

ALTERATIONS TO
EXISTING BUILDING
141 PARK STREET
ATTLEBORO, MA

LIST OF DRAWINGS	
DWG	NAME
T1	TITLE PAGE AND CODE NARRATIVE
D1	DEMOLITION PLAN (PREVIOUSLY ISSUED)
A1	FLOOR PLAN
A2	CEILING/FIRE SAFETY PLAN
A3	SCHEDULES AND DETAILS
P1	PLUMBING PLAN

REQUIRED MOUNTING HEIGHTS FOR HANDICAPPED ACCESSIBILITY (FOR NEW AND RELOCATED ITEMS)	
GENERAL	
DOOR OPERATING HARDWARE	36" TO 48" ABOVE FLOOR
FIRE EXTINGUISHER	48" TO TOP MAX.
FIRE ALARM PULL	48" TO CENTER MAX.
STAIR HANDRAILINGS	34" TO 38" ABOVE NOSING
ROOM IDENTIFICATION SIGN	60" TO CENTER
DRINKING FOUNTAIN	36" TO RIM MAX. 27" KNEE SPACE MIN.
ELECTRIC	
LIGHT SWITCHES	48" TO TOP MAX.
ELECTRIC, TELEPHONE, CABLE OUTLETS	15" TO 48" TO CENTER MAX.
THERMOSTAT	48" TO TOP MAX.
ELECTRIC SERVICE PANEL	48" TO TOP MAX.

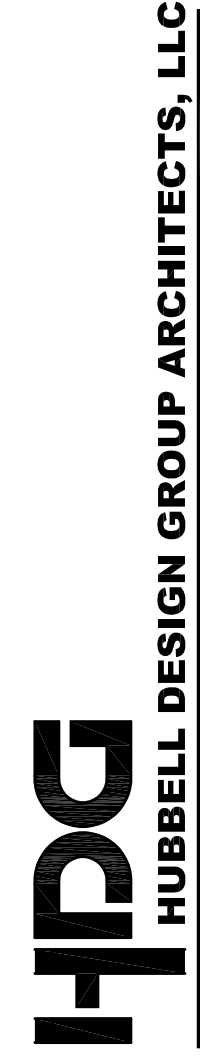
MASSACHUSETTS BUILDING CODE REQUIREMENTS (780 CMR – 9TH EDIT)	
SCOPE OF ALTERATIONS: ALTERATIONS TO EXISTING OFFICE BUILDING. RECONFIGURATION OF SPACE. WORK INCLUDES NEW PARTITIONS, DOORS AND FRAMES, MINOR CHANGES TO EXISTING ACT CEILING, HVAC VENTS AND LIGHTING. NEW HP RESTROOM AND WATER FOUNTAIN. ADDITIONAL FIRE ALARM FIXTURES. MINOR ELECTRICAL WORK. NO SPRINKLER SYSTEM.	EGRESS WIDTH: DOORS = 37 OCC x .3"/OCC = 11.1" MIN. 108" (3) DOORS AT 2 LOCATIONS PROVIDED – COMPLIES
EXISTING BUILDING AREA: 1ST FLOOR = 3,607±SF BASEMENT = 3,607±SF TOTAL BUILDING AREA = 7,214±SF – NO CHANGES	MINIMUM NUMBER EXITS REQUIRED = 2 PER AREA 2 EXITS PROVIDED – COMPLIES
EXISTING BUILDING USE = BUSINESS (B) – NO CHANGES EXISTING CONSTRUCTION TYPE = TYPE VB PROPOSED = TYPE VB – NO CHANGE MAX. ALLOWABLE AREA = 9,000 SF (COMPLIES) MAX. BUILDING HEIGHT = 1 STORY, 40' EXISTING BUILDING HEIGHT = 1 STORY (16'±) – NO CHANGES (COMPLIES)	MAXIMUM EXIT TRAVEL DISTANCE B (BUSINESS) = 200' (70'± ACTUAL MAXIMUM DISTANCE)
WORK CLASSIFICATION (EXISTING BUILDING) = RECONFIGURATION OF SPACE GRAVITY LOADS – NO CHANGE RISK CATEGORY = II EGRESS HAZARD CATEGORY EXISTING USE: B = 4 (NO CHANGE) HEIGHT AND AREA HAZARD CATEGORY : EXISTING USE: B = 4 (NO CHANGE) EXTERIOR WALL EXPOSURE HAZARD CATEGORY : EXISTING USE: B = 3 (NO CHANGE)	<u>HANDICAPPED ACCESSIBILITY REQUIREMENTS (521 CMR)</u> 1. PUBLIC ENTRANCE AND ALL REQUIRED EGRESS MUST BE HANDICAPPED ACCESSIBLE (COMPLIES) 2. ALL AREAS OPEN TO THE PUBLIC MUST BE HANDICAPPED ACCESSIBLE (COMPLIES) 3. HANDICAPPED ACCESSIBLE RESTROOMS MUST BE PROVIDED – NEW UNISEX HANDICAPPED ACCESSIBLE RESTROOM BEING PROVIDED (COMPLIES)
OCCUPANCY LOAD OFFICE = 3,607 ±SF @ 1 OCC/100 SF = 37 OCC. (NO CHANGE FROM EXISTING)	<u>ENERGY CONSERVATION REQUIREMENTS (PRESCRIPTIVE)</u> NO CHANGES TO EXTERIOR BUILDING ENVELOPE, DOORS OR WINDOWS. <u>FIRE DETECTION, NOTIFICATION, ALARM SYSTEM</u> 1. CHANGES/ADDITIONS TO THE EXISTING FIRE ALARM SYSTEM TO BE DESIGN BY OTHERS.LOCATIONS OF NEW FIRE ALARM FIXTURES SHOWN ON PLANS ARE FOR LAYOUT PURPOSES ONLY, TO BE VERIFIED BY PROPERLY LICENSED INSTALLER. 2. ALL WORK SHALL BE PERFORMED BY PROPERLY LICENSED TRADESMEN, IN COMPLIANCE WITH ALL APPLICABLE STATE AND LOCAL CODES AND REGULATIONS. 3. FIRE ALARM INSTALLER SHALL OBTAIN PERMITS, TESTING , INSPECTIONS AND APPROVALS REQUIRED FOR NEW FIRE ALARM SYSTEM.

GENERAL NOTES

<u>GENERAL</u> 1. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS, TESTS, AND RELATED INSPECTIONS. NOTIFY THE ARCHITECT AND OWNER OF INSPECTION SCHEDULES. OBTAIN CERTIFICATE OF OCCUPANCY FROM TOWN OF WRENTHAM UPON COMPLETION. 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL JOB-SITE SAFETY AND COMPLIANCE WITH OSHA AND MASSACHUSETTS SAFETY REQUIREMENTS. 3. DRAWINGS INDICATE GENERAL CONSTRUCTION, DIMENSIONS, DETAILS, STYLES, ETC. FOR MATERIALS AND PRODUCTS AND EQUIPMENT INDICATED. FIELD VERIFY ALL CONDITIONS AND REQUIREMENTS FOR ACTUAL MATERIALS, PRODUCTS AND EQUIPMENT USED. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. 4. ALL DIMENSIONS ARE FINISH TO FINISH UNLESS OTHERWISE INDICATED. DO NOT SCALE DRAWINGS	<u>SEALANT</u> 1. EXTERIOR SEALANT – GE SILICONE SEALANT OR EQUAL, PAINTABLE. USE CLOSED CELL BACKER , BOND BREAKER TAPE, PRIMER, ETC. WHERE RECOMMENDED BY SEALANT MANUFACTURER.
<u>INTERIOR PARTITIONS (UNLESS OTHERWISE NOTED ON DWGS):</u> 1. INTERIOR WALLS (UNLESS OTHERWISE INDICATED ON DRAWINGS) – 24 GA METAL STUDS @ 16" O.C. W/ 1/2" GYPSUM WALLBOARD . 2. NEW WET WALLS TO HAVE MOISTURE RESISTANT GYPSUM BOARD FROM FLOOR TO CEILING. 3. ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY TO BE PRESERVATIVE TREATED. SCREW AND FASTENERS TO BE COMPATIBLE WITH TREATED WOOD.	
<u>DOORS, FRAMES AND HARDWARE</u> 1. NEW INTERIOR METAL DOORS – HOLLOW METAL, 16 GA, PRIMED. 2. INTERIOR WOOD DOORS – SOLID CORE W/PAINT GRADE, A/M CUSTOM GRADE WITH LIFETIME ANTI-WARP WARRANTY. 3. INTERIOR METAL FRAMES – 18 GA METAL, KNOCK-DOWN TYPE 4. DOOR HARDWARE – STYLE, FINISH AND FUNCTIONS TO MATCH EXISTING IN SIMILAR LOCATIONS. 5. KEYING – TO BE COMPATIBLE WITH EXISTING MASTER KEY SYSTEM. REVIEW KEYING REQUIREMENTS WITH OWNER.	
<u>INTERIOR FINISHES</u> 1. ALL NEW GYPSUM BOARD WALLS SKIM COAT PLASTER, SANDED AND READY TO RECEIVE PAINT OR FINISH INDICATED. PATCH/REPAIR EXISTING WALLS DISTURBED BY THE WORK TO MATCH ADJACENT SURFACES, AS NECESSARY. 2. PRIME AND PAINT ALL NEW WALLS AND PREVIOUSLY PAINTED WALLS (1 PRIME COAT, 2 FINISH COATS – \ COLORS AND FINISHES TO BE SELECTED BY THE OWNER) 3. PREPARE AND PAINT ALL NEW INTERIOR DOORS AND FRAMES TO MATCH EXISTING. 4. INTERIOR FINISH RATINGS: EXIT CORRIDORS = II OTHER SPACES = CLASS III 5. ALL NEW FINISH FLOORING TO HAVE A "NON-SKID" FINISH.	

<u>FIRE EXTINGUISHERS</u> 1. SURFACE MOUNTED-ABC, WALL MOUNTED, FIRE EXTINGUISHERS AS MANFAC. BY LARSON OR EQUAL. INCLUDE REQUIRED ID SIGN. VERIFY LOCATIONS WITH LOCAL FIRE DEPARTMENT.	<u>PLUMBING SYSTEM</u> 1. ALL PLUMBING WORK SHALL BE PERFORMED BY PROPERLY LICENSED TRADESMEN IN COMPLIANCE ALL APPLICABLE MASSACHUSETTS CODES. 2. ALL PLUMBING WORK TO COMPLY WITH REQUIREMENTS OF MASS. PLUMBING CODE. 3. PLUMBING CONTRACTOR TO OBTAIN AND PAY FOR PLUMBING PERMITS, TESTING, INSPECTIONS AND APPROVALS.
<u>ELECTRICAL AND LIGHTING SYSTEMS</u> 1. ALL ELECTRICAL WORK SHALL BE PERFORMED BY PROPERLY LICENSED TRADESMEN IN COMPLIANCE ALL APPLICABLE MASSACHUSETTS CODES. 2. ALL ELECTRICAL WORK TO COMPLY WITH REQUIREMENTS OF MASS. ELECTRICAL CODE. 3. ELECTRICAL CONTRACTOR TO OBTAIN AND PAY FOR PLUMBING PERMITS, TESTING, INSPECTIONS AND APPROVALS. 3. ALL ELECTRICAL WORK INCLUDED IN PROJECT TO BE FULLY INSTALLED AND OPERATIONAL UPON COMPLETION,	<u>FIRE DETECTION, NOTIFICATION, ALARM SYSTEM</u> 1. CHANGES/ADDITIONS TO THE EXISTING FIRE ALARM SYSTEM TO BE DESIGNED BY OTHERS. LOCATIONS OF NEW FIRE ALARM FIXTURES SHOWN ON PLANS ARE FOR LAYOUT PURPOSES ONLY, TO BE VERIFIED BY PROPERLY LICENSED DESIGNER. 2. ALL WORK SHALL BE PERFORMED BY PROPERLY LICENSED TRADESMEN, IN COMPLIANCE WITH ALL APPLICABLE STATE AND LOCAL CODES AND REGULATIONS. 3. FIRE ALARM INSTALLER SHALL OBTAIN PERMITS, TESTING , INSPECTIONS AND APPROVALS REQUIRED FOR NEW FIRE ALARM SYSTEM.

NOTE: EXISTING CONDITIONS MAY VARY FROM THOSE SHOWN. FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS.



HPG

HUBBELL DESIGN GROUP ARCHITECTS, LLC



REVISIONS

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3/2/18

TITLE PAGE AND
BUILDING CODE
NARRATIVE

ALTERATIONS TO
EXISTING BUILDING

141 PARK STREET
ATTLEBORO MA

Project No. 475

File No. 475-T1

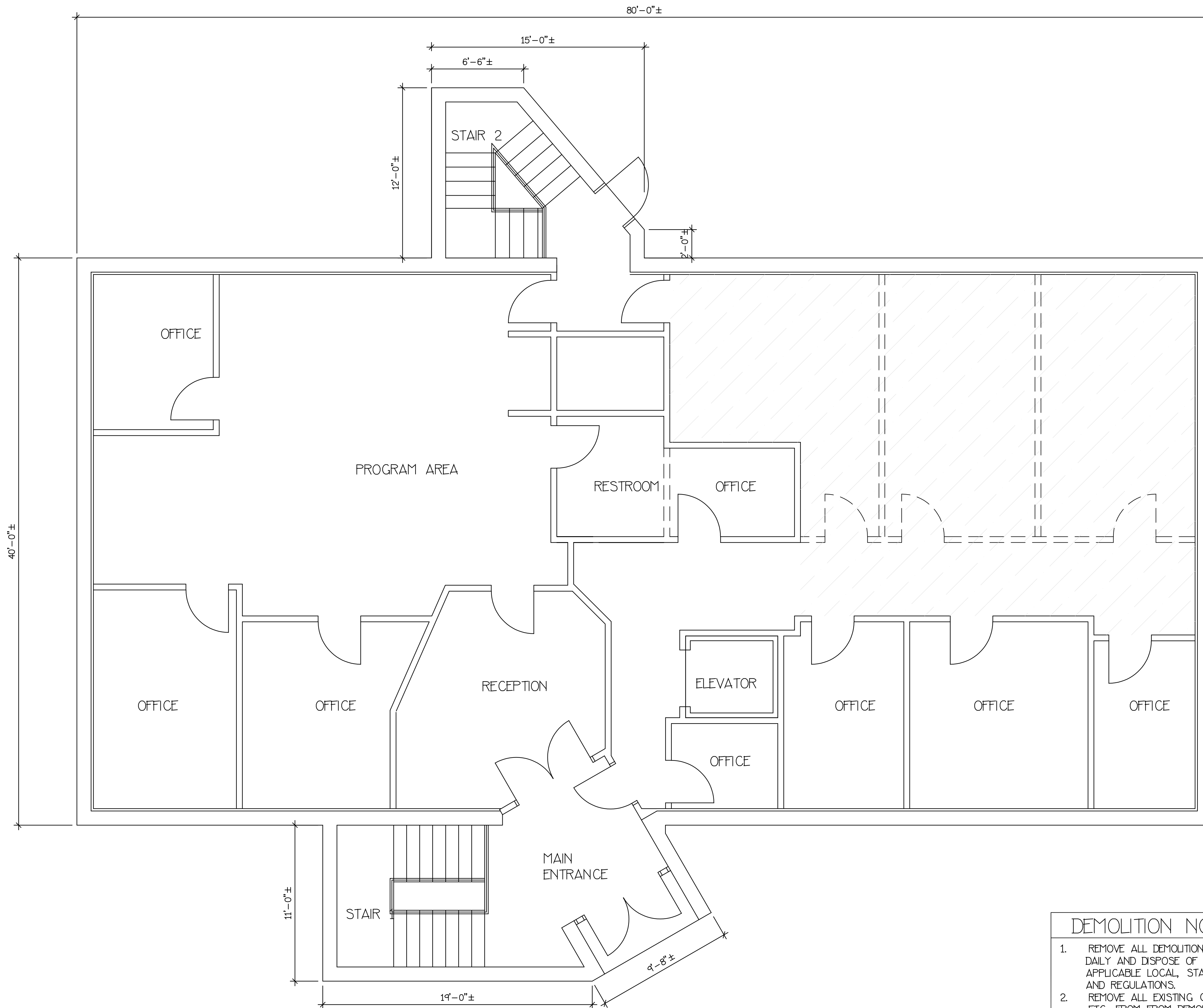
Scale: AS NOTED

Drawn By: HDG

Date: 4/18/18

Drawing No.

T1



1ST FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

--- WALLS/ITEMS TO BE REMOVED FROM FLOOR TO CEILING

REMOVE ACT. CEILING AND GRID - DISCONNECT AND SET LIGHT FIXTURES, VENTS, AND OTHER CEILING MOUNTED ITEMS ASIDE FOR RE-INSTALLATION

MASSACHUSETTS BUILDING CODE REQUIREMENTS

SCOPE OF ALTERATIONS: RECONFIGURATION OF SPACE. SELECTIVE DEMOLITION IN EXISTING OFFICE BUILDING FOR CURRENT OWNER/OCCUPANT. DEMOLITION INCLUDES SOME INTERIOR PARTITIONS, DOORS SUSPENDED CEILING AND CARPETING. SOME ELECTRICAL OUTLETS AND RECESSED LIGHT FIXTURES TO BE REMOVE BY LICENSED ELECTRICIAN.
NOTE: NO EXISTING EXIT STAIRS OR EGRESS DOORS TO BE AFFECTED BY THE DEMOLITION WORK.
EXISTING BUILDING AREA:
1ST FLOOR = 3,607± SF
BASEMENT = 3,607± SF
TOTAL BUILDING AREA = 7,214± SF - NO CHANGES

EXISTING BUILDING USE = BUSINESS (B) - NO CHANGES
EXISTING CONSTRUCTION TYPE = TYPE VB
PROPOSED = TYPE VB - NO CHANGE
MAX. ALLOWABLE AREA = 9,000 SF (COMPLIES)
MAX. BUILDING HEIGHT = 1 STORY, 40'
EXISTING BUILDING HEIGHT = 1 STORY (16'±)
- NO CHANGES (COMPLIES)

WORK CLASSIFICATION (EXISTING BUILDING) = RECONFIGURATION OF SPACE
GRAVITY LOADS - NO CHANGE
RISK CATEGORY = II
EGRESS HAZARD CATEGORY
EXISTING USE: B = 4 (NO CHANGE)
HEIGHT AND AREA HAZARD CATEGORY :
EXISTING USE: B = 4 (NO CHANGE)
EXTERIOR WALL EXPOSURE HAZARD CATEGORY :
EXISTING USE: B = 3 (NO CHANGE)

DEMOLITION NOTES

1. REMOVE ALL DEMOLITION MATERIALS FROM SITE DAILY AND DISPOSE OF IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL RULES AND REGULATIONS.
2. REMOVE ALL EXISTING CARPETING, UNDERLAYMENT ETC. FROM FROM DEMOLITION AREA
3. REMOVE EXISTING SUSPENDED ACOUSTICAL CEILING TILE AND GRID INCLUDING CEILING MOUNTED ITEMS, AS REQUIRED FOR NEW WORK.
4. SET ASIDE AND PROTECT CEILING TILES, GRID VENTS, ETC. TO BE REINSTALLED.
5. EXISTING LIGHT FIXTURES AND OTHER ELECTRICAL ITEMS TO BE REMOVED TO BE DISCONNECTED BY LICENSED ELECTRICIAN.
6. ANY EXISTING EMERGENCY LIGHTS, EXIT SIGNS OR FIRE ALARM APPLIANCES DISTURBED BY THE WORK SHALL BE REMOUNTED IN PREVIOUS LOCATION AND SHALL REMAIN FULLY OPERATIONAL.

NOTE: EXISTING CONDITIONS MAY VARY FROM THOSE SHOWN. FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS.

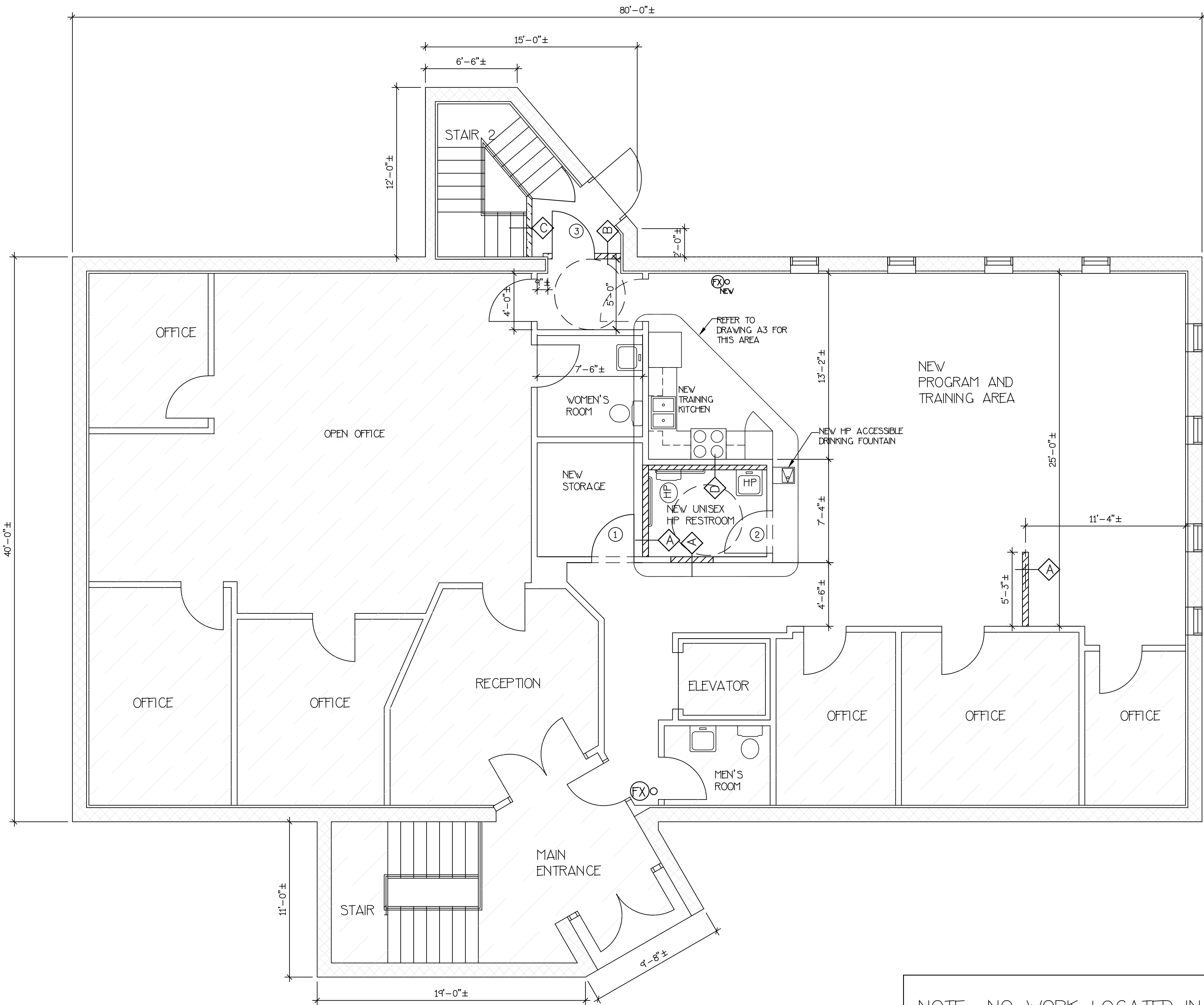


DEMOLITION
PLAN

ALTERATIONS TO
EXISTING BUILDING
141 PARK STREET
ATTLEBORO MA

Project No. 475
File No. 475-D1
Scale: AS NOTED
Drawn By: HDG
Date: 4/18/18
Drawing No.

D1



1ST FLOOR PLAN

SCALE: $\frac{1}{4}$ " = 1'-0"

EXISTING FLOOR AREA = 3,607± SF

SCALE: $\frac{1}{8}$ " = 1'-0"

LEGEND

- EXISTING CMU WALL
- EXISTING WALL/PARTITION
- EXISTING PARTITION OR OR ITEM TO BE REMOVED
- NEW METAL STUD WALL
- NEW 42" HIGH PARTITION
- NO WORK IN THIS AREA

- WALL MOUNT FIRE EXTINGUISHER (10 LB ABC) W/LOCATOR SIGN - MOUNT TOP AT 42" MAX ABOVE FLOOR
- DOOR NUMBER - SEE DOOR SCHEDULE DRAWING A3

PARTITION TYPES

NOTES:
1. SECURELY ANCHOR NEW PARTITIONS TO EXISTING CONCRETE FLOOR

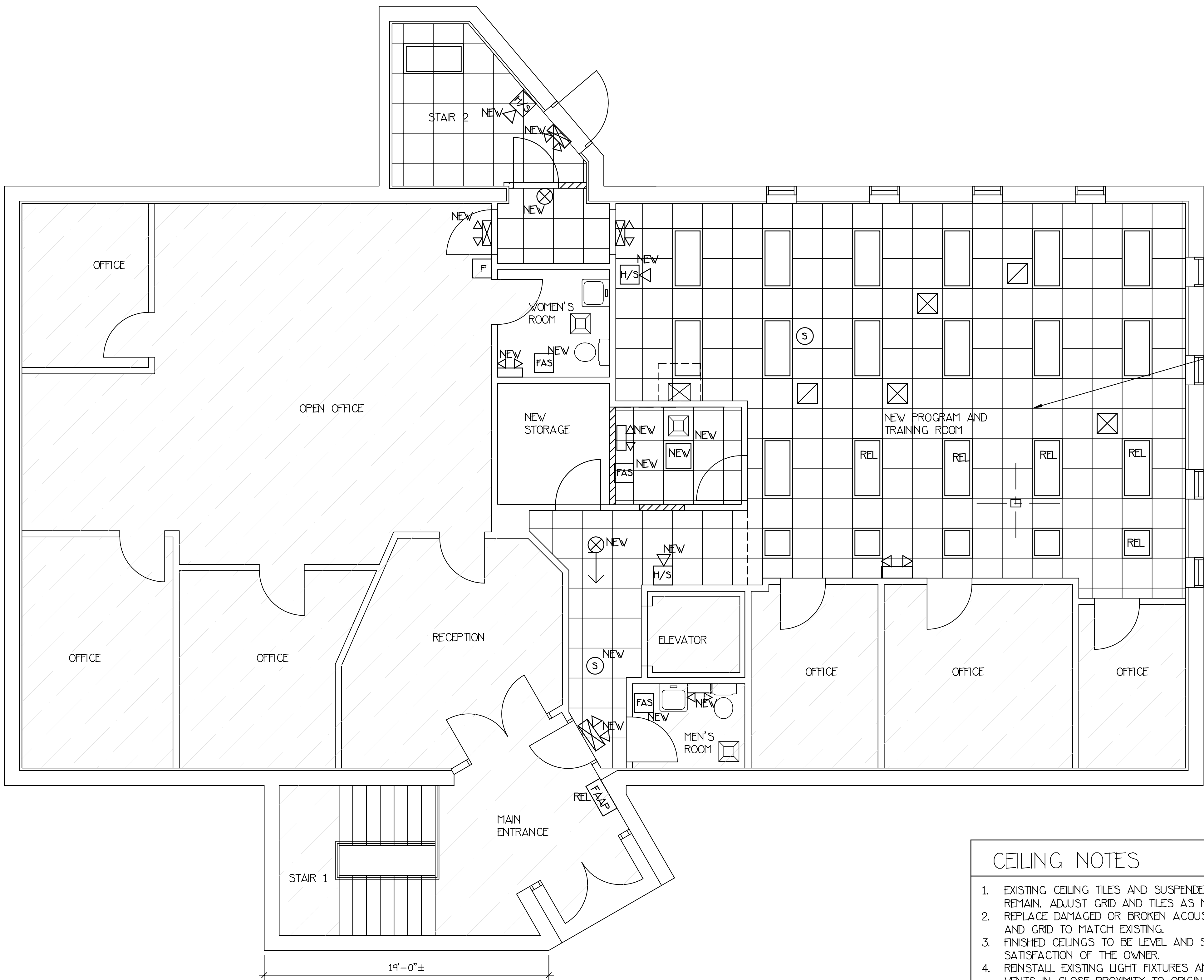
NEW INTERIOR PARTITION
TOP OF NEW WALL AT EXIST. CEILING (8'-0"±)

NEW FIRE RATED PARTITION (1 HR FIRE RATED)
(UL DESIGN U423- 1 HR)
WALL EXTENDS UP TO UNDERSIDE OF ROOF DECK

NEW LOW PARTITION
WALL EXTENDS UP 3'-6" ABOVE FLOOR

NEW INTERIOR PARTITION
TOP OF NEW WALL AT EXIST. CEILING (8'-0"±)

NOTE: EXISTING CONDITIONS MAY VARY FROM THOSE SHOWN. FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS.



1ST FLOOR CEILING PLAN
SCALE: 1/4" = 1'-0"

CEILING NOTES

- EXISTING CEILING TILES AND SUSPENDED GRID TO REMAIN. ADJUST GRID AND TILES AS NECESSARY. REPLACE DAMAGED OR BROKEN ACOUSTICAL TILES AND GRID TO MATCH EXISTING.
- FINISHED CEILINGS TO BE LEVEL AND SQUARE TO SATISFACTION OF THE OWNER.
- REINSTALL EXISTING LIGHT FIXTURES AND HVAC VENTS IN CLOSE PROXIMITY TO ORIGINAL LOCATIONS. DO NOT SUPPORT LIGHTS OR OTHER CEILING MOUNTED FIXTURES FROM CEILING GRID.

FIRE SAFETY LEGEND

NOTE: ALL ITEMS SHOWN ARE EXISTING UNLESS INDICATED AS NEW

- INTERNALLY LIGHTED EMERGENCY EXIT SIGN W/BATTERY BACKUP
- EMERGENCY LIGHT W/ BATTERY BACKUP
- COMBINATION EMERGENCY EXIT SIGN AND EMERGENCY LIGHT W/ BATTERY BACKUP
- WALL MOUNT FIRE EXTINGUISHER (10 LB ABC) W/LOCATOR SIGN - MOUNT TOP AT 42" MAX. ABOVE FLOOR
- FIRE ALARM PULL STATION
- FIRE ALARM HORN/STROBE LIGHT
- FIRE ALARM STROBE LIGHT
- SMOKE DETECTOR
- FIRE ALARM ENUNCIATOR PANEL - BY OTHERS (EXIST. FIRE ALARM CONTROL PANEL LOCATE DIN BASEMENT)
- NEW ITEM
- RELOCATED ITEM

NOTE: FIRE ALARM SYSTEM TO BE DESIGNED AND INSTALLED BY PROPERLY LICENSED INSTALLER. FIRE ALARM NARRATIVE TO BE PROVIDED BY INSTALLER. FIXTURES AND LOCATIONS TO BE VERIFIED BY INSTALLER W/ATTLEBORO FIRE DEPT.

CEILING LEGEND

- 2x2 RECESSED LIGHT FIXTURE
- 2x4 RECESSED LIGHT FIXTURE
- RESTROOM EXHAUST FAN - VENT UP THROUGH ROOF
- HVAC AIR SUPPLY VENT
- HVAC AIR RETURN VENT
- NEW ITEM
- RELOCATED ITEM

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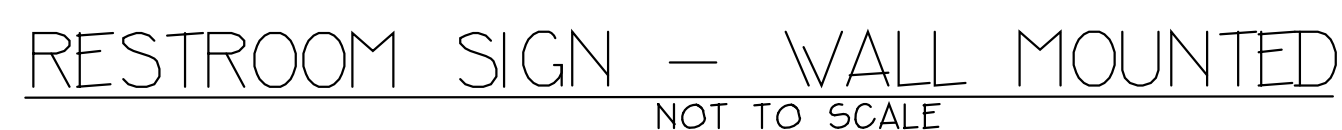
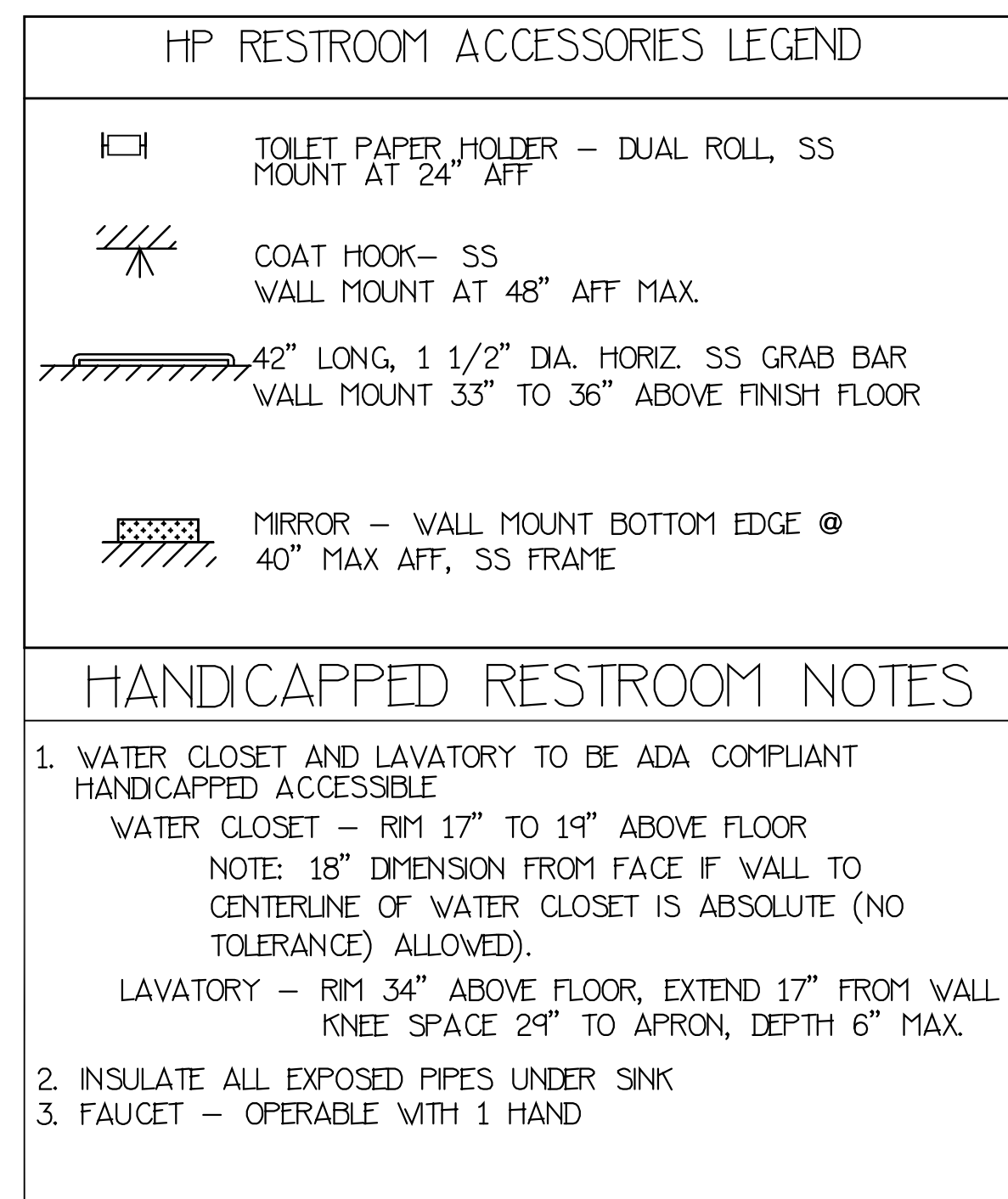


CEILING PLAN

ALTERATIONS TO
EXISTING BUILDING
141 PARK STREET
ATTLEBORO MA

Project No. 475
File No. 475-A2
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Drawn By: HDG
Date: 4/18/18
Drawing No.

A2



DOOR SCHEDULE						HARDWARE				NOTES
NO.	TYPE	DOOR		FRAME	RATING	HINGE	CLOSER	LOCK SET	PASS SET	
		SIZE	MAT.							
1	B	3'-0"x6'-8"	WD	WD		X		2		1,2,3,4
2	B	3'-0"x6'-8"	WD	WD		X	X	1		1,2,3,4
3	A	3'-0"x6'-8"	MET	MET	45 MIN.	X	X	X		1,2,3,4,5
4	C	3'-0"x3'-6"	WD	WD		X		X		1,3,6

NOTES:

- HANDICAPPED ACCESSIBLE LEVER HANDLE REQUIRED
- LOCKSETS TO HAVE EXIT ANY TIME WITHOUT A KEY FUNCTION
- FURNISH FLOOR OR WALL STOP
- CONSULT WITH OWNER FOR KEYING REQUIREMENTS
- DOORS FRAMES AND HARDWARE FOR FIRE RATED DOORS TO BE UL LABEL
- DOOR HANDLE TO BE KNURLED (TACTILE WARNING FOR HAZARDOUS CONDITION)

HARDWARE NOTES

NOTE: HARDWARE STYLE AND FINISH TO BE SELECTED BY THE OWNER

HINGES

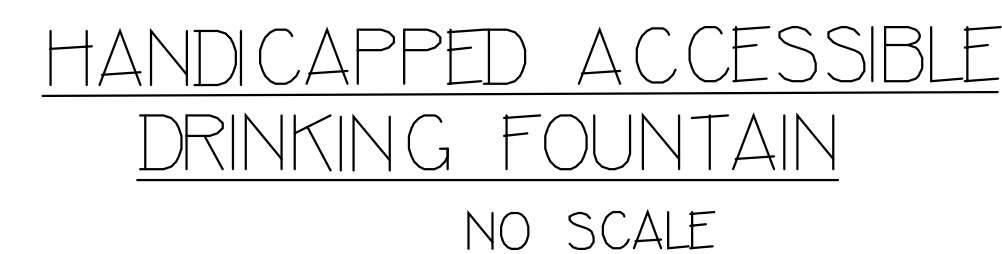
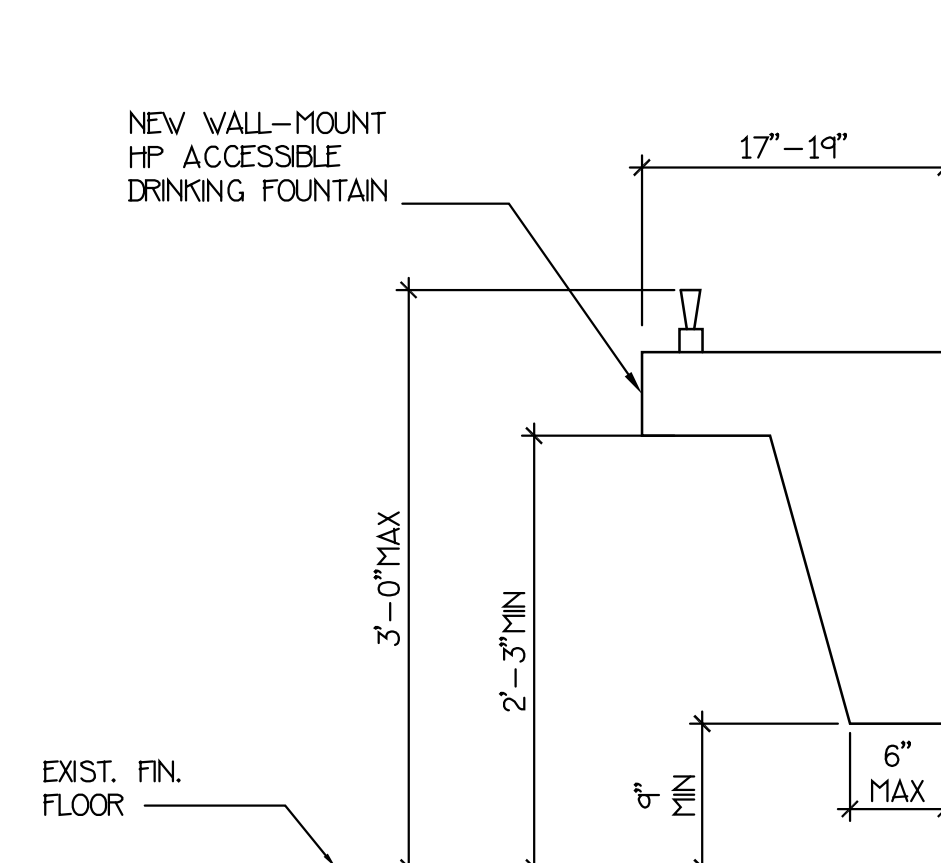
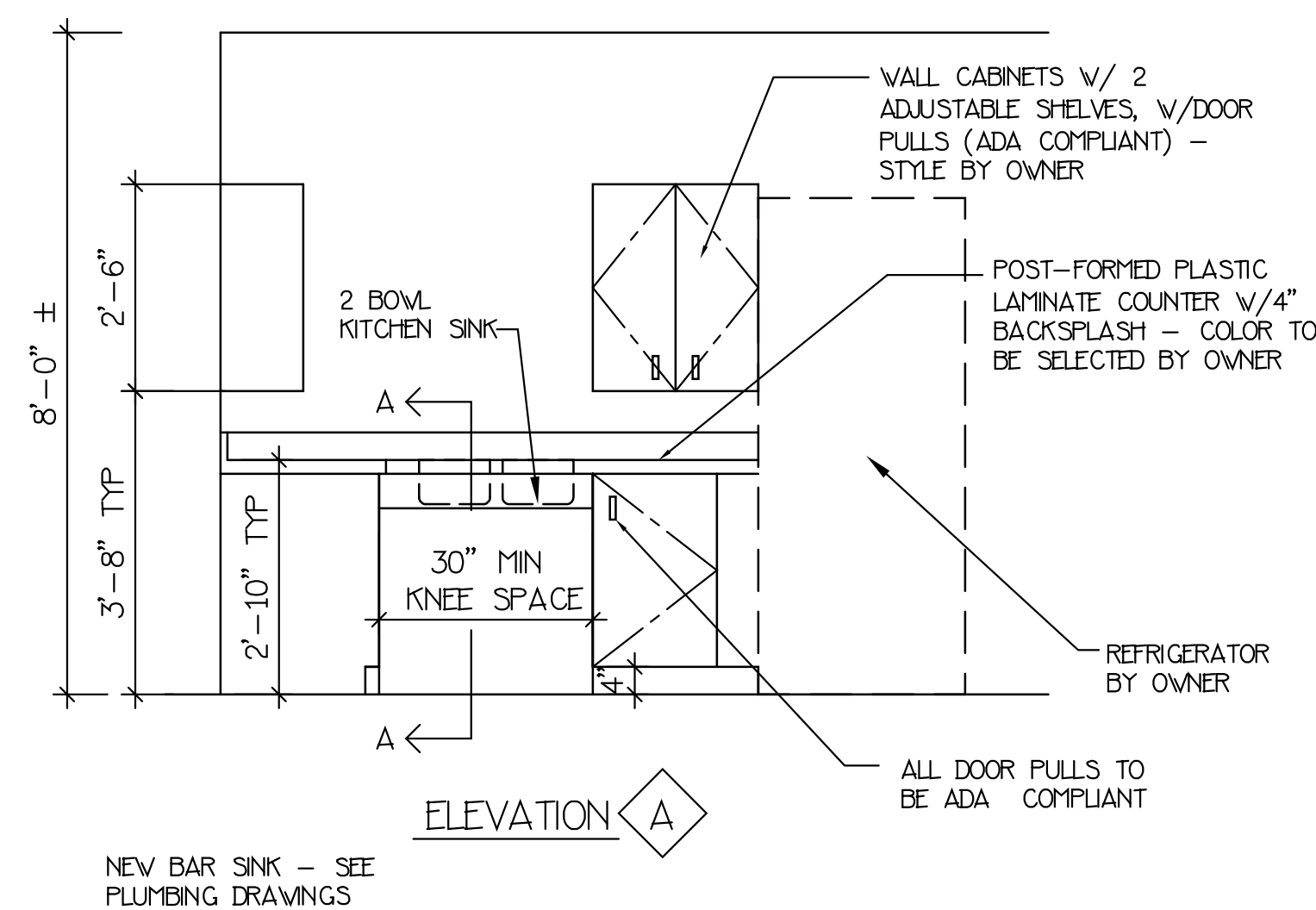
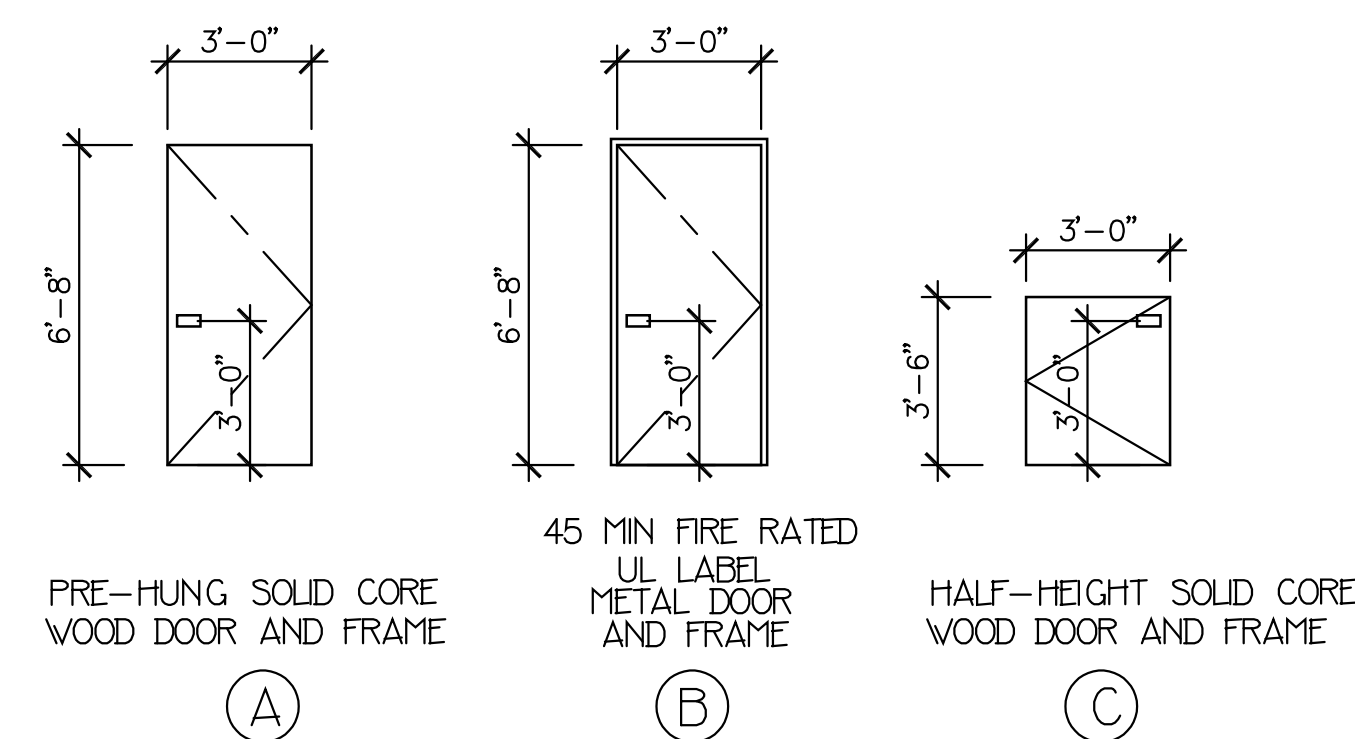
1 1/2 PAIR PRE LEAF

CLOSER

LCN 1070 (ADA COMPLIANT)

LOCK SETS

- LEVER HANDLE (ADA COMPLIANT), RESTROOM PRIVACY FUNCTION
- LEVER HANDLE (ADA COMPLIANT), STORE ROOM FUNCTION



NOTE: EXISTING CONDITIONS MAY VARY FROM
THOSE SHOWN. FIELD VERIFY ALL EXISTING
CONDITIONS AND DIMENSIONS.



PLUMBING EQUIPMENT SCHEDULE								
MANUFACTURERS AND MODELS LISTED ARE "OR APPROVED EQUAL"								
EQUIP	DESCRIPTION	REFERENCE	W	V	HW	CW	MOUNT	NOTES
P-1	HP WATER CLOSET	AMERICAN STANDARD 215BA104 CADET PRO RIGHT HEIGHT	3	2		1/2	FLOOR	COLOR - WHITE TOILET SEAT - WHITE
P-2	HP LAVATORY	AMERICAN STANDARD CONRADE LAVATORY 0124.024	1 1/2	1 1/2	1/2	1/2	WALL	AMERICAN STANDARD RELJANT 4" SINGLE HANDLE FAUCET, CHROME
P-3	HP WATER COOLER	ELKAY EZSBL REFRIG. DRINKING FOUNTAIN W/ADA PUSHBAR CONTROL	1 1/2	1 1/2		1/2	WALL	
P-4	2 BOWL KITCHEN SINK	ELKAY LUSTERTONE 2 BOWL SS, TOP MOUNT KITCHEN SINK	1 1/2	1 1/2		1/2	DROP-IN	ELKAY 4" CENTER SET EXPOSED DECK FAUCET w/10" ARC TUBE SPOUT, 4" WRISTBLADE HANDLES, CHROME

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MASSACHUSETTS PLUMBING CODE AND SHALL BE APPROVED BY THE LOCAL PLUMBING AND BUILDING INSPECTORS.
2. ALL PIPING METHODS SHALL BE AS APPROVED BY THE LOCAL INSPECTORS. MINIMUM PIPE SIZE SHALL BE 1/2 INCH, EXCEPT OTHERWISE NOTED.
3. ALL PIPING IS SHOWN DIAGRAMMATICALLY. EXACT LOCATION, METHOD OF PIPING AND INSTALLATION SHALL BE COORDINATED IN THE FIELD.
4. APPLY AND PAY FOR ALL PERMITS REQUIRED FOR THE PLUMBING WORK AS DETAILED ON THE DRAWINGS. APPLY AND PAY ANY CHARGES ASSESSED FOR THE NEW SERVICE FROM THE UTILITY COMPANY. FURNISH AND INSTALL ALL LABOR AND MATERIALS REQUIRED FOR THE NEW SERVICE THAT IS NOT SUPPLIED BY THE UTILITY COMPANY AND REQUIRED FOR THE NEW SERVICE.
5. REFER TO ALL OTHER DRAWINGS ON THE PROJECT FOR FINAL EQUIPMENT LOADS, INSTALLATION DETAILS AND LOCATIONS.
6. ALL EQUIPMENT TO BE SUPPLIED UNDER THIS CONTRACT SHALL BE NEW AND OF THE TYPE SPECIFIED.
7. ALL WORK SHALL BE ACCOMPLISHED BY PERSONS SKILLED IN THE PLUMBING TRADES AND IN A NEAT AND WORKMANLIKE MANNER.
8. FINAL LOCATION OF ALL EQUIPMENT SHALL BE COORDINATED WITH THE ARCHITECTURAL PLANS.
9. FURNISH AND INSTALL TRAPS AND STOPS REQUIRED AT ALL EQUIPMENT TO BE INSTALLED AND/OR CONNECTED TO.

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