ALL WATER UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH OCWS REQUIREMENTS AND SPECIFICATIONS. ALL WATER MAIN PIPING SHALL BE C-900 DR 18 OR LESS, WITH 2 EXCEPTIONS: DUCTILE IRON PIPE IS REQUIRED FROM TEES TO HYDRANTS, OR AS OTHERWISE SPECIFIED BY OCWS.
 - HYDRANTS SHALL BE MUELLER SUPER CENTURION A423 OR AMERICAN DARLING BR48.
 - A MINIMUM 36" (AND A MAXIMUM 42" FOR WATER) COVER IS REQUIRED FROM TOP OF ALL PROPOSED UTILITY LINES AND SERVICES FROM FINISHED GRADES, INCLUDING SWALES AND BASINS.
 - ALL LOT CORNERS, RIGHTS-OF-WAY, AND REAR EASEMENT LINES SHALL BE LOCATED AND PROPERLY MARKED, PRIOR TO THE CONTRACTOR INSTALLING MAINS AND SERVICES, THEN AGAIN PRIOR TO FINAL INSPECTION. OCWS ENGINEERING WILL REQUIRE EXACT VERIFICATION OF EACH SERVICE PLACEMENT, BEFORE FINAL ACCEPTANCE IS MADE.
 - A MINIMUM HORIZONTAL CLEARANCE OF 36" IS REQUIRED FROM POWER TRANSFORMER/BOX PERIMETER TO ANY UTILITY MAINS AND SERVICES.
 - CLEANOUTS ARE REQUIRED ON ALL SEWER SERVICES AND SHOULD BE LOCATED AT THE BACK OF THE RIGHT-OF-WAY OR EASEMENT LINE. THE TOP OF THE CLEANOUT SHALL BE 6"-12" BELOW GRADE AND INSIDE A PLASTIC METER BOX WITH A GREEN UID. IF THE CLEANOUT IS LOCATED IN PAVEMENT, IT SHALL BE TRAFFIC-RATED/BRASS, AND NO METER BOX IS REQUIRED.

REVISIONS

NO.	DATE	REVISION
1	07/08/24	REVISED PER OKALOOSA COUNTY COMMENTS
2	08/24/24	REVISED PER OKALOOSA COUNTY COMMENTS
3	01/16/25	REVISED PER OKALOOSA COUNTY COMMENTS

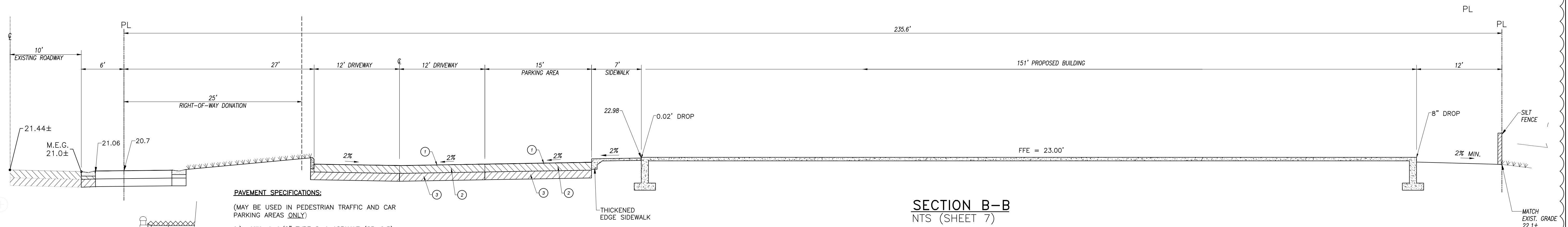
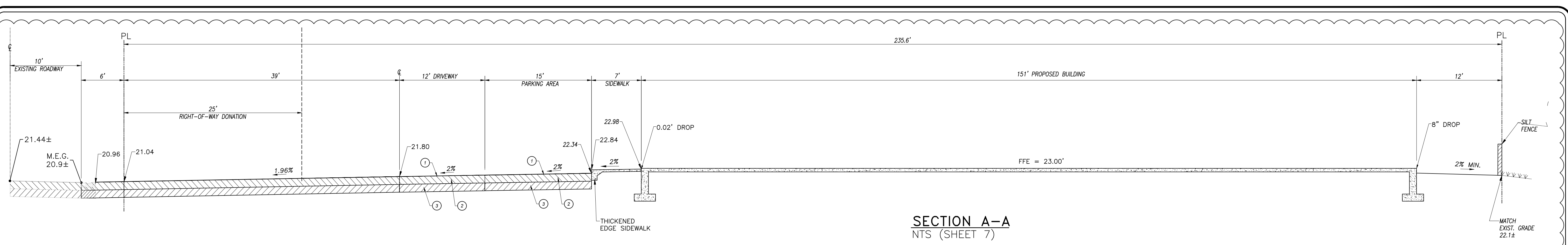
4650 WASHINGTON AVE
 SUITE 352
 NEW ORLEANS LA 70125
 P(504)454-0500
 LICENSE: 60048

UTILITY PLAN

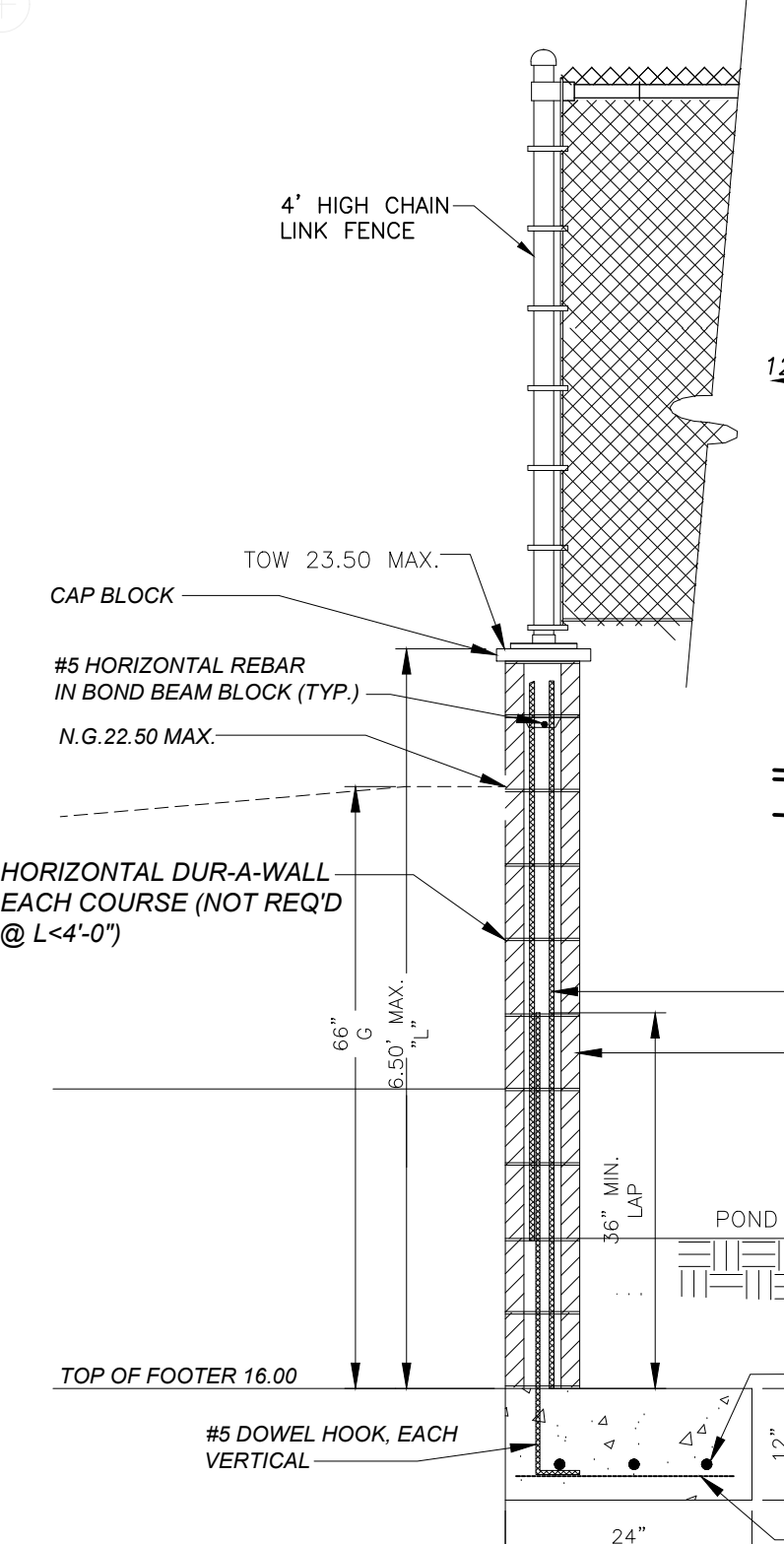
US 98 / LAKE AVENUE INTERSECTION
 OKALOOSA COUNTY, FLORIDA

HERMINIO CRUZ
 DATE: May 20, 2025

SHEET NO.
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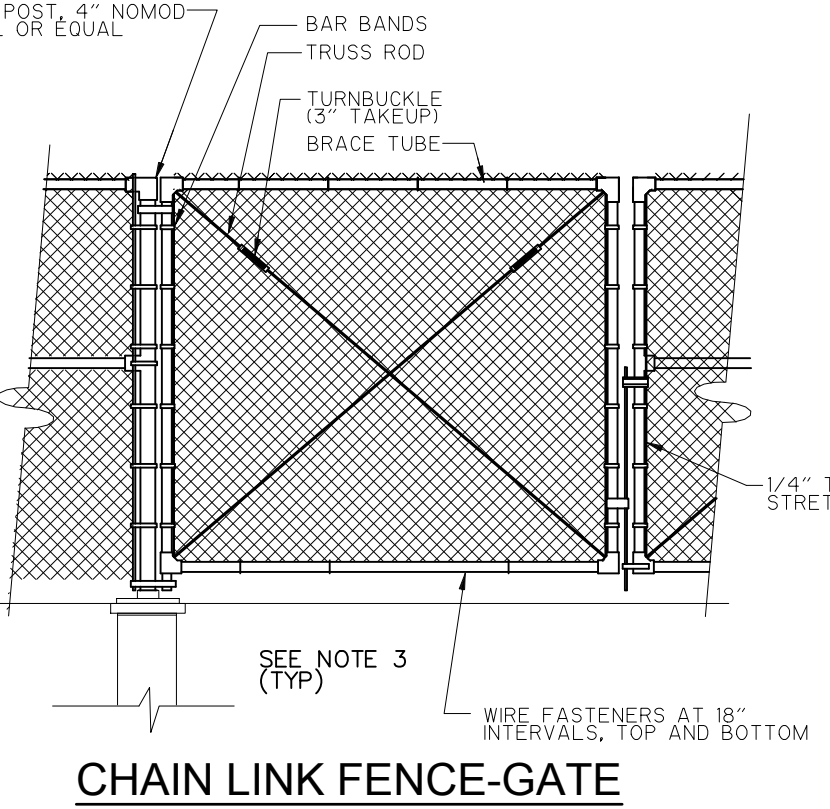


- PAVEMENT SPECIFICATIONS:**
(MAY BE USED IN PEDESTRIAN TRAFFIC AND CAR PARKING AREAS ONLY)
- 1.) MIN. 1 1/2" TYPE S-1 ASPHALT (SP-9.5) OVER RC-70 OR EQUAL PRIME COAT
 - 2.) 6" LIMEROCK (98% MAX. DENSITY)
 - 3.) MIN. 12" STABILIZED SUB-BASE COMPACTED TO MIN. 98% DENSITY OF MOD. PROCTOR AS DETERMINED BY AASHTO-T-180 OR LBR > 40



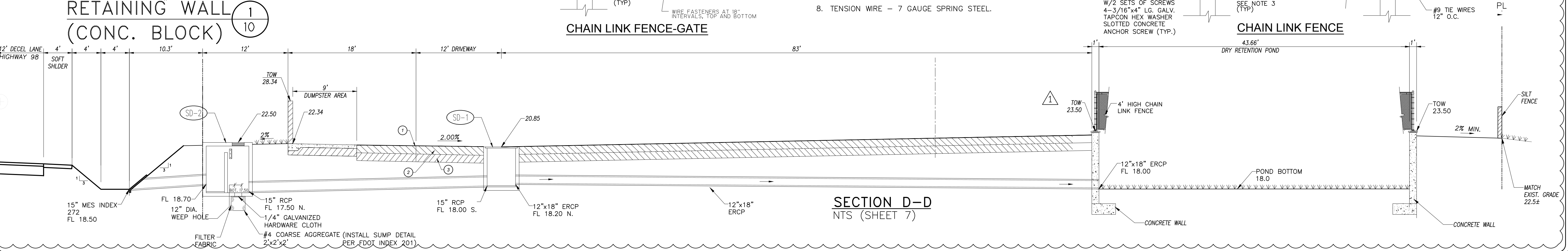
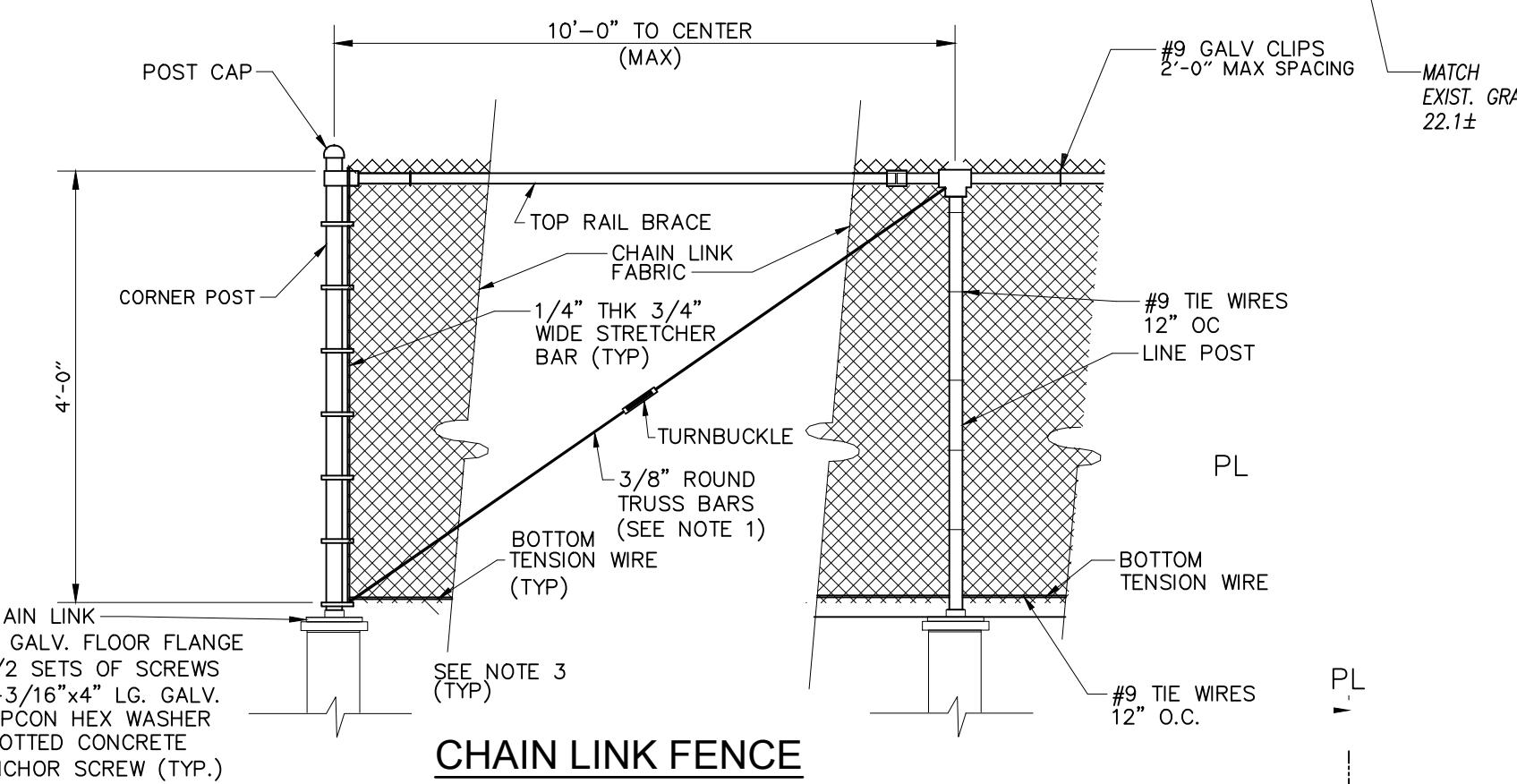
RETAINING STEMWALL MATRIX FOR 2' 8" TO 7' 4" FT WALLS

ARGUMENT	"L" HEIGHT IN FEET							
	2'-8"	3'-4"	4'-0"	4'-8"	5'-4"	6'-0"	6'-8"	7'-4"
A	8	8	8	8	8	8	8	8
B	48	48	40	36	24	24	16	8
C	3,2	3,2	3	3	3	3	3	4
D (INCHES)	N/A	N/A	48	48	48	36	36	36
G (INCHES)	4	4	12	12	12	12	16	16
H (INCHES)	10,8	10,8	10,8	12	12	12	12	12
W (INCHES)+	20,16	20,16	20,16	24,20	24,20	24,20	24,20	30,24
Y	N/A	N/A						



SECTION C-C NTS (SHEET 7)

- NOTES:**
1. TRUSS BARS ARE REQUIRED FOR EACH GATE SECTION AND THE FIRST SPAN ON EACH SIDE OF A CORNER POST ONLY.
 2. ALL MATERIALS SHALL BE PRE-GALVANIZED WITH 1.2 OUNCES OF ZINC PER S.F.
 3. 8"x8"x16" CONCRETE BLOCK
 4. END POST AND PULL - 2 3/8" OD SCHEDULE 40/SS 40 STEEL PIPE.
 5. GATE FRAME - 2" OD SCHEDULE 40 STEEL PIPE.
 6. LINE POST - 2" OD SCHEDULE 40 STEEL PIPE.
 7. TOP RAIL - 1 5/8" OD SCHEDULE 20/SS 20 STEEL TUBE.
 8. TENSION WIRE - 7 GAUGE SPRING STEEL.



REVISIONS

NO.	DATE	DESCRIPTION
1	07/08/24	REVISED PER OKALOOSA COUNTY COMMENTS

4650 WASHINGTON AVE
SUITE 352
NEW ORLEANS LA 70125
P(504)454-0500
LICENSE: 60048

TYPICAL SECTIONS

US 98 / LAKE AVENUE INTERSECTION
OKALOOSA COUNTY, FLORIDA

HERMINIO CRUZ
DATE May 20, 2025

SHEET NO.
10 OF 19

