



SCHEMATIC DESIGN

MAY 13, 2026

MULTI-TENANT BUILDING

4719 TRADERS WAY
THOMPSON'S STATION, TENNESSEE 37179

1 Project Perspective

<p>GENERAL NOTES:</p> <ol style="list-style-type: none"> THE GENERAL CONTRACTOR IS RESPONSIBLE TO SUPPLY ALL SUBCONTRACTORS WITH CONSTRUCTION DRAWINGS AND SPECIFICATIONS NECESSARY TO BID AND/OR CONSTRUCT THIS PROJECT. ALL DIMENSIONS ON THE FLOOR PLANS, UNLESS OTHERWISE NOTED, ARE TAKEN FROM FACES OF STUDS OF EXTERIOR WALLS AND INTERIOR WALLS. THE OWNER SHALL BE RESPONSIBLE FOR NOTIFYING THE GENERAL CONTRACTOR OF ANY ADDITIONAL ITEMS TO BE INSTALLED THAT ARE NOT SHOWN ON THE DRAWINGS. ANY PENETRATIONS OF, OR MODIFICATIONS TO CONCRETE MUST BE COORDINATED WITH ARCHITECT PRIOR TO CONSTRUCTION. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO INSURE THE SAFETY OF THE PUBLIC AND/OR WORK PERSONS ON THE JOB AND TO PREVENT ACCIDENTS OR INJURY TO ANY PERSONS ON, ABOUT OR ADJACENT TO THE PREMISES. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, CODES, RULES AND REGULATIONS RELATIVE TO SAFETY AND THE PREVENTION OF ACCIDENTS. WHETHER OR NOT SPECIFICALLY INDICATED ON THE DRAWINGS, ALL CONTRACTORS SHALL BE RESPONSIBLE FOR REMOVING OR DEMOLISHING EXISTING CONSTRUCTION (INCLUDING UTILITIES) WHICH WILL INTERFERE WITH NEW WORK PRIOR TO THE SHUT-DOWN OR TYING INTO ANY UTILITY. APPROVAL SHALL BE OBTAINED FROM THE OWNER'S REPRESENTATIVE. COORDINATE WITH OWNER'S REPRESENTATIVE. LOCATION OF CONTRACTORS' EQUIPMENT AND MATERIAL STORAGE. ALL MECHANICAL WORK SHALL BE PERFORMED BY A LICENSED MECHANICAL CONTRACTOR AND IN ACCORDANCE WITH ALL APPLICABLE CODES AND STANDARDS. ALL PLUMBING WORK SHALL BE PERFORMED BY A LICENSED PLUMBING CONTRACTOR AND IN ACCORDANCE WITH ALL APPLICABLE CODES AND STANDARDS. ALL ELECTRICAL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR AND IN ACCORDANCE WITH ALL APPLICABLE CODES AND STANDARDS. ALL STRUCTURAL FRAMING WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES AND STANDARDS. 	<p>APPLICABLE BUILDING CODES AND STANDARDS:</p> <p>TOWN OF THOMPSON'S STATION LAND DEVELOPMENT ORDINANCE (UPDATED DECEMBER 18, 2025) 2018 NFPA 101 LIFE SAFETY CODE 2021 INTERNATIONAL BUILDING CODE 2021 INTERNATIONAL FIRE CODE 2021 INTERNATIONAL PLUMBING CODE 2021 INTERNATIONAL MECHANICAL CODE 2018 INTERNATIONAL ENERGY CONSERVATION CODE 2021 INTERNATIONAL PROPERTY MAINTENANCE CODE 2021 SWIMMING POOL AND SPA CODE 2021 INTERNATIONAL EXISTING BUILDING CODE 2023 NATIONAL ELECTRICAL CODE 2021 ICC A117.1 ACCESSIBLE AND USEABLE BUILDINGS AND FACILITIES</p>	<p>PROJECT INFORMATION:</p> <p>IBC CHAPTER 3: OCCUPANCY CLASSIFICATION AND USE IBC SECTION 304: 304.1 BUSINESS, GROUP B IBC SECTION 311: 311.2 MODERATE-HAZARD STORAGE, GROUP S-1</p> <p>IBC CHAPTER 5: GENERAL BUILDING HEIGHTS AND AREAS IBC SECTION 504: BUILDING HEIGHT AND NUMBER OF STORIES TABLE 504.3: ALLOWABLE BUILDING HEIGHT TYPE II-B, SPRINKLERED: 75'-0" ACTUAL HEIGHT: 33'-0" ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLANE TYPE II-B, SPRINKLERED: 4 ACTUAL NUMBER OF STORIES: 1 IBC SECTION 506: BUILDING AREA TABLE 506.2: ALLOWABLE AREA PER STORY TYPE II-B, SPRINKLERED: 76,000 SF ACTUAL BUILDING AREA: 20,000 SF</p> <p>IBC CHAPTER 6: TYPE OF CONSTRUCTION IBC SECTION 602: CONSTRUCTION CLASSIFICATION TYPE II-B</p> <p>IBC CHAPTER 10: MEANS OF EGRESS IBC SECTION 1004: OCCUPANT LOAD SUITE 101-102: 19 OCCUPANTS SUITE 103-104: 28 OCCUPANTS SUITE 105-107: 29 OCCUPANTS SUITE 108: 25 OCCUPANTS SUITE 109-110: 50 OCCUPANTS</p> <p>IBC CHAPTER 29: PLUMBING SYSTEMS IBC SECTION 2902: MINIMUM PLUMBING FIXTURES TABLE 2902.1: MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES BUSINESS: MALE: 1 WC PER 25 + 1 LAV PER 40 = 1 WC + 1 LAV FEMALE: 1 WC PER 25 + 1 LAV PER 40 = 1 WC + 1 LAV SERVICE SINK: FOR BUSINESS CLASSIFICATIONS WITH AN OCCUPANT LOAD OF 15 OR FEWER, A SERVICE SINK SHALL NOT BE REQUIRED. 2902.2 SEPARATE FACILITIES: 2. SEPARATE FACILITIES SHALL NOT BE REQUIRED IN STRUCTURES WITH A TOTAL OCCUPANT LOAD, INCLUDING BOTH EMPLOYEES AND CUSTOMERS, OF 15 OR FEWER. 3. SEPARATE FACILITIES SHALL NOT BE REQUIRED IN MERCANTILE OCCUPANCIES IN WHICH THE MAXIMUM OCCUPANT LOAD IS 100 OR FEWER. 4. SEPARATE FACILITIES SHALL NOT BE REQUIRED IN BUSINESS OCCUPANCIES IN WHICH THE MAXIMUM OCCUPANT LOAD IS 25 OR FEWER. 2902.6 SMALL OCCUPANCIES: DRINKING FOUNTAINS SHALL NOT BE REQUIRED FOR AN OCCUPANT LOAD OF 15 OR FEWER.</p>	<p>INDEX OF DRAWINGS:</p> <table border="1"> <tr> <td>General</td> <td>G1.00</td> <td>Title Sheet</td> </tr> <tr> <td>Architectural</td> <td>A1.00</td> <td>Architectural Site Plan</td> </tr> <tr> <td></td> <td>A2.00</td> <td>Life Safety Plan</td> </tr> <tr> <td></td> <td>A2.10</td> <td>Architectural Floor Plan</td> </tr> <tr> <td></td> <td>A2.20</td> <td>Architectural Ceiling Plan</td> </tr> <tr> <td></td> <td>A2.30</td> <td>Architectural Roof Plan</td> </tr> <tr> <td></td> <td>A4.00</td> <td>Exterior Elevations</td> </tr> <tr> <td></td> <td>A4.01</td> <td>Exterior Elevations</td> </tr> <tr> <td></td> <td>A4.10</td> <td>Building Sections</td> </tr> <tr> <td></td> <td>A4.11</td> <td>Building Sections</td> </tr> </table>	General	G1.00	Title Sheet	Architectural	A1.00	Architectural Site Plan		A2.00	Life Safety Plan		A2.10	Architectural Floor Plan		A2.20	Architectural Ceiling Plan		A2.30	Architectural Roof Plan		A4.00	Exterior Elevations		A4.01	Exterior Elevations		A4.10	Building Sections		A4.11	Building Sections																	
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<p>VICINITY MAP:</p> <p>MULTI-TENANT BUILDING 4719 TRADERS WAY THOMPSON'S STATION, TENNESSEE 37179</p>	<p>PROFESSIONAL OF RECORD:</p> <p>ARCHITECT: FUSION ARCHITECTURE, P.C. VOICE: 615.454.3916 CONTACT: KYLE M. KRAMER, ARCHITECT EMAIL: kkramer@fusionarchitecture.com</p>	<p>PROJECT DESCRIPTION:</p> <p>20,000 SF MULTI-TENANT BUILDING WITH FIRE PROTECTION (SPRINKLER) SYSTEM, FIRE ALARM AND ASSOCIATED SITE WORK</p>	<p>INDEX OF DRAWINGS:</p>																																															
<p>SYMBOLS LEGEND:</p> <table border="1"> <tr> <td>XXX</td> <td>ROOM NUMBER</td> <td>△</td> <td>KEY NOTE</td> </tr> <tr> <td>XXX</td> <td>DOOR NUMBER</td> <td>[PX]</td> <td>PARTITION TAG</td> </tr> <tr> <td>⊗</td> <td>WINDOW TAG</td> <td>⊗</td> <td>KEY NOTE</td> </tr> <tr> <td>⊗</td> <td>COLUMN GRID TAG</td> <td>⊗</td> <td>KEY NOTE</td> </tr> <tr> <td>X-XXX</td> <td>ELEVATION TAG</td> <td>⊗</td> <td>KEY NOTE</td> </tr> <tr> <td>X-XXX</td> <td>SECTION TAG</td> <td>⊗</td> <td>KEY NOTE</td> </tr> </table>	XXX	ROOM NUMBER	△	KEY NOTE	XXX	DOOR NUMBER	[PX]	PARTITION TAG	⊗	WINDOW TAG	⊗	KEY NOTE	⊗	COLUMN GRID TAG	⊗	KEY NOTE	X-XXX	ELEVATION TAG	⊗	KEY NOTE	X-XXX	SECTION TAG	⊗	KEY NOTE	<p>CONSULTANTS:</p>	<p>HATCH LEGEND:</p> <table border="1"> <tr> <td>[Hatch]</td> <td>FINISH WOOD</td> <td>[Hatch]</td> <td>EARTH</td> </tr> <tr> <td>[Hatch]</td> <td>ROUGH WOOD</td> <td>[Hatch]</td> <td>STRUCTURAL CONCRETE</td> </tr> <tr> <td>[Hatch]</td> <td>BATT INSULATION</td> <td>[Hatch]</td> <td>BRICK</td> </tr> <tr> <td>[Hatch]</td> <td>RIGID INSULATION</td> <td>[Hatch]</td> <td>CONCRETE MASONRY UNIT</td> </tr> <tr> <td>[Hatch]</td> <td>GYPSSUM WALL BOARD</td> <td>[Hatch]</td> <td>PLYWOOD</td> </tr> <tr> <td>[Hatch]</td> <td>METAL (LARGE SCALE)</td> <td>[Hatch]</td> <td>ACOUSTICAL TILE</td> </tr> </table>	[Hatch]	FINISH WOOD	[Hatch]	EARTH	[Hatch]	ROUGH WOOD	[Hatch]	STRUCTURAL CONCRETE	[Hatch]	BATT INSULATION	[Hatch]	BRICK	[Hatch]	RIGID INSULATION	[Hatch]	CONCRETE MASONRY UNIT	[Hatch]	GYPSSUM WALL BOARD	[Hatch]	PLYWOOD	[Hatch]	METAL (LARGE SCALE)	[Hatch]	ACOUSTICAL TILE
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Multi-Tenant Building
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Thompson's Station, Tennessee 37179

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LEGEND:

- PROPERTY LINE
- - - CENTERLINE OF DRAIN
- - - BUILDING LINE
- - - EASEMENT
- STREAM LINE
- STREAM BUFFER
- ① KEYNOTE
- TRUE NORTH
- PROJECT NORTH
- SPOT ELEVATION

PROPERTY INFORMATION:

PROPERTY ADDRESS: 4719 TRADERS WAY
THOMPSON'S STATION, TENNESSEE 37179

PARCEL ID: 153 01214 00004153

ACREAGE OF PARCEL: 3.20 ACRES (139,540 SF)

ZONING INFORMATION:

TOWN OF THOMPSON'S STATION LAND DEVELOPMENT ORDINANCE
UPDATED DECEMBER 19, 2025

ARTICLE 4: ZONING

4.1 GENERAL

4.1.4 ZONING DISTRICTS ESTABLISHED
COMMUNITY COMMERCIAL DISTRICT (CC)

4.4.3 ZONING DISTRICT DENSITY AND SITE DEVELOPMENT STANDARDS

TABLE 4-1 BULK STANDARDS FOR DENSITY, BUILDING HEIGHT AND LANDSCAPE SURFACE AREA

BUILDING HEIGHT IN STORES (MAX.):	4
LANDSCAPE SURFACE AREA (MIN.):	15%
ACTUAL LANDSCAPE SURFACE AREA:	39,334 / 139,540 = 0.28 (28%)

TABLE 4-3 BULK LOT STANDARDS FOR NONRESIDENTIAL BUILDING TYPES

FRONT YARD AND SIDE STREET SETBACK:	10'
SIDE YARD SETBACK:	8'
REAR YARD SETBACK:	15'

TABLE 4-4 PERMITTED USES TABLE

PRIVATE RECREATIONAL FACILITIES:	PERMITTED*	*4.8.1
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4.9 PARKING STANDARDS

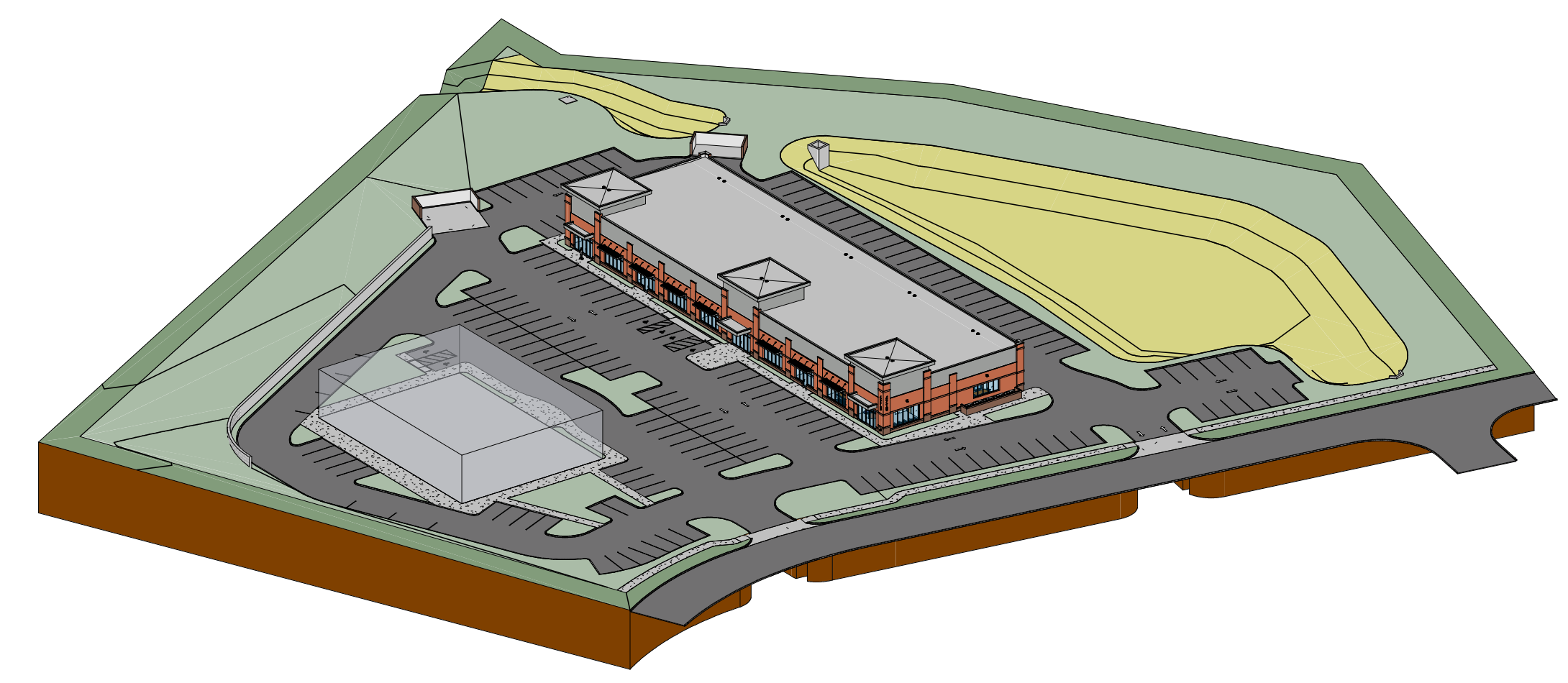
4.9.2 MINIMUM REQUIRED AUTOMOBILE PARKING

TABLE 4-5 REQUIRED PARKING TABLE

OFFICE AND GENERAL BUSINESS:	1 PER 250 SF
PRIVATE RECREATIONAL FACILITIES:	20,000 / 250 = 80 REQUIRED SPACES
RETAIL AND PERSONAL SERVICE:	10 + 1 / 200 SF IN EXCESS OF 1,000 SF
	10 + 19,000 / 200 = 105 REQUIRED SPACES
	3.33 PER 1,000 SF
	20 x 3.33 = 67 REQUIRED SPACES
TOTAL PROPOSED PARKING:	84 SPACES
4715 TRADERS WAY:	1 PER 250 SF
	18,000 / 250 = 72 REQUIRED SPACES
TOTAL PROVIDED PARKING:	70 SPACES

SITE PLAN KEYNOTES:

- ① EXISTING CONCRETE PAVING
- ② EXISTING CONCRETE SIDEWALK (PUBLIC)
- ③ EXISTING ASPHALT PAVING
- ④ EXISTING CONCRETE SIDEWALK
- ⑤ EXISTING STANDARD PARKING
- ⑥ EXISTING ACCESSIBLE PARKING
- ⑦ ACCESSIBLE AISLE
- ⑧ EXISTING MONUMENT SIGN
- ⑨ EXISTING DUMPSTER ENCLOSURE
- ⑩ SEWER EASEMENT
- ⑪ EXISTING SEWER LIFT STATION
- ⑫ PROPOSED CONCRETE PAVING
- ⑬ PROPOSED CONCRETE SIDEWALK (PUBLIC)
- ⑭ PROPOSED ASPHALT PAVING
- ⑮ PROPOSED CONCRETE SIDEWALK
- ⑯ PROPOSED STANDARD PARKING
- ⑰ PROPOSED ACCESSIBLE PARKING
- ⑱ LANDSCAPE SURFACE AREA (LSA) 20% MIN.
- ⑲ EXISTING STORMWATER MANAGEMENT AREA (DRY POND)
- ⑳ EXISTING STORMWATER MANAGEMENT STRUCTURE
- ㉑ EXISTING STORMWATER OUTFALL
- ㉒ TOP OF BANK
- ㉓ EXISTING RETAINING WALL



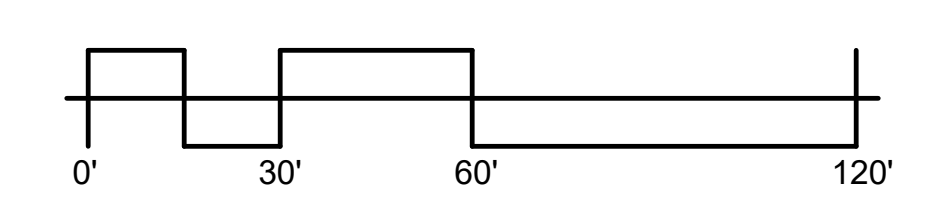
② Site Axonometric



PARCEL ID: 153 01219 00004153

PARCEL ID: 153 01100 00004153

PARCEL ID: 153 01213 00004153



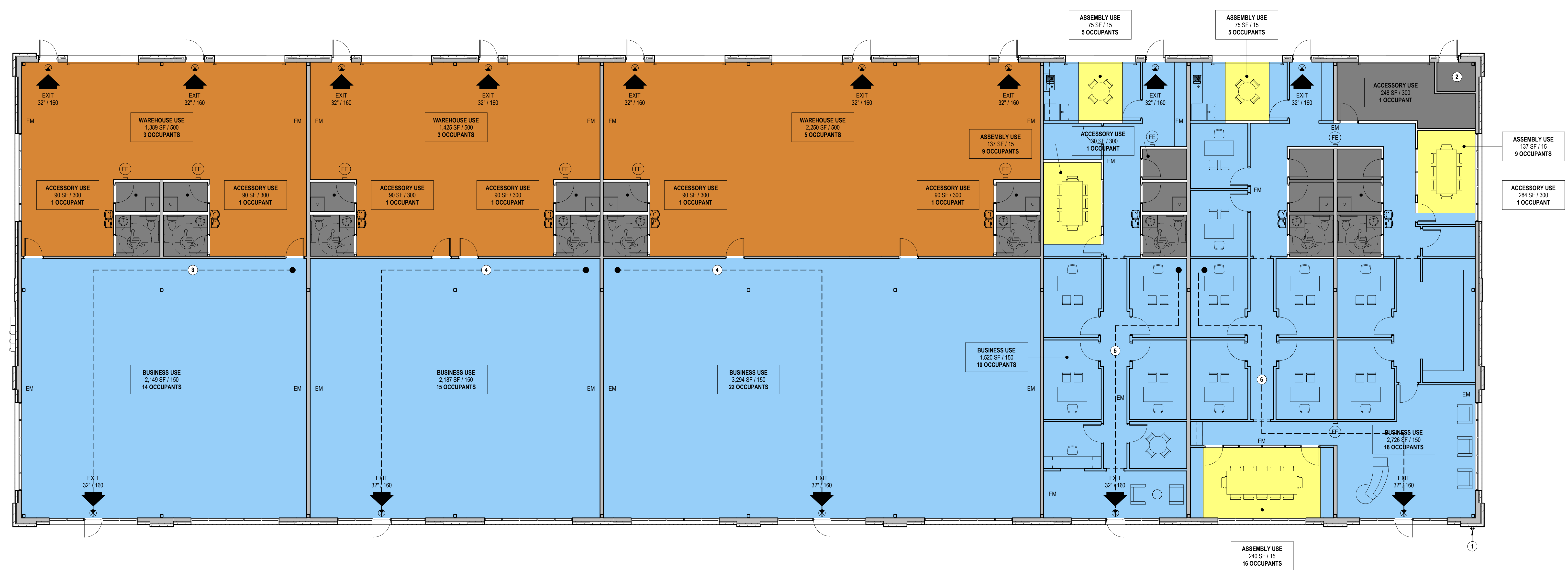
LEGEND:	LIFE SAFETY PLAN GENERAL NOTES:	LIFE SAFETY PLAN PROJECT NOTES:	LIFE SAFETY PLAN KEYNOTES:
<p>ACCESSORY USE: 300 SF PER OCCUPANT</p> <p>BUSINESS USE: 150 SF PER OCCUPANT</p> <p>WAREHOUSE USE: 500 SF PER OCCUPANT</p> <p>DIAGONAL DISTANCE</p> <p>TRAVEL DISTANCE</p> <p>SOUND PARTITION</p> <p>FIRE RATED WALL</p> <p>REQUIRED EXIT</p> <p>FIRE EXTINGUISHER AND CABINET</p> <p>1-HOUR FIRE RATING</p> <p>20-MINUTE FIRE RATED DOOR AND FRAME</p> <p>45-MINUTE FIRE RATED DOOR AND FRAME</p> <p>60-MINUTE FIRE RATED DOOR AND FRAME</p> <p>ILLUMINATED EXIT SIGN</p> <p>EM EMERGENCY LIGHT</p>	<p>1. THIS BUILDING IS PROTECTED THROUGHOUT BY AN AUTOMATIC FIRE PROTECTION (SPRINKLER) SYSTEM AND FIRE ALARM SYSTEM.</p> <p>2. ALL OCCUPIED ROOMS SHALL HAVE SIGNAGE TO COMPLY WITH THE AMERICANS WITH DISABILITIES ACT AS REQUIRED.</p> <p>3. TYPE 2A-10B-C FIRE EXTINGUISHERS ARE LOCATED AS SHOWN ON THE DRAWINGS. TOP OF EXTINGUISHERS SHALL BE MOUNTED AT 60" AFF (FOR EXTINGUISHERS WEIGHING LESS THAN 40 LBS.)</p> <p>4. EMERGENCY AND EXIT LIGHTING IS LOCATED AS SHOWN ON THE DRAWINGS.</p>	<p>2021 IBC</p> <p>IBC CHAPTER 6: TYPES OF CONSTRUCTION</p> <p>IBC SECTION 601: GENERAL</p> <p>TYPE II-B</p> <p>PRIMARY STRUCTURAL FRAME: 0</p> <p>BEARING WALLS (EXTERIOR): 2</p> <p>BEARING WALLS (INTERIOR): 0</p> <p>NONBEARING WALLS (EXTERIOR): 0</p> <p>NONBEARING WALLS (INTERIOR): 0</p> <p>FLOOR CONSTRUCTION: 0</p> <p>FLOOR CONSTRUCTION: 0</p> <p>IBC CHAPTER 10: MEANS OF EGRESS</p> <p>IBC SECTION 1004: OCCUPANT LOAD</p> <p>TABLE 1004.1.2: MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT</p> <p>SUITE 101-102: ACCESSORY USE: 180 SF / 300 = 2 OCCUPANTS BUSINESS USE: 2,149 SF / 150 = 14 OCCUPANTS WAREHOUSE USE: 1,389 SF / 500 = 3 OCCUPANTS SUITE 101-102 OCCUPANT LOAD: 19 OCCUPANTS</p> <p>SUITE 103-104: ACCESSORY USE: 180 SF / 300 = 2 OCCUPANTS BUSINESS USE: 2,187 SF / 150 = 15 OCCUPANTS WAREHOUSE USE: 1,423 SF / 500 = 3 OCCUPANTS SUITE 103-104 OCCUPANT LOAD: 20 OCCUPANTS</p> <p>SUITE 105-107: ACCESSORY USE: 180 SF / 300 = 2 OCCUPANTS BUSINESS USE: 3,294 SF / 150 = 22 OCCUPANTS WAREHOUSE USE: 2,250 SF / 500 = 5 OCCUPANTS SUITE 105-107 OCCUPANT LOAD: 29 OCCUPANTS</p> <p>SUITE 108: ACCESSORY USE: 130 SF / 300 = 1 OCCUPANT BUSINESS USE: 1,521 SF / 150 = 10 OCCUPANTS ASSEMBLY USE: 212 SF / 15 = 14 OCCUPANTS SUITE 108 OCCUPANT LOAD: 25 OCCUPANTS</p> <p>SUITE 109-110: ACCESSORY USE: 532 SF / 300 = 2 OCCUPANTS BUSINESS USE: 2,726 SF / 150 = 18 OCCUPANTS ASSEMBLY USE: 452 SF / 15 = 30 OCCUPANTS SUITE 109-110 OCCUPANT LOAD: 50 OCCUPANTS</p> <p>IBC SECTION 1005: MEANS OF EGRESS SIZING</p> <p>OTHER EGRESS COMPONENTS</p> <p>0.2-INCH PER OCCUPANT</p> <p>SUITE 101-102: 19 (0.2) = 3.8 INCHES</p> <p>SUITE 103-104: 20 (0.2) = 4.0 INCHES</p> <p>SUITE 105-107: 29 (0.2) = 5.8 INCHES</p> <p>SUITE 108-110: 50 (0.2) = 10.0 INCHES</p> <p>IBC SECTION 1006: NUMBER OF EXITS AND EXIT ACCESS DOORWAYS</p> <p>TABLE 1006.2.1: SPACES WITH ONE EXIT OR EXIT ACCESS DOORWAY</p> <p>GROUP B1S MAXIMUM OCCUPANT LOAD: 49</p> <p>GROUP B1S MAXIMUM COMMON PATH OF TRAVEL: 100' WITH SPRINKLER SYSTEM</p> <p>IBC SECTION 1007: EXIT AND EXIT ACCESS DOORWAY CONFIGURATION</p> <p>TABLE 1007.1.1: TWO EXITS OR EXIT ACCESS DOORWAYS</p> <p>WHERE TWO EXITS ARE REQUIRED FROM ANY PORTION OF THE EXIT ACCESS, THEY SHALL BE PLACED A DISTANCE APART EQUAL TO NOT LESS THAN ONE-THIRD OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE BUILDING</p> <p>IBC SECTION 1017: EXIT ACCESS TRAVEL DISTANCE</p> <p>TABLE 1017.2: EXIT ACCESS TRAVEL DISTANCE</p> <p>EXIT ACCESS TRAVEL DISTANCE</p> <p>GROUP B MAXIMUM TRAVEL DISTANCE TO EXIT WITH SPRINKLER SYSTEM: 300'</p> <p>GROUP S-1 MAXIMUM TRAVEL DISTANCE TO EXIT WITH SPRINKLER SYSTEM: 250'</p> <p>IBC SECTION 1020: CORRIDORS</p> <p>TABLE 1020.2: CORRIDOR FIRE-RESISTANCE RATING</p> <p>GROUP B1S OCCUPANT LOAD SERVED BY CORRIDOR LESS THAN 30' WITH SPRINKLER SYSTEM: WALL AND DOOR RATING NOT REQUIRED</p> <p>MINIMUM CORRIDOR WIDTH</p> <p>36 INCHES</p> <p>DEAD ENDS</p> <p>GROUP B1S MAXIMUM DEAD END CORRIDOR WITH SPRINKLER SYSTEM: 50'</p> <p>IBC SECTION 1028: EXIT DISCHARGE</p> <p>TABLE 1028.2: GENERAL</p> <p>EXITS SHALL DISCHARGE DIRECTLY TO THE EXTERIOR OF THE BUILDING</p>	<p>① FIRE DEPARTMENT CONNECTION (FDC)</p> <p>② FIRE SPRINKLER RISER</p> <p>③ TRAVEL DISTANCE TO EXIT: 76'-0" < 300'-0" (MAX.)</p> <p>④ TRAVEL DISTANCE TO EXIT: 77'-0" < 300'-0" (MAX.)</p> <p>⑤ TRAVEL DISTANCE TO EXIT: 52'-6" < 300'-0" (MAX.)</p> <p>⑥ TRAVEL DISTANCE TO EXIT: 76'-6" < 300'-0" (MAX.)</p> <p>⑦</p> <p>⑧</p> <p>⑨</p> <p>⑩</p>

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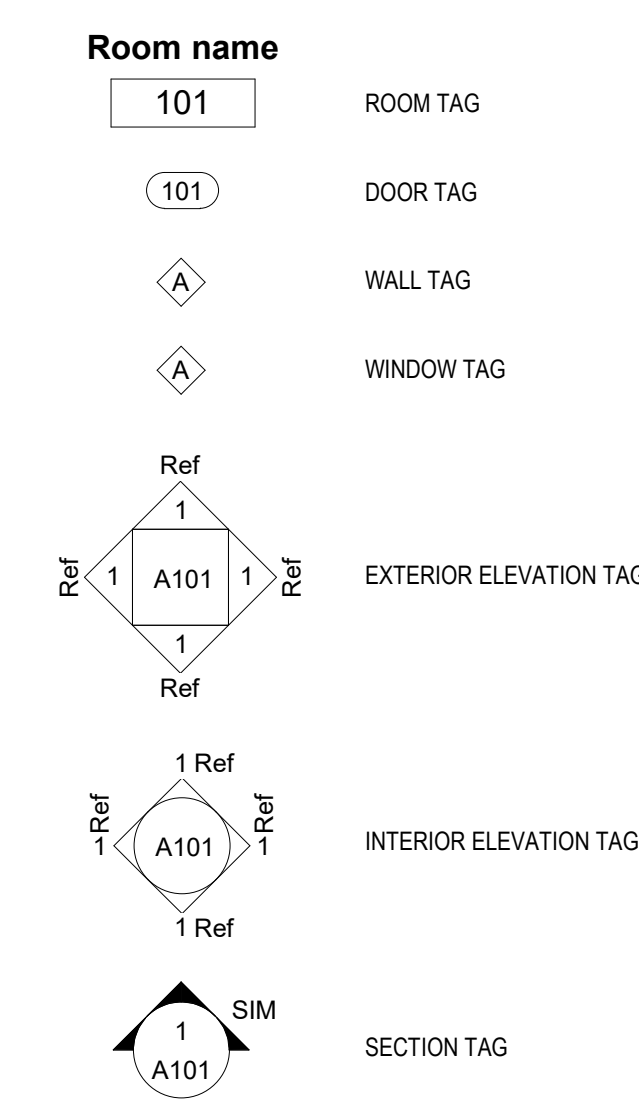
These plans were prepared in this office under our personal supervision, and to the best of our knowledge comply with state and local codes.

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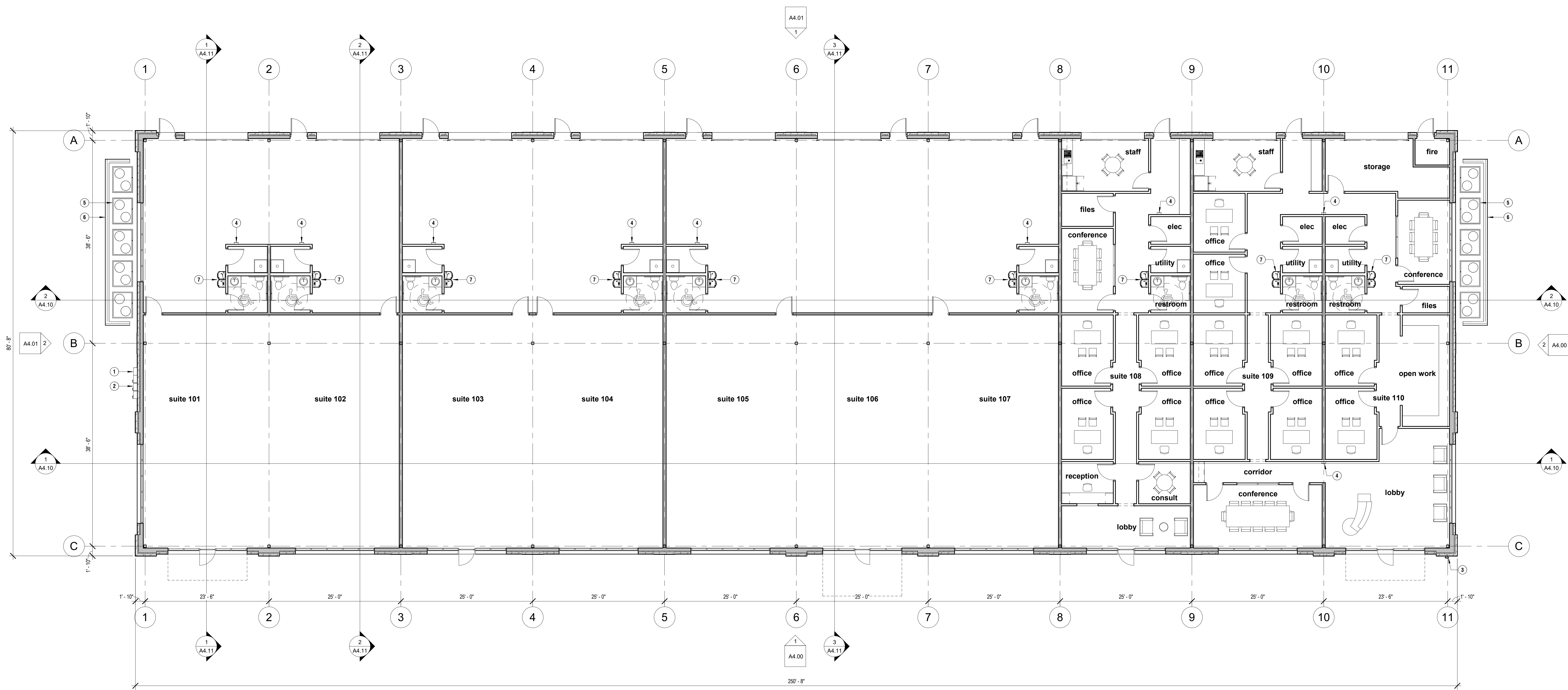


TENANT AREAS:

SUITE 101-102:	3,718 SF
SUITE 103-104:	3,792 SF
SUITE 105-107:	5,724 SF
SUITE 108:	1,972 SF
SUITE 109-110:	3,718 SF

FLOOR PLAN KEYNOTES:

- 1 ELECTRICAL SERVICE ENTRANCE
- 2 ELECTRICAL METERS
- 3 FIRE DEPARTMENT CONNECTION (FDC)
- 4 FIRE EXTINGUISHER AND CABINET
- 5 CONDENSING UNIT
- 6 SCREEN WALL PER THOMPSON'S STATION LDO
- 7 HI-LO ACCESSIBLE DRINKING FOUNTAIN
- 8
- 9
- 10



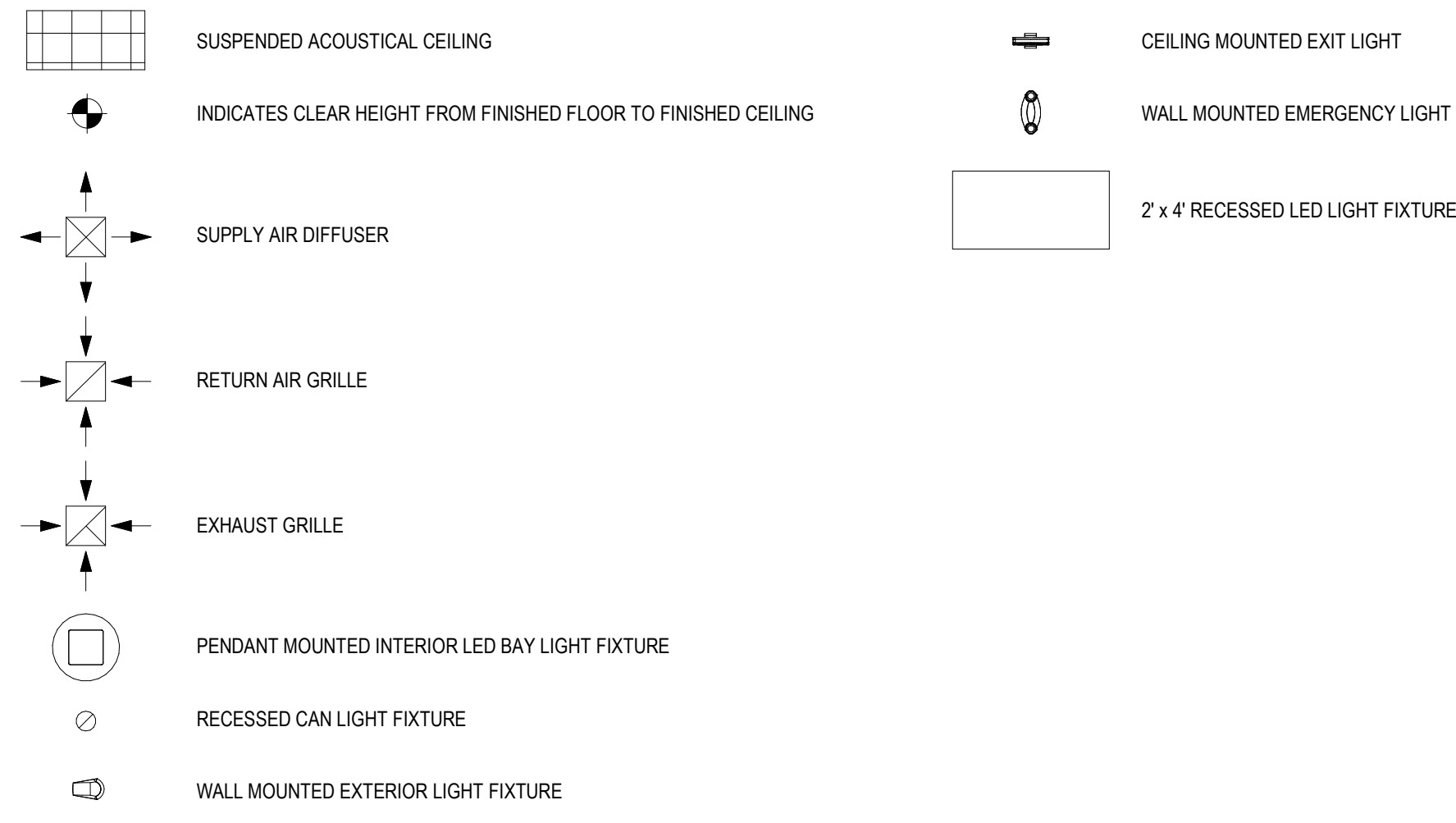
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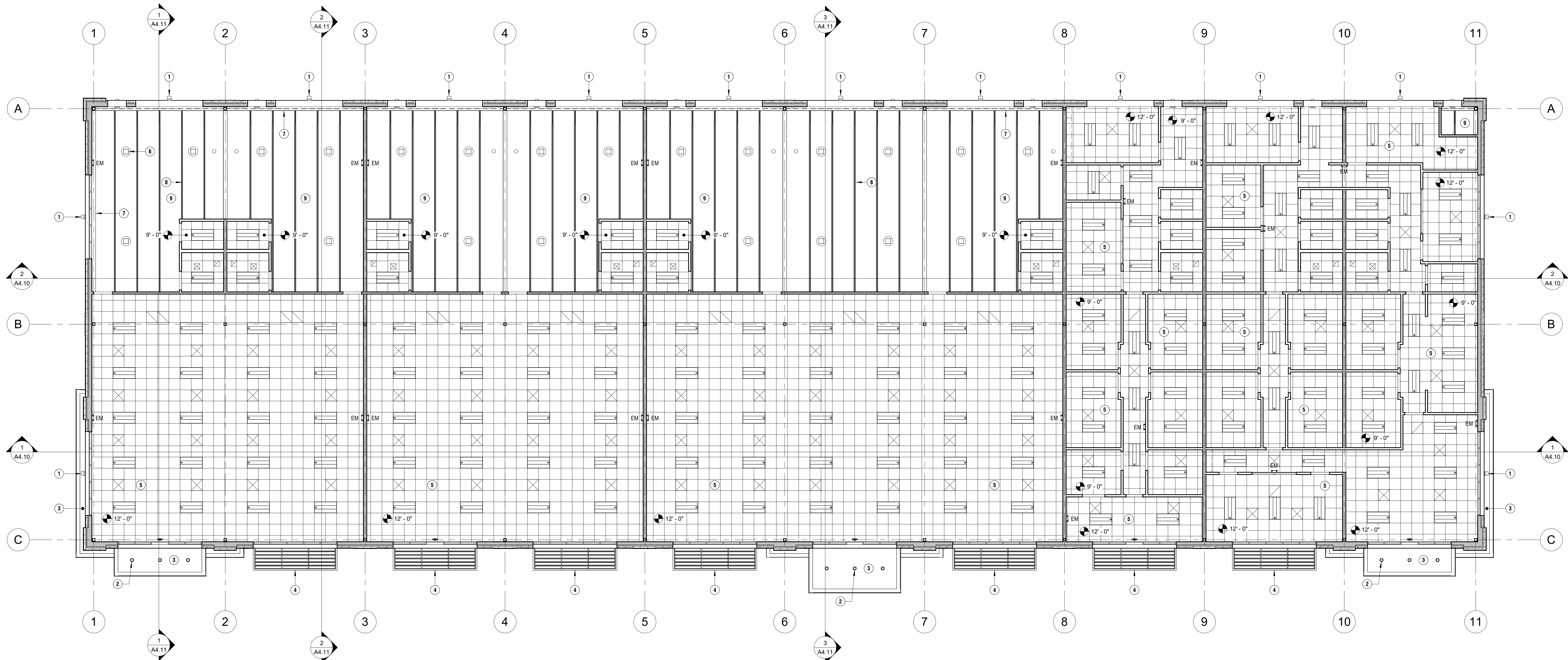
CEILING PLAN KEYNOTES:

- 1 WALL MOUNTED EXTERIOR LED LIGHT FIXTURE
- 2 RECESSED LED CAN LIGHT FIXTURE
- 3 FLUSH METAL PANEL SOFFIT
- 4 EXTRUDED ALUMINUM SHADE SYSTEM
- 5 SUSPENDED ACOUSTICAL CEILING SYSTEM
- 6 PENDANT MOUNTED INTERIOR LED BAY LIGHT FIXTURE
- 7 STEEL BEAM
- 8 OPEN WEB STEEL BAR JOIST
- 9 METAL ROOF DECK
- 10

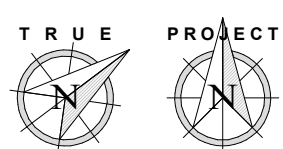
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Scales as stated hereon are valid on the original drawing only.
These plans were prepared in the office under our personal supervision, and to the best of our knowledge comply with state and local codes.

PHASE REVISION	DATE
SCHEMATIC DESIGN	06.13.2020
DESIGN DEVELOPMENT	
CONSTRUCTION DOCUMENTS	



Multi-Tenant Building
4719 Traders Way
Thompson's Station, Tennessee 37179



1 Architectural Ceiling Plan
1/8" = 1'-0"

PROJECT NUMBER	14-006-26
SHEET TITLE	Architectural Ceiling Plan
SHEET NUMBER	A2.20

LEGEND:

- RD ROOF DRAIN
- OD OVERFLOW DRAIN
- VTR VENT THROUGH ROOF
- EF EXHAUST FAN

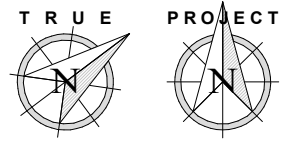
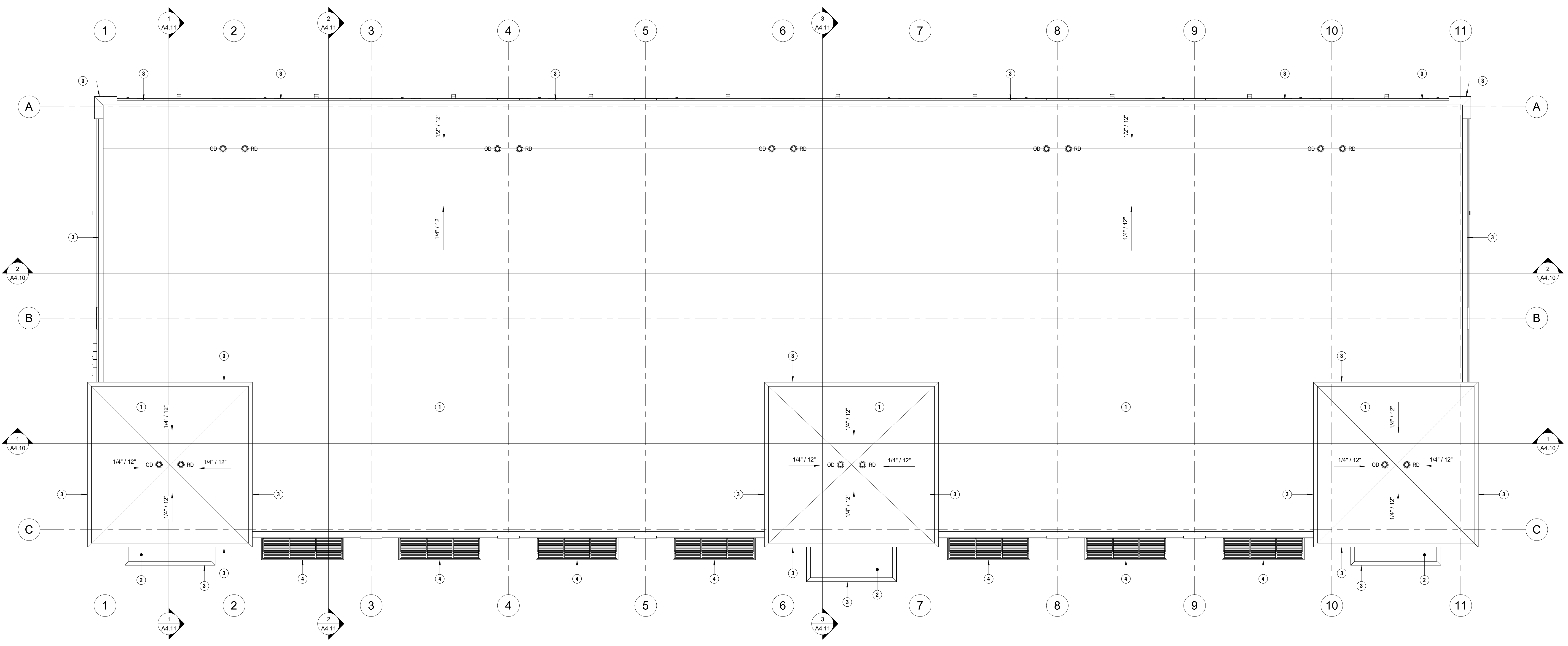
ROOF PLAN KEYNOTES:

- ① ROOF SYSTEM: TPO MEMBRANE | 1/2" EXTERIOR GRADE GYPSUM BOARD DECKING | TAPERED INSULATION | 4" POLYISOCYANURATE INSULATION | 1 1/2" METAL DECK
- ② ROOF SYSTEM: TPO MEMBRANE | 1/2" EXTERIOR GRADE GYPSUM BOARD DECKING | TAPERED INSULATION | 1" POLYISOCYANURATE INSULATION | 1 1/2" METAL DECK
- ③ PRE-FINISHED METAL COPING
- ④ EXTRUDED ALUMINUM SHADE SYSTEM
- ⑤
- ⑥
- ⑦
- ⑧
- ⑨
- ⑩

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PHASE REVISION	DATE
SCHEMATIC DESIGN	06.13.2020
DESIGN DEVELOPMENT	
CONSTRUCTION DOCUMENTS	

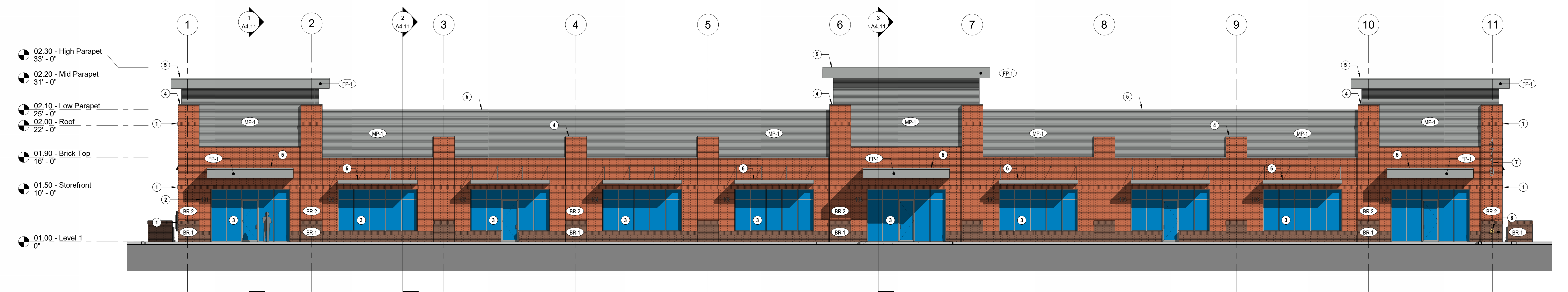


① Architectural Roof Plan
1/8" = 1'-0"

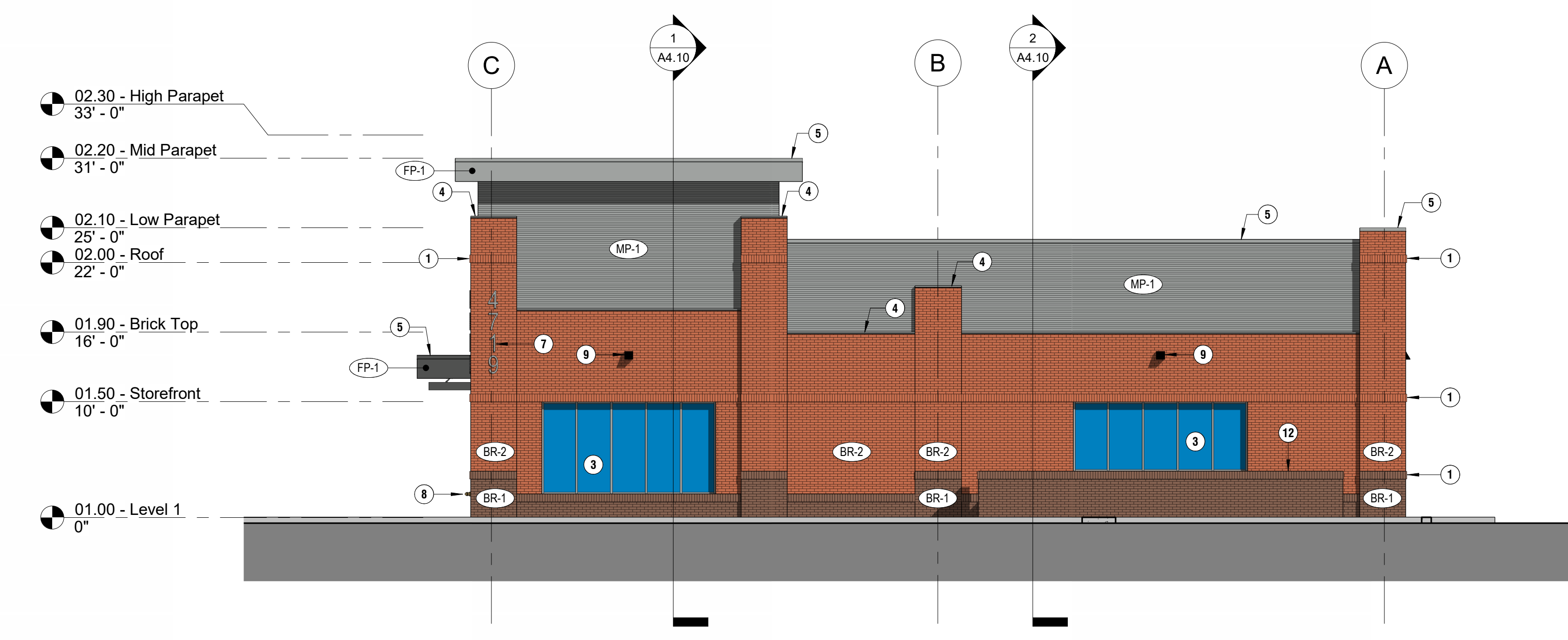
Multi-Tenant Building
 4719 Traders Way
 Thompson's Station, Tennessee 37179

PROJECT NUMBER	14-006-26
SHEET TITLE	Architectural Roof Plan
SHEET NUMBER	A2.30

EXTERIOR MATERIALS LEGEND:	PERCENTAGE OF EXTERIOR MATERIALS:	BUILDING ENVELOPE REQUIREMENTS:	EXTERIOR ELEVATION KEYNOTES:
<p>BR-1 BRICK VENEER (BR-1)</p> <p>BR-2 BRICK VENEER (BR-2)</p> <p>MP-1 WALL PANELS MANUFACTURER: BERRIDGE PRODUCT: BR-12 COLOR NAME: CITYSCAPE</p> <p>FP-1 FASCIA PANELS MANUFACTURER: BERRIDGE PRODUCT: FLUSH PANEL COLOR NAME: CITYSCAPE</p>	<p>north facade brick 2,548 sf (59%) metal panels 1,797 sf (41%) window openings with glazing 0 sf (0%) door openings 1,680 sf (28%) total north facade 6,925 sf</p> <p>south facade brick 3,147 sf (59%) metal panels 2,194 sf (41%) window openings with glazing 1,303 sf (20%) door openings 0 sf (0%) total south facade 6,644 sf</p> <p>east facade brick 1,222 sf (67%) metal panels 611 sf (33%) window openings with glazing 240 sf (12%) door openings 0 sf (0%) total east facade 2,073 sf</p> <p>west facade brick 1,222 sf (67%) metal panels 611 sf (33%) window openings with glazing 240 sf (12%) door openings 0 sf (0%) total west facade 2,073 sf</p> <p>exterior totals brick 8,139 sf (61%) metal panels 5,213 sf (39%) window openings with glazing 1,783 sf (11%) door openings 1,680 sf (11%) total facade 16,815 sf</p>	<p>2018 IECC</p> <p>TABLE C402.1.3 OPAQUE THERMAL ENVELOPE INSULATION COMPONENT MINIMUM REQUIREMENTS, R-VALUE METHOD</p> <p>CLIMATE ZONE 4A</p> <p>ROOFS INSULATION ENTIRELY ABOVE ROOF DECK: R-30s</p> <p>WALLS, ABOVE GRADE METAL FRAMED: R-13 + 7.5s</p> <p>SLAB-ON-GRADE FLOORS UNHEATED SLABS: R-10 for 24" below</p> <p>OPAQUE DOORS NONSWINGING: R-4.75</p> <p>TABLE C402.4 BUILDING ENVELOPE FENESTRATION MAXIMUM U-FACTOR AND SHGC REQUIREMENTS</p> <p>CLIMATE ZONE 4A</p> <p>VERTICAL FENESTRATION</p> <p>U-FACTOR FIXED FENESTRATION: 0.38 OPERABLE FENESTRATION: 0.45 ENTRANCE DOORS: 0.77</p> <p>SHGC ORIENTATION SEW N PF < 0.2: 0.36 0.48 0.2 < PF < 0.5: 0.43 0.53 PF > 0.5: 0.58 0.58</p>	<p>1 BRICK SOLDIER</p> <p>2 9" ALUMINUM CAST NUMBERS</p> <p>3 EXTRUDED ALUMINUM STOREFRONT SYSTEM WITH INSULATED GLAZING</p> <p>4 PRE-FINISHED METAL DRIP EDGE</p> <p>5 PRE-FINISHED METAL COPING</p> <p>6 EXTRUDED ALUMINUM SHADE SYSTEM</p> <p>7 18" ALUMINUM CAST NUMBERS</p> <p>8 FIRE DEPARTMENT CONNECTION (FDC)</p> <p>9 WALL MOUNTED LED EXTERIOR LIGHTING</p> <p>10 PAINTED EXTERIOR HOLLOW METAL DOOR AND FRAME</p> <p>11 ALUMINUM SECTIONAL DOOR WITH INSULATED GLAZING</p> <p>12 CONDENSING UNIT (SCREENED PER THOMPSON'S STATION LOD)</p> <p>13 ELECTRICAL SERVICE ENTRANCE</p> <p>14 ELECTRICAL METERS</p>



1 Exterior Elevation - South
1/8" = 1'-0"



2 Exterior Elevation - East
1/8" = 1'-0"



3 Southeast Perspective

EXTERIOR MATERIALS LEGEND:

	BRICK VENEER (BR-1)
	BRICK VENEER (BR-2)
	WALL PANELS MANUFACTURER: BERRIDGE PRODUCT: BR-12 COLOR NAME: CITYSCAPE
	FASCIA PANELS MANUFACTURER: BERRIDGE PRODUCT: FLUSH PANEL COLOR NAME: CITYSCAPE

PERCENTAGE OF EXTERIOR MATERIALS:

north facade brick 2,548 sf (59%) metal panels 1,797 sf (41%) window openings with glazing 0 sf (0%) door openings 1,880 sf (28%) total north facade 6,925 sf
south facade brick 3,147 sf (59%) metal panels 2,194 sf (41%) window openings with glazing 1,303 sf (20%) door openings 0 sf (0%) total south facade 6,644 sf
east facade brick 1,222 sf (67%) metal panels 611 sf (33%) window openings with glazing 240 sf (12%) door openings 0 sf (0%) total east facade 2,073 sf
west facade brick 1,222 sf (67%) metal panels 611 sf (33%) window openings with glazing 240 sf (12%) door openings 0 sf (0%) total west facade 2,073 sf
exterior totals brick 8,139 sf (61%) metal panels 5,213 sf (39%) window openings with glazing 1,783 sf (11%) door openings 1,880 sf (11%) total facade 16,815 sf

BUILDING ENVELOPE REQUIREMENTS:

2018 IECC
TABLE C402.1.3 OPAQUE THERMAL ENVELOPE INSULATION COMPONENT MINIMUM REQUIREMENTS, R-VALUE METHOD
CLIMATE ZONE 4A

INSULATION ENTIRELY ABOVE ROOF DECK: R-30s
WALLS, ABOVE GRADE METAL FRAMED: R-13 + 7.5s
SLAB-ON-GRADE FLOORS UNHEATED SLABS: R-10 for 24" below
OPAQUE DOORS NONSWINGING: R-4.75

TABLE C402.4 BUILDING ENVELOPE FENESTRATION MAXIMUM U-FACTOR AND SHGC REQUIREMENTS
CLIMATE ZONE 4A

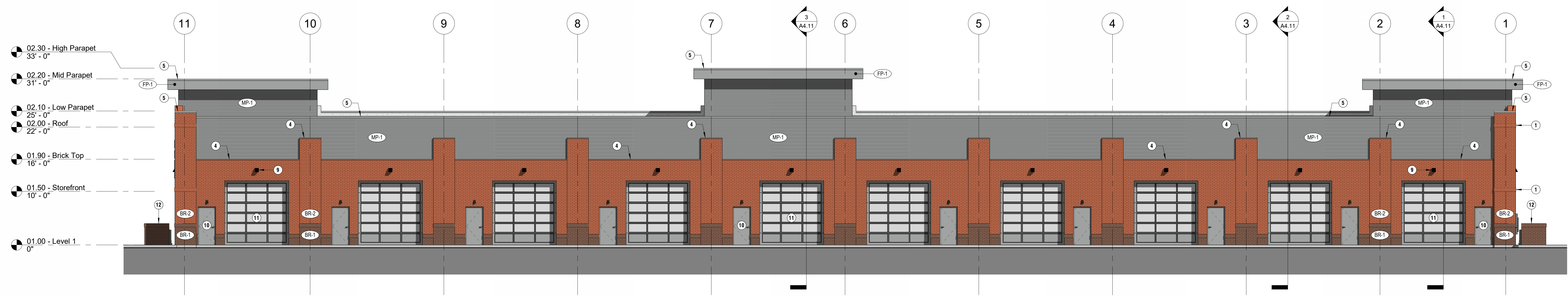
VERTICAL FENESTRATION

U-FACTOR
FIXED FENESTRATION: 0.38
OPERABLE FENESTRATION: 0.45
ENTRANCE DOORS: 0.77

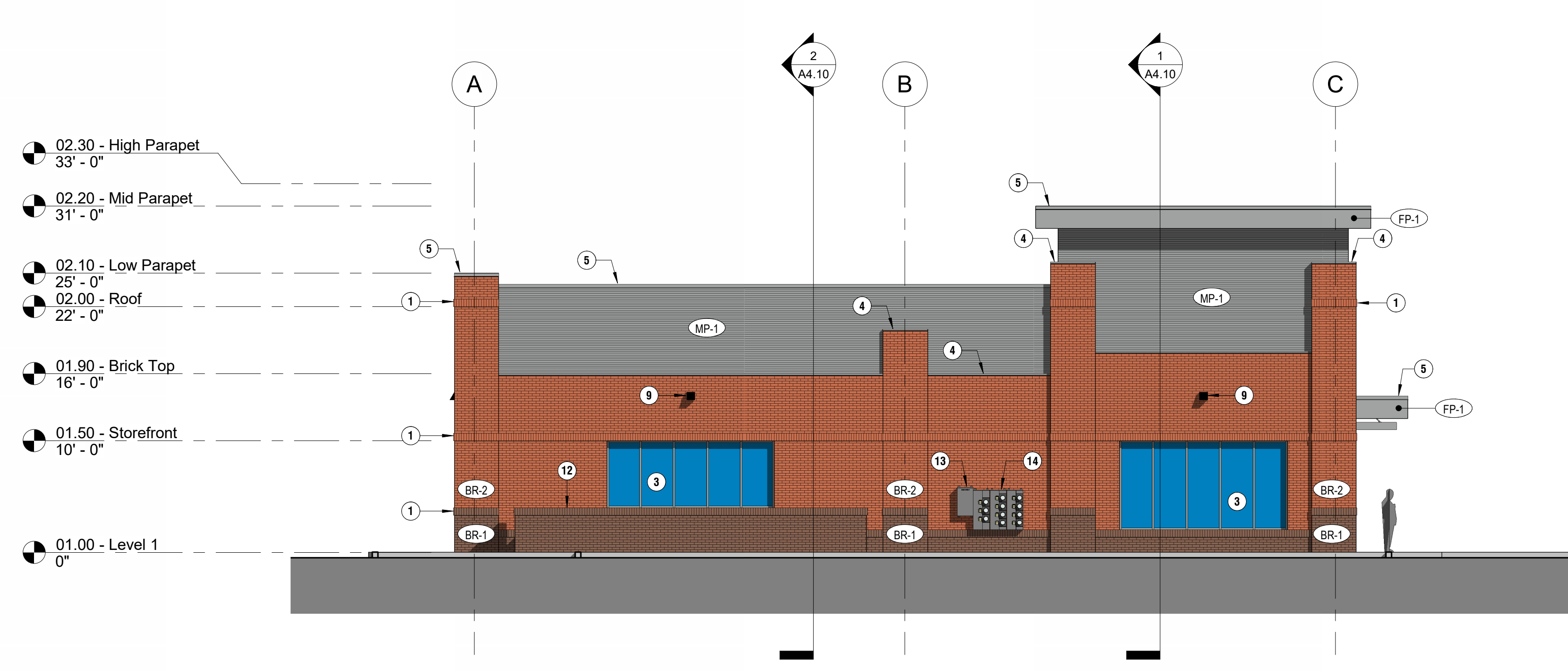
SHGC
ORIENTATION SEW N
PF < 0.2: 0.30 0.48
0.2 < PF < 0.5: 0.43 0.53
PF > 0.5: 0.58 0.58

EXTERIOR ELEVATION KEYNOTES:

- 1 BRICK SOLDIER
- 2 9" ALUMINUM CAST NUMBERS
- 3 EXTRUDED ALUMINUM STOREFRONT SYSTEM WITH INSULATED GLAZING
- 4 PRE-FINISHED METAL DRIP EDGE
- 5 PRE-FINISHED METAL COPING
- 6 EXTRUDED ALUMINUM SHADE SYSTEM
- 7 18" ALUMINUM CAST NUMBERS
- 8 FIRE DEPARTMENT CONNECTION (FDC)
- 9 WALL MOUNTED LED EXTERIOR LIGHTING
- 10 PAINTED EXTERIOR HOLLOW METAL DOOR AND FRAME
- 11 ALUMINUM SECTIONAL DOOR WITH INSULATED GLAZING
- 12 CONDENSING UNIT (SCREENED PER THOMPSON'S STATION LOD)
- 13 ELECTRICAL SERVICE ENTRANCE
- 14 ELECTRICAL METERS



1 Exterior Elevation - North
1/8" = 1'-0"



2 Exterior Elevation - West
1/8" = 1'-0"



3 Northwest Perspective



FUSION ARCHITECTURE, PC
V: 615.454.3916
W: FUSIONARCHITECTURE.COM

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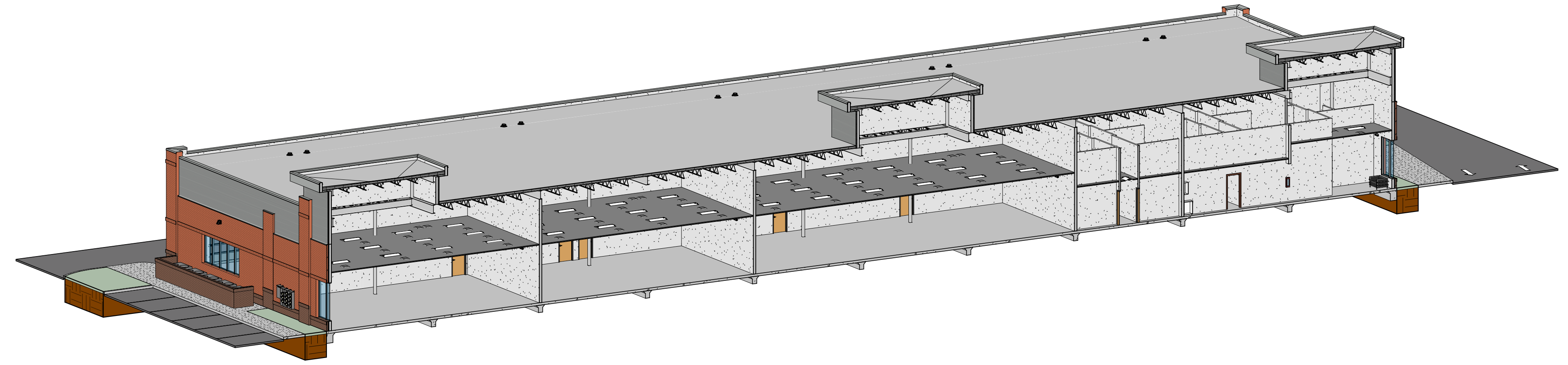
PHASE REVISION	2018
SCHEMATIC DESIGN	06.13.2020
DESIGN DEVELOPMENT	
CONSTRUCTION DOCUMENTS	

Multi-Tenant Building
 4719 Traders Way
 Thompson's Station, Tennessee 37179

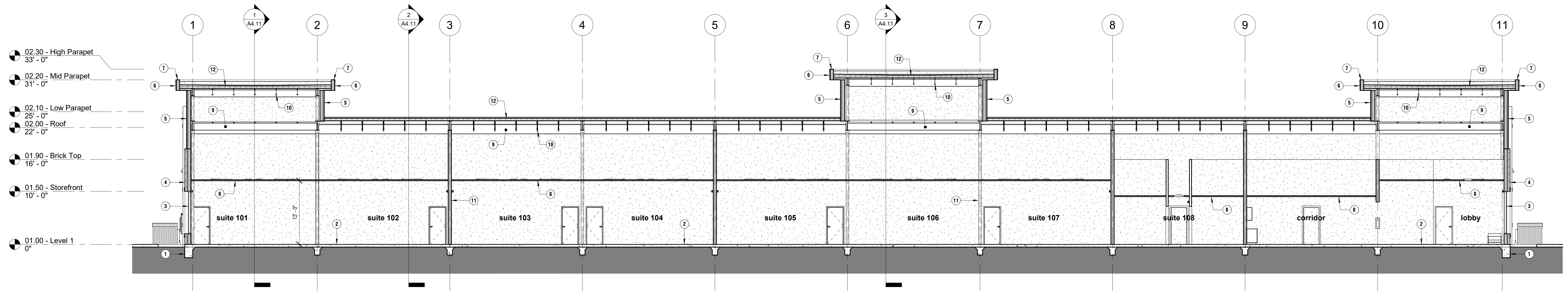
PROJECT NUMBER	14-006-26
SHEET TITLE	Exterior Elevations
SHEET NUMBER	A4.01

SECTION KEYNOTES:

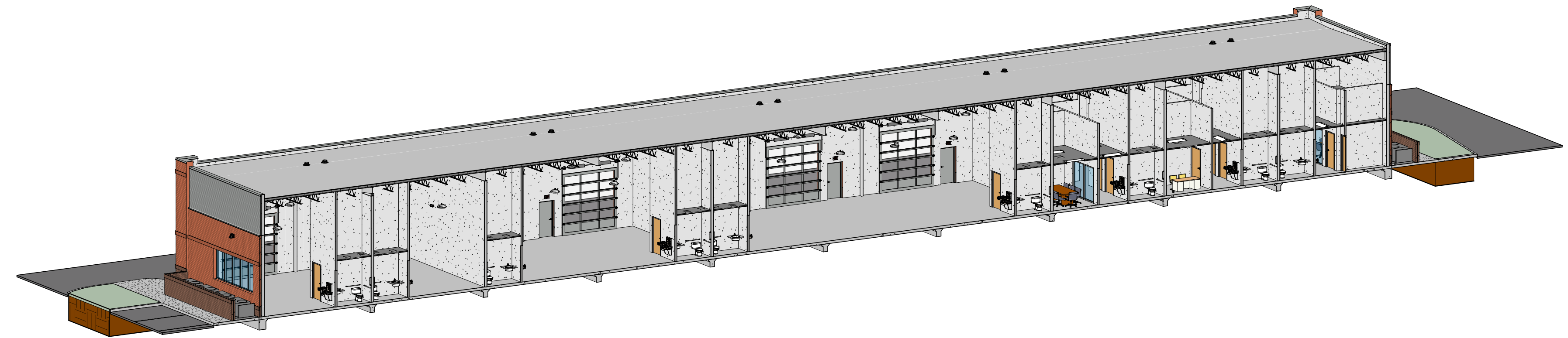
- 1 CONCRETE FOUNDATION
- 2 CONCRETE FLOOR SLAB
- 3 EXTRUDED ALUMINUM STOREFRONT SYSTEM WITH INSULATED GLAZING
- 4 EXTERIOR WALL: BRICK VENEER | WEATHER BARRIER | 1.5" (R-7.5) RIGID INSULATION | 5/8" EXTERIOR GYPSUM BOARD SHEATHING | 18 GAUGE, 6" METAL STUDS AT 16" O.C. | 6" (R-19) BATT INSULATION | 5/8" GYPSUM BOARD
- 5 EXTERIOR WALL: METAL WALL PANELS (BR-12) | WEATHER BARRIER | 1.5" (R-7.5) RIGID INSULATION | 5/8" EXTERIOR GYPSUM BOARD SHEATHING | 18 GAUGE, 6" METAL STUDS AT 16" O.C. | 6" (R-19) BATT INSULATION | 5/8" GYPSUM BOARD
- 6 FLUSH METAL FASCIA PANELS ON 18 GAUGE, 6" METAL STUD FRAMING
- 7 PRE-FINISHED METAL COPING
- 8 SUSPENDED ACOUSTICAL CEILING SYSTEM
- 9 STEEL BEAM
- 10 OPEN WEB STEEL BAR JOIST
- 11 TUBE STEEL COLUMN
- 12 ROOF SYSTEM: TPO MEMBRANE | 1/2" EXTERIOR GRADE GYPSUM BOARD DECKING | TAPERED INSULATION | 4" POLYISOCYANURATE INSULATION | 1/2" METAL DECK
- 13 CONDENSING UNIT
- 14 SCREEN WALL PER THOMPSON'S STATION LDO
- 15 HOLLOW METAL DOOR AND FRAME
- 16 ALUMINUM SECTIONAL DOOR WITH INSULATED GLAZING
- 17 WALL MOUNTED EXTERIOR LED LIGHT FIXTURE
- 18 PENDANT MOUNTED INTERIOR LED BAY LIGHT FIXTURE
- 19 PRE-FINISHED METAL DRIP EDGE
- 20 ROOF SYSTEM: TPO MEMBRANE | 1/2" EXTERIOR GRADE GYPSUM BOARD DECKING | TAPERED INSULATION | 1" POLYISOCYANURATE INSULATION | 1/2" METAL DECK
- 21 WALL MOUNTED LED EXTERIOR LIGHTING
- 22 EXTRUDED ALUMINUM SHADE SYSTEM
- 23 PENDANT MOUNTED INTERIOR LED BAY LIGHT FIXTURE



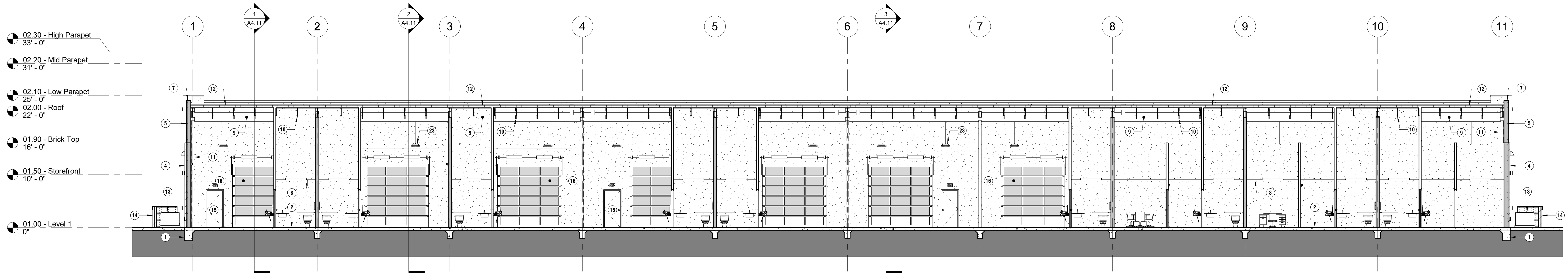
3 Section 1 Axonometric



1 Section 1
1/8" = 1'-0"



4 Section 2 Axonometric

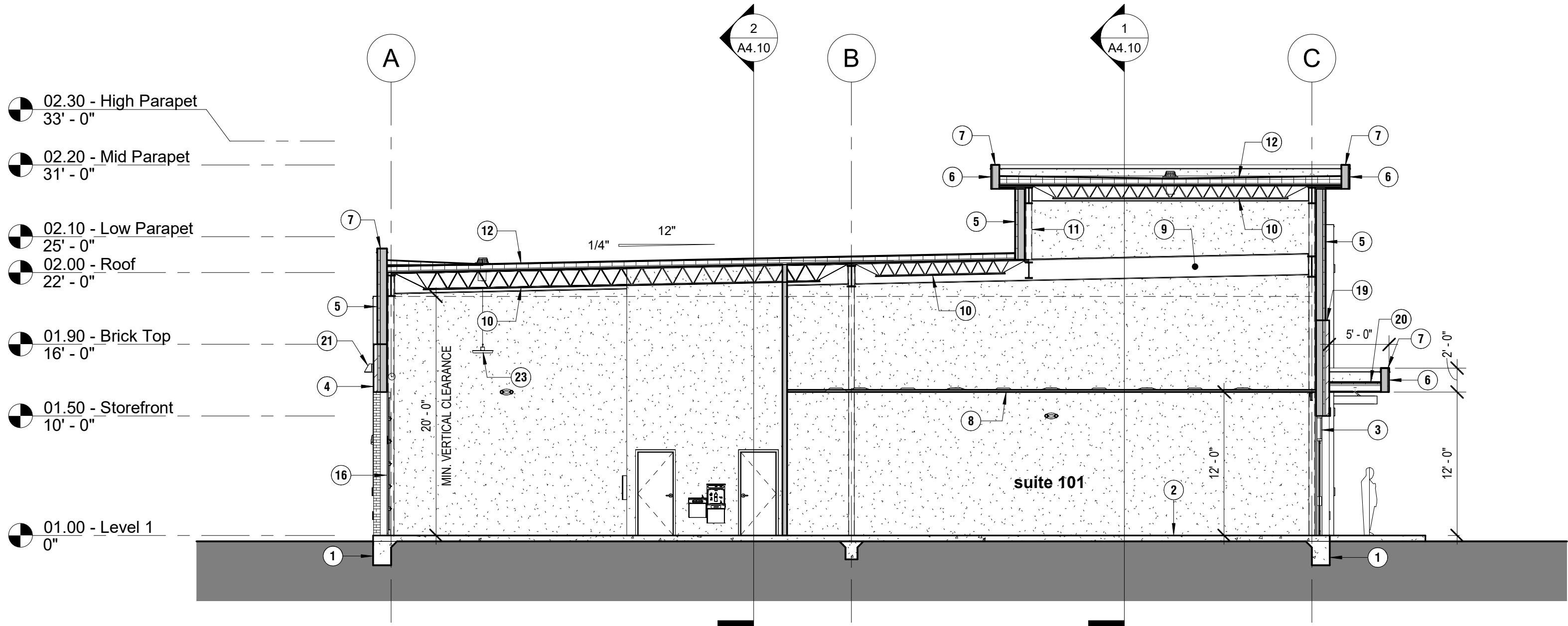


2 Section 2
1/8" = 1'-0"

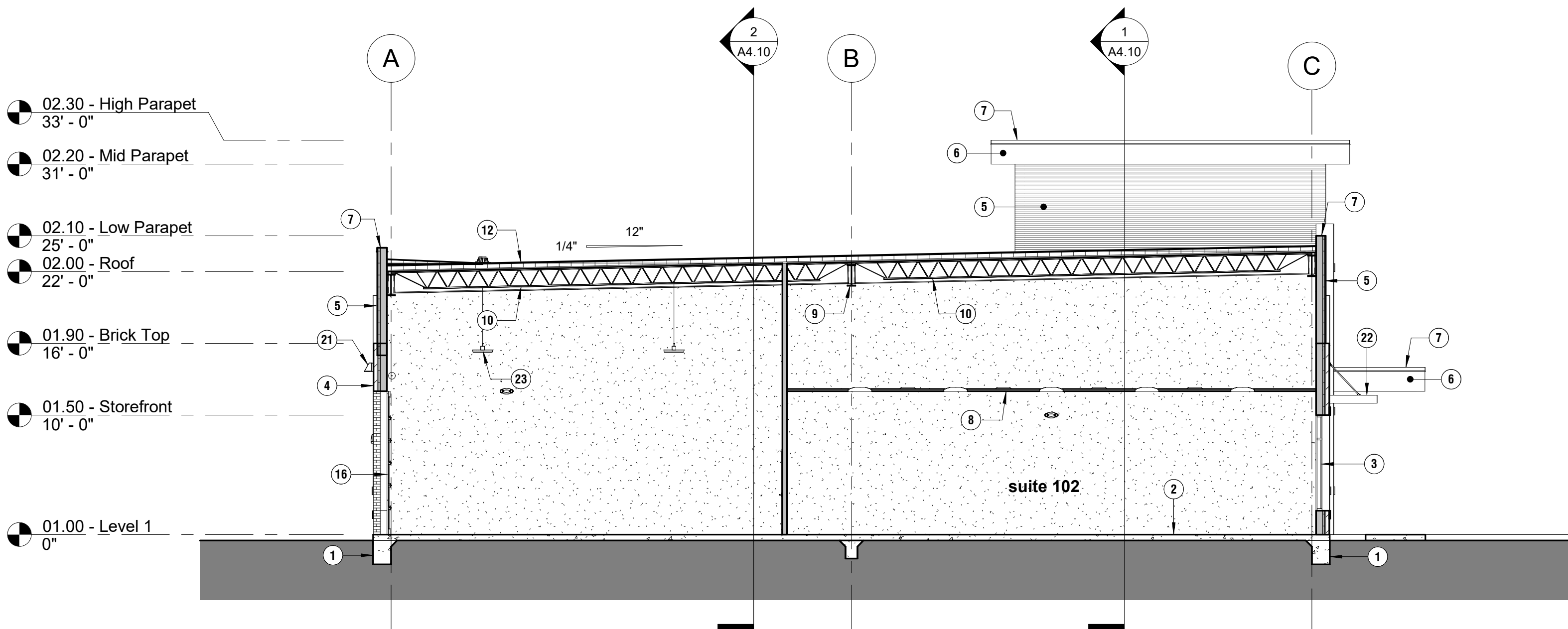
PHASE REVISION	DATE
SCHEMATIC DESIGN	08.13.2020
DESIGN DEVELOPMENT	
CONSTRUCTION DOCUMENTS	

SECTION KEYNOTES:

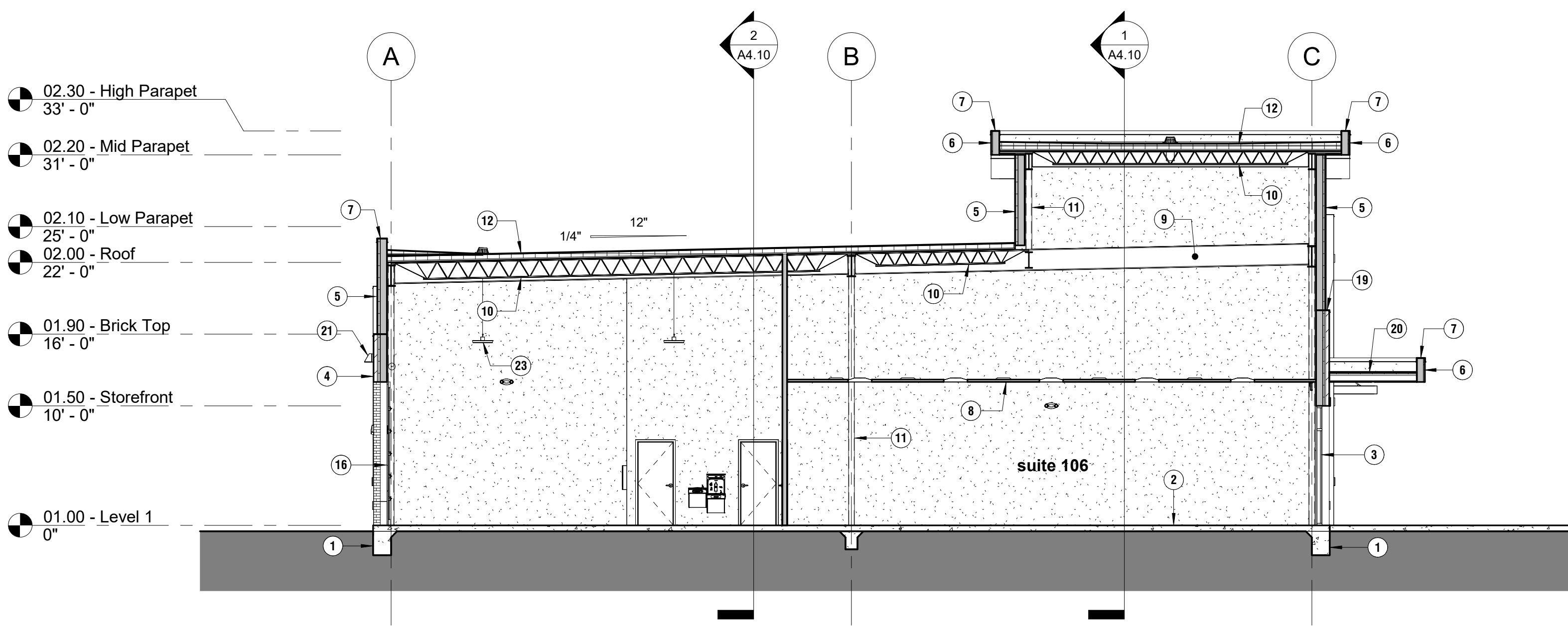
- 1 CONCRETE FOUNDATION
- 2 CONCRETE FLOOR SLAB
- 3 EXTRUDED ALUMINUM STOREFRONT SYSTEM WITH INSULATED GLAZING
- 4 EXTERIOR WALL: BRICK VENEER | WEATHER BARRIER | 1.5" (R-7.5) RIGID INSULATION | 5/8" EXTERIOR GYPSUM BOARD SHEATHING | 18 GAUGE, 6" METAL STUDS AT 16" O.C. | 6" (R-19) BATT INSULATION | 5/8" GYPSUM BOARD
- 5 EXTERIOR WALL: METAL WALL PANELS (BR-12) | WEATHER BARRIER | 1.5" (R-7.5) RIGID INSULATION | 5/8" EXTERIOR GYPSUM BOARD SHEATHING | 18 GAUGE, 6" METAL STUDS AT 16" O.C. | 6" (R-19) BATT INSULATION | 5/8" GYPSUM BOARD
- 6 FLUSH METAL FASCIA PANELS ON 18 GAUGE, 6" METAL STUD FRAMING
- 7 PRE-FINISHED METAL COPING
- 8 SUSPENDED ACOUSTICAL CEILING SYSTEM
- 9 STEEL BEAM
- 10 OPEN WEB STEEL BAR JOIST
- 11 TUBE STEEL COLUMN
- 12 ROOF SYSTEM: TPO MEMBRANE | 1/2" EXTERIOR GRADE GYPSUM BOARD DECKING | TAPERED INSULATION | 4" POLYISOCYANURATE INSULATION | 1 1/2" METAL DECK
- 13 CONDENSING UNIT
- 14 SCREEN WALL PER THOMPSON'S STATION LDO
- 15 HOLLOW METAL DOOR AND FRAME
- 16 ALUMINUM SECTIONAL DOOR WITH INSULATED GLAZING
- 17 WALL MOUNTED EXTERIOR LED LIGHT FIXTURE
- 18 PENDANT MOUNTED INTERIOR LED BAY LIGHT FIXTURE
- 19 PRE-FINISHED METAL DRIP EDGE
- 20 ROOF SYSTEM: TPO MEMBRANE | 1/2" EXTERIOR GRADE GYPSUM BOARD DECKING | TAPERED INSULATION | 1" POLYISOCYANURATE INSULATION | 1 1/2" METAL DECK
- 21 WALL MOUNTED LED EXTERIOR LIGHTING
- 22 EXTRUDED ALUMINUM SHADE SYSTEM
- 23 PENDANT MOUNTED INTERIOR LED BAY LIGHT FIXTURE



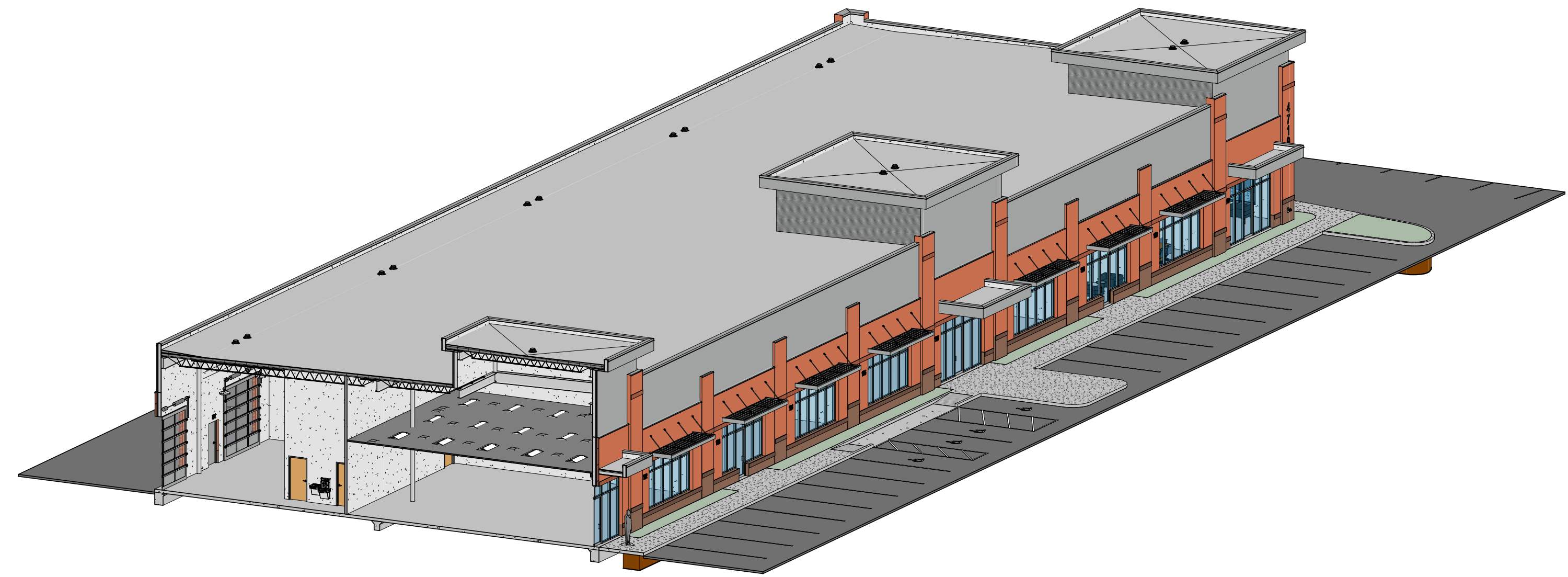
1 Section 3
1/8" = 1'-0"



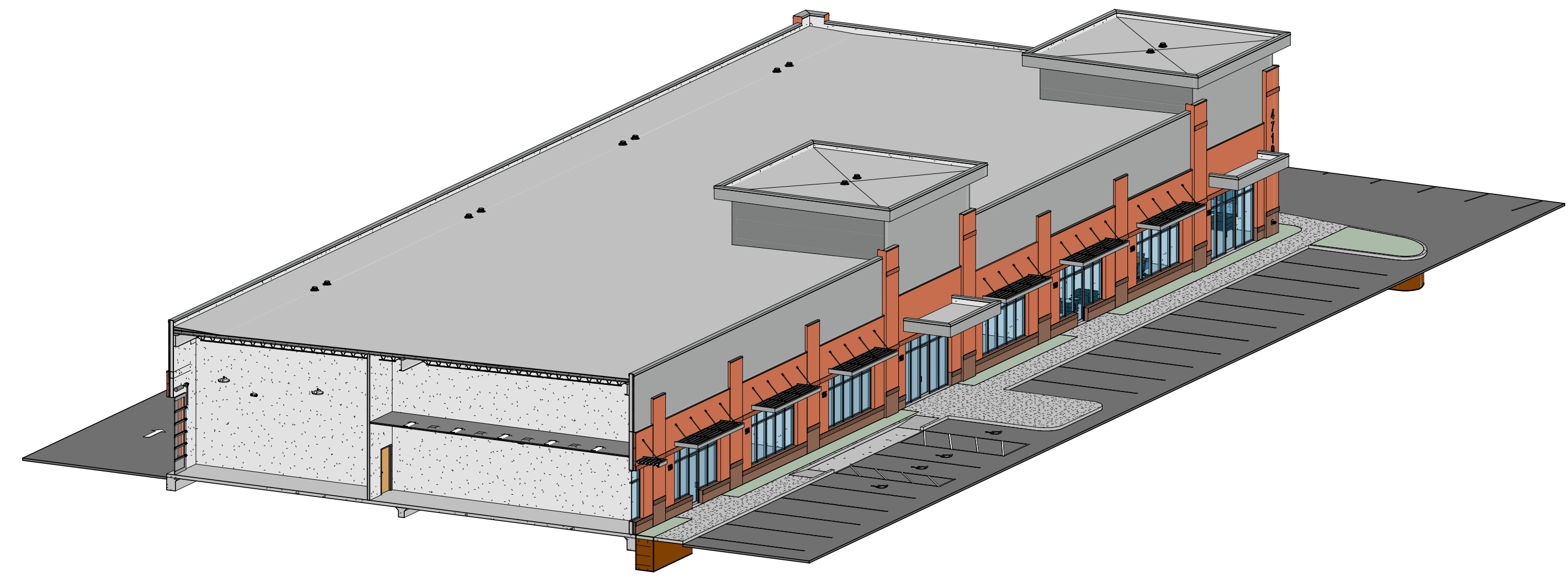
2 Section 4
1/8" = 1'-0"



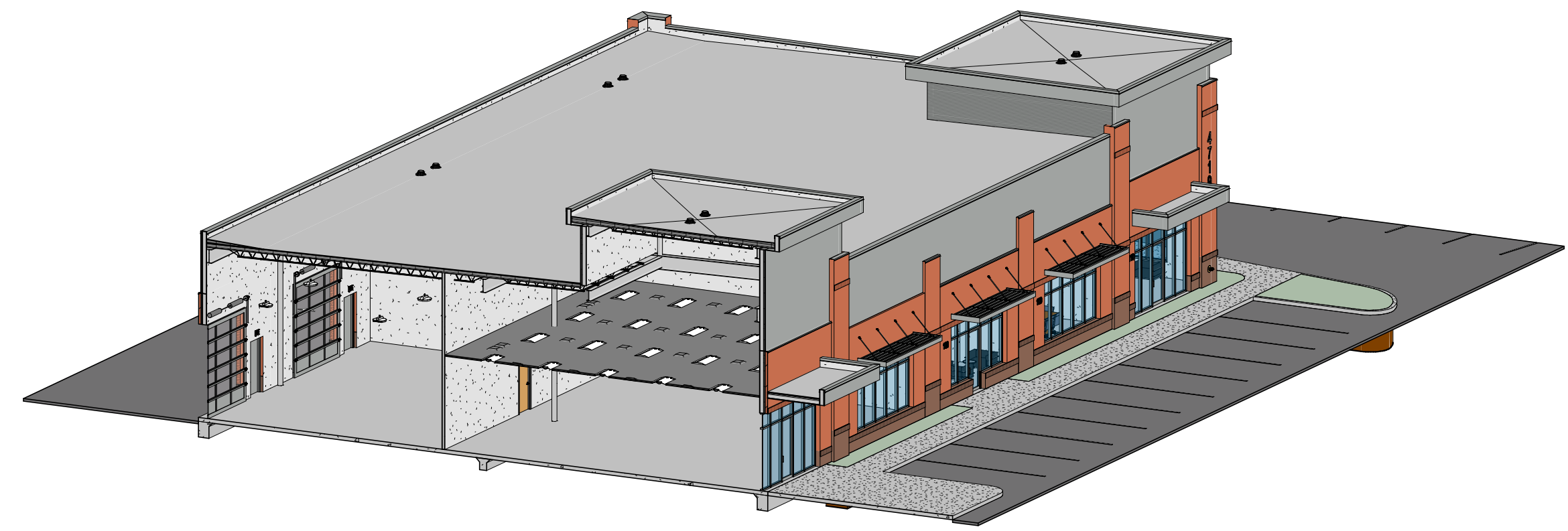
3 Section 5
1/8" = 1'-0"



4 Section 3 Axonometric



5 Section 4 Axonometric



6 Section 5 Axonometric

PHASE REVISION	DATE
SCHEMATIC DESIGN	08.13.2020
DESIGN DEVELOPMENT	
CONSTRUCTION DOCUMENTS	