

FOR SUBLEASE

1,248–3,330 SF | \$32.04/SF/YR. NNN

Retail/Restaurant Space at the Gateway to Valley River Center

1079 Valley River Way, Eugene, OR 97401



JOIN AN ESTABLISHED MIX OF NATIONAL RETAILERS AND RESTAURANTS



SUITE A



SUITE B

Russell Huntamer, CCIM | Eli Harrison, Broker

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FOR SUBLEASE **\$32.04/SF/YR. NNN**

Retail/Restaurant Space in Valley River Station

PROPERTY DETAILS

Suite A:	1,248 SF
Suite B:	2,082 SF
Suites A&B:	3,330 SF
Lease Rate:	\$32.04/SF/Yr. NNN
CAMs:	Est. at \$8.00/SF/Yr.
Bldg. Size:	7,730 SF
Shopping Center Size:	31,079 SF
Year Built:	2011
Parking:	196 shared surface parking spaces
Date Avail.:	Now

HIGHLIGHTS

- Opportunity to lease one suite or combine both for up to 3,330 SF
- Former Subway and frozen yogurt spaces well suited for restaurant, café, specialty retail, or service users
- End-cap opportunity with patio available (Suite A)
- Directly across from Valley River Center, Eugene's premier regional shopping destination
- Established shopping center with a diverse mix of restaurant, retail, and service tenants
- Surrounded by national retailers, destination restaurants, hotels, and entertainment venues
- Excellent access to Delta Highway and Interstate 5
- Outstanding visibility along Valley River Way

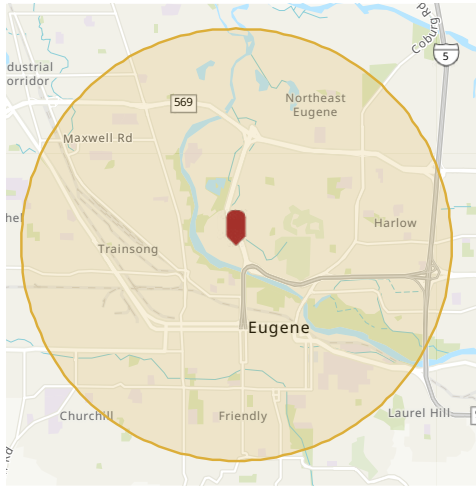




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DEMOGRAPHICS - WITHIN A 3-MILE RADIUS



POPULATION BY GENERATION

POPULATION TRENDS AND KEY INDICATORS

1079 Valley River Way, Eugene, Oregon, 97401

POPULATION


132,141
2026 Total Population


135,384
2031 Total Population


0.49%
2026-2031 Population:
Annual Growth Rate

HOUSEHOLDS


55,050
Total Households


2.20
Average Household
Size


1.09%
2010-2020 Annual
Growth Rate

INCOME


\$63,644
Median Household
Income


\$37,641
Per Capita Income

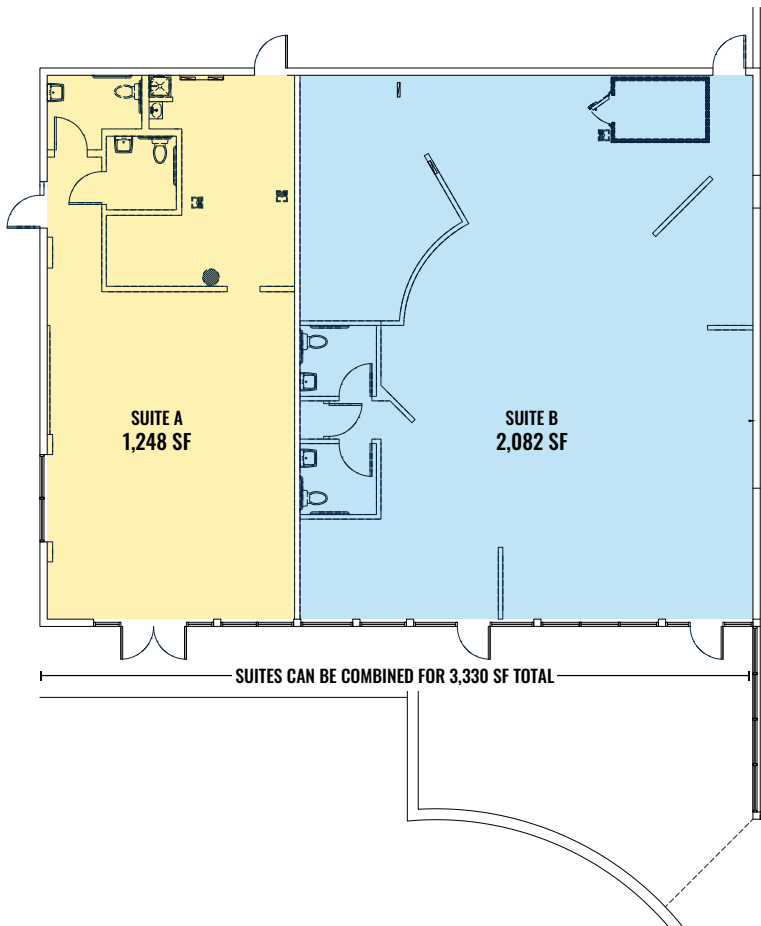

\$75,764
Median Net Worth


\$495,668
Median Home Value


45.8%
Percent of Income for
Mortgage


\$1,217
Median Contract Rent

EDUCATION



Brokers are licensed in the state of Oregon. This information has been furnished from sources we deem reliable, but for which we assume no liability. This is an exclusive listing. The information contained herein is given in confidence with the understanding that all negotiations pertaining to this property be handled through Compass Commercial Real Estate Services. All measurements are approximate.



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