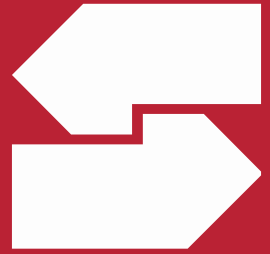


FOR SALE

8,000 SF Retail / Office / Flex Bldg.

28 South Orleans Road, Orleans, MA



Building Info:	8,000 SF on .28 Acres. First Floor – Vanilla Shell Build-Out with a Kitchenette, 2 Baths. Second Floor – Exposed Wood Frame Construction Ready for Build-Out. There is also a 1,725 SF Basement.
Utilities:	200 Amp Electric, Municipal Water & Sewer, Oil Hot Air, Dry Sprinkler System.
Zoning:	Village Center (VC), With the Commercial Center Subdistrict (CCS) Overlay.
Real Estate Taxes:	\$4,624
Easement Rights:	The Seller is willing to grant an easement for the parking area adjacent to the building. Regarding access to the rear upper level of the bldg. the Seller is willing to consider an easement coming off Southward Drive. Buyer's should outline their requirements in a written offer.
Location:	Less than a Quarter Mile to the Orleans Rotary.
For Sale:	\$1,600,000.



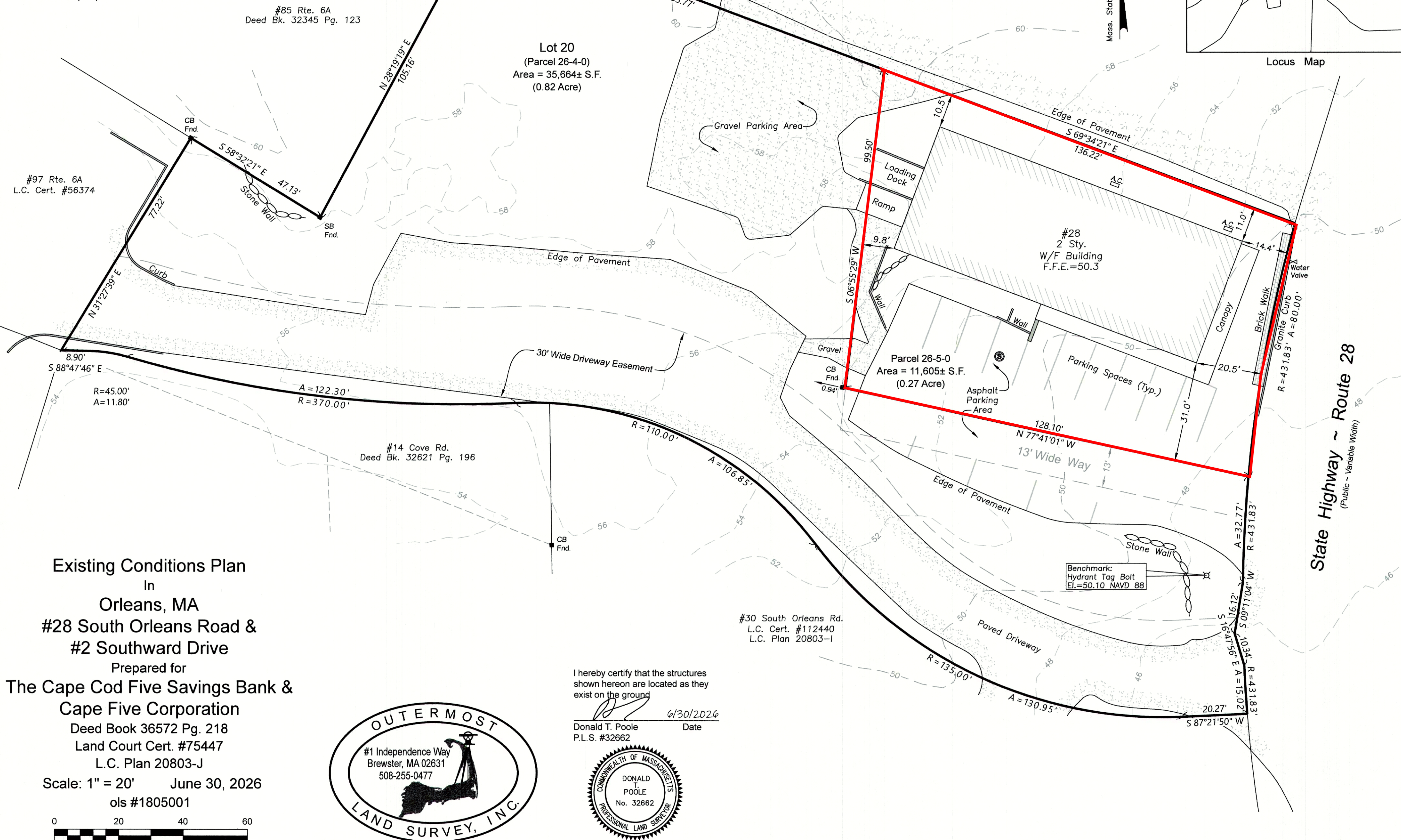
**SOUTHEAST
COMMERCIAL
REAL ESTATE, INC**

MICHAEL GIANCOLA, SIOR

Southeast Commercial Real Estate, Inc.
3131 Cranberry Highway, P.O. Box 570
East Wareham, MA 02538

| 508.759.3030
| mgiancola@ccim.net
| southeastcommercialre.com

- Notes
- Assessors Parcels:
Parcel 26-5-0 (#28 S. Orleans Rd.)
Parcel 26-4-0 (#2 Southward Dr.)
 - Zone: VC*
Front Yard Setback: 15'
Side Yard Setback: 10'
Rear Yard Setback: 10'
*See Zoning Section 164-22 ss. 1
 - Structures do not fall in a special flood hazard zone as shown on F.E.M.A. FIRM map No. 25001C0436J effective 7/16/2014



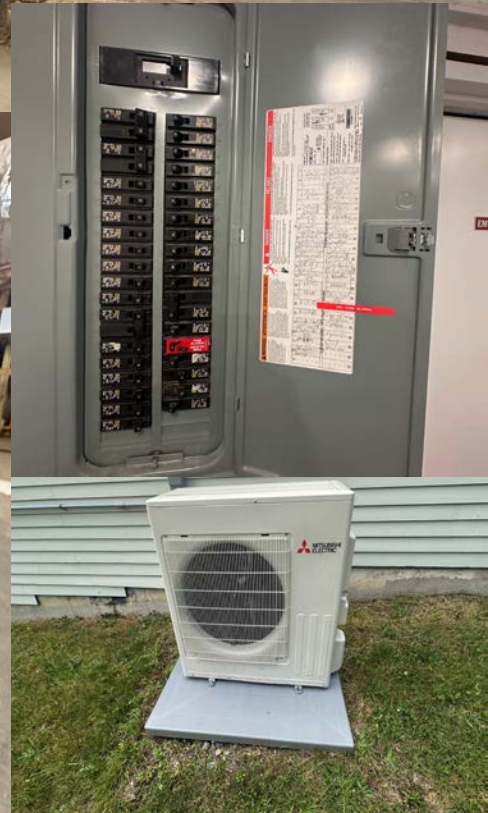
Additional Photo's of 28 S Orleans Road, Orleans, MA



Additional Photo's of 28 S Orleans Road, Orleans, MA



Additional Photo's of 28 S Orleans Road, Orleans, MA



CURRENT OWNER						PARCEL ID						LOCATION						
CAPE COD FIVE CENTS SAV BANK 1500 IYANOUGH RD HYANNIS, MA 02601						26-5-0						28 S ORLEANS RD						
						TRANSFER HISTORY						DOS		T	SALE PRICE		BK-PG (Cert)	
						CAPE COD FIVE CENTS SAV B						09/18/2024		QS	1,000,000		36572-218	
						ORLEANS BASKIN LLC						02/17/2006		F	1		20749-225	
BASKIN WILLIAM J						04/08/1994						F			9136-233			
CD	T	AC/SF/UN		Nqh		Loc		View	Inf1	ADJ BASE	SAF	Inf2		LPI	VC	CREDIT AMT	ADJ VALUE	
103	S	12,197		CIM	1.00	1	1.00	100	1.00	630,000	1.89	100	1.00	C-2	1.00		333,400	

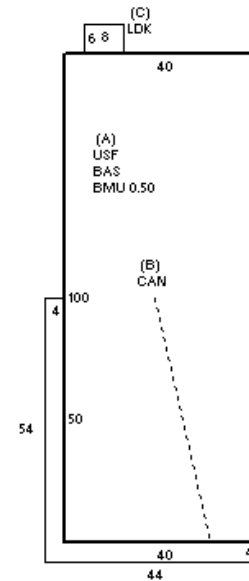
TOTAL	12,197 SF	ZONING	VC	FRNT	0	ASSESSED	CURRENT	PREVIOUS
Ngh	CIM	NOTE				LAND	333,400	317,500
Loc View	AVERAGE					BUILDING	404,100	393,800
Inf11	NO ADJUST					DETACHED	3,300	3,300
						OTHER	0	0
						TOTAL	740,800	714,600

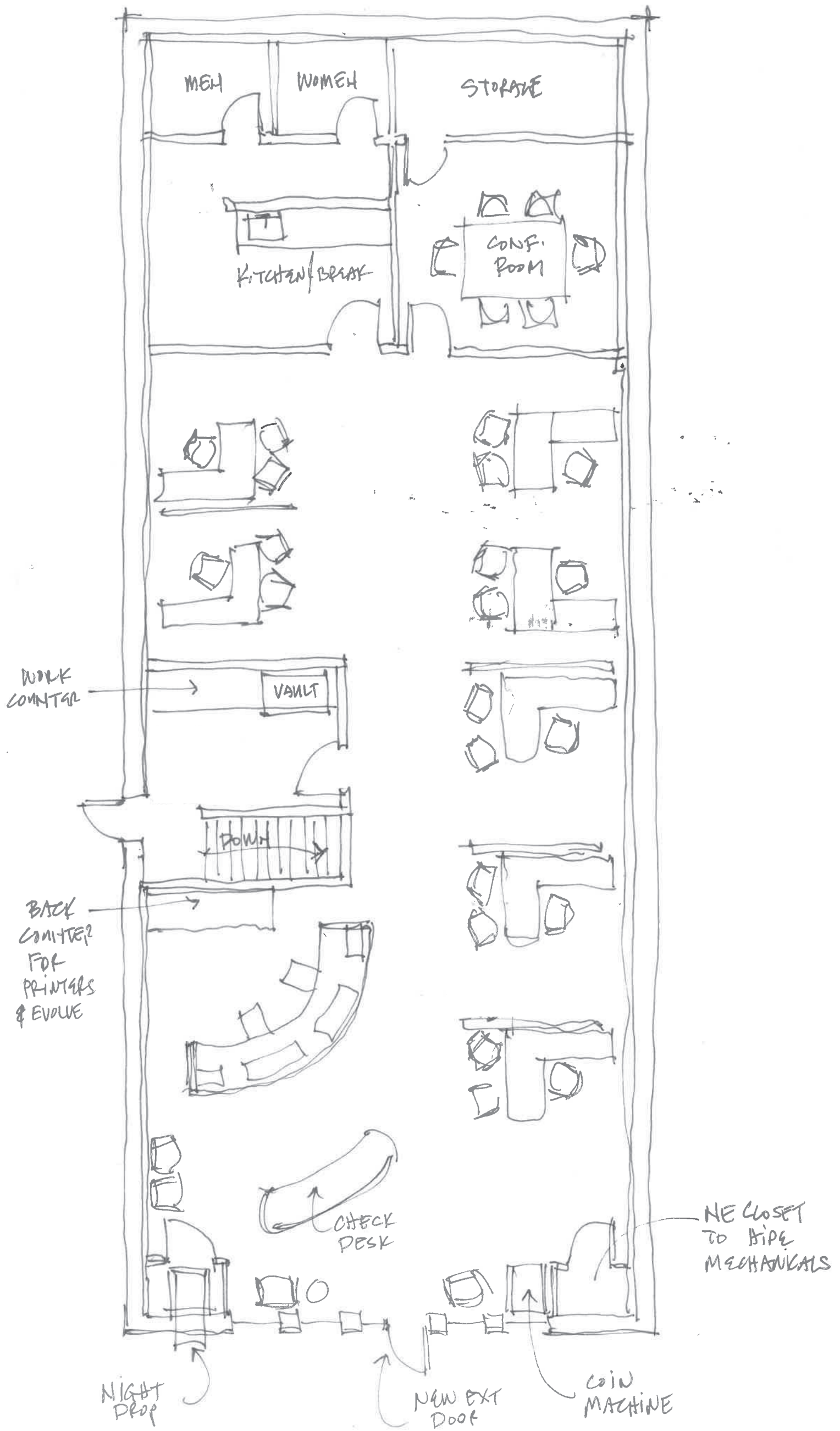
TY	QUAL	COND	DIM/NOTE	YB	UNITS	ADJ PRICE	RCNLD
APV	A	1.00 50 0.50			6,000	1.10	3,300

PHOTO

03/29/2021

BUILDING	CD	ADJ	DESC	MEASURE	3/29/2021	BRH	BLDG COMMENTS
MODEL	5		CIM				VACANT UNIT
STYLE	31	1.61	STORE [100%]	LIST	3/29/2021	EST	
QUALITY	-	0.85	MINUS AVG [100%]				
FRAME	1	0.99	WOOD FRAME [100%]	REVIEW	3/29/2021	BRH	

[illegible]



ORLEANS TEMP BANK (v.2.0)

§ 164-4.1. General Requirements; Uses Enumerated.

A. No building, structure or land shall be used for any purpose or in any manner other than as permitted as set forth in the Schedule of Use Regulations, § 164-4.2, and in accordance with the following notation:

(1) P: Use permitted.

(2) O: Use prohibited.

(3) A: Use allowed under Special Permit by the Zoning Board of Appeals as provided in § 164-11.4.

B. Permitted uses and uses allowed under Special Permit shall be in conformity with all dimensional requirements, off-street parking requirements and any other pertinent requirements of this chapter.

C. Where an activity might be classified under more than one of the following uses, the more-specific classification shall determine permissibility; if equally specific, the more-restrictive shall govern.

§ 164-4.2. Schedule of Use Regulations.

A. The following shall be the Schedule of Use Regulations.

AGRICULTURAL	R	RB	LB	GB	VC	I	CD⁶	SC	MB
Agricultural, horticultural, floricultural, aquaculture use, storage of fishing gear and uses customarily necessary thereto except piggeries on parcels of less than 5 acres.	P	P	P	P	P	P	P	P	P
Cultivation, propagation, storage and sorting buildings in connection with the operation of cranberry bogs	P	P	P	P	P	P	P	P	O
Roadside stand for display and sale of natural products, 100 square feet in area or larger	O	P	P	P	P	O	O	O	O
INSTITUTIONAL	R	RB	LB	GB	VC	I	CD⁶	SC	MB
Burial grounds operated by a non-profit organization established for the sole purpose of maintaining a cemetery ⁸	P	O	O	O	O	O	O	O	O
Educational or municipal uses ⁷	P	P	P	P	P	P	P	P	P
Hospitals, sanatoriums or convalescent homes	O	P	P	P	O	O	O	O	O
Private clubs, except a club operated for profit or the chief activity of which is a service customarily carried on as a business, not providing sleeping accommodations for its members or their guests	O	O	P	P	O	O	O	O	O
Religious use ⁷	P	P	P	P	P	P	P	P	P
RESIDENTIAL	R	RB	LB	GB	VC	I	CD⁶	SC	MB
Apartments, 3 to 6 units, subject to the conditions of § 164-7.10B, C, E, and G	O	P	P	P	P	O	O	O	O

§ 164-4.2

§ 164-4.2

Apartments, 7 or more units, subject to the conditions of § 164-7.10	O	A	A	A	A	O	O	O	O
Boys' and girls' camps	O	O	O	O	O	O	A	O	O
Commercial structures with dwelling units, subject to § 164-7.11	O	P	P	P	P	P	O	O	P
Congregate housing (See § 164-7.13)	A	A	A	A	A	A	O	O	A
Detached 1- or 2-family dwelling	P	P ¹	P	P	P	O	O	O	P ¹
Lodging house	O	A	A	A	A	O	O	O	O
Open Space Residential Development	P	O	O	O	O	O	O	O	O
The renting or leasing of not more than 2 rooms, nor to more than 4 persons, by a family resident in a dwelling unit	P	P	P	P	P	O	O	O	P
COMMERCIAL	R	RB	LB	GB	VC	I	CD⁶	SC	MB
Amusement Park	O	O	O	O	O	O	O	O	O
Art gallery	O	P ²	A	P ⁴	P ⁴	A ²	O	O	O
Bakery	O	P ²	A	P ⁴	P ⁴	A ²	O	O	O
Bank	O	P ²	A	P ⁴	P ⁴	A ²	O	O	O
Barber	O	P ²	A	P ⁴	P ⁴	A ²	O	O	O
Beauty salon and beauty parlors	O	P ²	A	P ⁴	P ⁴	A ²	O	O	O
Bicycle repair and sales	O	P ²	A	P ⁴	P ⁴	A ²	O	O	O
Book store	O	P ²	A	P ⁴	P ⁴	A ²	O	O	O
Building, sale, rental, charter, storage and repair of boats	O	O	A	P ⁴	P ⁴	A ²	O	O	P ¹
Cobbler	O	P ²	A	P ⁴	P ⁴	A ²	O	O	O
Contractor Yard	O	O	A	A	O	P ⁴	O	O	O
Crafting and sale of handmade gifts	O	P ²	A	P ⁴	P ⁴	A ²	O	O	O
Dog Kennels or veterinary hospitals	O	O	O	O	O	P ⁴	O	O	O
Drive-in, drive-through or similar pickup stations	O	O	A	A	O	O	O	O	O
Drug store	O	P ²	A	P ⁴	P ⁴	A ²	O	O	O
Fabric yarn and art store	O	P ²	A	P ⁴	P ⁴	A ²	O	O	O
Filling Station or garage	O	O	O	P ⁴	O	P ⁴	O	O	O
Florist shop	O	P ²	A	P ⁴	P ⁴	A ²	O	O	O
Fruit and vegetable stand	O	P ²	A	P ⁴	P ⁴	A ²	O	O	O
General store (food and conveniences)	O	P ²	A	P ⁴	P ⁴	A ²	O	O	O
Gift Shops, antique shops	O	P ²	P ⁴	P ⁴	P ⁴	O	O	O	O
Health club, fitness center	O	P ²	P ⁴	P ⁴	P ⁴	P ⁴	O	O	O
Hotel, Motels and motor inns subject to the conditions of § 164-7.3	O	O	P ⁴	P ⁴	A	O	O	O	O
Liquor store	O	P ²	A	P ⁴	P ⁴	A ²	O	O	O
Marinas	A	P ⁴	A	P ⁴	O	P ⁴	O	O	P ⁴
Marijuana couriers	O	O	P	P	O	P	O	O	O

Marijuana cultivator, up to 5,000 s.f. ¹⁰	O	O	A	A	O	A	O	O	O
Marijuana cultivator, more than 5,000 s.f. ¹⁰	O	O	A	A	O	A	O	O	O
Craft marijuana cooperative	O	O	A	A	O	A	O	O	O
Marijuana product manufacturer	O	O	A	A	O	A	O	O	O
Marijuana retailer	O	O	A	A	O	A	O	O	O
Marijuana transporter	O	O	A	A	O	A	O	O	O
Marijuana research facility	O	O	A	A	A	A	O	O	O
Marijuana testing laboratory	O	O	A	A	A	A	O	O	O
Marijuana microbusiness	O	O	A	A	O	A	O	O	O
Medical Marijuana Facility	O	O	O	A	O	O	O	O	O
Miniature Golf Course	O	O	O	O	O	O	O	O	O
Mobile Food Establishment	O	P	P	P	P	O	O	O	P
Museum	O	P ⁴	P ⁴	P ⁴	P ⁴	P ⁴	O	O	O
New and Used Motor Vehicle Sales	O	O	O	O	O	P ⁴	O	O	O
Newspaper or job printing	O	O	O	P ⁴	A	P ⁴	O	O	O
Offices	O	P ⁴	P ⁴	P ⁴	P ⁴	P ⁴	O	O	O
Photo store	O	P ²	A	P ⁴	P ⁴	A ²	O	O	O
Place of assembly	O	O	O	P ⁴	A	P ⁴	O	O	O
Places of Amusement other than amusement park or miniature golf course	O	O	O	A	A	A	O	O	O
Post office	O	P ²	A	P ⁴	P ⁴	A ²	O	O	O
Restaurant, fast food	O	O	O	O	O	O	O	O	O
Restaurant, formula-based	O	O	A	A	O	A	O	O	O
Restaurants with entertainment and sale or dispensation of alcoholic beverages	O	O	A	P ⁴	P ⁴	O	O	O	O
Restaurant without entertainment	O	P ²	A	P ⁴	P ⁴	A ²	O	O	O
Restaurants without alcoholic beverages	O	O	A	P ⁴	P ⁴	A ²	O	O	P ¹
Retail Business	O	P ²	A	P ⁴	P ⁴	A ²	O	O	O
Retail sale of fishing bait, fish and shellfish	O	A ²	A	P ⁴	P ⁴	A ²	O	O	P ¹
Retail sale of marine fishing and boating supplies	O	A ²	A	P ⁴	P ⁴	A ²	O	O	P ¹
Sale of agricultural, landscaping supplies (as a primary use)	O	O	A	P ⁴	O	P ⁴	O	O	O
Service or public utility	O	O	A	P ⁴	O	P ⁴	O	O	O
The retail sale of agricultural, farming, gardening and landscaping needs and supplies, processing of trees, stumps and brush	O	O	A	P ⁴	O	P ⁴	O	O	O
TV repair	O	P ²	A	P ⁴	P ⁴	A ²	O	O	O
WHOLESALE AND STORAGE	R	RB	LB	GB	VC	I	CD⁶	SC	MB
Sale of fishing bait, fish and shellfish	O	O	O	O	O	A	O	O	P
Wholesale Business	O	O	O	O	O	P	O	O	O

INDUSTRY AND MANUFACTURING	R	RB	LB	GB	VC	I	CD⁶	SC	MB
Light Industry or manufacturing	O	O	O	A	A	P	O	O	O
OTHER USES	R	RB	LB	GB	VC	I	CD⁶	SC	MB
Amateur Radio Tower	P	P	P	P	P	P	P	P	P
Commercial and non-commercial Wind Energy Facilities	A	A	A	A	O	A	A	A	A
Communication Appurtenance (excluding towers and monopoles)	O	A	A	P	A	P	O	O	O
Communication Buildings	O	O	A	P	A	P	O	O	O
Communication Monopole	O	O	O	A	O	P	O	O	O
Communication Towers	O	O	O	O	O	A	O	O	O
ACCESSORY USE	R	RB	LB	GB	VC	I	CD⁶	SC	MB
Accessory dwelling (See § 164-7.12)	P	P	P	P	P	P	O	O	P
Accessory scientific use (see § 164-7.8)	A	A	A	A	A	A	A	A	A
Building for the raising, boarding or breeding of dogs or livestock by principal occupant of agricultural premises	A	P	A	O	O	O	O	O	O
Garage, barn and boathouse for the principal occupant of residential premises	P	P	P	A	A	O	O	O	P
Guest House	P	P ⁴	P	O	O	O	O	O	P ⁴
Roadside stand, for products raised on the premises, less than 100 square feet in area	P	P	P	P	P	P	P	P	P
Shed or other building to house maintenance equipment and supplies for apartment complex	O	A	A	A	A	O	O	O	O
Storage Trailers	O	O	O	O	O	P ⁹	O	O	O
The use of a room or rooms in a dwelling, the use of premises or buildings thereon by resident occupants for a recognized profession and for customary home occupations as defined in § 164-2.1	A	P	P	O	O	O	O	O	P

NOTES:

- (1) Intending that the retail business be incidental to and directly related to permitted use.
- (2) Total retail business floor area, exclusive of storage and office space, shall be limited to 1,500 square feet per business. No parking within the front and side yard setbacks is permitted.
- (3) Must conform to minimum lot size currently in force in the Residential District. Any lot which existed prior to March 9, 1971 which contains 15,000 sq. ft. but less than the current minimum area may be used for a single-family dwelling but not for a two-family dwelling or a guest house, or any lot which existed prior to August 2, 1973 containing at least 20,000 sq. ft. but less than the current minimum area may be used for a single-family dwelling but not for a two-family dwelling or a guest house.
- (4) Except "A" if creating more than 2,500 square feet of gross floor area in commercial use whether through new construction, addition, or change of use. Such Special Permits are subject to § 164-7.17 and § 164-7.6 as applicable. The calculation of the total gross floor area in commercial use shall include all existing and proposed floor area.
- (5) Certain uses may require a Special Permit under § 164-3.14A(7).
- (6) See § 164-4.4 for dimensional, parking, and other requirements for educational, municipal and religious uses.

NOTES:

- (7) Said use shall be conducted in accordance with the requirements of the Board of Health imposed pursuant to MGL c.114, § 34, and may be carried on only in that portion of the Residence District R designated "d" on the existing zoning map which area is more specifically shown on a plan of land entitled "Topographic Plan of Land located in Orleans, MA prepared for Orleans Cemetery Association Scale 1" = 50', December 7, 1992 Revised February 24, 1993, a copy of which is on file in the Office of the Board of Health, Orleans Town Hall.
- (8) See § 164-7.4 for storage trailer requirements.
- (9) Area limitation refers to canopy as defined in 935 CMR 500.002.

§ 164-4.3. Prohibited Uses.

- A. Salvage yards, junkyards and all open-air storage of junk, waste products and salvage materials are expressly prohibited in the town unless owned and/or operated by the town, to include only the town disposal area.
- B. The open-air storage of more than 1 unregistered motor vehicle is prohibited, except on premises used as a new or used car sales and service business or auto body and motor vehicle repair shop, provided that said storage shall not be deemed by the Building Commissioner to be in conflict with the other provisions of this section.
- C. The parking of more than 1 school or other type of bus on a lot is prohibited in the town except in the General Business and Industrial Districts or upon school premises or during permitted functions.
- D. Onshore commercial facilities to service or support or accommodate offshore exploration or drilling for fossil fuels, including oil and gas storage tanks, pipelines, warehouses or dockside heliports, airports, airstrips and all air-support facilities whose purpose or intention or principal business is to accommodate or service or support the onshore use of the Town of Orleans for offshore exploration, drilling and transportation of fossil fuels, including but not limited to oil and gas, are prohibited.
- E. Adult bookstores or adult motion picture theatres or adult cabaret, as defined in § 164-2.1 are prohibited except that such establishments are permitted under Special Permit from the Zoning Board of Appeals in the Industrial District. Within the Industrial District, any such establishment shall be at least 300 feet from a residential zoning district.
- F. Filling Stations and/or fuel pumps, as an accessory use and/or incidental to any other use, when used for retail purposes, are prohibited in all zoning districts.

§ 164-3.11. Village Center District VC.

A. Lot Standards.

Minimum Lot Size (square feet)	Minimum Frontage (feet)	Minimum Yard Dimensions (feet)			Maximum Building Height (feet)	Maximum Building Coverage	Maximum Lot Coverage	Maximum Floor Area Ratio
		Front	Side	Rear				
—	—	see below		10	30	—	—	100%

- (1) The minimum setback for a front yard shall be 15 feet or, if smaller, the front yard existing on the premises on October 1, 1985, or, if smaller, the average of the front yards existing on adjacent lots. The maximum setback for a front yard shall be 25 feet or, if greater, the shallowest setback where the distance between lot line, measured parallel to the street, exceeds 50 feet. However, no maximum setback is required for development where a building exists and is to be retained on the lot. The required minimum front yard may contain pedestrian areas, terraces, landscaped areas and required driveways approximately perpendicular to the street.
- (2) Side and rear yards shall be a minimum of 10 feet or more, except that, by Special Permit by the Board of Appeals, following consultation with the Fire Chief and Board of Health, said side and rear yards may be reduced to zero for party wall construction, or access for disabled persons, provided that adequate access is assured for fire or other emergency and public services and that satisfactory provisions have been made for storm drainage and sewage disposal.

B. Building Standards.

- (1) Building transparency. For nonresidential buildings, at least 1/3 of the area of the first-floor facade facing the street shall permit visibility of the building interior or window displays, unless exempted on Special Permit from the Zoning Board of Appeals, upon the Board's determination that an alternative means of maintaining pedestrian visual interest will be provided.

C. Use Provisions.

- (1) Auto/pedestrian conflict. No use shall have a drive-in, drive-through, fuel pumps, or other facility servicing autos.
- (2) Fast food restaurants. Fast Food Restaurants are prohibited in the Village Center District.
- (3) Third Floor Housing. The purpose of this subsection is to allow increased building height in the Village Center District for the development of accessory dwelling units within commercial buildings. Up to 4 dwelling units shall be allowed on lots when a portion of the units are located on the third floor of a commercial building. The following shall apply:
 - (a) The vertical distance from the average undisturbed natural grade at the foundation

on the street side of the building to the mean height between the bottom of the eave and the highest point of each ridge on a pitched roof shall not exceed 30 feet. In no instance shall the height to the top of the ridge exceed 42 feet.

- (b) Roof pitch. In accordance with this subsection, the roof must have a pitch greater than or equal to 8/12 (rise of 8 for every 12 inch run). Flat roofs are prohibited under this section. No utility equipment may be placed on the roof other than that for solar collection.
- (c) Finished space on the third floor of the structure shall be used for residential purposes and in no case shall it be used for commercial purposes other than storage of goods.
- (d) Gabled and eyebrow dormers are permitted but the face of the dormer shall be set back at least 2 feet from the eave.
- (e) A site plan shall be submitted and reviewed as provided in § 164-10.1.
- (f) Architectural Review Committee approval is required, as provided in § 164-10.2.
- (g) Where detached residential dwellings exist or are proposed on a lot, this third floor housing provision shall not be applicable for further development, unless authorized by the Zoning Board of Appeals through the issuance of a Special Permit.

D. Site Standards.

- (1) Side yards shall contain no parking spaces.
- (2) Sidewalks and planting areas. Sidewalks and planting areas shall be provided on all street frontages upon construction of a new principal building or additions or alterations resulting in an increase of 50% or more in required off-street parking, except as exempted on Special Permit by the Zoning Board of Appeals, upon the Board's determination that topography or other specific site conditions would preclude sidewalk usefulness. Such sidewalks shall be constructed of granolithic concrete, bituminous concrete, brick or other material providing all-weather pedestrian service, found to be comparable by the Site Plan Review Committee, if having jurisdiction, or by the Building Commissioner in other cases. The sidewalk shall be located so as to connect with any adjacent sidewalks, preserve existing trees and provide as close to 4 feet as feasible of planting space between it and the traveled way. The planting space shall be provided with topsoil and plantings.

§ 164-3.19. Downtown Housing Overlay District. [Added 11-17-2025 STM by Art. 2]

A. The purpose of this overlay district is to:

- (1) Encourage the production of affordable and attainable housing options for year-round residents.
- (2) Incentivize developers and property owners to create a variety of rental and ownership housing opportunities for people at all stages of life and levels of income by allowing multi-family residential development where appropriate.
- (3) Encourage mixed-use and multi-family investment that will reinforce the village's character and pedestrian orientation.
- (4) Encourage multi-family development in areas served by municipal sewer to ensure new wastewater flows will not compromise the Town's water quality.
- (5) Strengthen the foundation of Downtown Orleans as a livable, walkable neighborhood and to mitigate traffic congestion by promoting housing proximate to compatible commercial uses, bicycle and pedestrian infrastructure, and public transportation.
- (6) Support existing and future Orleans businesses by increasing the year-round customer base.

B. Establishment of Overlay District.

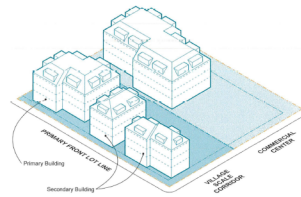
- (1) The Downtown Housing Overlay District (DHOD) is hereby established as an overlay district, superimposed at eligible locations in the Limited Business LB, General Business GB, and Village Center VC Zoning Districts. The DHOD shall include the following subdistricts:
 - (a) Village-Scale Corridor Subdistrict (VCS).
 - (b) Commercial Center Subdistrict (CCS).
- (2) For the purposes of this section, "Active Ground Floor Use Frontage" shall include a portion of a street that requires ground story active uses and frontage types within the Village-Scale Corridor Subdistrict along the street frontages delineated on the Orleans Zoning Map.
- (3) Unless otherwise regulated within this section, all use, dimension, and all other provisions of the Zoning Bylaw shall remain in full force and effect.
- (4) At the option of the applicant, development and use of land within the DHOD may be undertaken subject to compliance with the requirements of this section, or by complying with the standards of the underlying district(s).
- (5) The aforesaid eligible locations are shown on a map entitled "Downtown Housing Overlay District, Town of Orleans" dated September 11, 2025. This map is hereby made part of the Town Zoning Bylaw and is on file at the office of the Town Clerk.

C. Application; Uses Permitted.

- (1) Mixed-use and multi-family developments that comply with the provisions of this section shall be allowed as of right in the DHOD, subject to Site Plan Review and Architectural Review approvals.
- (2) If a mixed-use development includes a non-residential use that requires a Special Permit under Article IV, then that use shall be subject to issuance of a Special Permit in accordance with § 164-11.4.

D. Lot and Building Standards.

- (1) Mixed-use and multi-family developments permitted under this section shall comply with the following dimensional regulations, which supersede regulations specified by the underlying zoning district in which the development is located. Where dimensional regulations are not specified here, the regulations of the underlying zoning district shall apply.



VILLAGE-SCALE CORRIDOR SUBDISTRICT	
Maximum Building Footprint	
Primary Building	4,000 square feet
Secondary Buildings	2,000 square feet
Maximum Building Height	
Stories	2.5
Pitched Roof Peak	44 feet
Ground Story Height in Feet	
Active Ground Floor Use Required Streets	14 feet minimum
All Other Streets	11 feet minimum
Roof Form	
Pitched Roof Half-Story Height	18 feet maximum
Facade Articulation	
Facing Front Lot Line	35 feet maximum continuous facade
All Other Facades	60 feet maximum continuous facade
Ground Story Fenestration	
Active Ground Floor Use Required Streets	70% minimum
All Other Streets, Non-Residential Uses	50% minimum

VILLAGE-SCALE CORRIDOR SUBDISTRICT	
All Other Streets, Residential Uses	15% minimum
Ground Story Active Use	
Active Ground Floor Use Required Streets	60% minimum, or 35' Facade Length (whichever is greater)
Active Use Depth	20 feet minimum
Yard Dimensions	
Front	8 feet minimum, 15 feet maximum
Side	10 feet minimum
Side, If Abutting a Party Wall	0 foot minimum
Rear	20 feet minimum
Facade Buildout	
Primary Front Lot Line	60%
Secondary Front Lot Line (Corner Lot)	50%
Minimum Separation Between Buildings on a Lot	
20 feet if either building is 2.5 stories or more; 15 feet if either building is 1.5 stories or more but less than 2.5 stories 10 feet if either building is one story or more but less than 1.5 stories	
Minimum Open Space	
Minimum Open Space: 15%	
Minimum Beneficial Open Space: 5% for lots greater than 30,000 square feet	
Parking Setbacks	
Facing a Right-of-Way	15 feet
Not Facing a Right-of-Way	5 feet
COMMERCIAL CENTER SUBDISTRICT	
Maximum Building Footprint	
8,000 square feet	
Maximum Building Height in Stories	
Stories	3.5
Pitched Roof Peak	54 feet
Roof Form	
Pitched Roof Half-Story Height	18 feet maximum
Facade Articulation	
Facing Front Lot Line	60 feet maximum continuous facade
All Other Facades	60 feet maximum continuous facade
Ground Story Fenestration	
Non-Residential Uses	50% minimum

COMMERCIAL CENTER SUBDISTRICT	
Residential Uses	15% minimum
Minimum Yard Dimensions	
Front	15 feet minimum
Side	15 feet minimum
Rear	20 feet minimum
Facade Buildout	
Primary Front Lot Line	60%
Secondary Front Lot Line (Corner Lot)	50%
Minimum Separation Between Buildings on a Lot	
20 feet if either building is 2.5 stories or more; 15 feet if either building is 1.5 stories or more but less than 2.5 stories 10 feet if either building is one story or more but less than 1.5 stories	
Minimum Open Space	
Minimum Open Space: 15%	
Minimum beneficial open space: 5% for lots greater than 30,000 square feet	
Parking Setbacks	
Facing a Right-of-Way	15 feet
Not Facing a Right-of-Way	5 feet

E. Year-Round, Affordable, and Attainable Housing Requirements and Bonuses.

- (1) To further Town goals and meet the need for affordable housing, any development with 10 or more dwelling units shall include one Affordable Housing Unit for each 10 dwelling units and shall additionally include 1.5 Attainable Housing Units for each 10 dwelling units. Any fraction of a required Affordable or Attainable Housing Unit shall be rounded up to the nearest whole unit.
- (2) Any development in the Downtown Housing Overlay District shall deed-restrict 50% of the dwelling units for year-round occupancy.
- (3) In the Village-Scale Corridor and Commercial Center Subdistricts, additional building height and footprint is permitted for developments providing deed-restricted year-round affordable and attainable housing as follows:

Subdistrict	Inclusionary Zoning Units	Building Height Maximum (stories)	Building Footprint Maximum
VCS	10% @ 80% AMI 40% @ 200% AMI	3.5	Per Subsection D(1)
CCS	10% @ 80% AMI 40% @ 200% AMI	3.5	15,000 square feet

- (a) Any development, regardless of number of dwelling units, developed under this Subsection E(3) shall meet the affordable, attainable, and year-round housing requirements.
- (b) For developments of 3.5 stories in the VCS, the maximum pitched roof peak shall be 54 feet.

F. Lot Standards.

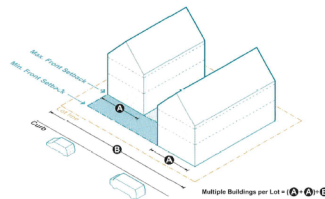
(1) Setbacks.

- (a) Buildings must meet the minimum setback requirements specified in the Lot and Building standard for each subdistrict.

(2) Building Placement.

- (a) The width of the front elevation must be built out to a percentage of the lot width as specified by the facade build out ratio in the Lot and Building standard for each subdistrict. (Figure 1)
- (b) The facade buildout ratio may be met cumulatively by multiple buildings on a lot.
- (c) Outdoor space between the front lot line and front elevation is considered part of the building for the purposes of calculating the facade build out ratio.

Figure 1. Building Placement



(3) Number of Buildings.

- (a) Multiple buildings are permitted on each lot, subject to the minimum Open Space percent for all lots.

(4) Building Separation.

- (a) Multiple buildings on a single lot must comply with the building separation distance at all points specified in the Lot and Building standard listed for each subdistrict.

(5) Open Space and Beneficial Open Space.

- (a) Lots must provide the minimum open space specified in the Site Dimensional Standards for each subdistrict.
- (b) Development on lots 30,000 square feet and greater must provide Beneficial Open Space specified in the Site Dimensional Standards for the applicable subdistrict.

and meet the following standards:

- [1] At least 400 square feet and at least 20 feet in width and 20 feet in length;
- [2] Not on rooftops or other elevated portions of buildings;
- [3] Designed to accommodate public congregation and use, including any necessary amenities or infrastructure. Examples include: parks, plazas, playgrounds, community gardens, etc.; and
- [4] It is encouraged to locate civic spaces such that they can be connected and shared with public uses on adjacent lots.

G. Building Standards.

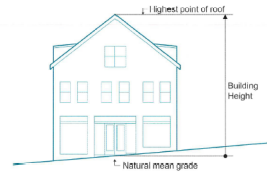
(1) Building Footprint.

- (a) Buildings must comply with the maximum building footprint as specified in the Lot and Building standards for each subdistrict.
- (b) Building footprint includes all enclosed spaces whether for habitation or storage. Any parking area that is covered by a roof is included in the Building Footprint.
- (c) The following features do not count toward the building footprint.
 - [1] Building components (refer to § 164-3.19G(8)).

(2) Building Height.

- (a) Buildings may not exceed the maximum building height specified in the Lot and Building standards for each subdistrict. (Figure 2)
- (b) For the purposes of this section Building Height shall be defined as follows: The vertical distance between the elevations of the natural mean grade and the highest point of the roof. Not included in such measurements are:
 - [1] Cornices which do not extend more than 5 feet above the roof line;
 - [2] Chimneys, walls, vents, ventilators and enclosures for machinery of elevators which do not exceed 15 feet in height above the roof line;
 - [3] Solar panels which do not extend more than one foot above the ridgeline or in the case of a flat roof, no more than 4 feet above the parapet, and
 - [4] Towers, spires, domes and ornamental features.

Figure 2. Building Height



(3) Story Height.

- (a) The ground story of a building must comply with the minimum story height requirements specified for each subdistrict.
- (b) The height of the ground story is measured vertically from the surface of the finished floor to the surface of the finished floor above, at all points.
- (c) The height of a pitched roof half-story is measured vertically from the surface of the finished floor to the top of the highest roof beam above.

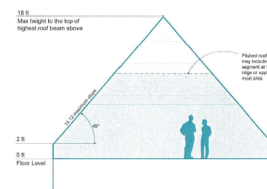
(4) Number of Stories.

- (a) Buildings must comply with the maximum number of stories specified for each subdistrict.

(5) Pitched Roof Half-Story.

- (a) Space located directly under a pitched roof is counted as a half-story (Figure 3), provided the following standards are all met:
 - [1] At least 2 opposite roof planes are pitched toward each other.
 - [2] A pitched roof may be composed of roof planes with different slopes.
 - [3] The slope of any pitch must be no greater than 14:12 (49.4 degrees); otherwise, this story is counted as a full story.
 - [4] The roof rafters must intersect the wall plate or top of wall frame of the exterior walls at a height no more than 2 feet above the finished floor of the half-story; otherwise, this story is counted as a full story.

Figure 3. Pitched Roof Half-Story



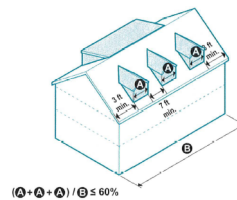
(6) Dormers.

- (a) Dormer windows may not occupy more than 60% of the total pitched roof area and

must be set back from the ends of a pitched roof, where applicable, by a minimum of 3 feet. Where more than one dormer is located on the same side of the roof, the width of all dormers combined may not exceed 60% of the length of the exterior wall below, and each dormer shall be separated by a minimum of 7 feet. (Figure 4)

- (b) A roof line overhang shall be continued a minimum of one foot between the dormer and the next story below to avoid the appearance of an uninterrupted wall plane.
- (c) No dormer may project above the main roof ridgeline.

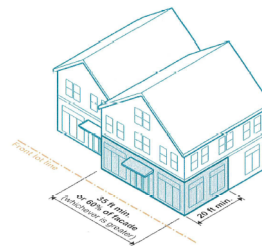
Figure 4. Dormer Windows



(7) Active Ground Floor Use.

- (a) For buildings with front-facing lot line in the Active Ground Floor Use area, at least 60% or 35 feet of facade (whichever is greater) must include an Active Ground Floor Use to a depth of 20 feet. Active Use depth is measured as the distance from the facade towards the interior of the building. (Figure 5)

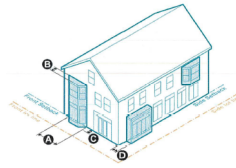
Figure 5. Ground Story Active Uses



(8) Building Components.

- (a) Building components are structural and architectural elements that extend outward from a building facade, including awnings, bays, balconies, and porches.
- (b) Building components which fully comply with the dimensional standards below are not considered part of the building footprint.
- (c) Building components may project into the front and side setbacks and/or right-of-way provided they conform to the following dimensional standards.
- (d) Building components that are not identified below are prohibited.

[1] Bay.



- [a] Single Bay Width: 16 feet maximum.

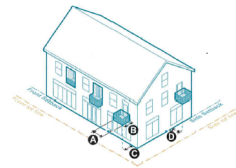
Cumulative bay width: 50% of the width of the exterior wall from which the bays project.

- [b] Projection: 3 feet maximum.

- [c] Front Setback Encroachment: 3 feet maximum.

- [d] Side Setback Encroachment: 3 feet maximum.

- [2] Balcony.



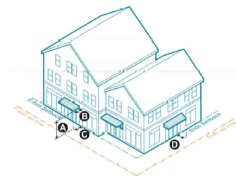
- [a] Width: 5 feet minimum.

- [b] Depth: 4 feet minimum.

- [c] Front Setback Encroachment: 5 feet maximum.

- [d] Side Setback Encroachment: 5 feet maximum.

- [3] Awning.



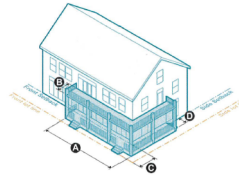
- [a] Clearance above grade: 10 feet minimum.

- [b] Depth: three feet maximum.

- [c] Front Setback Encroachment: 3 feet maximum.

- [d] Side Setback Encroachment: 3 feet maximum.

[4] Porch.



[a] Width, front: 8 feet minimum.

Width, side: 4 feet minimum.

[b] Depth, front: 8 feet maximum.

Depth, side: 4 feet maximum.

[c] Front Setback Encroachment: 6 feet maximum.

[d] Side Setback Encroachment: 6 feet maximum.

(9) Facade Articulation.

(a) Facades must differentiate the ground story of the building from the upper stories through horizontal articulation, a change in material, or a change in window size or pattern to create a distinct base to the building facade. The entire height of the ground story must be included in the facade base.

(b) The facade of any building greater than 35 feet in width along the front lot line or 60 feet in width along the side lot line must be divided vertically by a recess at a minimum of 5 feet deep and 5 feet wide or an offset at a minimum of 5 feet deep, for the full height of the building, excluding any portion of the Ground Story with Ground Story Active Uses (Figure 6).

[1] Balconies and Awnings may be located within the recess or adjacent to the offset.

[2] Required recesses must include a change in roof plane at both edges of the recess, and one edge at offsets. Parallel roof planes are permitted so long as they are a minimum of 3 feet apart measured perpendicular to the roof plane (Figure 7 and Figure 8).

[3] The depth of eaves and roof overhangs within recesses and offsets must be equal to or less than adjacent roof edge conditions.

Figure 6. Facade Articulation

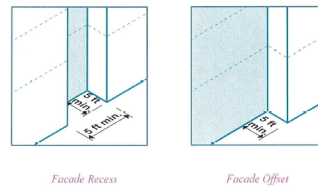


Figure 7. Facade Articulation Example for a Building with Perpendicular Roofs

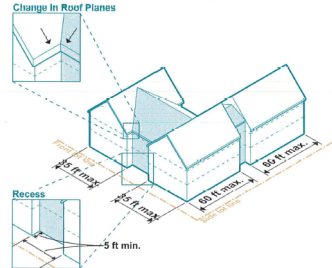
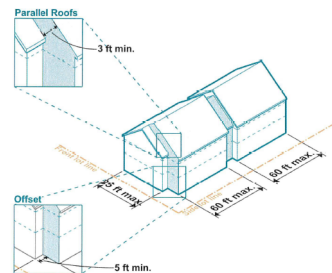


Figure 8. Facade Articulation Example for a Building with Parallel Roofs



(10) Fenestration.

- (a) Facades must differentiate the ground story of the building from the upper stories through horizontal articulation, a change in material, or a change in window size or pattern to create a distinct base to the building facade. The entire height of the ground story must be included in the facade base (Figure 9).
- (b) Fenestration must be provided as indicated for each zone and is calculated as a percentage of the area of a facade.
- (c) Ground story fenestration is measured between 2 feet and 10 feet above the finished floor of the ground story (Figure 9).
- (d) For ground story fenestration, glazing must have a minimum 60% Visible Light Transmittance (VLT) and no more than 15% Visible Light Reflectance (VLR) as indicated by the manufacturer.

Figure 9. Ground Story Fenestration



(11) Building Entry.

- (a) For lots with street frontage, buildings must have their principal entrance(s) from that right-of-way. For lots without street frontage, buildings must have their main entrance(s) on the side wall oriented toward a secondary right-of-way or parking lot provided for the building.
- (b) Multi-story buildings with Active Ground Floor Use spaces must have one principal entrance for each Active Use space in addition to any principal entrance(s) necessary for any upper stories, except where Active Uses are accessory to a principal use such as a hotel.
- (c) Principal entrances that do not have an internal vestibule must either be recessed from the plane of the facade, or have a projecting awning or canopy, to signal building entry and provide adequate protection from the elements.
- (d) Principal entrances are encouraged to include architectural elements that distinguish the principal entrance, such as columns, pilasters, pediments, side lights, transom lights, fan lights, entablatures, cornices, brackets, and decorative dark sky compliant lighting fixtures to signal building entry.

(12) Frontage Types.

- (a) Frontage types provide access to principal entrances and serve as the interface and transition between the private realm (building interiors) and the public realm (sidewalks and public spaces) and are defined by a combination of site features and facade characteristics.
- (b) Frontage types are permitted according to Table 1.
- (c) Frontage types not expressly permitted are prohibited.
- (d) Multiple frontage types are permitted for each building.

Table 1. Frontage Types

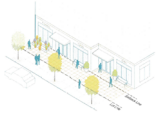
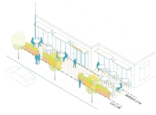
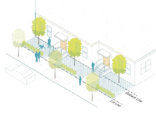
P = Permitted N = Not Permitted	Active Use	Residential Use
 Entry Plaza A frontage type consisting of a storefront(s) and a highly paved frontage area, providing a widened sidewalk, building access, public seating, and optional bicycle parking.	P	P
 Dining Patio A frontage type consisting of a storefront(s) and outdoor cafe seating in the frontage area. A depth of at least 6 feet is encouraged.	P	P
 Front Garden A frontage type consisting of a storefront(s) and a highly landscaped and occupiable frontage area, providing additional street trees, vegetation, entry access, public seating, and optional bicycle parking.	P	P
 Dooryard A frontage type consisting of low fences that delineate the boundaries of private front yards for individual ground story dwelling units.	N	P
 Stoop A frontage type consisting of a set of stairs with a landing that provides access to the entrance of a building.	N	P

Table 1. Frontage Types		
P = Permitted N = Not Permitted	Active Use	Residential Use
 Porch A frontage type consisting of a raised platform with a roof supported by columns, piers, or posts; an area for seating; and an optional set of stairs with a landing that provides access to the entrance of a building.	N	P

(13) Roof Features.

- (a) Non-habitable architectural features including, but not limited to, mechanical & stairwell penthouses; vents or exhausts; solar panels or skylights; belfries, chimneys, cupolas, parapets, spires, and steeples are permitted on roofs.
- (b) Roof mounted features including vents, exhausts, antennas, wires, utilities, connection boxes, and similar features cannot be located within 30 feet of the front lot line and need to be either architecturally integrated into the building or screened.
- (c) Notwithstanding the provisions of Subsection D herein, flat roofs may be permitted in the Village-Scale and Commercial Center subdistricts upon the grant of a Special Permit from the Zoning Board of Appeals, subject to the following findings:
 - [1] The flat roof area of the structure shall be designed to incorporate a significant beneficial feature such as a roof deck or patio, rooftop garden, or green roof.
 - [2] The building design, including the flat roof, is architecturally compatible and harmonious with the general character of the neighborhood.

(14) Mechanical Equipment.

- (a) Roof-mounted mechanical equipment must be screened and setback at least 10 feet from any building wall. See "Screening" in § 164-2.1.
- (b) Roof-mounted mechanical equipment shall be no greater than 8 feet tall when measured from the floor of the roof.
- (c) Wall-mounted alarm devices, cable boxes, and utility meters shall not be mounted on a facade facing a right-of-way.
- (d) Wall-mounted mechanical, plumbing, and/or electrical equipment such as louvers, exhaust equipment and duct vents along the front elevation must be architecturally integrated into the design of the building and located to minimize adverse effects on pedestrian comfort along sidewalks and within open spaces.

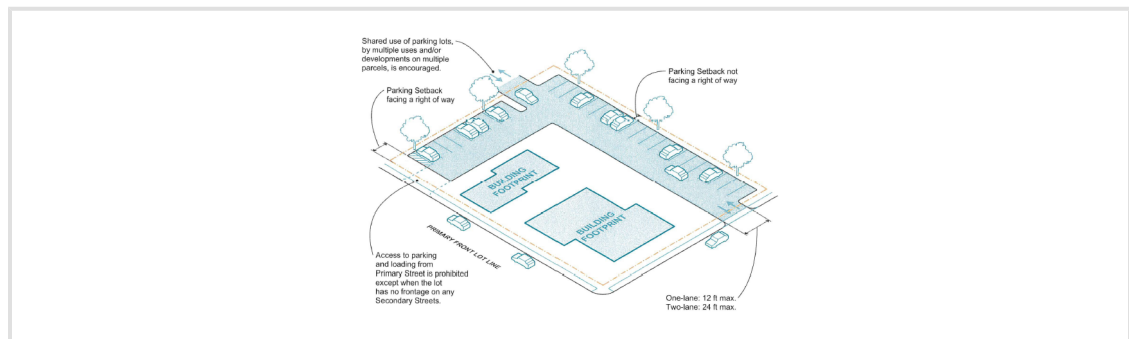
- (e) All free-standing mechanical and/or electrical equipment are prohibited between any front lot line and front elevation.

H. Site Standards.

(1) Required Accessory Parking Spaces.

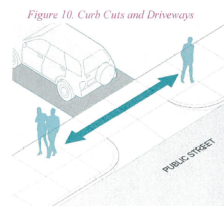
- (a) Multi-family residential development shall provide off-street parking in accordance with § 164-8.1, a minimum of one space per residential dwelling unit.
- (b) Non-residential development shall provide a minimum of one off-street parking space per 500 square feet of non-residential area.
- (c) Pedestrian access to off-street motor vehicle parking must be via an accessible sidewalk or walkway.

(2) Parking Placement.



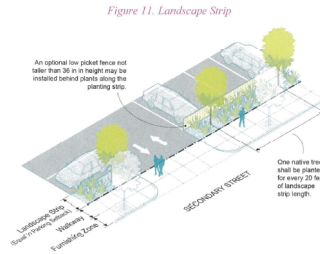
- (a) All parking spaces and structures must be located at or behind any required parking setback as specified for each zone.
 - (b) Driveways are prohibited between the facade of a building and the front lot line.
- ### (3) Parking Access.
- (a) Vehicular access to parking lots and structures along the primary front lot line is prohibited when vehicular access along another lot line is available.
 - (b) Shared use of parking lots, by multiple uses and/or developments on multiple parcels, is encouraged where feasible.
 - (c) Where feasible, access to parking lots within the footprint of a building is encouraged to be from an adjacent surface parking lot driveway and not via a curb cut and driveway directly from an adjacent street.
- ### (4) Curb Cuts and Driveways.
- (a) Curb cuts are prohibited along the primary front lot line when vehicular access along another lot line is available.
 - (b) The maximum width of a curb cut and driveway for access to parking lots and structures is as follows:

- [1] One-lane: 12 feet.
- [2] Two-lane: 24 feet.
- (c) Each lot is limited to one curb cut per street frontage. Lots with more than 200 feet of frontage are allowed one additional curb cut every 200 feet.
- (d) A driveway apron may be installed only within the furnishing zone of a sidewalk.
- (e) The grade, cross slope, and clear width of the walkway of a sidewalk must be maintained between the driveway apron and the abutting driveway. The appearance of the walkway (i.e., scoring pattern or paving material) must indicate that, although a vehicle may cross, the area traversed by a vehicle remains part of the pedestrian sidewalk. (Figure 10)



(5) Surface parking lot design.

- (a) Parking lots must be separated from the public right-of-way by a landscaped strip with a depth equal to the parking setback as specified in the Lot Standards for each subdistrict. The landscape strip must adhere to the following design standards (Figure 11):
 - [1] The landscape strip must run the full length of the parking lot perimeter along the right-of-way, excluding curb cuts and driveways.
 - [2] The landscape strip must be planted with native shrubs, perennials, grasses, and other planting types that provide screening from the public right-of-way.
 - [3] Native deciduous shade trees must be planted for every 20 feet of landscape strip length, spaced linearly and parallel to the public right-of-way. Shade trees must be a minimum of two inches in tree caliper when planted.
 - [4] An optional low picket fence or pedestrian wall 24 inches to 42 inches in height may be installed behind the landscape strip and setback up to 24 inches from the adjacent parking lot to accommodate for car overhang.
 - [5] The use of Low-Impact-Development (LID) stormwater management techniques such as rain gardens and bioswales is encouraged in landscape strips.



- (b) For parking lots with more than 25 spaces, internal parking lot landscaping shall comply with § 164-8.1.
 - (c) Parking lots abutting properties in any Residential Districts along any side or rear lot line must be screened as defined under "Screening" in § 164-2.1.
 - (d) Parking lot landscape strips, parking lot islands, landscape buffers, and other landscaped areas should utilize Low-Impact-Development (LID) practices consistent with state law to treat and discharge stormwater.
- (6) Required bicycle parking spaces.
- (a) Bicycle parking must be provided at no cost or fee to customers, visitors, employees, tenants, and residents.
 - (b) Bicycle parking may be provided through any combination of racks and lockers.
 - (c) Bicycle parking stalls must be accessible without moving another bicycle or lifting or carrying a bicycle over any steps or stairs.
- (7) Loading.
- (a) Access to loading docks or service areas along the primary front lot line is prohibited, except when the loading docks and service areas are internal to the building or fully behind the building.
 - (b) Outdoor loading facilities, including all docks and areas used for the storage and staging of goods or materials, that are visible from a public street, public space, or abutting properties in any Residential District must be screened from view as defined under "Screening" in § 164-2.1.
 - (c) Interior loading must be screened from view by solid, non-transparent doors which must remain closed when the loading dock is not in use.
- (8) Service Areas.
- (a) Trash collection, trash compaction, recycling collection and other similar service areas must be fully enclosed within a building or located to the side or rear of the buildings.
 - (b) Outdoor service areas are not permitted along any primary front lot line.

- (c) Outdoor trash and recycling collection/storage that is visible from a public street, public space, or abutting properties in any Residential District must be fully screened from view as defined under "Screening" in § 164-2.1.
- (9) Landscape and Stormwater Management.
 - (a) Low-Impact-Development practices consistent with state law, such as rain gardens and bioswales, should be installed to treat and infiltrate runoff from parking lots, thoroughfares, entry plazas, dining patios, and other impervious surfaces.
 - (b) Where vegetative solutions are not feasible, permeable pavers, porous concrete, or porous asphalt should be used for sidewalks, parking lots, entry plazas, and dining patios to infiltrate stormwater.
 - (c) Site landscaping should prioritize the use of native plant species and xeriscape.
- I. Tenure of Rental Units. Dwelling units that are rented shall be rented for periods of not less than 30 days.