

FOR LEASE

Wimmer Medical Building

810 Biesterfield Rd. | Elk Grove Village, IL

Medical Office Space Available For Lease

Your Practice. Your Space. **Available Now.**

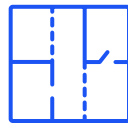




Property Highlights



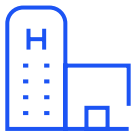
Immediate Occupancy Medical Suites: Built-out medical offices ready for providers to move in and start seeing patients without delay.



Flexible Suite Options: Variety of office and clinical layouts that can accommodate a range of medical specialties.



Strong Medical Tenant Mix: Surrounded by long-standing healthcare providers and practices, reinforcing the locality as a medical destination.



Direct Access to Ascension Alexian Brothers Hospital Campus: Directly connected to the renowned Ascension Alexian Brothers campus, enhancing patient convenience and supporting physician collaboration and referral opportunities.

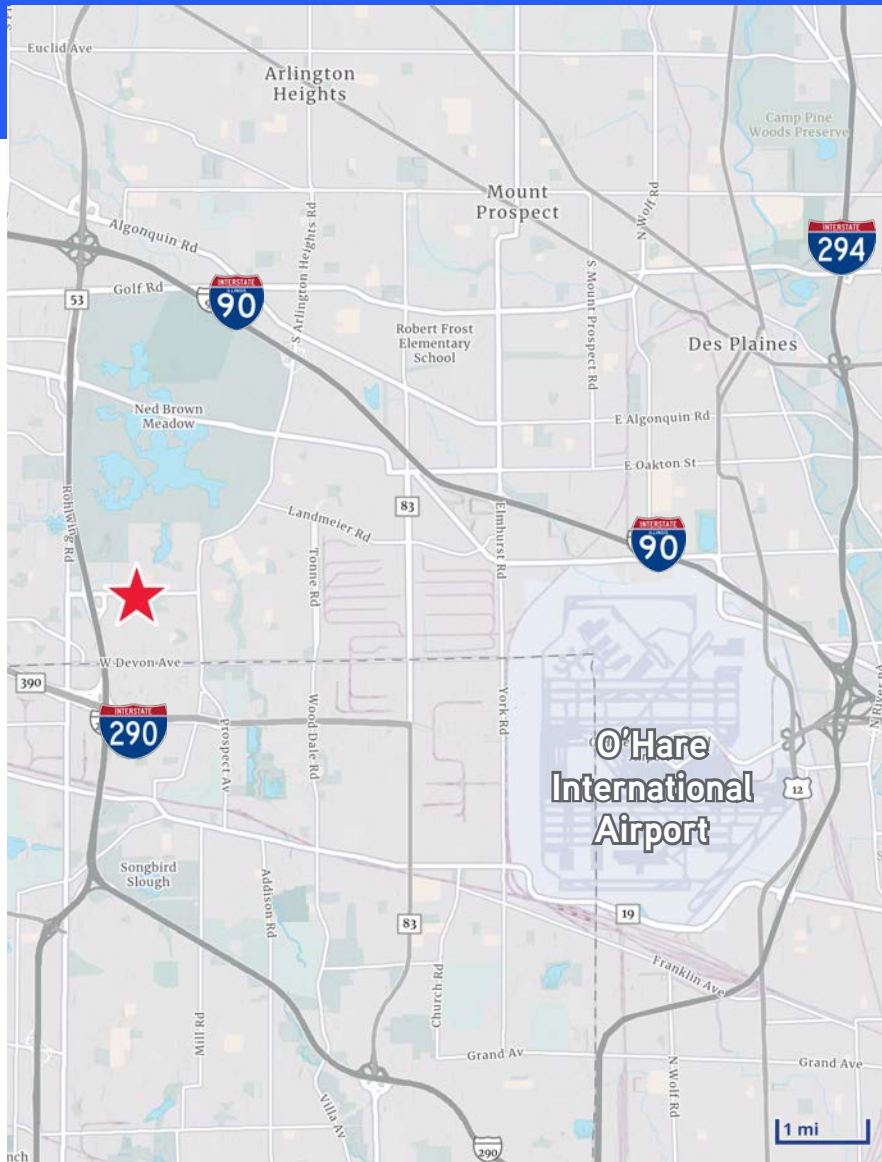


Established Healthcare Location: Located in a core Elk Grove Village medical corridor with direct access to I-290 and major roadways, the property is surrounded by an established network of healthcare providers serving the Northwest Chicago suburbs.



Professional Amenity Base: Located near retail, dining, and service amenities supporting both patients and healthcare professionals.

Suite Availabilities



Suite	RSF	Exam Room Count	Office Count	Procedure Room Count	Lab Space	Bathroom Count	Built Out As
409	1,528	5	0	0	1	1	Medical Space
408	3,470	8	2	1	0	1	Medical Space
406	983	3	0	0	1	1	Medical Space
401	2,765	6	3	1	1	1	Medical Space
308	1,446	3	1	0	1	0	Medical Space
304	1,803	3	1	1	N/A	1	Medical Space
303A	2,085	4	1	1	1	1	Medical Space
301	1,081	3	1	0	0	1	Medical Space
205	1,113	3	1	0	1	1	Medical Space
204	1,615	5	1	1	1	1	Medical Space
202	2,510	4	3	0	0	1	Medical Space
201	1,685	4	1	1	1	1	Medical Space
107	2,302	3	2	2	1	1	Medical Space

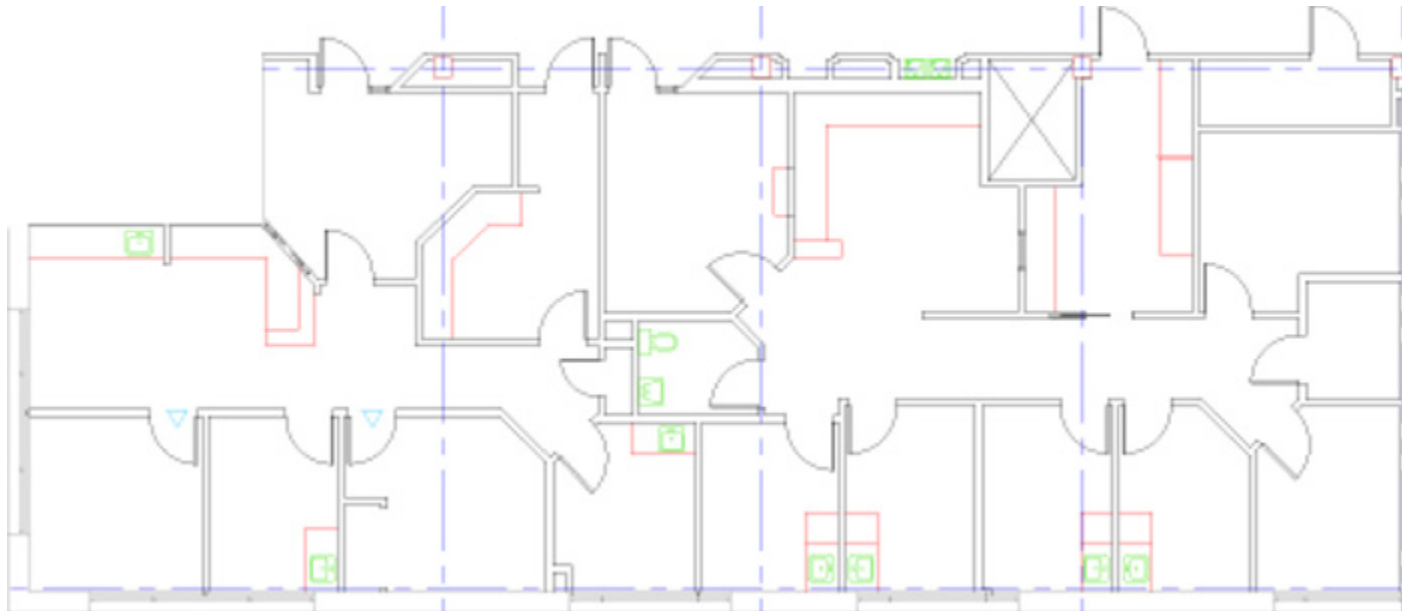
Location Overview

810 Biesterfield Road is located within Elk Grove Village's established office and medical corridor, offering convenient access to I-290, I-294, I-90, and O'Hare International Airport. The surrounding area is anchored by professional and healthcare users, supporting a strong, service-oriented business environment.

Existing Floor Plan

810 Biesterfield Rd. | Elk Grove Village, IL

Suite 401 | 2,765 SF



Existing Floor Plan

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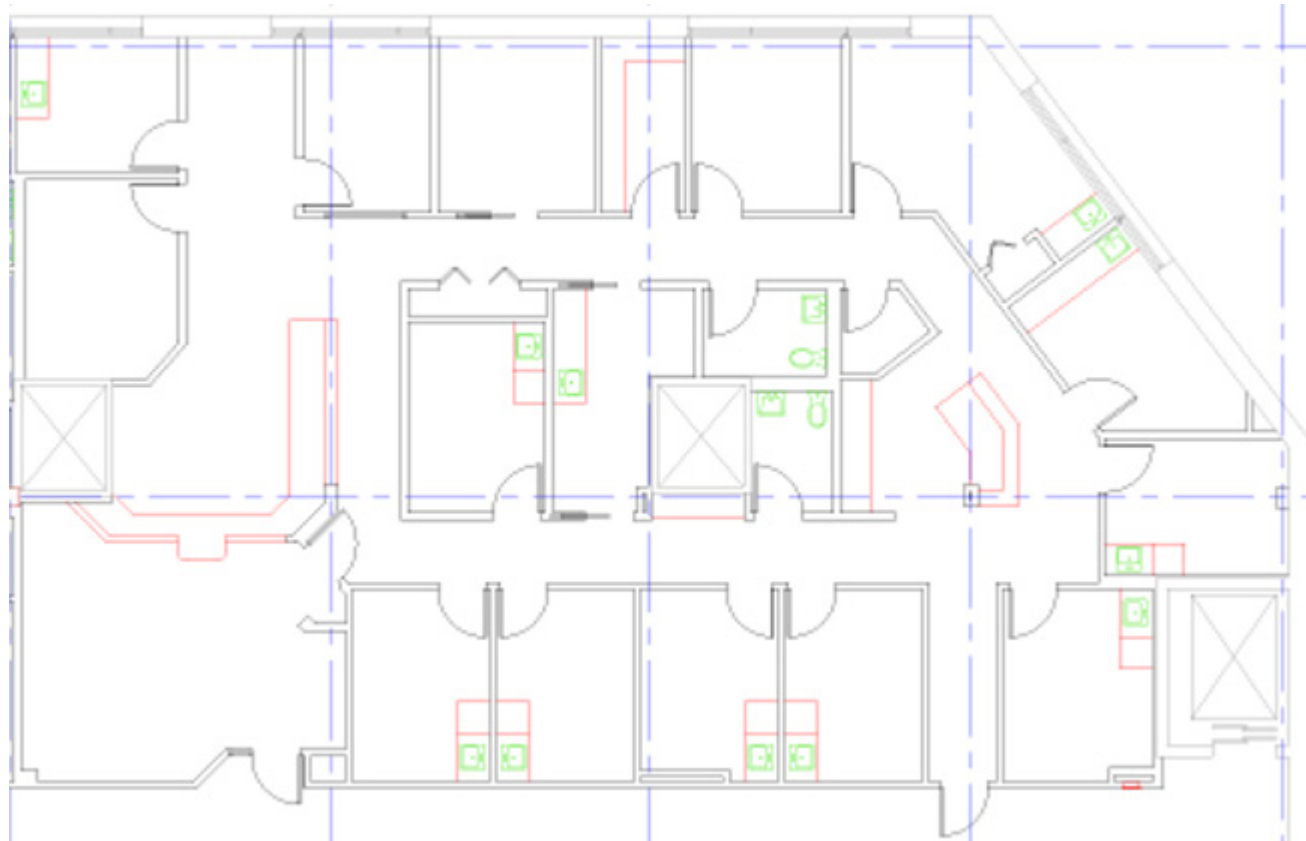
Suite 406 | 983 SF



Existing Floor Plan

810 Biesterfield Rd. | Elk Grove Village, IL

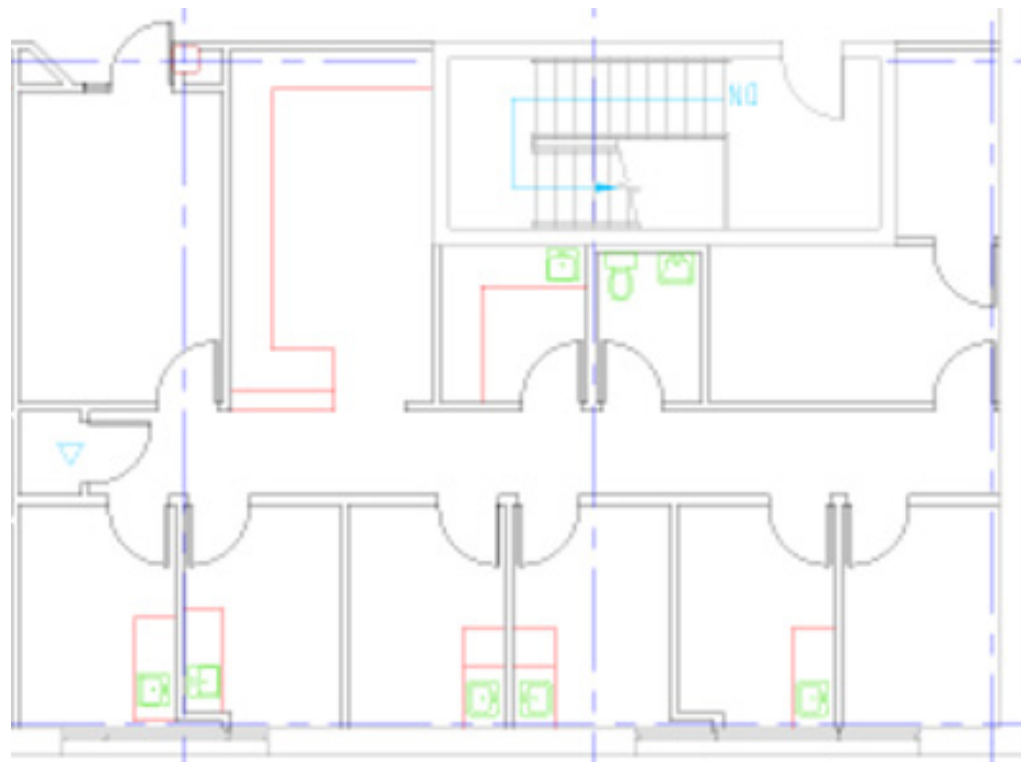
Suite 408 | 3,470 SF



Existing Floor Plan

810 Biesterfield Rd. | Elk Grove Village, IL

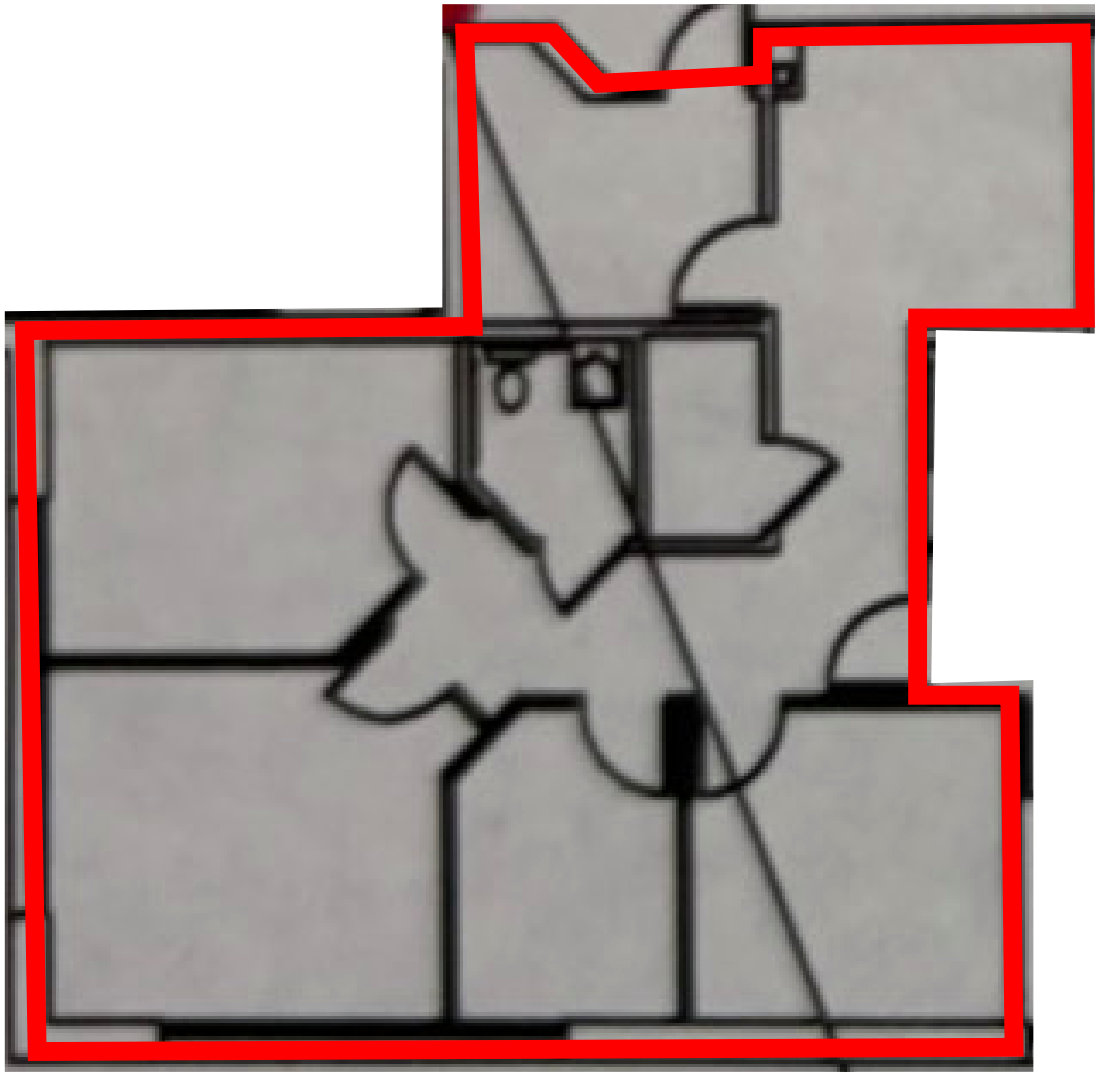
Suite 409 | 1,528 SF



Existing Floor Plan

810 Biesterfield Rd. | Elk Grove Village, IL

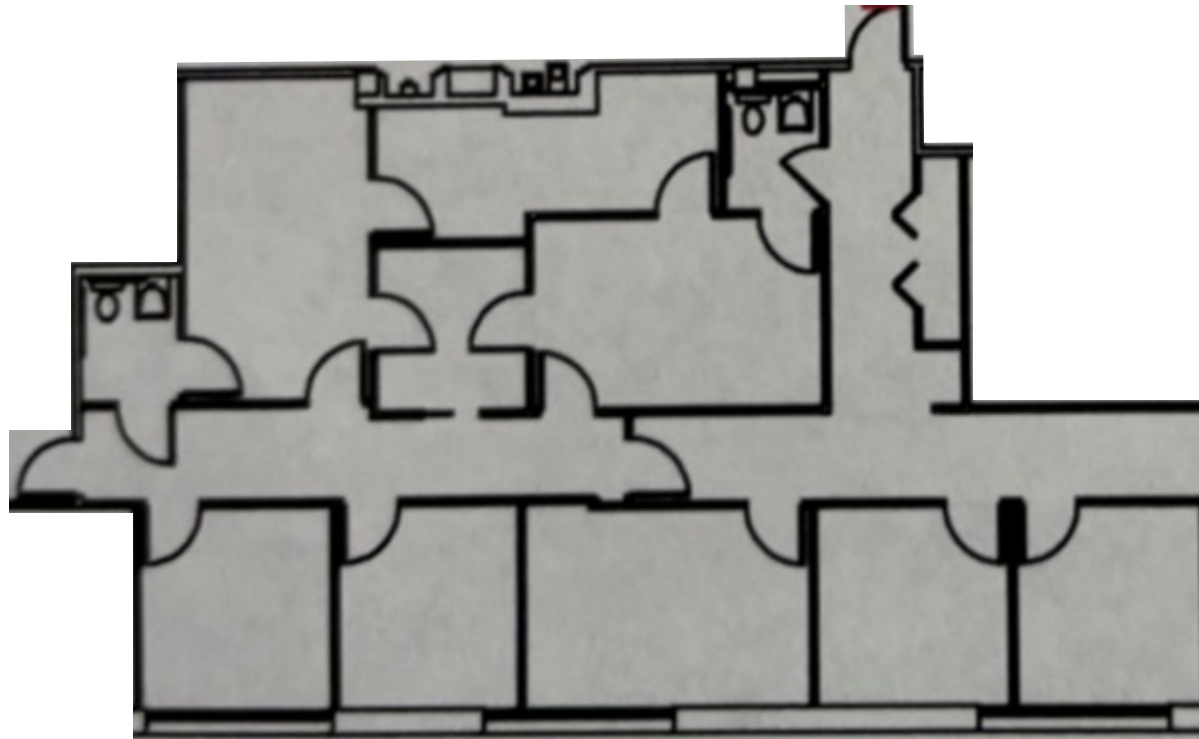
Suite 301 | 1,081 SF



Existing Floor Plan

810 Biesterfield Rd. | Elk Grove Village, IL

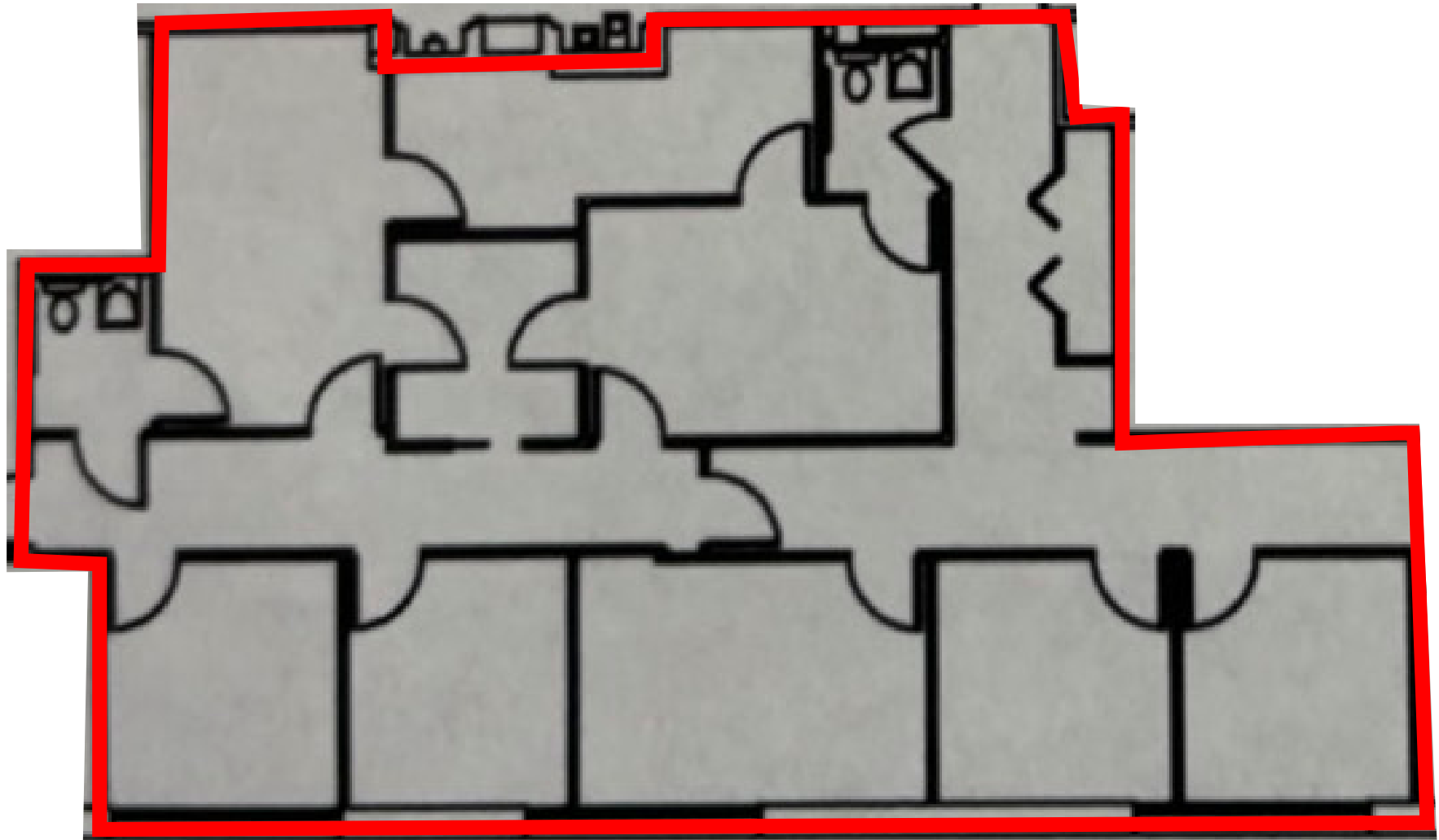
Suite 303A | 2,085 SF



Existing Floor Plan

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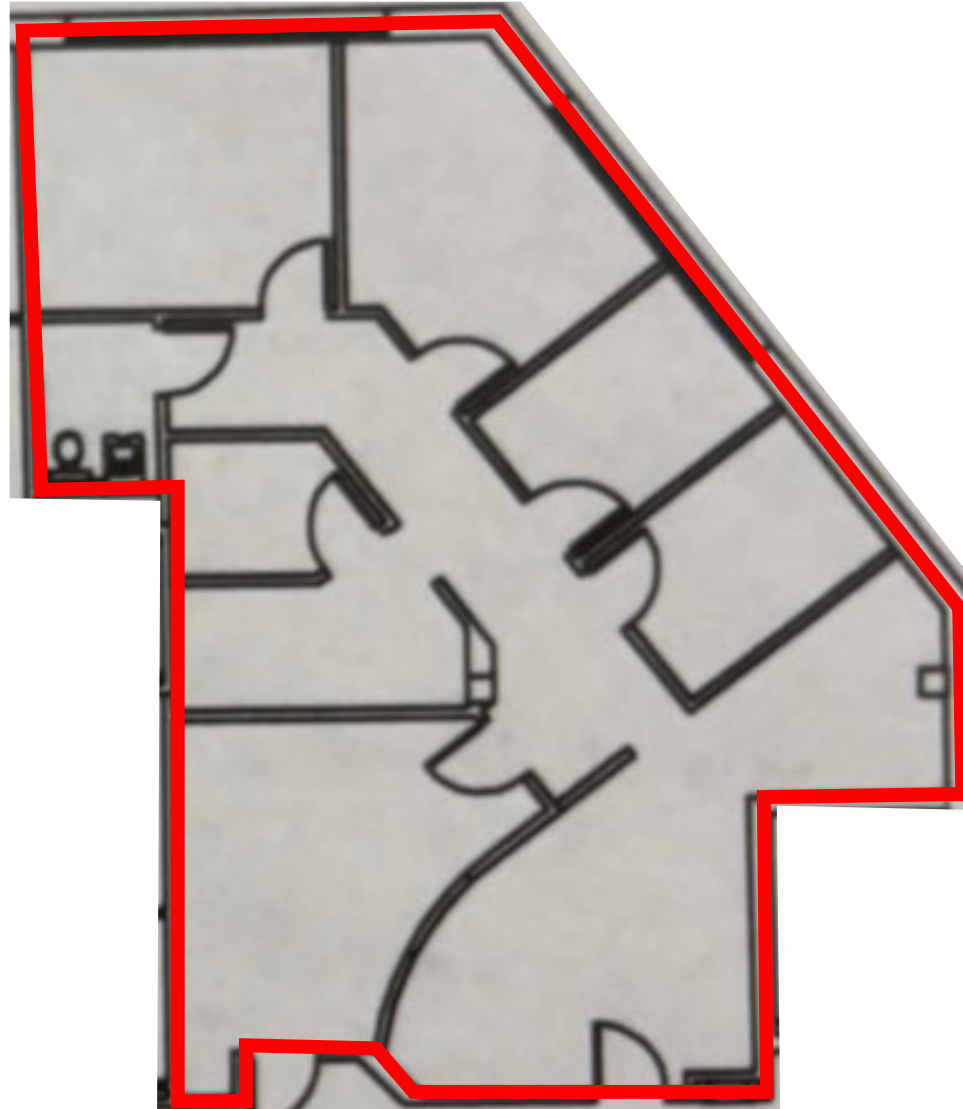
Suite 304 | 1,803 SF



Existing Floor Plan

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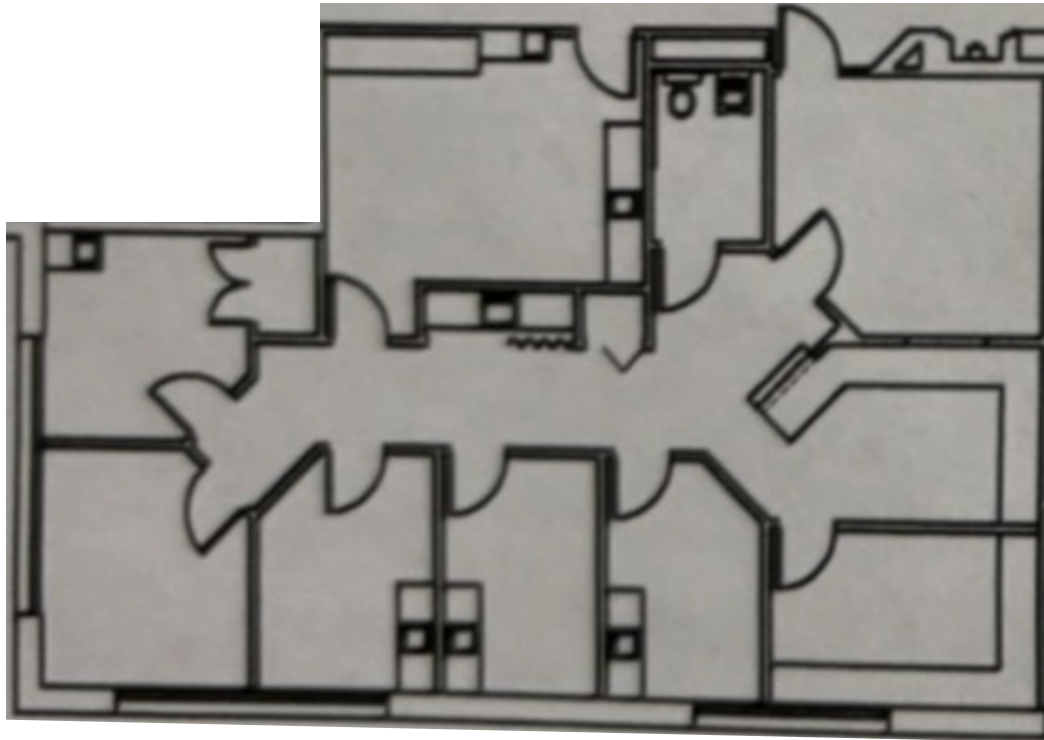
Suite 308 | 1,446 SF



Existing Floor Plan

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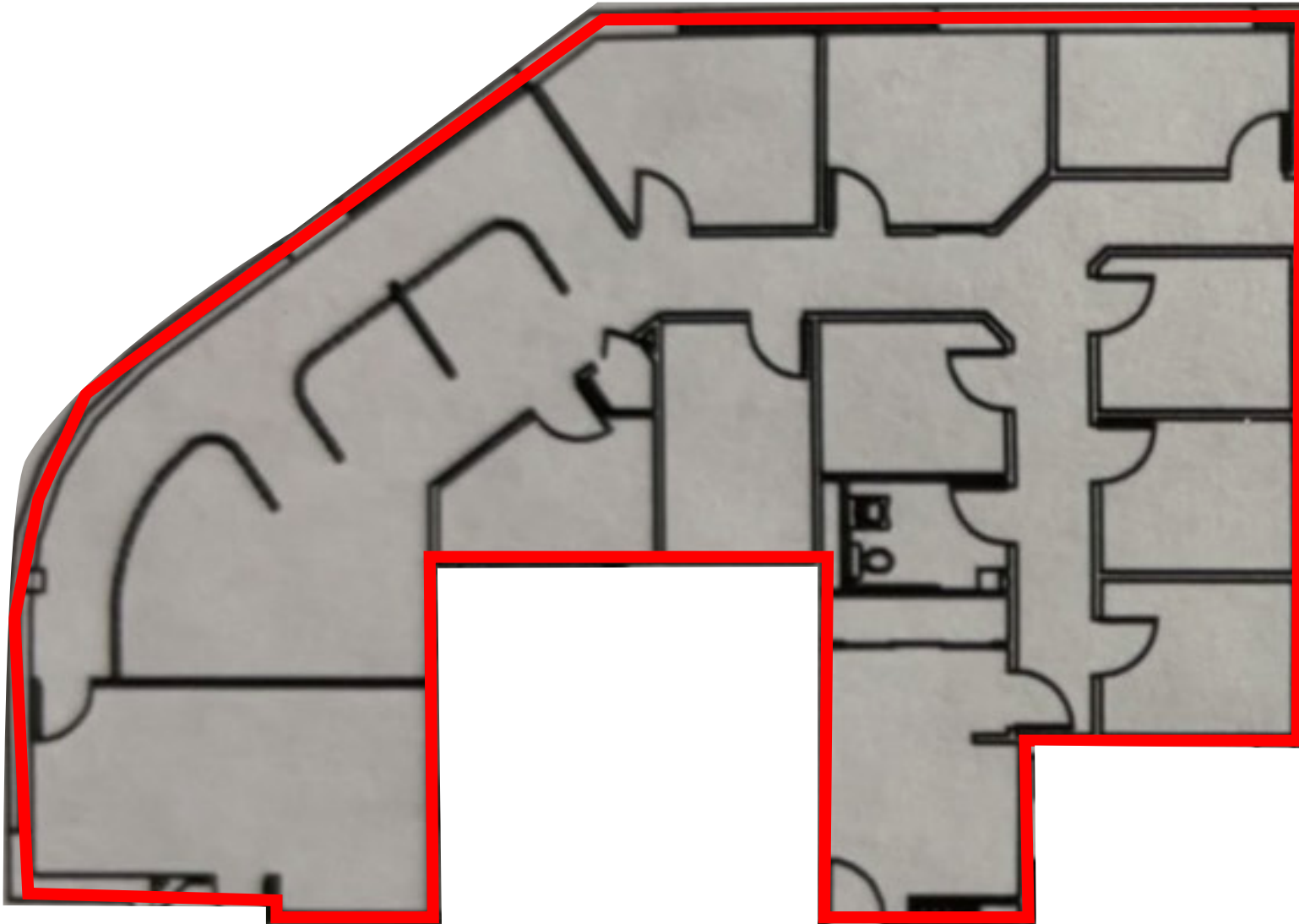
Suite 201 | 1,685 SF



Existing Floor Plan

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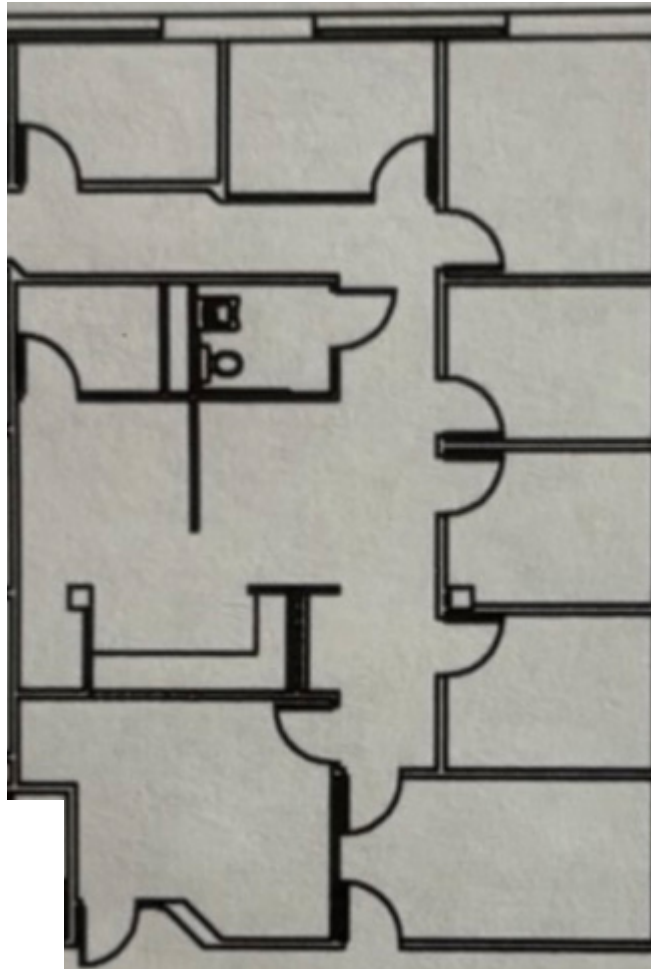
Suite 202 | 2,510 SF



Existing Floor Plan

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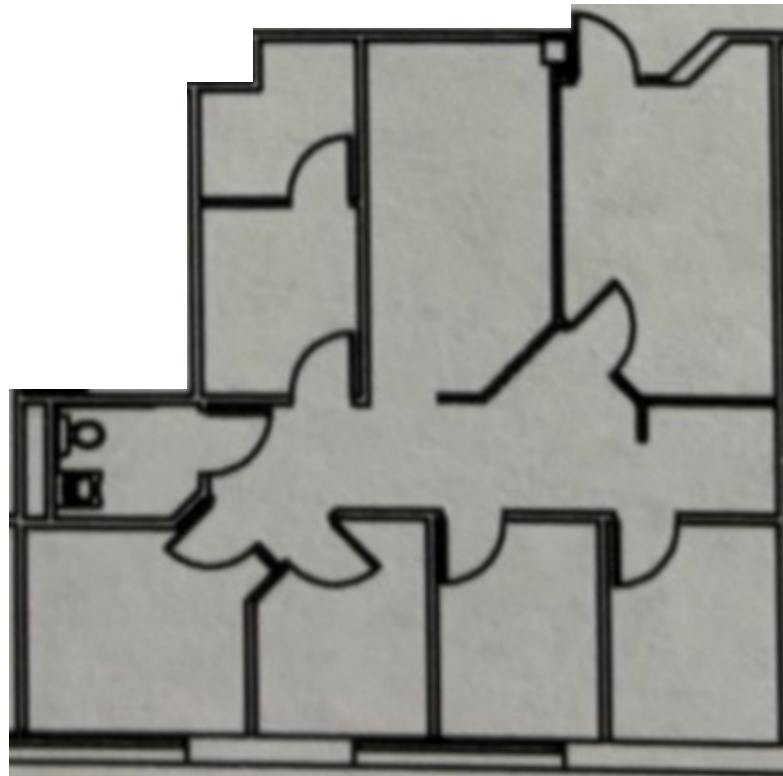
Suite 204 | 1,615 SF



Existing Floor Plan

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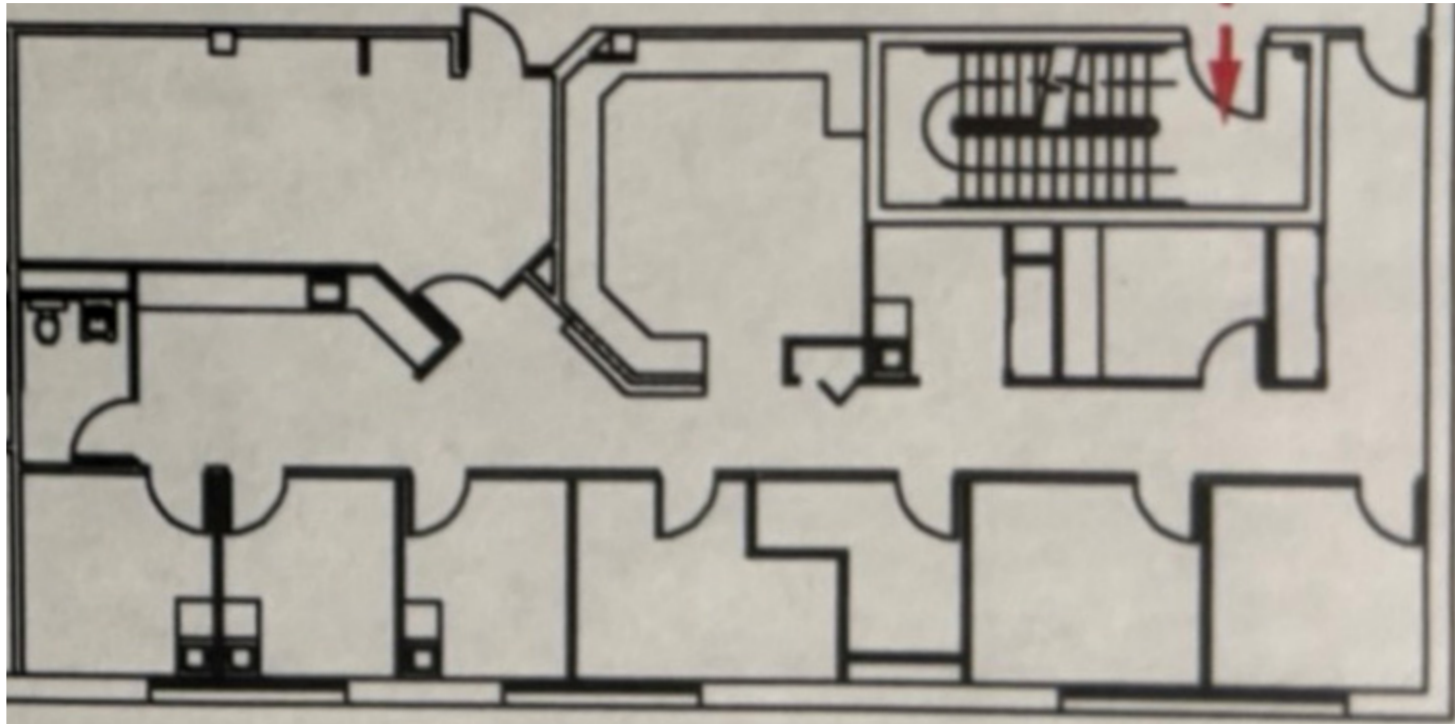
Suite 205 | 1,113 SF



Existing Floor Plan

810 Biesterfield Rd. | Elk Grove Village, IL

Suite 107 | 2,302 SF



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