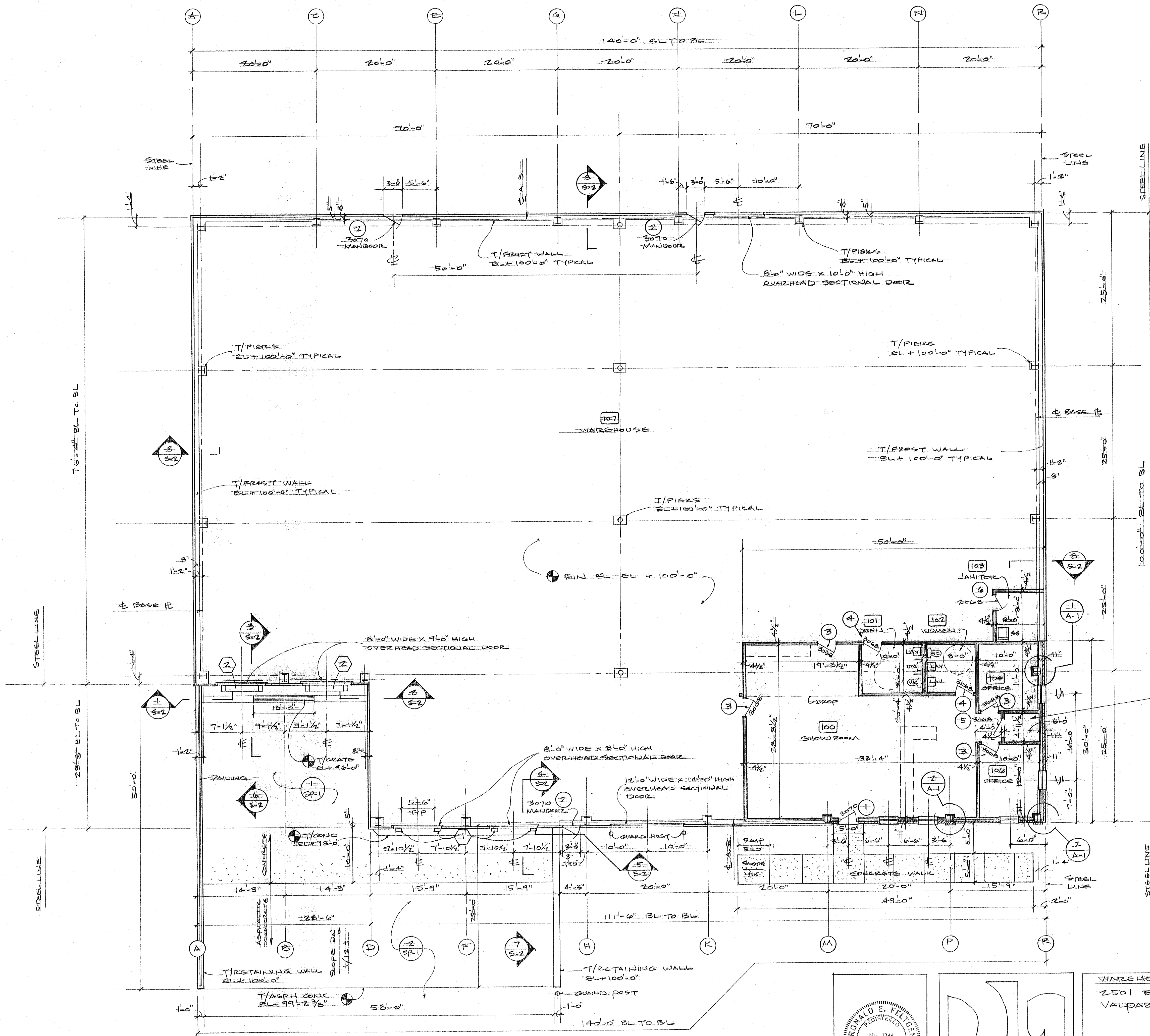
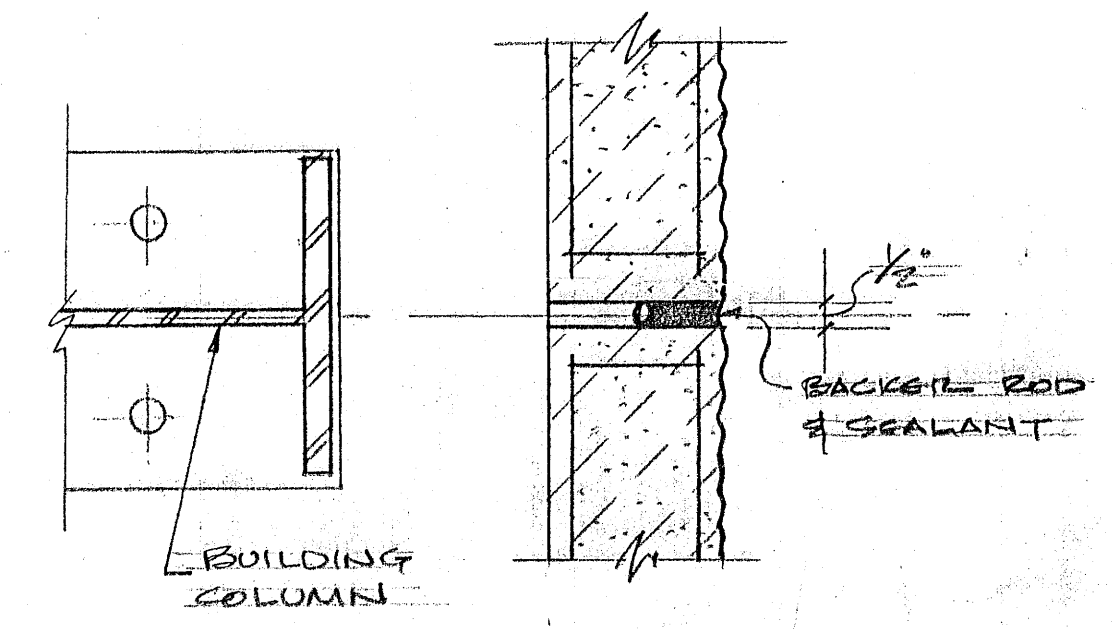




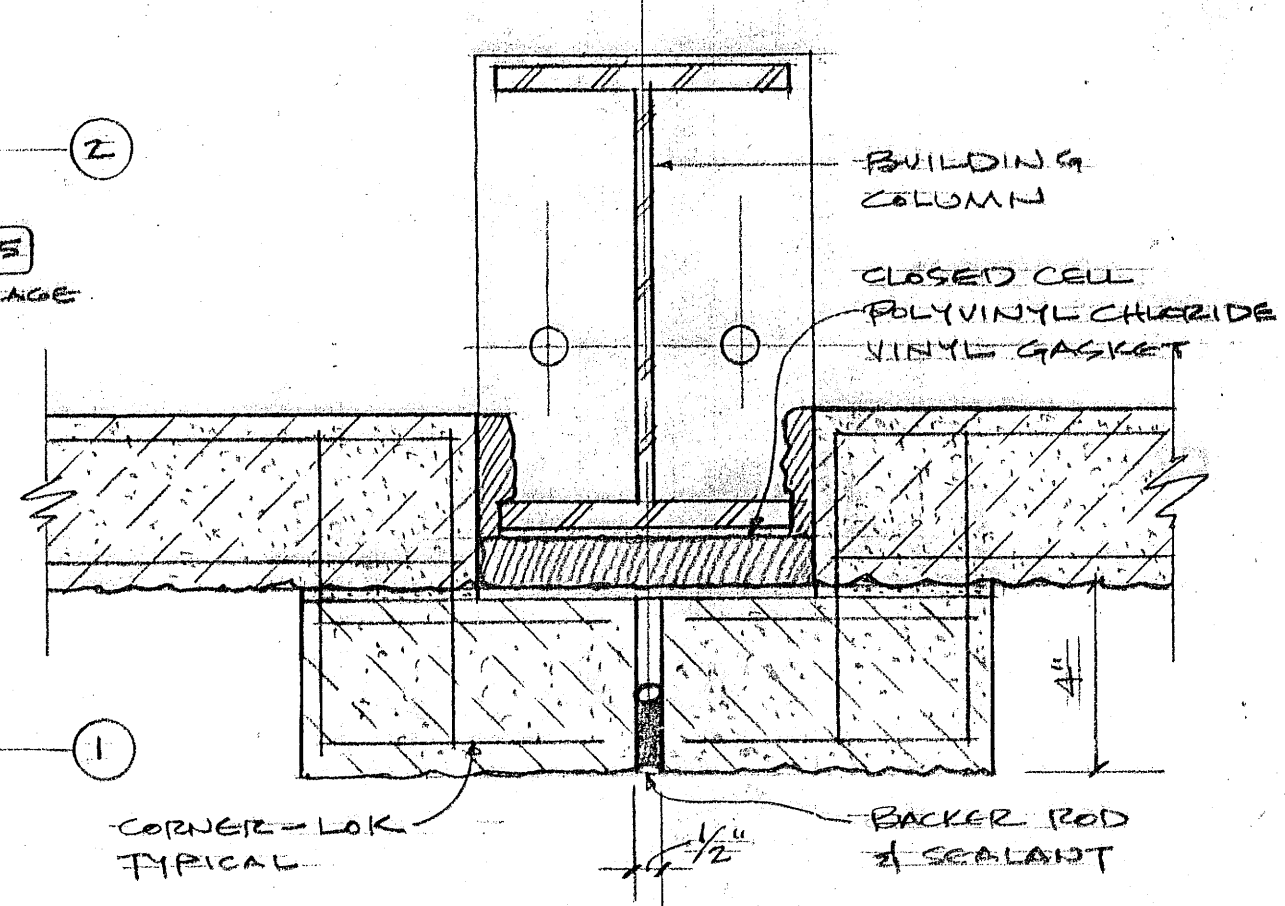
- KEY**
- 2 DOOR NO. - COL NO. AS SHOWN
 - SECTION NO.
 - 5-2 DWG. NO.
 - 103 ROOM NO.
 - 1 NOTE NO.

DOOR SIZE

- NOTES**
- 1 BUMPERS SHALL BE 10" W X 12" H X 4" THK AS MANUFACTURED BY VESTIL MANUFACTURING COMPANY OR APPROVED EQUAL.
 - 2 EDGE JO-D-DOCK MECHANICAL HINGED LIP DOCKLEVELER. CAPACITY: 19000 LBS GROSS LOAD. 16200 AXLE LOAD. DIMENSIONS: OVERALL WIDTH: 90" OVERALL HEIGHT: 24" AS MANUFACTURED BY VESTIL MANUFACTURING COMPANY OR APPROVED EQUAL.

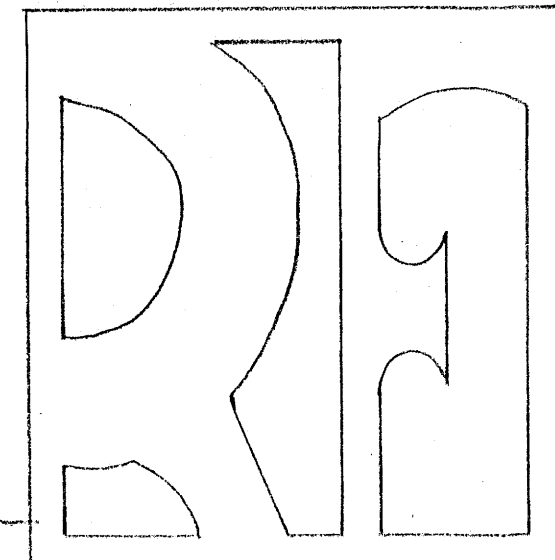
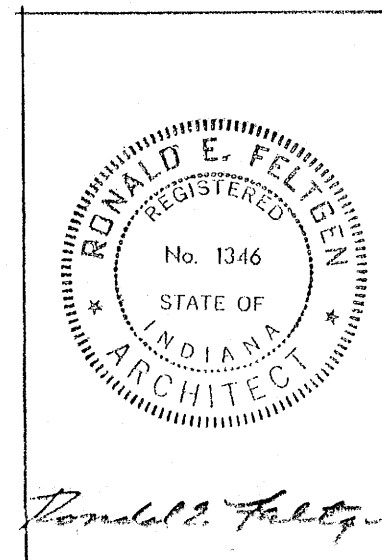


DETAIL - EXPANSION JOINT
SCALE: 3" = 1'-0"



DETAIL - EXPANSION JOINT
SCALE: 3" = 1'-0"

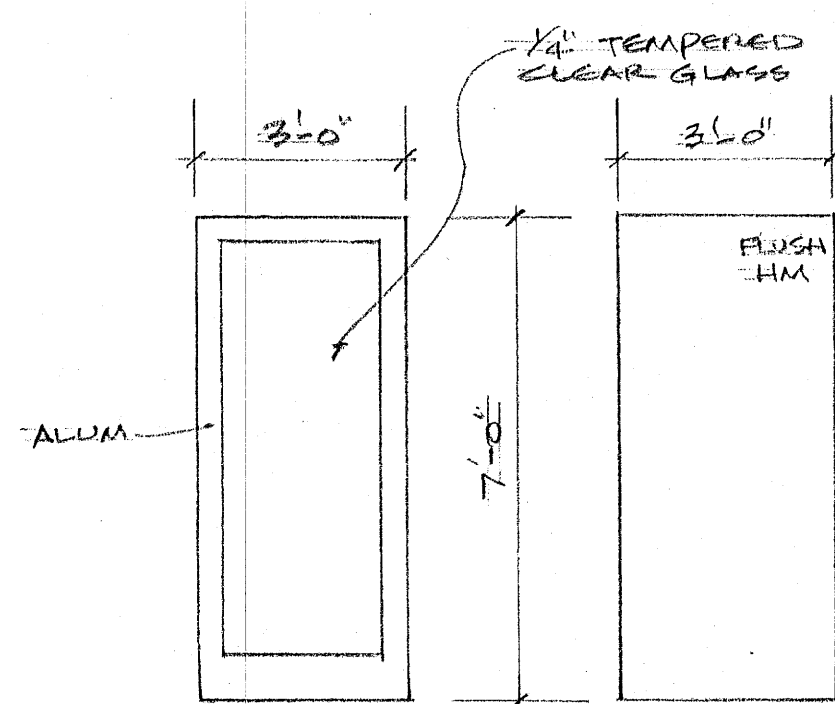
PLAN
SCALE: 1/8" = 1'-0"



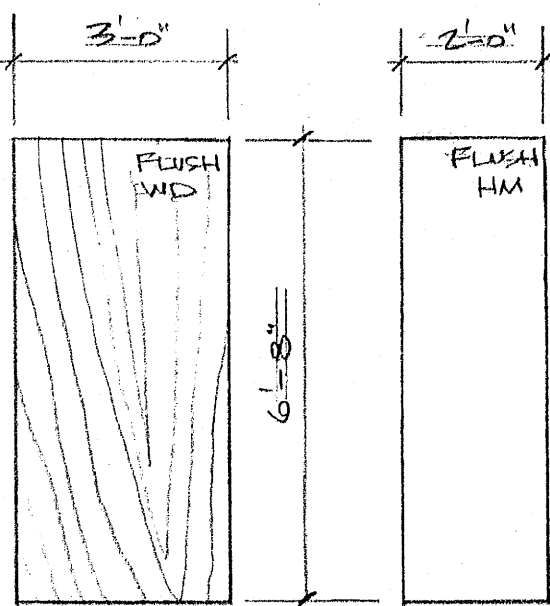
WAREHOUSE FOR NORANDEX, INC. 2501 EAST BEECH STREET VALPARAISO, INDIANA		OCTOBER 4, 1994 REV 11 = 5-94 REV 12 = 15-94 REV 11 = 29-94 REV 12 = 7-94 REV 12 = 13-94	
RONALD E. FELGNER & ASSOCIATES, INC. ARCHITECTS-DESIGNERS VALPARAISO, INDIANA		DRAWN BY E. FELGNER	DOB NO. P-94009
PLAN		CHECKED BY P. FELGNER	DWG. NO.
		SCALE AS SHOWN	A-1

ROOM FINISH SCHEDULE											
NO	ROOM NAME	FLOOR		WALLS				CEILING			REMARKS
		MATERIAL	BASE	N	S	E	W	MATERIAL	HEIGHT		
100	SHOWROOM	VT	V	GYP BD	GYP BD	GYP BD	GYP BD	LAY-IN ACOUS	10'-0"		
101	MEN	V	V	GYP BD	* GYP BD	* GYP BD	GYP BD	GYP BD	8'-3 3/8"		* 4'-0" H. GLASSBOARD WAINSCOT FULL LENGTH EAST WALL & 3'-0" ON SOUTH WALL
102	WOMEN	V	V	GYP BD	* GYP BD	* GYP BD	GYP BD	GYP BD	8'-3 3/8"		* 4'-0" H. GLASSBOARD WAINSCOT FULL LENGTH WEST WALL & 3'-0" ON NORTH WALL
103	JANITOR	CONC	V	GYP BD	GYP BD		GYP BD	GYP BD	8'-3 3/8"		
104	OFFICE	CPT	V	GYP BD	GYP BD	GYP BD	GYP BD	GYP BD	8'-3 3/8"		
105	STORAGE	CONC	V	GYP BD	GYP BD	GYP BD	GYP BD	GYP BD	8'-3 3/8"		
106	OFFICE	CPT	V	GYP BD	GYP BD	GYP BD	GYP BD	GYP BD	8'-3 3/8"		
107	WAREHOUSE	CONC		EXP	EXP	EXP	EXP	EXP			

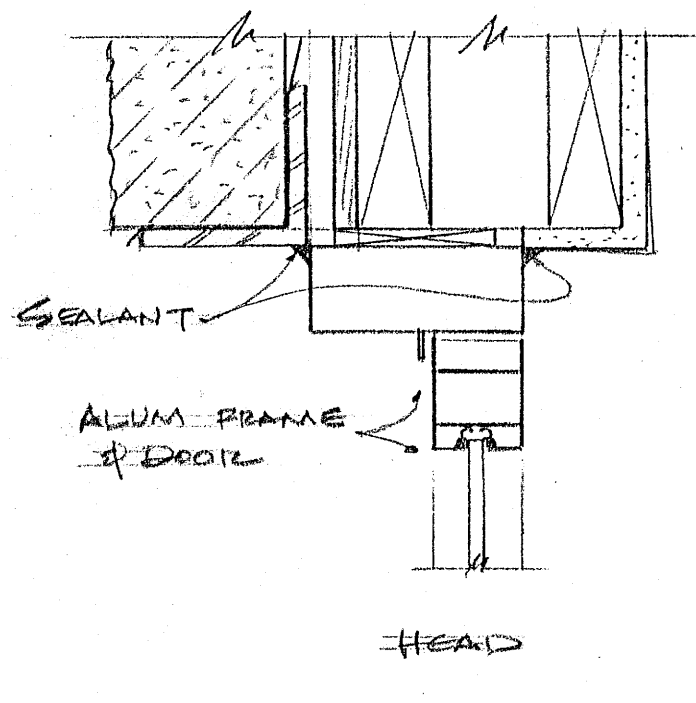
KEY
P = PAINT
VT = VINYL TILE
V = VINYL
CONC = EXPOSED CONCRETE
CPT = CARPET
EXP = EXPOSED
LAY-IN ACOUS = LAY-IN ACOUSTICAL TILE



D-1

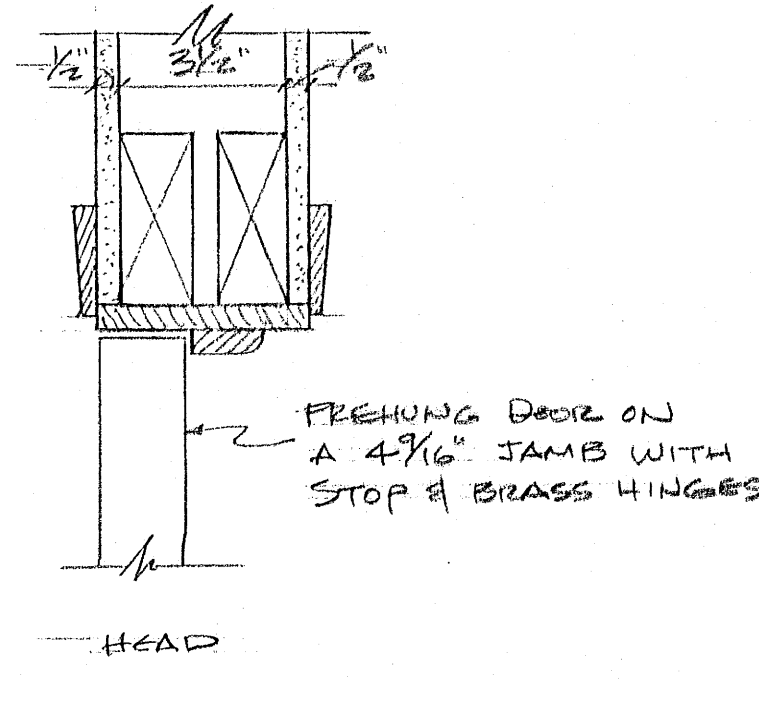


D-2



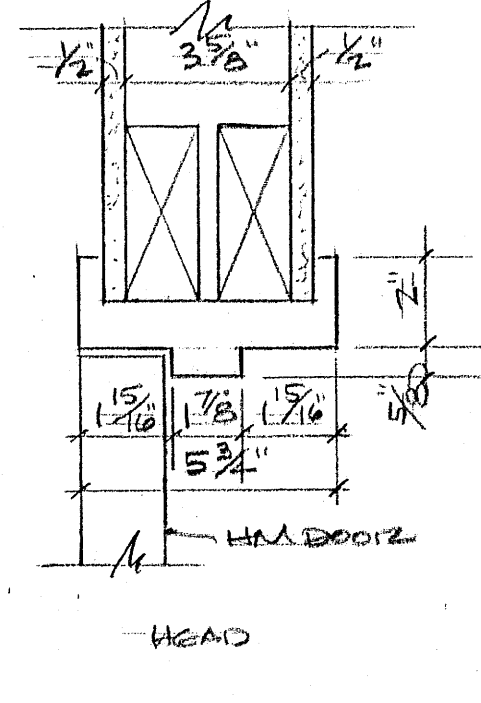
J-1

JAMB SIMILAR



J-2

JAMB SIMILAR



J-3

JAMB SIMILAR

NOTES - CONT.

- (12) VINYL FLOOR IN TOILET ROOMS SHALL BE ARMSTRONG CAMBRAY OR APPROVED EQUAL.
- (13) INTERIOR DOORS SHALL BE LEGACY BRAND WITH TEXTURED PREFINISHED DOOR FACINGS AS MANUFACTURED BY AMERICAN DOOR CO. OR APPROVED EQUAL.
- (14) TOILET ROOM WAINSCOT SHALL BE KENLITE ALL FIBERGLASS GLASSBOARD - P PANELS WITH INSTALLATION ACCESSORIES AND FINISHING COMPONENTS OR APPROVED EQUAL.
- (15) ALUMINUM ENTRANCE DOOR SHALL BE A KAWNEER STANDARD ALUMINUM ENTRANCE DOOR "190" NARROW STYLE BRONZE OR APPROVED EQUAL. PROVIDE A FULLY INTEGRATED FRAME.

NOTES

- (1) WINDOWS SHALL BE 2050 WOJAM SINGLE-HUNG SERIES M-85, ALUMINUM BRONZE WITH THERMOPANE GLAZING OR APPROVED EQUAL.
- (2) FINISH HARDWARE SHALL BE AS SHOWN ON FINISH HARDWARE SCHEDULE OR APPROVED EQUAL.
- (3) GYPSUM WALLBOARD MATERIALS SHALL BE AS MANUFACTURED BY UNITED STATES GYPSUM CO. OR APPROVED EQUAL. TOILET ROOM & JANITOR ROOM WALLS SHALL BE WATER RESISTANT TYPE.
- (4) RESILIENT TILE FLOORING & BASE SHALL BE AS MANUFACTURED BY ARMSTRONG OR APPROVED EQUAL.
TILE: ARMSTRONG EXCELON TILE, IMPERIAL SERIES, 12" X 12" X 1/8"
BASE: ARMSTRONG STANDARD VINYL WALL BASE 4" HIGH, .080" GA.

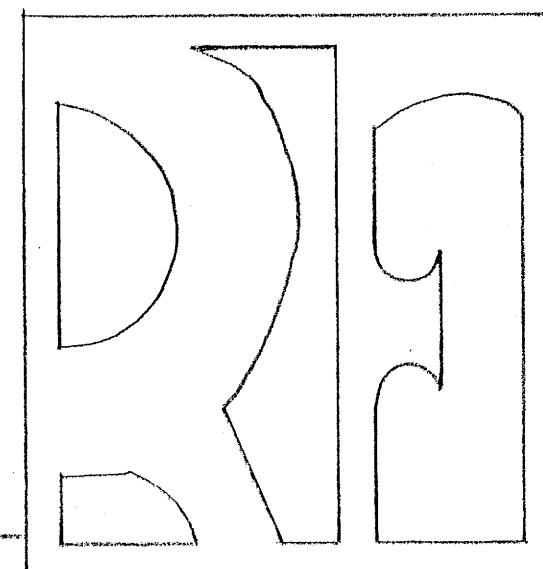
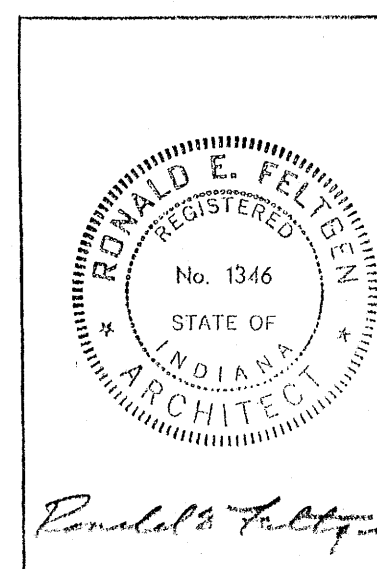
- (5) BATT INSULATION SHALL BE AS MANUFACTURED BY OWENS-CORNING OR APPROVED EQUAL.
- (6) INTERIOR HOLLOW METAL DOORS & FRAMES SHALL BE AS MFG. BY CURRIES OR APPROVED EQUAL. DOORS SHALL BE THE 707 SERIES. METAL GAUGES SHALL BE AS FOLLOWS:
DOORS:
16 GA INTERIOR
FRAMES:
16 GA INTERIOR
- (7) SEALANT SHALL BE SONNGBORN-CONTECH SONOLASTIC NP-1 OR APPROVED EQUAL.
- (8) PAINT MATERIALS SHALL BE AS MANUFACTURED BY PRATT & LAMBERT OR APPROVED EQUAL.
- (9) ACOUSTICAL TILE SHALL BE ARMSTRONG 2X2 LAY-IN PANELS OR APPROVED EQUAL. EXPOSED TEE GRID SHALL BE BY CHICAGO METALLIC OR APPROVED EQUAL.
- (10) PRATT & LAMBERT PAINTS
A. ALL INTERIOR GYPSUM BOARD, WOOD TRIM, GRILES & REGISTERS SHALL RECEIVE:
1 COAT P&L VINYL ACRYLIC PRIMER
1 COAT P&L LYT-ALL FLOWING FLAT
B. ALL INTERIOR DOORS & FRAMES SHALL RECEIVE:
1 COAT P&L INTERIOR TRIM PRIMER
1 COAT P&L PRO-HIDE PLUS LATEX SATIN ENAMEL
C. ALL EXTERIOR METAL DOORS & FRAMES SHALL RECEIVE:
2 COATS P&L AQUA ROYAL LATEX HOUSE & TRIM FINISH
- (11) OVERHEAD SECTIONAL DOORS SHALL BE THERMACORE STEEL DOORS #593, WITH 24 GA. EXTERIOR. THE 12'-0" W X 14'-0" H DOOR SHALL HAVE AN OPERATOR AND PUSH BUTTON ACTIVATOR. THERMACORE OR APPROVED EQUAL.

FINISH HARDWARE SCHEDULE

- AA PUSH-PULLS #28 MEDIUM BRONZE
SINGLE POINT LOCK
SURFACE MOUNTED OVERHEAD CLOSER
SEALAIR BULB NEOPRENE WEATHERPROOFING
ALUMINUM THRESHOLD
BB 1/2 PR STANLEY HINGES FBB 179 US 10 4 1/2 X 4 1/2
1 SARGENT LOCKSET 7705 MRL US 10
1 SARGENT CLOSER EB 1231
CC 1/2 PR STANLEY HINGES FBB 179 US 10 4 1/2 X 4 1/2
1 SARGENT LOCKSET 7705 MRL US 10
1 SARGENT CLOSER EB 1231
DD 1/2 PR STANLEY HINGES FBB 179 US 10 4 1/2 X 4 1/2
1 SARGENT LOCKSET 7704 MRL US 10
EE 1/2 PR STANLEY HINGES FBB 179 US 10 4 1/2 X 4 1/2
1 SARGENT LOCKSET 7704 MRL US 10
2 BROOKLINE ARMOR PLATE 12" X 2" LWD US 10

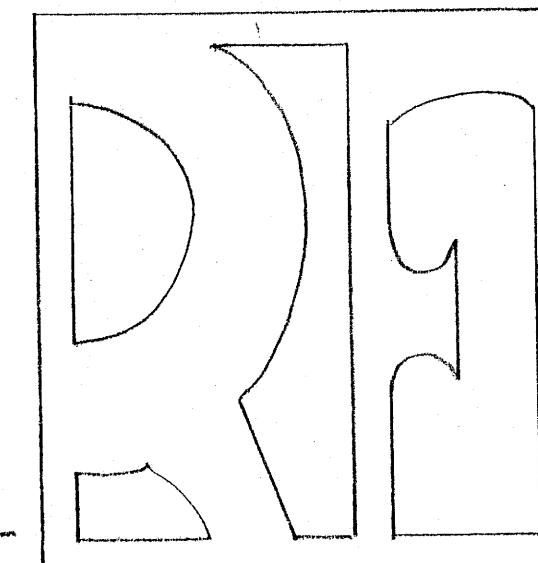
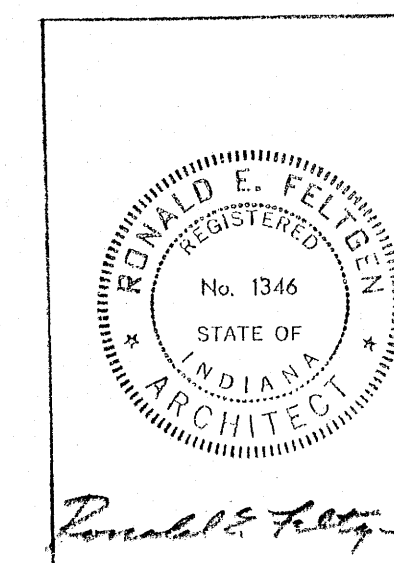
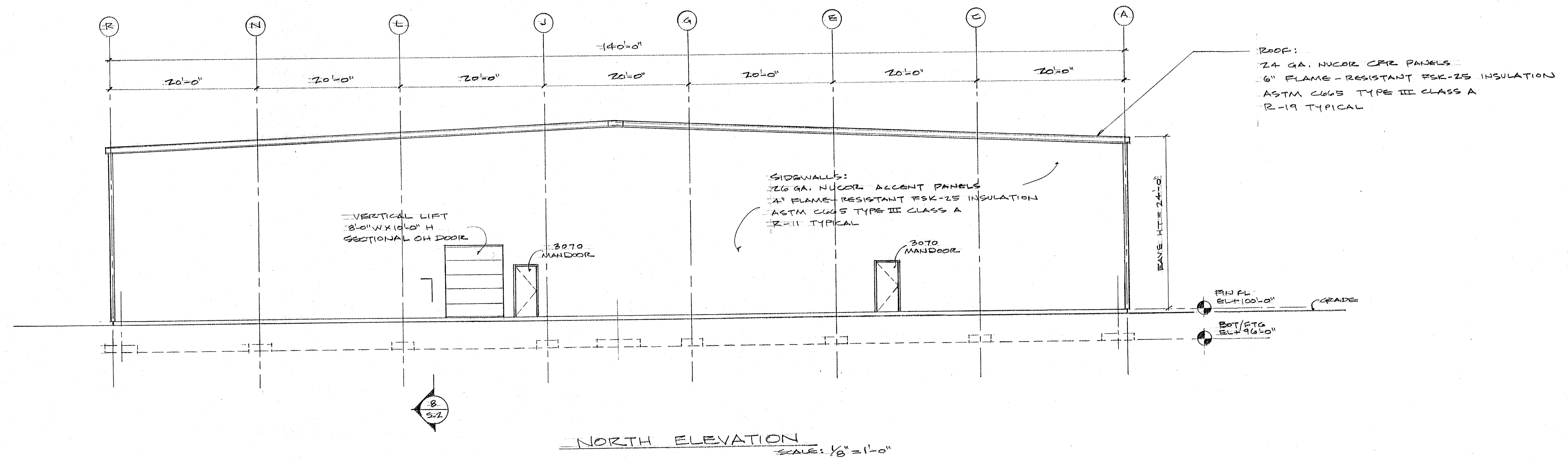
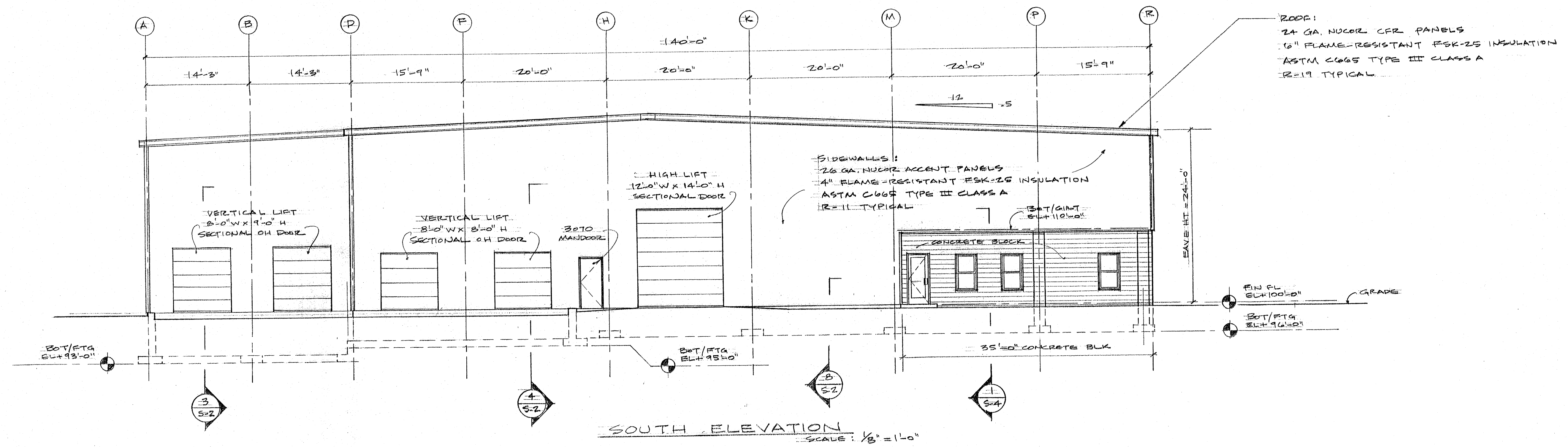
PROVIDE FINISH HARDWARE AS SHOWN ABOVE OR APPROVED EQUAL.

OPENING SCHEDULE											
OPNG NO	DOOR			FRAME					LABEL	HWD SET	REMARKS
	ELEV	MATL	SIZE	ELEV	MATL	SIZE	HEAD	JAMB			
(1)	D-1	ALUM	3'0" X 7'0" X 1 3/4"		ALUM	3 3/4" X 7 1/2" X 1 1/2"	J-1	J-1		AA	GLAZED
(2)	D-2	HM	3'0" X 7'0" X 1 3/4"		HM	3 3/4" X 7 1/2" X 5 3/4"					STANDARD NUCOR DOOR & FRAME W/FINISH HDW.
(3)	D-3	WD	3'0" X 6'0" X 1 3/4"		WD		J-2	J-2		BB	
(4)	D-3	WD	3'0" X 6'0" X 1 3/4"		WD		J-2	J-2		CC	
(5)	D-3	WD	3'0" X 6'0" X 1 3/4"		WD		J-2	J-2		DD	
(6)	D-4	HM	2'0" X 6'0" X 1 3/4"		HM	2 3/4" X 6 1/2" X 5 3/4"	J-3	J-3		EE	

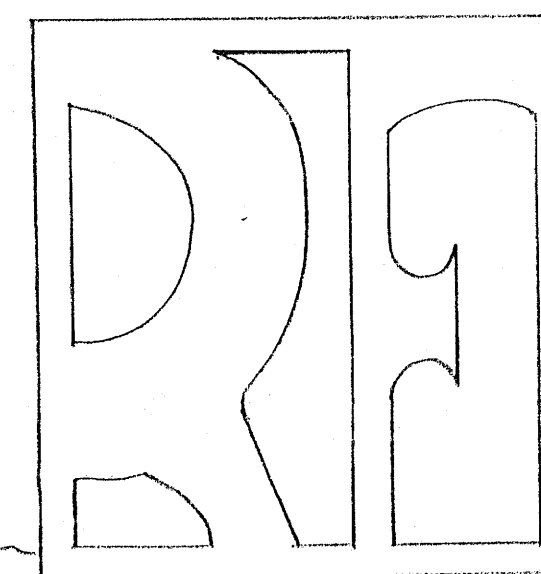
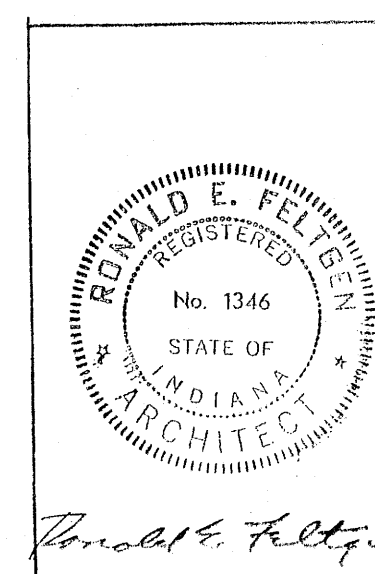
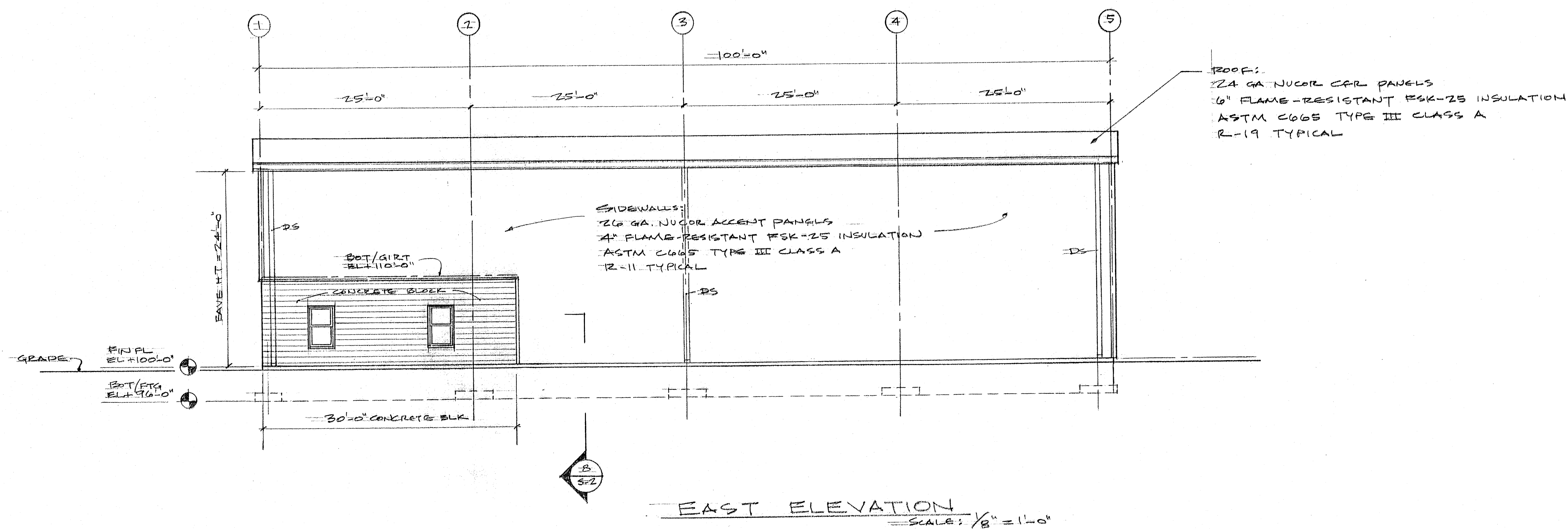
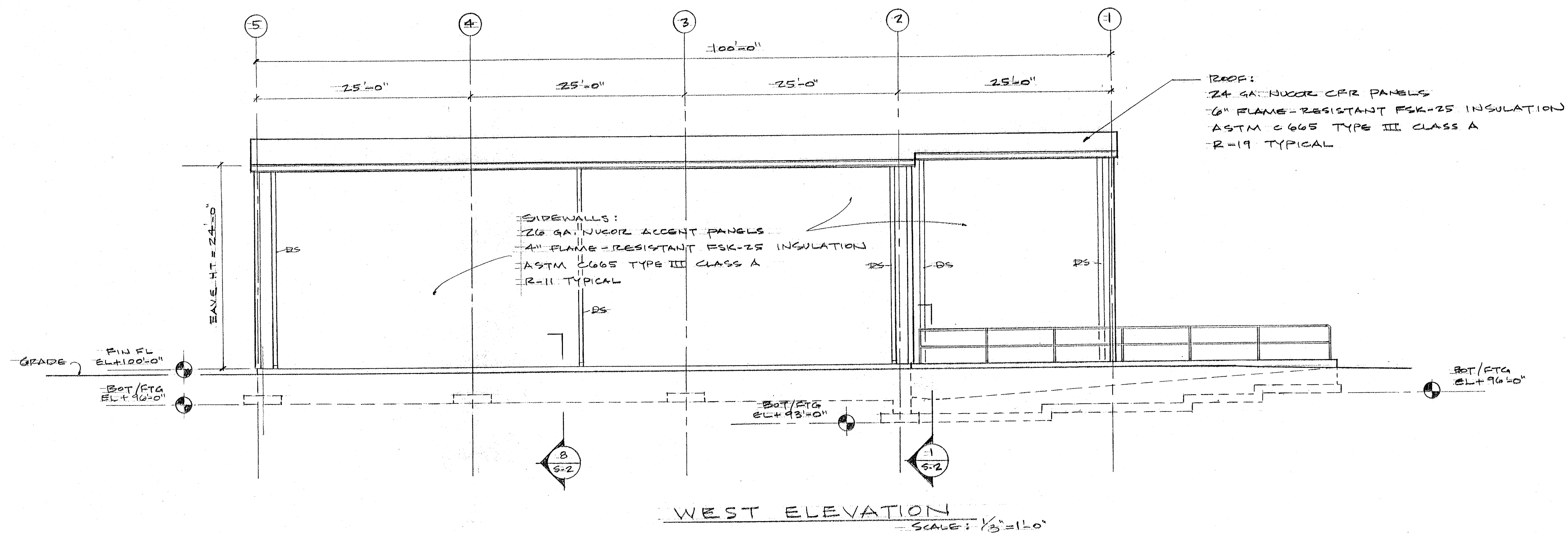


WAREHOUSE FOR NORANDEX, INC. 2501 EAST BEECH STREET VALPARAISO, INDIANA		DECEMBER 12, 1994	
RONALD E. FELTGEN & ASSOCIATES, INC. ARCHITECTS-DESIGNERS VALPARAISO, INDIANA	DRAWN FELTGEN	JOB NO. #1409	
	CHECKED P.E.	DWG. NO.	
	SEAL AS SHOWN	A-2	

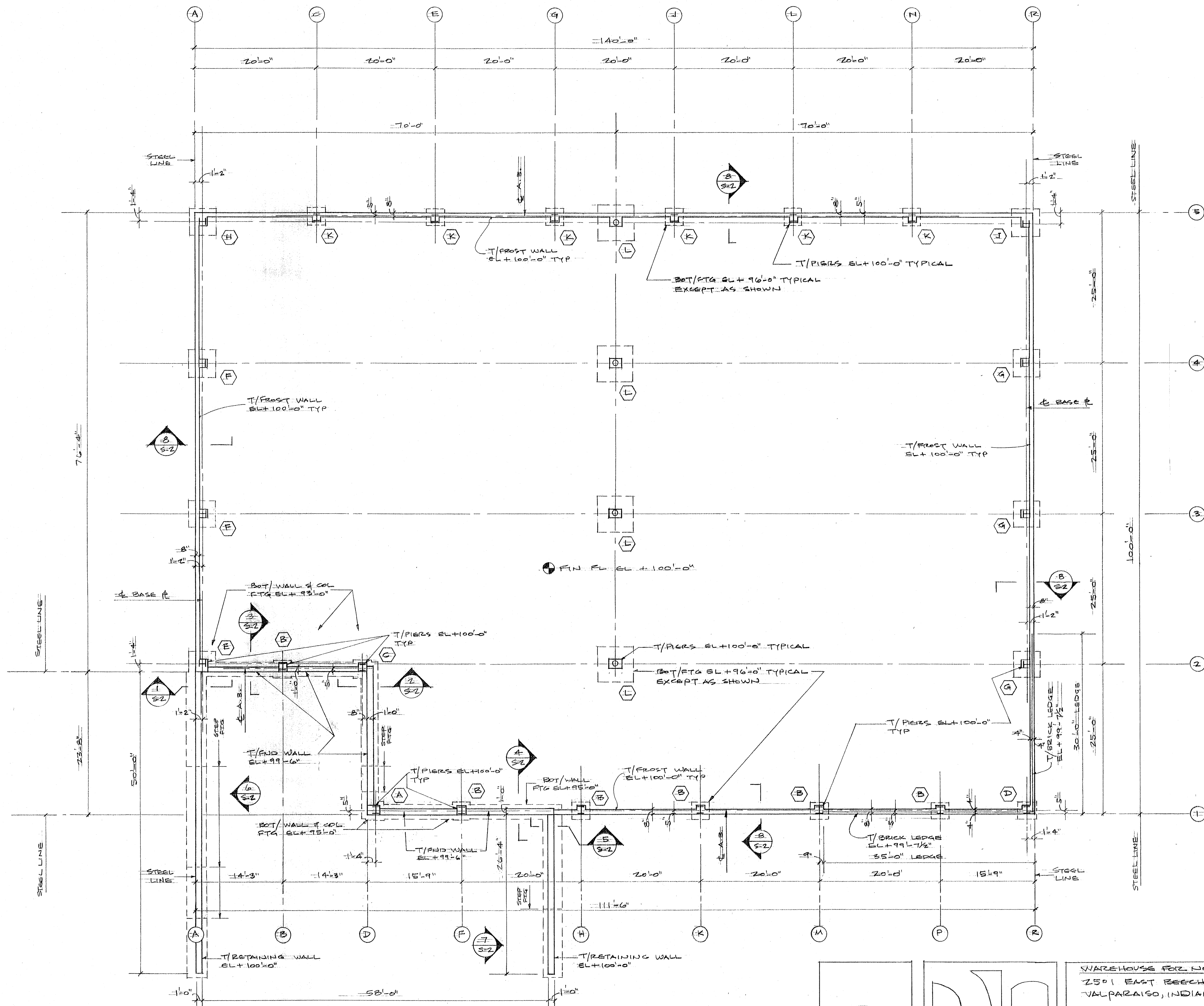
NOTES - GENERAL SPECIFICATIONS
ROOM FINISH, OPENING & HARDWARE SCHED.



<u>WAREHOUSE FOR NORANDEX INC.</u> 2501 EAST BEECH STREET VALPARAISO, INDIANA		DECEMBER 13, 1994	
RONALD E. FELTGEN & ASSOCIATES, INC. ARCHITECTS-DESIGNERS VALPARAISO, INDIANA	DRAWN FELTGEN	JOE NS P-9489	A-3
	CHECKED R.E.	ENG. NS	
	SCALE AS SHOWN		
	NORTH & SOUTH ELEVATIONS		



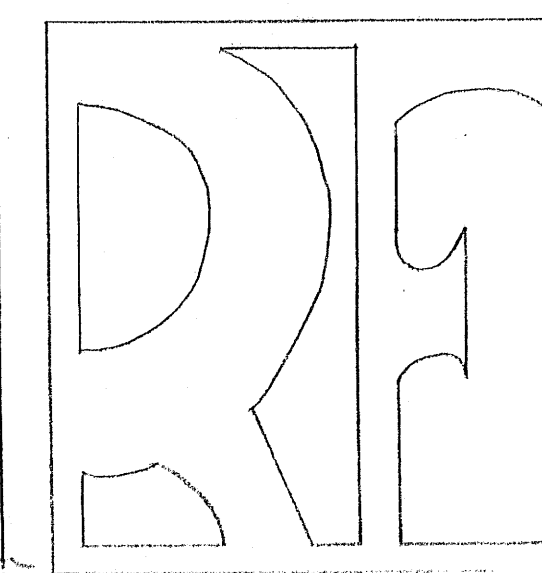
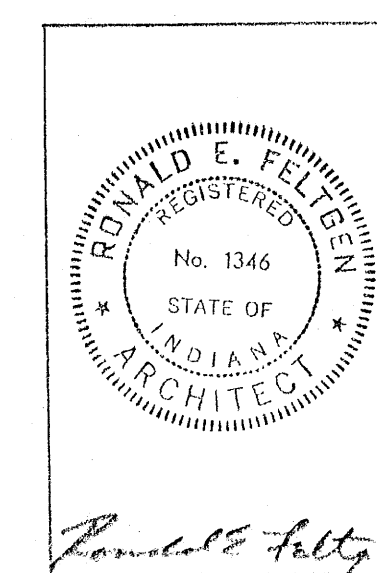
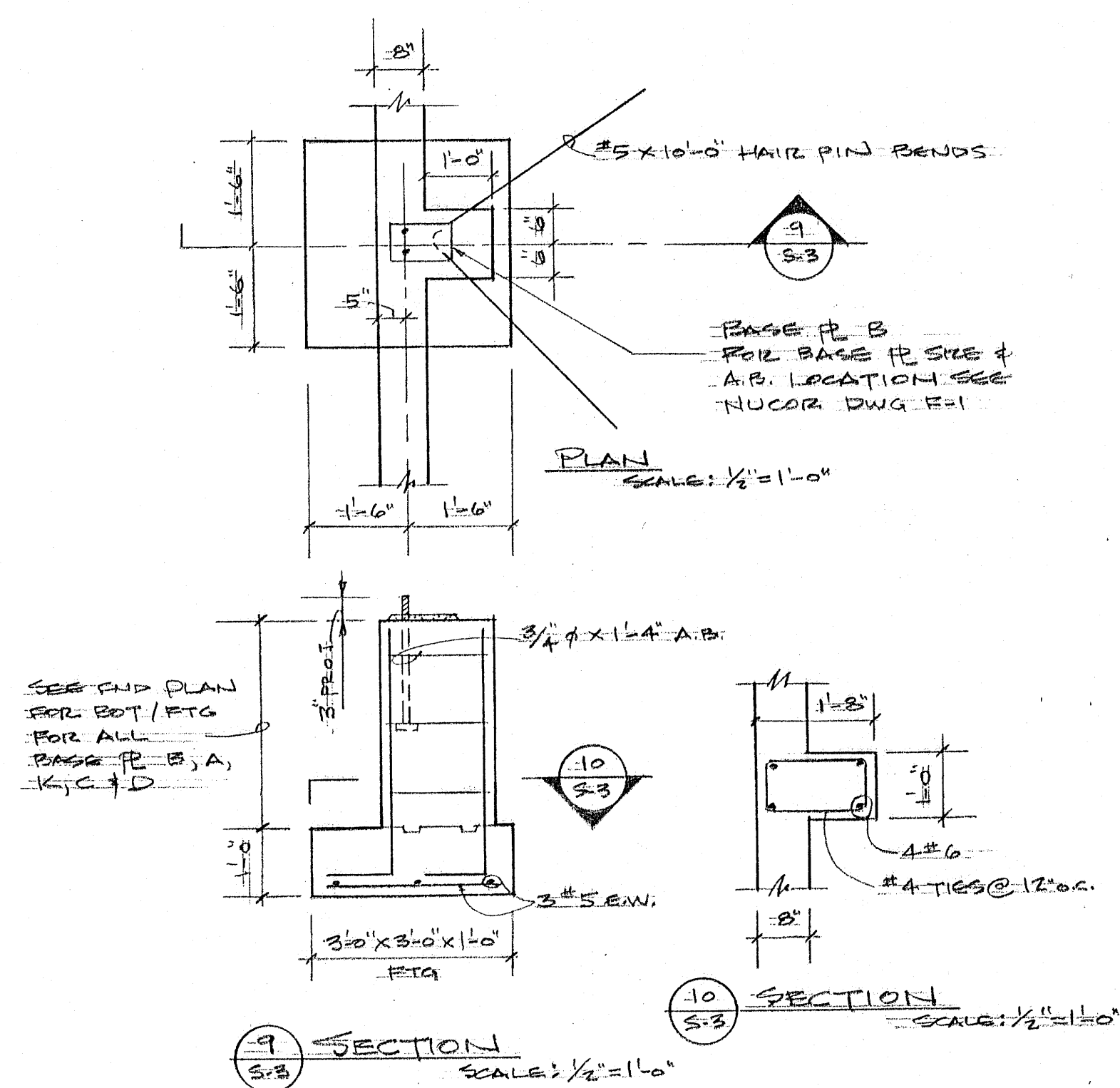
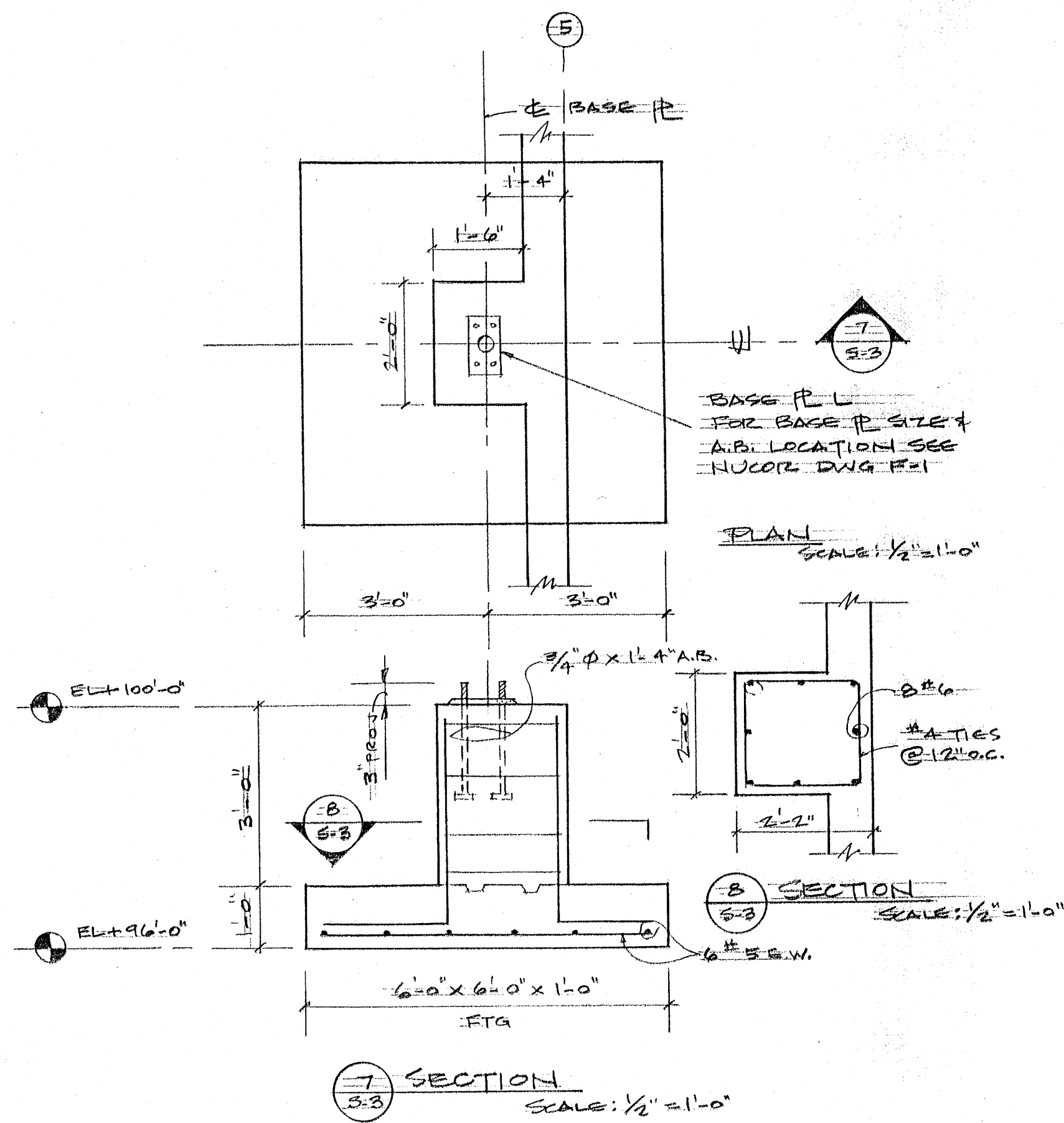
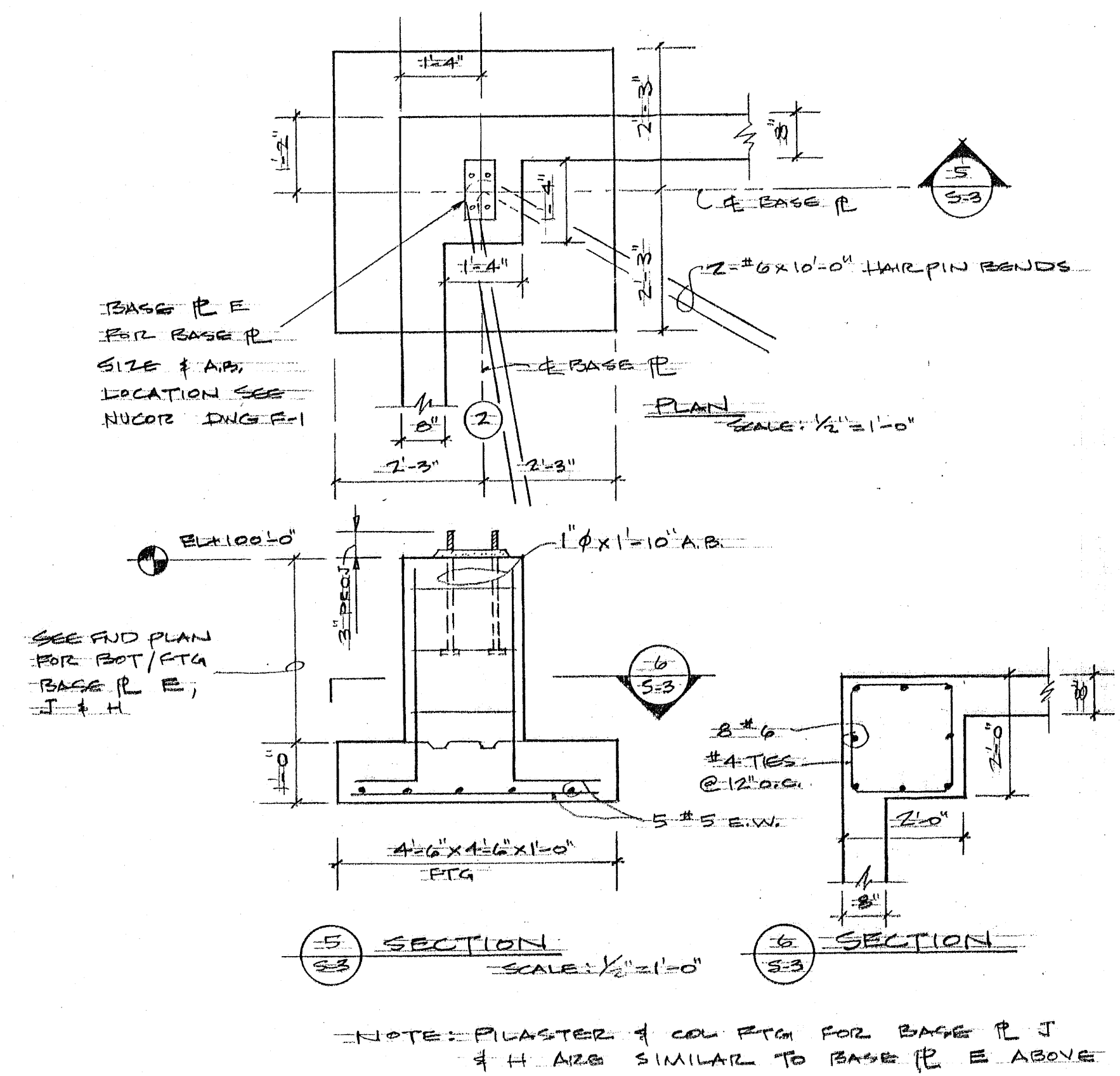
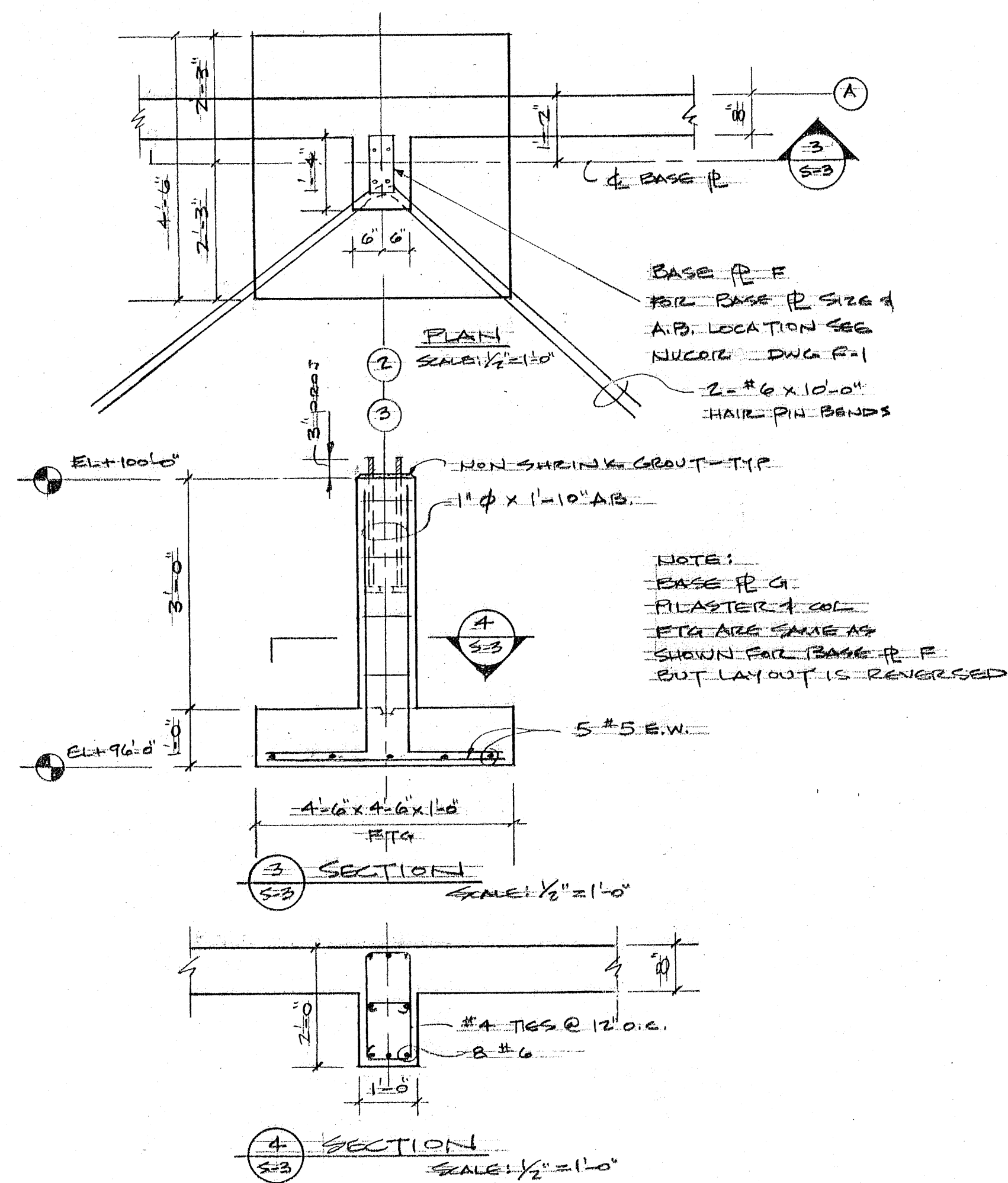
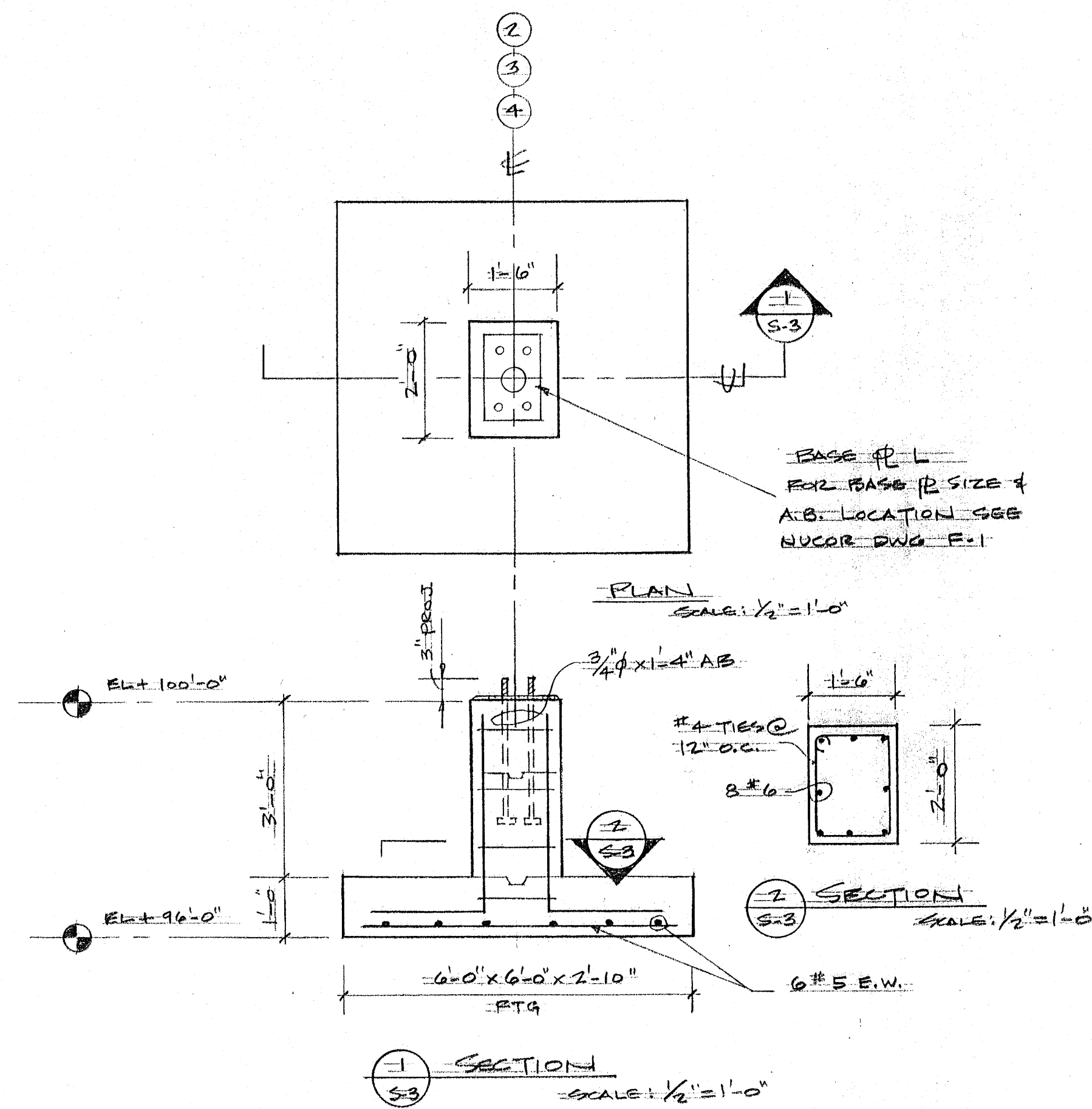
WAREHOUSE FOR NORANDEX, INC. 1501 EAST BEECH STREET VALPARAISO, INDIANA		DECEMBER 13, 1994	
RONALD E. FELTGREN & ASSOCIATES, INC. ARCHITECTS-DESIGNERS VALPARAISO, INDIANA	DESIGNED FELTGREN	JEBENS F-9409	
	SKETCHED R.E.	ENGINEER	
	SCALE AS SHOWN	A-4	
	EAST & WEST ELEVATIONS		



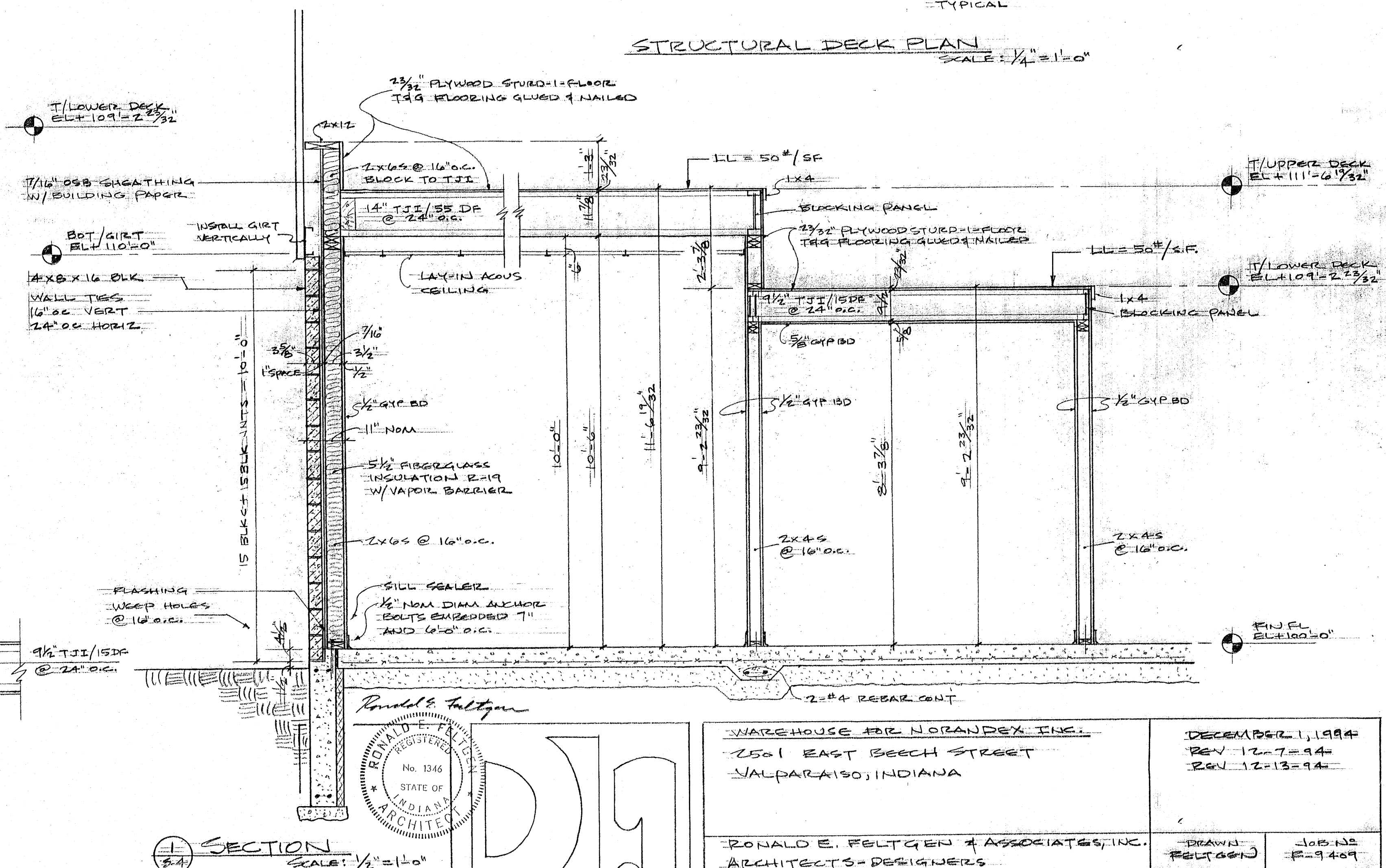
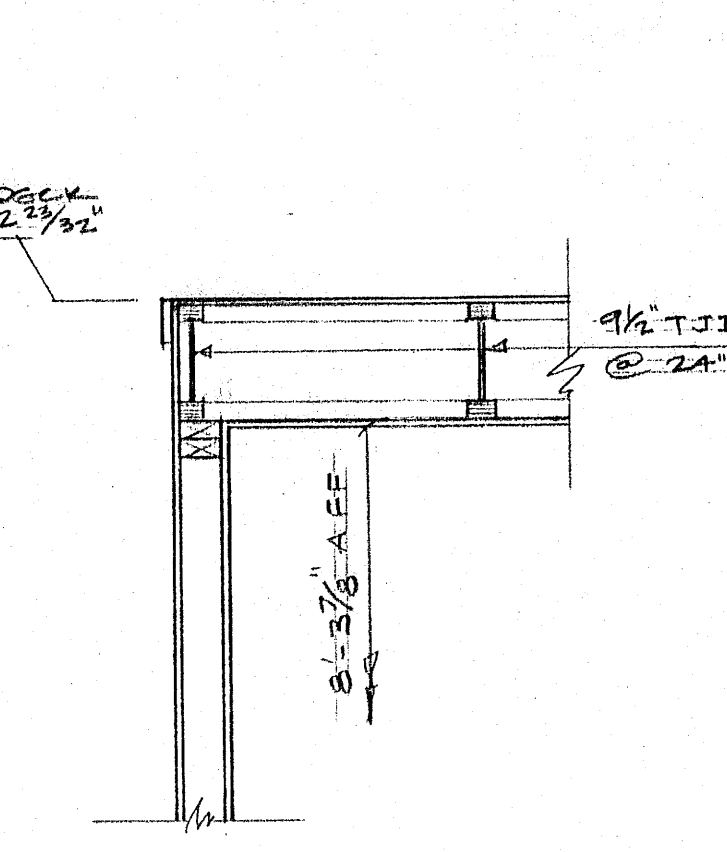
NOTE:
 A ANCHOR BOLT LOCATION &
 COLUMN BASE PL SIZE DESIGNATION IS
 AS SHOWN ON NUCOR DWG F-1

FOUNDATION PLAN
 SCALE: 1/8" = 1'-0"

	WAREHOUSE FOR NORANDEX INC. 2501 EAST BEECH STREET VALPARAISO, INDIANA		OCTOBER 28, 1994 REV 11-14-94 REV 11-22-94 REV 12-7-94 REV 12-13-94	
	RONALD E. FELTY & ASSOCIATES, INC. ARCHITECTS-DESIGNERS VALPARAISO, INDIANA		DRAWN: FELTY	JOB NO: F-9409
	FOUNDATION PLAN		CHECKED: FELTY	DWG NO: S-1
	SCALE: AS SHOWN			

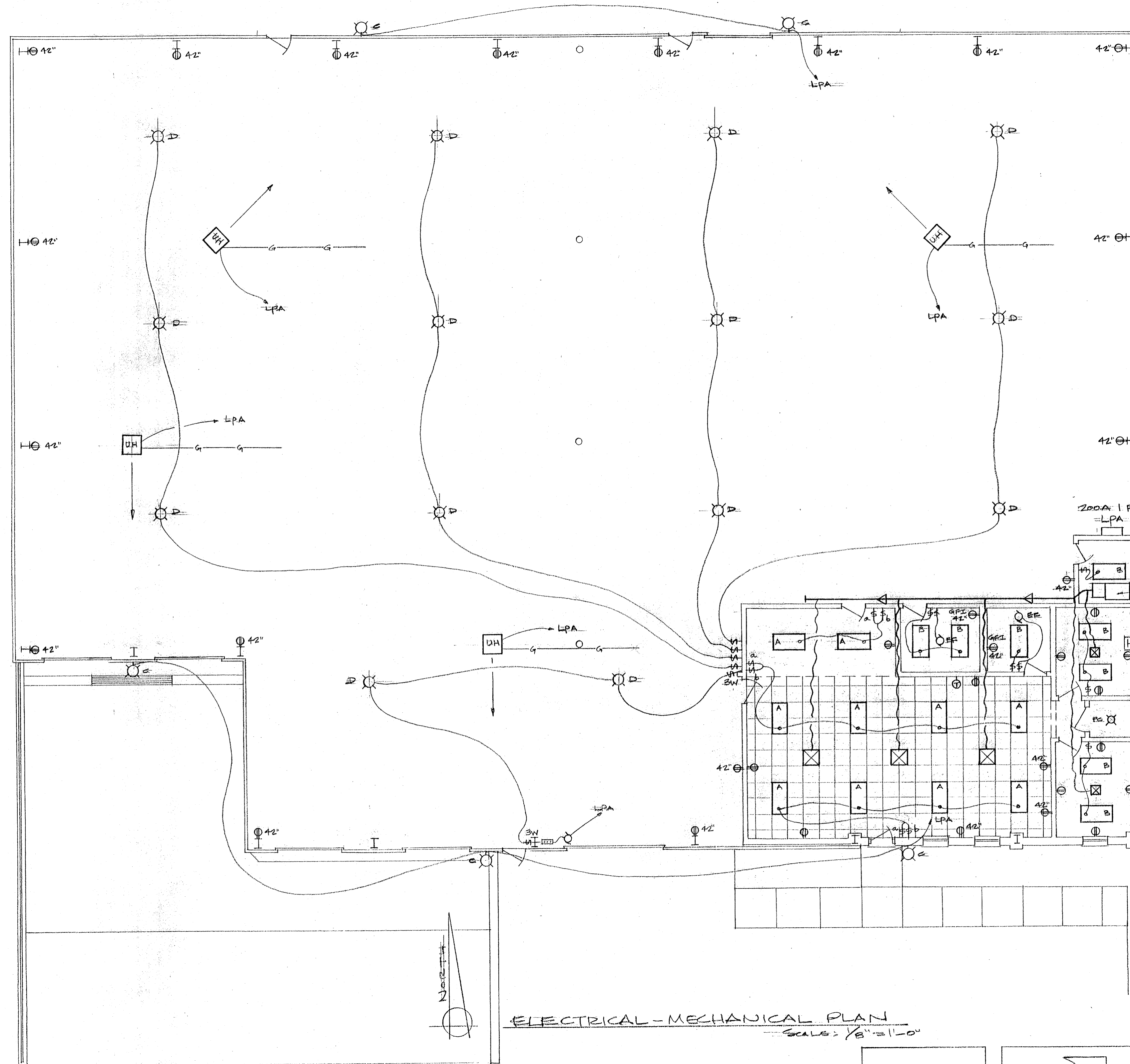


WAREHOUSE FOR NORANDEX INC. 2501 EAST BEECH STREET VALPARAISO, INDIANA		NOVEMBER 15, 1994 REV 11-22-94	
RONALD E. FELGNER & ASSOCIATES, INC. ARCHITECTS - DESIGNERS VALPARAISO, INDIANA	DRAWN FELGNER	CHECKED FELGNER	JORDAN F-9409
PLASTER & COLUMN FTG DETAILS	SCALE AS SHOWN	S-3	



STRUCTURAL DECK PLAN
SCALE: $\frac{1}{4}" = 1'-0"$

<u>WAREHOUSE FOR NORANDX, INC.</u> <u>2501 EAST BEECH STREET</u> <u>VALPARAISO, INDIANA</u>	<u>DECEMBER 1, 1994</u> <u>REV 12-7-94</u> <u>REV 12-13-94</u>	
<u>RONALD E. FELTGEN & ASSOCIATES, INC.</u> <u>ARCHITECTS-DESIGNERS</u> <u>VALPARAISO, INDIANA</u>	<u>DRAWN</u> <u>FELTGEN</u>	<u>JOB NO</u> <u>F-9409</u>
<u>STRUCTURAL DECK PLAN & SECTIONS</u>	<u>CHECKED</u> <u>RF</u> <u>SCALE</u> <u>AS SHOWN</u>	<u>DWG NO</u> <u>S-4</u>

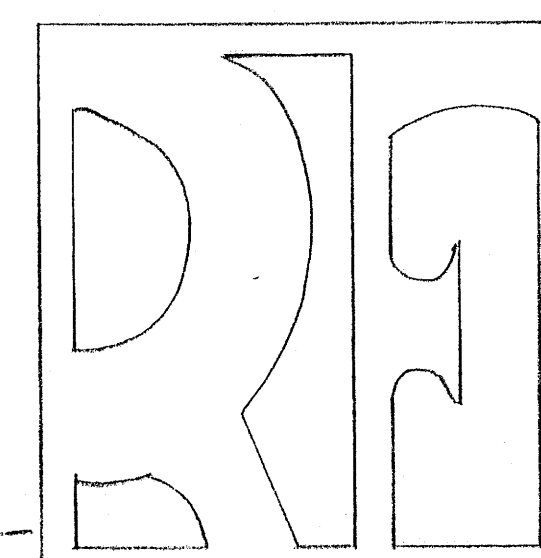
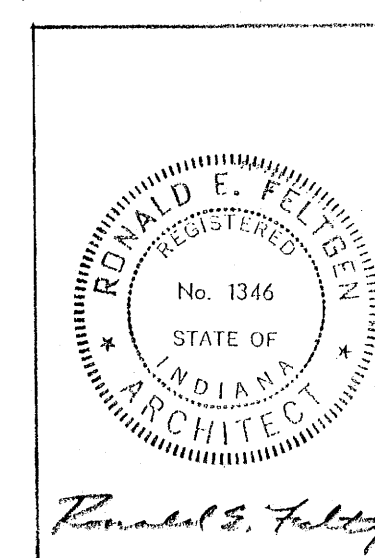


FURN 1: BRYANT MODEL GBI AA036065
 INPUT 65000 BTUH
 OUTPUT 52000 BTUH
 4" ROUND FLUE
 1/2" GAS PIPING
 1200 CFM
 COIL: BRYANT CDS BX030
 COND UNIT:
 BRYANT AA 1BIX030 30000 BTUH
 THERMOSTAT:
 ROBERT SHAW 400-42K
 HEAT COIL - MANUAL CHANGE OVER
 PROVIDE BRYANT & ROBERT SHAW AS SHOWN OR APPROVED EQUAL.

150000 BTU/HZ GAS
 FIRED UNIT HEATER
 STERLING QV2 SERIES
 PROPELLER TYPE
 QV2-150 SPARK IGNITION
 WITH CLASS B FLUE
 PROVIDE STERLING AS SHOWN OR APPROVED EQUAL
 TO LOAD CENTER

SYMBOLS
 \$ HUBBEL #1221
 \$ HUBBEL #5262
 \$ GFI GROUND FAULT INTERRUPTER
 \$ CONVENIENCE OUTLET
 \$ CEILING FIXTURE
 \$ WALL FIXTURE
 \$ THERMOSTAT

FIXTURE SCHEDULE
 A LAY-IN OR SURFACE MOUNT FLUORESCENT LIGHT FIXTURE WITH 4x40 LAMPS DOUBLE SWITCH BENJAMIN OR APPROVED EQUAL
 B SURFACE MOUNT 2x4 FLUORESCENT LIGHT FIXTURE WITH 2x40 LAMPS BENJAMIN OR APPROVED EQUAL
 C HOLOPHANE WALL PACK III WLBK 250MHXX BZ 250 W MH OR APPROVED EQUAL
 D HOLOPHANE ENCLOSED PRISMALUME EGP 250 MH 12 P 35 FI 250 W MH OR APPROVED EQUAL
 E 4" PORC SOCKET 100 WATT MAX PULL CHAIN
 EF "NUTONE" EXHAUST FAN MODEL 8832 W/ PROVIDE 3" ROUND DUCT HORIZONTALLY THRU FLOOR JOISTS TO 885-AL WALL CAP. NUTONE OR APPROVED EQUAL.



WAREHOUSE FOR NORANDEX INC. 2501 EAST BEECH STREET VALPARAISO, INDIANA		DECEMBER 3, 1994 REV 12-7-94 REV 12-14-94 REV 12-15-94	
RONALD E. FELTGREN & ASSOCIATES, INC. ARCHITECTS-DESIGNERS VALPARAISO, INDIANA		DRAWN FELTGREN	JOB NO. #9409
SYMBOLS - FIXTURE SCHEDULE ELECTRICAL-MECHANICAL PLAN		CHECKED FELTGREN	DWG NO. E/HVAC-1
		SCALE AS SHOWN	

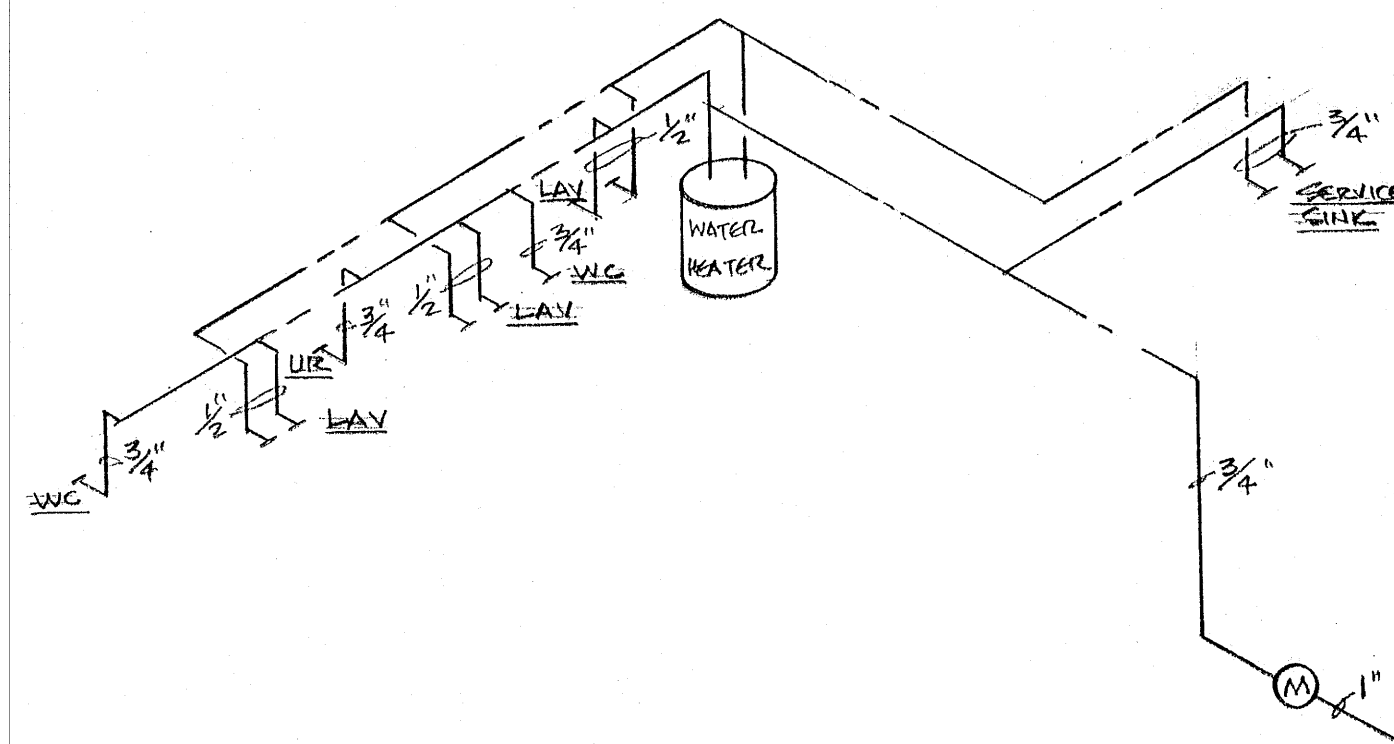
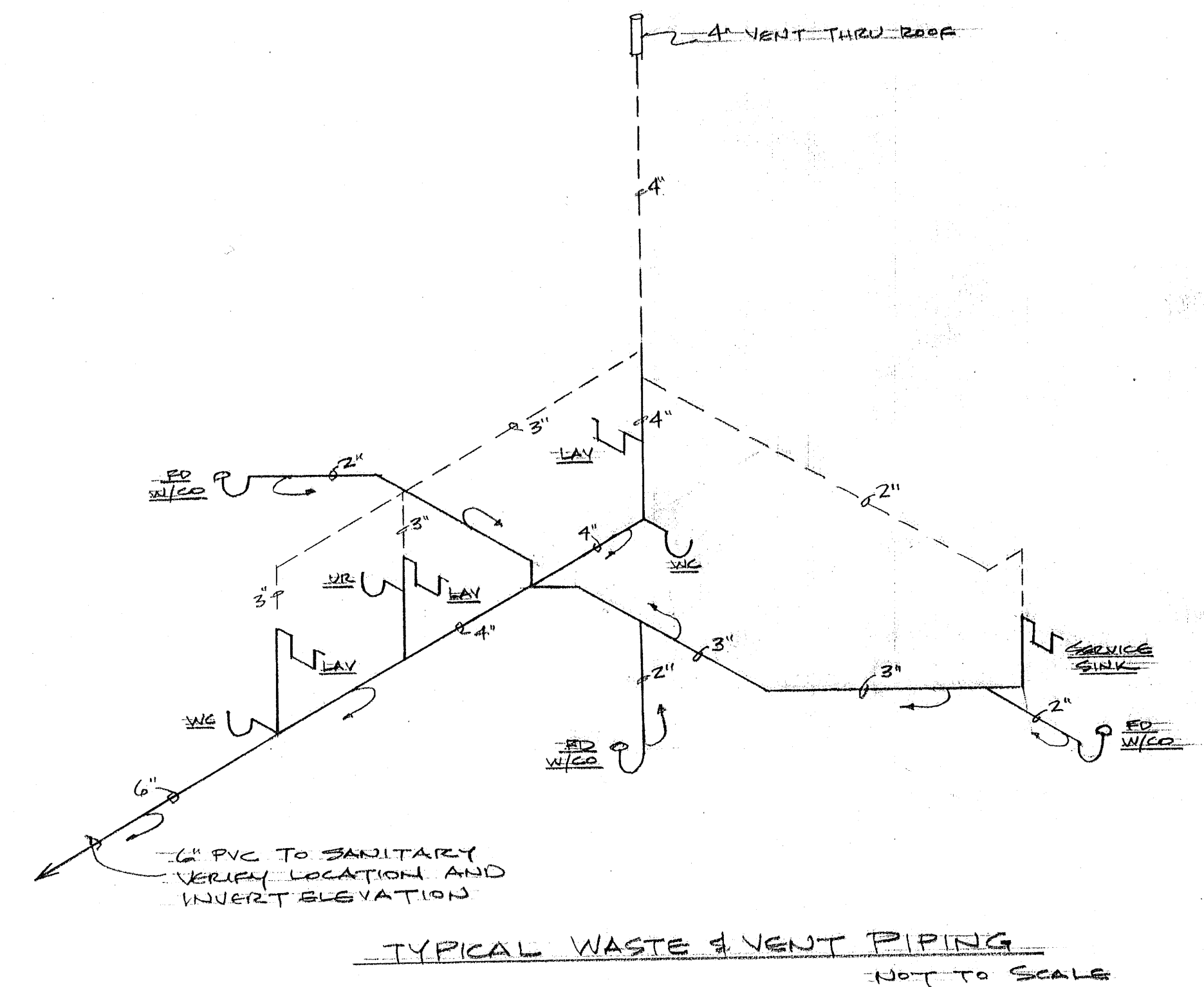
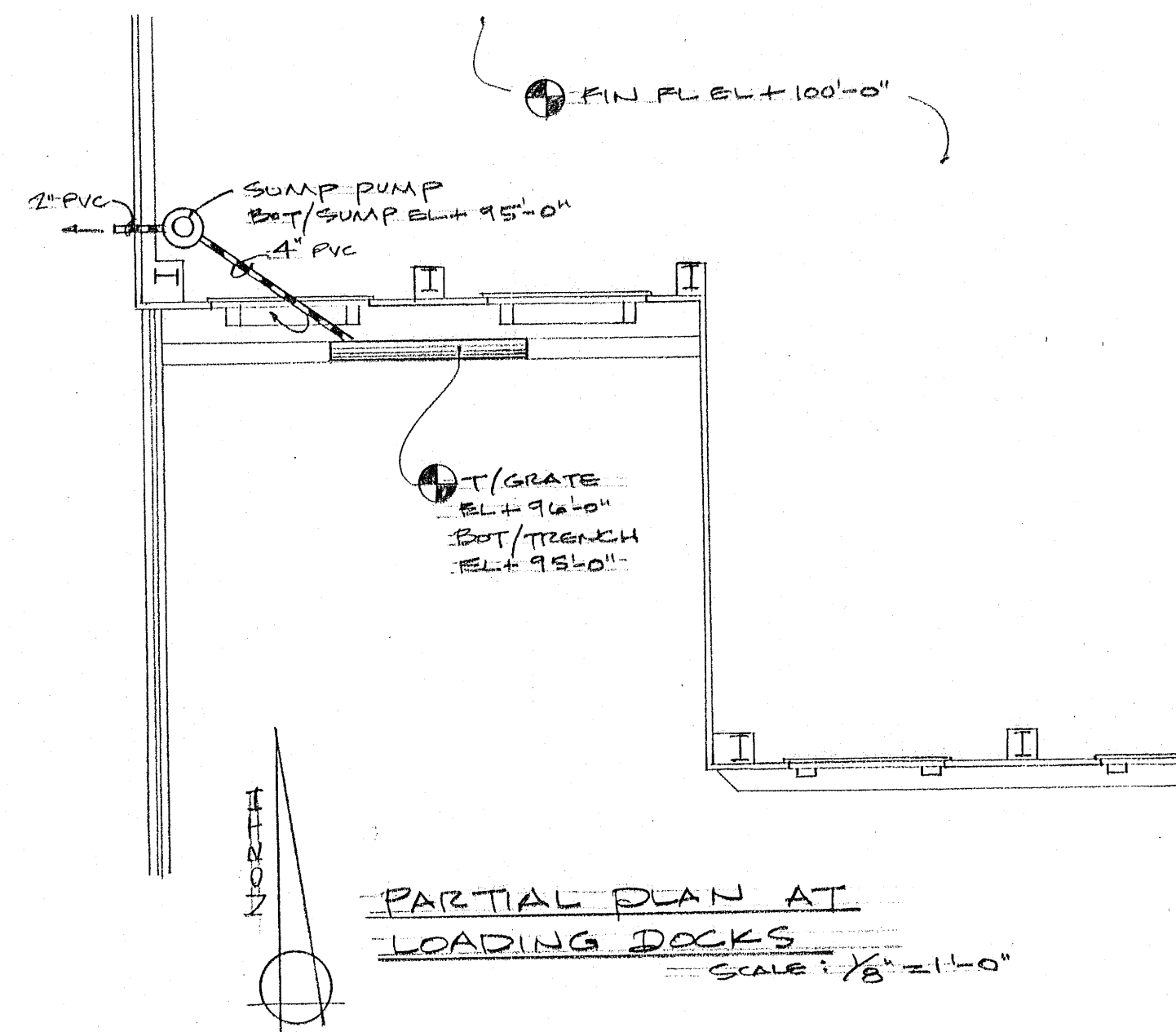
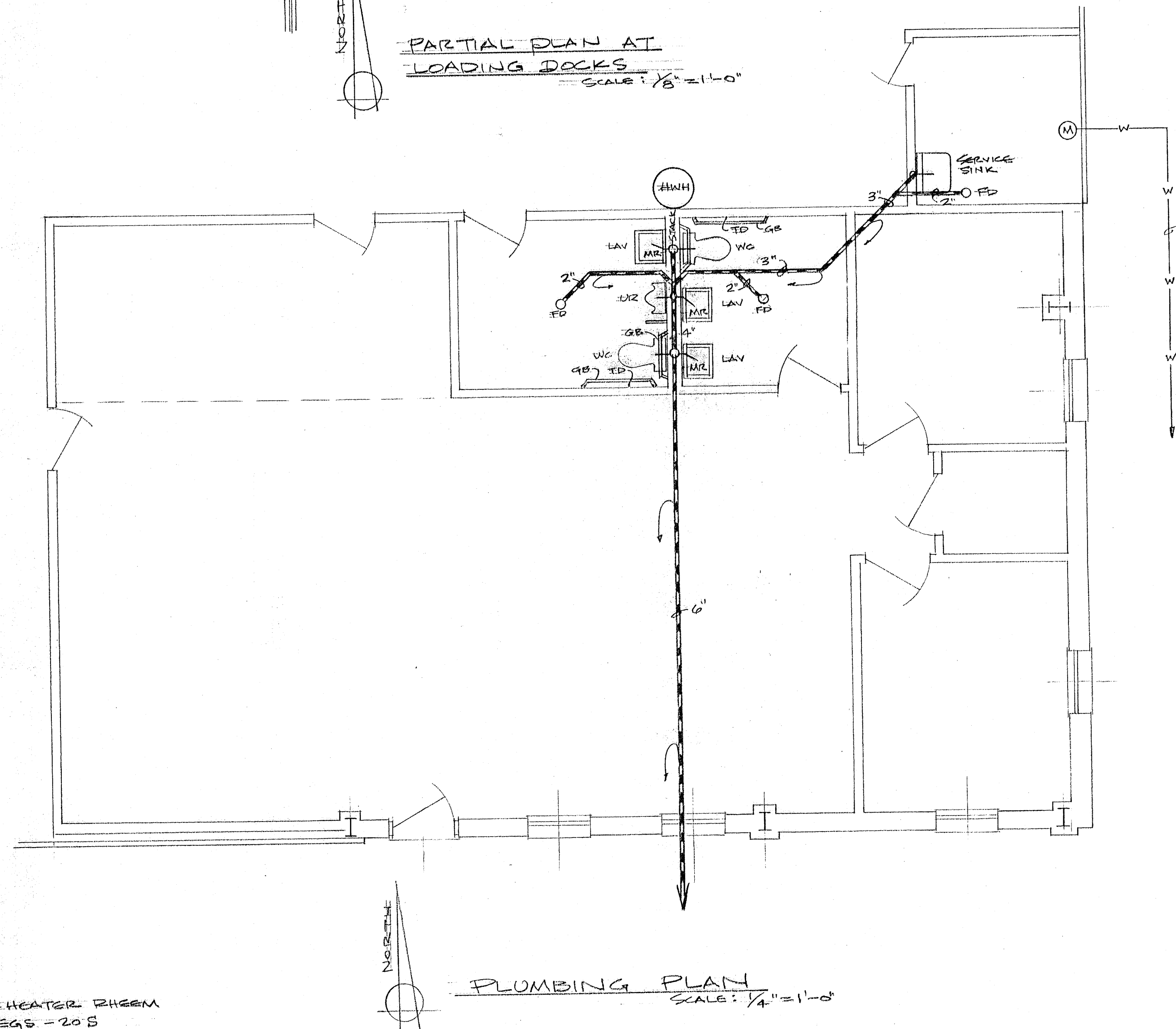
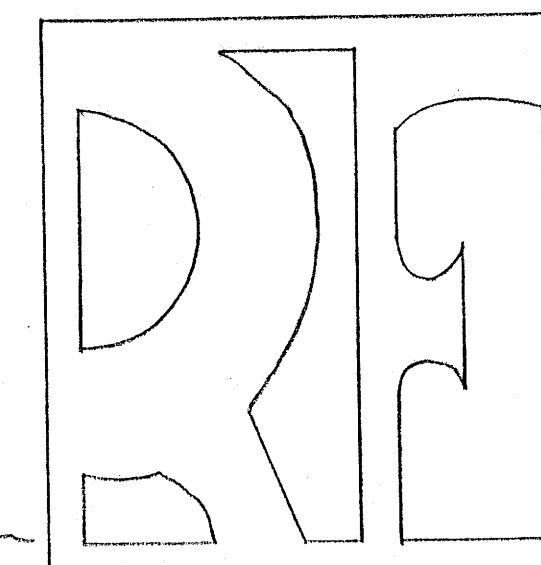
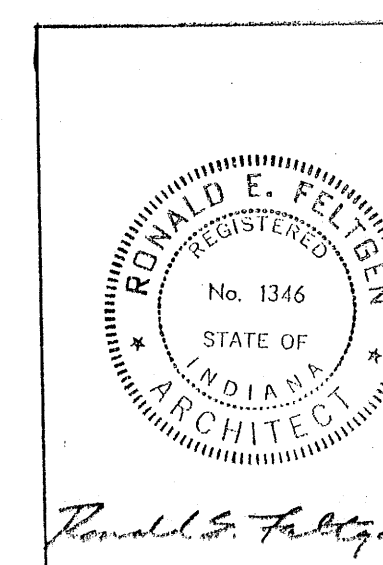


DIAGRAM IS FOR GENERAL INFORMATION
ONLY. SEE PLAN FOR ALL PLUMBING
FIXTURE LOCATIONS.

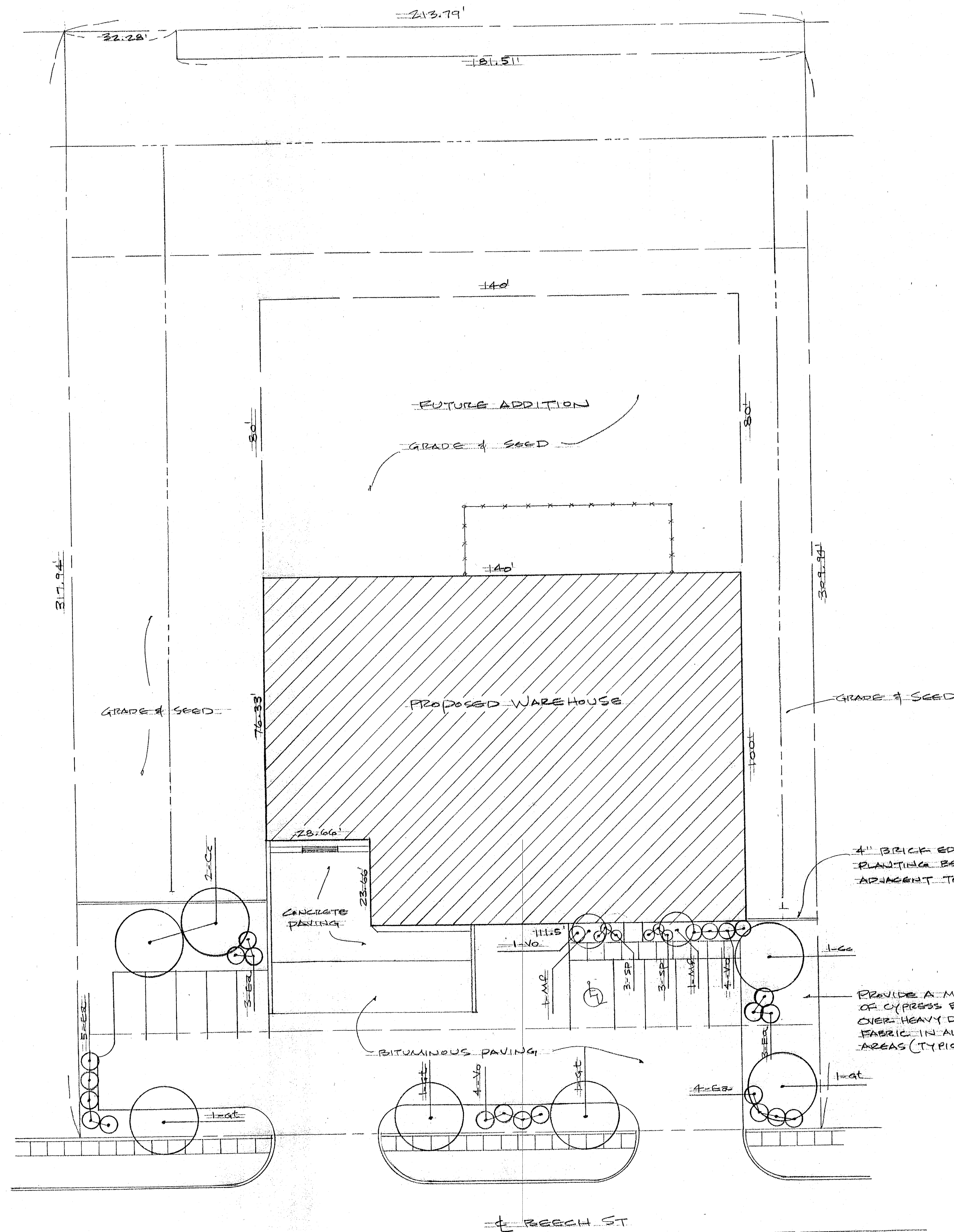


HWH HOT WATER HEATER RHEEM
MODEL N8EGS-20S
TANK CAPACITY 20 GAL
20 3/4" H X 21" DIAM
6000 WATTS, 28.9 AMPS @ 208V
RECOVERY 25 GAL PER HR @ 100°
PROVIDE WALL MOUNTING KIT.
PROVIDE RHEEM AS SPECIFIED ABOVE
OR APPROVED EQUAL.

- PLUMBING EQUIPMENT LIST**
- LAV** LAVATORY - "KOHLER" KINGSTON #K-2006
(18" X 21" COMPLETE WITH SUPPLY FITTINGS;
STRAINER AND TRAP (FLOOR TO TOP OF
RIM 34" FOR HANDICAPPED)
 - WC** WATER CLOSET - HIGHLINE "KOHLER"
#K-352B-EB COMPLETE WITH SUPPLY
AND TANK FITTINGS, ACCESSORIES AND
LUSTRA OPEN FRONT SEAT
(HANDICAPPED)
 - FD** FLOOR DRAIN - ZURN Z 415
 - SERVICE SINK** "KOHLER" BANNON SERVICE SINK K-6716
WITH K-8905 KNOXFORD ROUGH-PLATED
FAUCET WITH VALVE VALVE UNITS, VACUUM
BREAKER AND THREADED SPOUT W/PAIL HOOK
 - GB** GRAB BARS - "BOBRICK" #B-6106 X 42"
AND B-6106 X 24". ALL SATIN FINISH
EACH WITH 256 SERIES ANCHOR PLATES
 - MR** MIRROR - "BOBRICK" #B165 2436
 - TD** TISSUE DISPENSER - "BOBRICK" B-274
 - SUMP PUMP** "FLOTEC" MODEL N2 PM 3600
1/3 HP PEDESTAL SUMP PUMP
WITH 21.0" DIAM X 51.0" DEEP
PERFORATED SUMP
- PROVIDE EQUIPMENT AS SPECIFIED ABOVE
OR APPROVED EQUAL



WAREHOUSE FOR NORANDEX INC. 2501 EAST BEECH STREET VALPARAISO, INDIANA		DECEMBER 5, 1994 REV 12-7-94 REV 12-15-94	
RONALD E. FELTGEN & ASSOCIATES, INC. ARCHITECTS-DESIGNERS VALPARAISO, INDIANA TYPICAL WASTE & VENT PIPING PLUMBING EQUIPMENT LIST PLUMBING PLAN - TYPICAL WATER PIPING	DRAWN FELTGEN	JOHN FELTGEN	P-9409
	CHECKED FELTGEN	DWG. NO.	
	SCALE AS SHOWN	P-1	

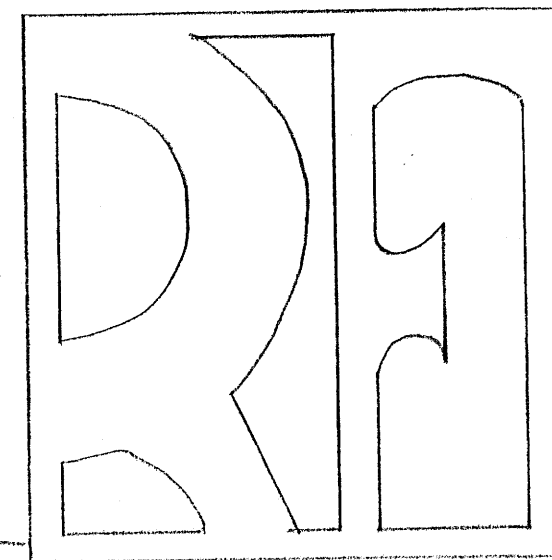
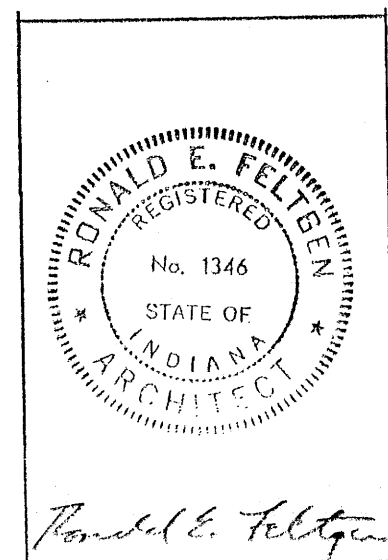


QUAN	SYM	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	REMARKS
1	Vo	VIBURNUM OPULUS VAR. "COMPACTUM"	COMPACT EUROPEAN CRANBERRY BUSH	18"	CONT.	—
3	Cc	CERCIS canadensis	EASTERN REDBUD	6"	B+B	CLUMP FORM
4	Gt	GLADISTIA thymifolia VAR. "HERMIS"	THORNLESS HONEYLOCUST	2"	B+B	—
6	Sp	SALEX purpurea VAR. "NANA"	DWARF BLUE ARTIC. WILLOW	10"	CONT.	—
2	Mf	MALUS floribunda	JAPANESE FLOWERING CRABAPPLE	6"	B+B	—
15	El	EUDYMYNUS elata VAR. "COMPACTUS"	DWARF WINGED SPINDLE TREE	12"	CONT.	—

4" BRICK EDGING ON
PLANTING BEDS IN AREAS
ADJACENT TO LAWN (TYPICAL)

PROVIDE A MINIMUM OF 6"
OF CYPRESS BARK MULCH
OVER HEAVY DUTY FILTER
FABRIC IN ALL PLANTING
AREAS (TYPICAL)

SITE DEVELOPMENT PLAN
SCALE: 1" = 20'-0"



WAREHOUSE FOR NORANDEX, INC. 2501 EAST BEECH STREET VALPARAISO, INDIANA		OCTOBER 12, 1994 REV 11-15-94 REV 12-7-94	
RONALD E. FELTGEN & ASSOCIATES, INC. ARCHITECTS-DESIGNERS VALPARAISO, INDIANA	DESIGNED FELTGEN	DRAWN FELTGEN	DATE FELTGEN
	CHECKED FELTGEN	DATE FELTGEN	DATE FELTGEN
SITE DEVELOPMENT PLAN		SD-1	

(5)

H. CONTRACTOR SHALL LAYOUT THE WORK AND VERIFY ALL ELEVATIONS, DIMENSIONS ETC. PRIOR TO STARTING WORK.

I. THE CONTRACTOR SHALL FURNISH A MINIMUM OF 6 SETS OF SHOP DRAWINGS, EQUIPMENT DATA SHEETS ETC., FOR THE VARIOUS ITEMS OF MATERIALS AND EQUIPMENT.

NO WORK SHALL BE DONE IN THE SHOP OR MATERIAL DELIVERED TO THE SITE UNTIL SHOP DRAWINGS OR EQUIPMENT DATA SHEETS HAVE BEEN CHECKED AND BEAR THE APPROVAL OF THE ARCHITECT.

J. TO INSURE THAT ALL BIDS SUBMITTED FOR THE WORK WILL BE ON A BASIS OF EQUAL QUALITY, PROPOSALS MUST BE BASED ON THE SPECIFIC MATERIAL AND/OR EQUIPMENT MENTIONED AS A STANDARD. IN ADDITION TO ALTERNATES WHICH MAY BE REQUESTED IN THE PROPOSAL, CONTRACTORS ARE INVITED TO SUBMIT BIDS ON OTHER MARKS OF MATERIAL AND/OR EQUIPMENT IN LIEU OF THOSE MENTIONED BUT MUST STATE IN THEIR PROPOSAL THE NAME OF EACH SUBSTITUTION, TOGETHER WITH THE AMOUNT TO BE ADDED TO OR DEDUCTED FROM THE BASE BID FOR ITS USE.

K. THE ARCHITECT WILL SUBMIT DRAWINGS TO THE INDIANA DEPARTMENT OF FIRE AND BUILDING SERVICES TOGETHER WITH THE APPLICATION FOR CONSTRUCTION DESIGN RELEASE. THE FILING FEE CONNECTED THEREWITH WILL BE PAID FOR BY THE OWNER. EXCEPT AS HEREIN ABOVE SPECIFIED, ALL CITY AND STATE PERMITS, INSPECTION FEES, ETC. OF WHATEVER NATURE REQUIRED IN CONNECTION WITH THE CONSTRUCTION OF THIS WORK SHALL BE SECURED AND PAID FOR BY THE GENERAL CONTRACTOR.

L. ALL WORK AND MATERIALS FURNISHED UNDER THE CONTRACT SHALL COMPLY WITH ALL CITY, STATE AND FEDERAL CODES, RULES, REGULATIONS OF WHATEVER NATURE. IT WILL BE THE OBLIGATION ON THE PART OF THE GENERAL CONTRACTOR TO COMPLY WITH ALL PROVISIONS OF THE ABOVE MENTIONED CODES, RULES AND REGULATIONS. ANY AND ALL COSTS AND EXPENSES CONNECTED THEREWITH SHALL BE BORNE BY THE GENERAL CONTRACTOR.

M. THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY MATERIALS, LABOR ETC. TO PROTECT ALL ROADWAYS AND PROPERTIES INCLUDING ALL OVERHEAD AND UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BIND HIMSELF TO REPAIR AND/OR REPLACE ALL DAMAGED WORK AND HOLD THE OWNER HARMLESS FROM ANY LOSSES CONNECTED THEREWITH, INCLUDING ANY DAMAGES RESULTING FROM INTERRUPTION OF SERVICE.

N. REQUEST FOR PAYMENT FORMS TO BE USED SHALL BE AS APPROVED BY THE OWNER AND ARCHITECT.

(6)

UNLESS EXPLICITLY STIPULATED DIFFERENTLY IN THE CONTRACT AGREEMENT, THE CONTRACTOR SHALL RECEIVE PAYMENTS MONTHLY, BASED ON THE WORK COMPLETED AND THE EVALUATION AS PER THE APPROVED BREAKDOWN. THE PAYMENTS SHALL BE IN THE AMOUNT OF NINETY PERCENT (90%) FOR COMPLETED WORK IN PLACE. NO PAYMENT SHALL BE MADE FOR MATERIALS STORED OFF SITE. ONLY MATERIALS AND ITEMS INCORPORATED IN THE JOB WILL BE CERTIFIED AND PAID FOR. THE OWNER WILL RETAIN TEN PERCENT (10%) OF THE TOTAL COST OF THE CONTRACT UNTIL FINAL ACCEPTANCE OF THE WORK.

NO PAYMENT REQUEST WILL BE APPROVED UNLESS A PARTIAL WAIVER OF LIEN IS PROVIDED BY EACH SUB-CONTRACTOR AND THE GENERAL CONTRACTOR.

O. ALL CONTRACTORS SHALL CARRY WORKMAN'S COMPENSATION INSURANCE FOR EACH PERSON EMPLOYED BY HIM ON THE PREMISES AND SHALL MAINTAIN SUCH INSURANCE IN FULL FORCE DURING THE ENTIRE TIME OF THIS CONTRACT.

THE CONTRACTOR SHALL CARRY COMPREHENSIVE GENERAL AND AUTOMOBILE LIABILITY INSURANCE OF \$1,000,000.00 (MINIMUM) AND PROPERTY DAMAGE INSURANCE OF \$1,000,000.00 - \$200,000.00 (MINIMUM)

THE CONTRACTOR TO WHOM THE CONTRACT IS AWARDED SHALL FURNISH A HOLD-HARMLESS INSURANCE POLICY AND A BUILDERS RISK POLICY TO THE OWNER.

CONTRACTORS SHALL CARRY THE FIRE AND OTHER INSURANCE ON THEIR TOOLS, APPLIANCES, AND EQUIPMENT FOR WHICH THE OWNER ASSUMES NO RESPONSIBILITY.

P. THIS CONTRACT SHALL BE SUBJECT TO THE LABOR LAWS OF THE STATE OF INDIANA AND SUBJECT TO LABOR RULES AND REGULATIONS OF THE LOCAL AUTHORITIES.

Q. THE CONTRACT WORK INCLUDES FURNISHING ALL MATERIAL EQUIPMENT, TOOLS, LABOR AND SERVICES NECESSARY FOR PROPER COMPLETION OF THE WORK.

R. THE GENERAL CONTRACTOR SHALL FURNISH TO THE OWNER A LETTER OF GUARANTEE FOR ALL NEW WORK INCLUDING LABOR AND MATERIALS FURNISHED AND INSTALLED ON THE WORK. GUARANTEE SHALL BE FOR A PERIOD OF ONE YEAR AFTER FINAL COMPLETION.

(3)

TIME AND DELIVERY OF BONDS

PERFORMANCE AND PAYMENT BONDS, WHEN REQUESTED, SHALL BE FURNISHED AND DELIVERED TO THE OWNER BY SUCCESSFUL BIDDER WITHIN TEN (10) DAYS AFTER THE RECEIPT BY THE SUCCESSFUL BIDDER OF NOTICE OF TENTATIVE AWARD.

FORM OF AGREEMENT

THE SUCCESSFUL BIDDER WILL BE REQUIRED TO EXECUTE AGREEMENTS WITH OWNER IN THE FORM OF AGREEMENT PREPARED BY THE OWNER IN SUCH NUMBER OF COPIES PARTS AS THE OWNER & ARCHITECT MAY REQUEST.

TIME OF EXECUTION OF AGREEMENTS

THE SUCCESSFUL BIDDER SHALL EXECUTE THE AGREEMENTS WITHIN TEN (10) DAYS AFTER THE RECEIPT BY THE SUCCESSFUL BIDDER OF NOTICE OF TENTATIVE AWARD.

APPLICATION AND CERTIFICATE FOR PAYMENT

WITHIN TEN (10) DAYS AFTER THE TENTATIVE AWARD, THE SUCCESSFUL BIDDER SHALL SUBMIT A COST BREAKDOWN TO THE ARCHITECT ON THE CONTINUATION SHEETS OF THE APPLICATION AND CERTIFICATE FOR PAYMENT FORMS. THE CONTRACTOR SHALL FOLLOW THE FORMAT SHOWN IN THE CONTINUATION SHEETS OF THE APPLICATION AND CERTIFICATE FOR PAYMENT FORMS FOR COSTS BREAKDOWN, AND SHALL ENTER COSTS OF ALL ITEMS APPLICABLE TO HIS CONTRACT. THE PRICES INDICATED SHALL BE TOTAL ERRECTED OR INSTALLED PRICES. OVERHEAD AND PROFIT, AT OWNER'S ELECTION SHALL BE PRO-RATED OVER EACH ITEM SUCH THAT THE SUM OF ALL ITEMS SHOULD TALLY WITH THE AMOUNT OF THE BASE BID. COPIES OF THESE FORMS SHALL BE MADE BY THE CONTRACTOR FOR SUBMITTING PARTIAL PAYMENT REQUESTS TOGETHER WITH ANY OTHER FORMS REQUIRED BY THE OWNER.

INSURANCE

PRIOR TO THE START OF WORK, THE CONTRACTOR SHALL OBTAIN AND FILE WITH THE ARCHITECT THE CERTIFICATES OF ALL INSURANCE REQUIRED BY THE CONTRACT DOCUMENTS.

BIDDER'S RESPONSIBILITIES

BIDDERS ARE CAUTIONED TO INSPECT ALL PLANS, SPECIFICATIONS, AND CONTRACT DOCUMENTS AND ALL OTHER DATA PROVIDED AND ON FILE AND AVAILABLE FROM THE ARCHITECT, AND TO EXAMINE THE SITE AND TO INFORM THEMSELVES OF THE NATURE AND EXTENT OF THE WORK NECESSARY TO PRODUCE THE COMPLETE WORK IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.

A BIDDER'S IMPROPER PREPARATION, ERRORS, OR OMISSIONS IN PROPOSALS SHALL NOT RELIEVE BIDDER FROM FULFILLMENT OF ANY AND ALL OBLIGATIONS & REQUIREMENTS OF THE CONTRACT DOCUMENTS.

(4)

IN ADDITION, THE CONTRACTOR SHALL BE ALLOWED TO USE OWNER'S EXISTING WATER AND ELECTRICITY IN PERFORMING THE WORK TO THE EXTENT THAT SUCH IS REASONABLY AVAILABLE.

GENERAL CONDITIONS

THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION (STANDARD FORM OF THE AMERICAN INSTITUTE OF ARCHITECTS A-201 LATEST EDITION) SHALL APPLY TO ALL TRADES AND DIVISIONS OF THE CONSTRUCTION CONTRACT AND ALL SECTIONS OF THE SPECIFICATIONS.

A. THE GENERAL CONTRACTOR SHALL COORDINATE THE ENTIRE WORK, INCLUDING THAT OF HIS SUBCONTRACTORS.

B. ALL WORK, MATERIALS AND EQUIPMENT SHALL BE OF APPROVED QUALITY AND INSTALLED IN A MANNER SATISFACTORY TO THE OWNER AND ARCHITECT.

C. CLAIM FOR ADDITIONAL COMPENSATION, ON ACCOUNT OF EXTRA WORK FURNISHED, WILL NOT BE ENTERTAINED UNLESS IN EACH AND EVERY INSTANCE SAID WORK IS FURNISHED UPON WRITTEN CHANGE ORDER SIGNED BY THE ARCHITECT AND OWNER.

D. THE GENERAL CONTRACTOR SHALL HAVE AN APPROVED SUPERINTENDENT ON THE JOB SITE AT ALL TIMES DURING CONSTRUCTION OF THIS PROJECT.

E. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING FIELD MEASUREMENTS.

F. AFTER SUBSTANTIAL COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL CORRECT ALL DEFECTS AND OMISSIONS NOTED AT THE FINAL INSPECTION IN THE TIME PERIOD AGREED UPON AT THE INSPECTION.

G. THE BUILDING AND GROUNDS SHALL BE KEPT CLEAN AT ALL TIMES AFTER COMPLETION OF THE CONTRACT, AND BEFORE RECEIVING THE FINAL PAYMENT, THE CONTRACTOR SHALL HAVE ALL PARTS OF THE BUILDING CLEANED WHEREVER SUCH CLEANING IS NEEDED. THE BUILDING AND GROUNDS SHALL BE LEFT IN A PERFECTLY CLEAN CONDITION.

(1)

INSTRUCTIONS TO BIDDERS

THESE INSTRUCTIONS SHALL APPLY TO ALL BIDS ON THE ADDITIONAL WORK. ONE PRIME CONTRACT WILL BE LET BY THE OWNER. GENERAL. THE FOLLOWING PROCEDURES SHALL GOVERN THE SUBMISSION OF ALL BIDS.

EXAMINATION OF SITE, DRAWINGS, ETC.

EACH BIDDER SHALL VISIT THE SITE OF THE PROPOSED WORK. BIDDERS SHALL ALSO THOROUGHLY EXAMINE THE DRAWINGS AND ALL ADDENDA WHICH ARE ISSUED PRIOR TO BID.

INTERPRETATION OR CORRECTION OF BIDDING DOCUMENTS

BIDDERS SHALL NOTIFY THE ARCHITECT OF ANY AMBIGUITY, INCONSISTENCY, DISCREPANCY, OMISSION OR ERROR WHICH THEY MAY DISCOVER UPON EXAMINATION OF THE DRAWINGS OR OF THE SITE AND LOCAL CONDITIONS. ALL INTERPRETATION, CORRECTION OR CHANGE WILL BE MADE BY ADDENDUM.

ADDENDA

EACH BIDDER SHALL ASCERTAIN, PRIOR TO SUBMITTING HIS BID, THAT HE HAS RECEIVED ALL ADDENDA ISSUED, AND HE SHALL ACKNOWLEDGE THEIR RECEIPT IN HIS BID.

FORM AND STYLE OF BIDS

THE EXECUTED COPIES OF THE PROPOSAL FORM ARE TO BE SUBMITTED WITH THE BID. THE BIDDER SHALL SUPPLY THE FULL BUSINESS ADDRESS OF THE BIDDER, AND WHERE SIGNATURES ARE REQUIRED, THE USUAL SIGNATURE SHALL BE UTILIZED.

SUBMISSION OF BIDS

ALL BIDS MUST BE SUBMITTED IN CONFORMITY WITH AND SHALL BE BASED UPON AND SUBMITTED SUBJECT TO ALL REQUIREMENTS OF THE DRAWINGS.

PROPOSALS & REQUIRED DOCUMENTS MUST BE ENCLOSED IN AN OPAQUE ENVELOPE BEARING THE NAME AND PLACE OF BUSINESS OF BIDDER, AND CLEARLY IDENTIFYING WORK FOR WHICH THE BID IS SUBMITTED.

THE BID ENVELOPE SHALL BEAR THE CONSPICUOUS LEGEND "BID DOCUMENTS" AND BE ADDRESSED TO:

FOUND CONSTRUCTION CO.
359 S. FRANKLIN ST.
VALPARAISO, INDIANA 46383

ATTENTION: DENNIS HAIN

(2)

OPENING OF BIDS

PROPERLY IDENTIFIED BIDS RECEIVED ON TIME WILL BE OPENED AFTER THE TIME STATED IN THE ADVERTISEMENT OR INVITATION. SUCH BIDS WILL BE OPENED IN PRIVATE BY THE OWNER IN THE PRESENCE OF THE ARCHITECT.

REJECTION OF BIDS

THE OWNER RESERVES THE ABSOLUTE RIGHT TO REJECT ANY OR ALL BIDS.

ACCEPTANCE OF BID (AWARD)

THE BIDS SHALL BE SUBJECT TO ACCEPTANCE BY THE OWNER. THE OWNER SHALL HAVE THE RIGHT TO REJECT ANY AND ALL BIDS AND, AT OWNER'S SOLE DISCRETION, TO WAIVE OBJECTION TO ANY INFORMALITIES OR IRREGULARITIES IN THE BIDDING OR IN ANY BIDS RECEIVED. ALL BIDS SHALL REMAIN VALID FOR THIRTY DAYS.

SUBMISSION AFTER BIDDING

AFTER OPENING OF THE BIDS, BIDDERS REQUESTED BY THE OWNER & ARCHITECT SHALL DELIVER TO THE ARCHITECT, WITHIN TWO WORKING DAYS OF REQUEST, A LIST OF ALL SUBCONTRACTORS AND ALL MATERIALS AND MATERIAL SUPPLIERS PROPOSED TO BE USED IF AWARDED THE CONTRACT. FAILURE TO COMPLY WITH THIS REQUIREMENT SHALL BE SUFFICIENT CAUSE TO REJECT A BID.

BONDS REQUIRED

ALL BIDDERS SHALL INCLUDE, AS PART OF THEIR BIDS, A BID BOND OR CERTIFIED CHECK, IN LIEU OF A BID BOND, IN THE AMOUNT OF TEN PERCENT (10%) OF THE TOTAL BID.

UPON ACCEPTANCE OF HIS BID, THE SUCCESSFUL BIDDER WILL BE REQUIRED TO FURNISH A PERFORMANCE AND LABOR MATERIAL AND SERVICE PAYMENT BOND IN THE TOTAL SUM OF ONE HUNDRED PERCENT (100%) OF THE TOTAL AMOUNT PAYABLE BY THE TERMS OF THE CONTRACT. SUCH BONDS SHALL COMPLY IN ALL RESPECTS WITH ALL LAWS OF THE STATE OF INDIANA WITH SUCH SURETY AND IN EACH FORM AS IS SATISFACTORY TO THE OWNER. COST OF SAID BONDS SHALL BE INCLUDED IN THE BID, AND SAID COST SHALL BE SEPARATELY INCLUDED IN THE BID.

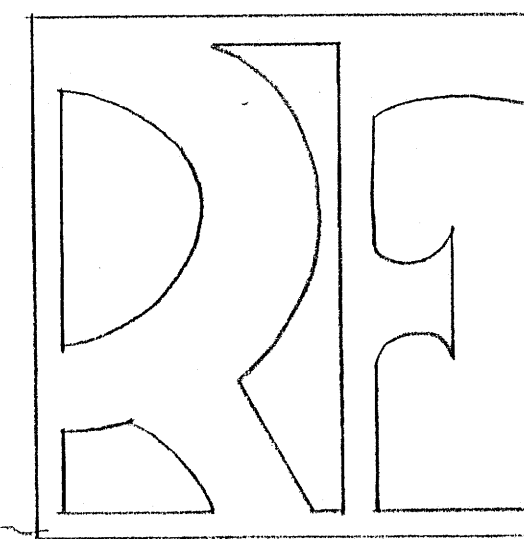
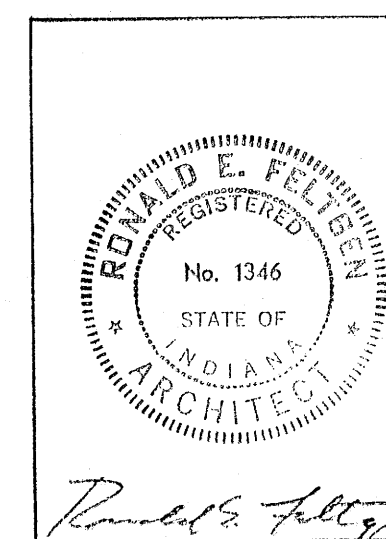
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WAREHOUSE FOR NORANDEX, INC.
2501 EAST BEECH STREET
VALPARAISO, INDIANA

DECEMBER 14, 1994

RONALD E. FELTGEN & ASSOCIATES, INC. 1059 RANSON ROAD VALPARAISO, INDIANA PA 219-443-2791	DRAWN FELTGEN	DWG NO. P-9409
	CHECKED P SCALE AS SHOWN	DWG NO. 16-1

GENERAL CONDITIONS, INSTRUCTIONS TO BIDDERS



WILLIAM J. KRULL
REG. ENGINEER NO. 235
KEVIN A. KRULL
REG. SURVEYOR NO. 20100075

KRULL SURVEYING

ENGINEERS AND SURVEYORS
ESTABLISHED 1914

P.O. BOX 422
206 MAIN STREET
HOBART, INDIANA 46342
OFFICE PHONE 219-947-2588

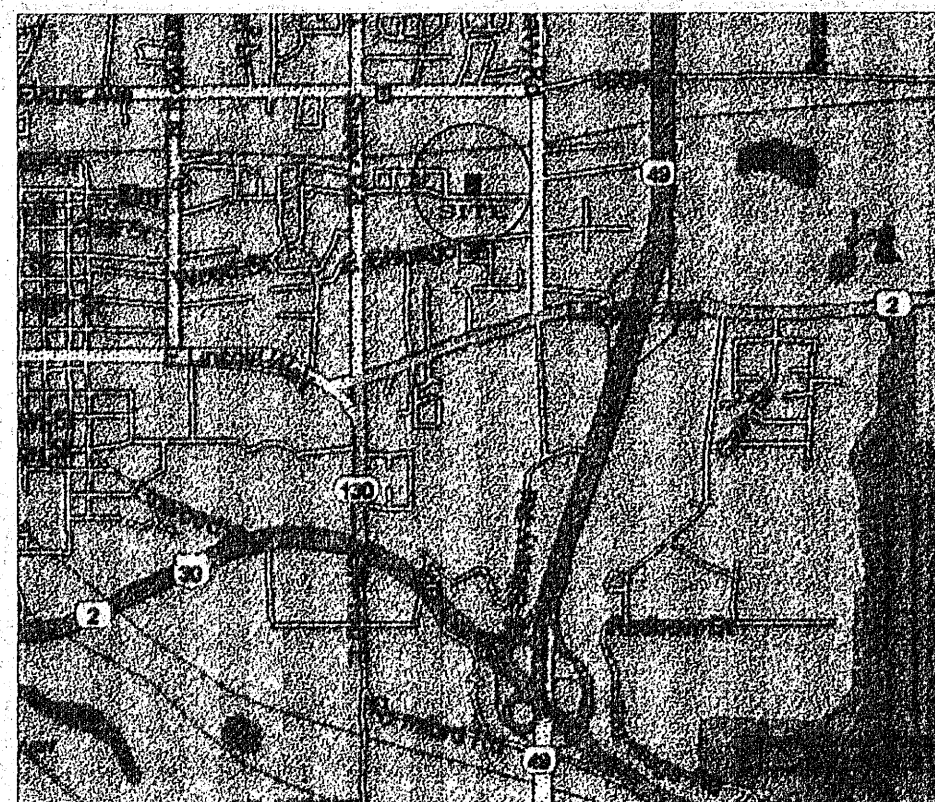
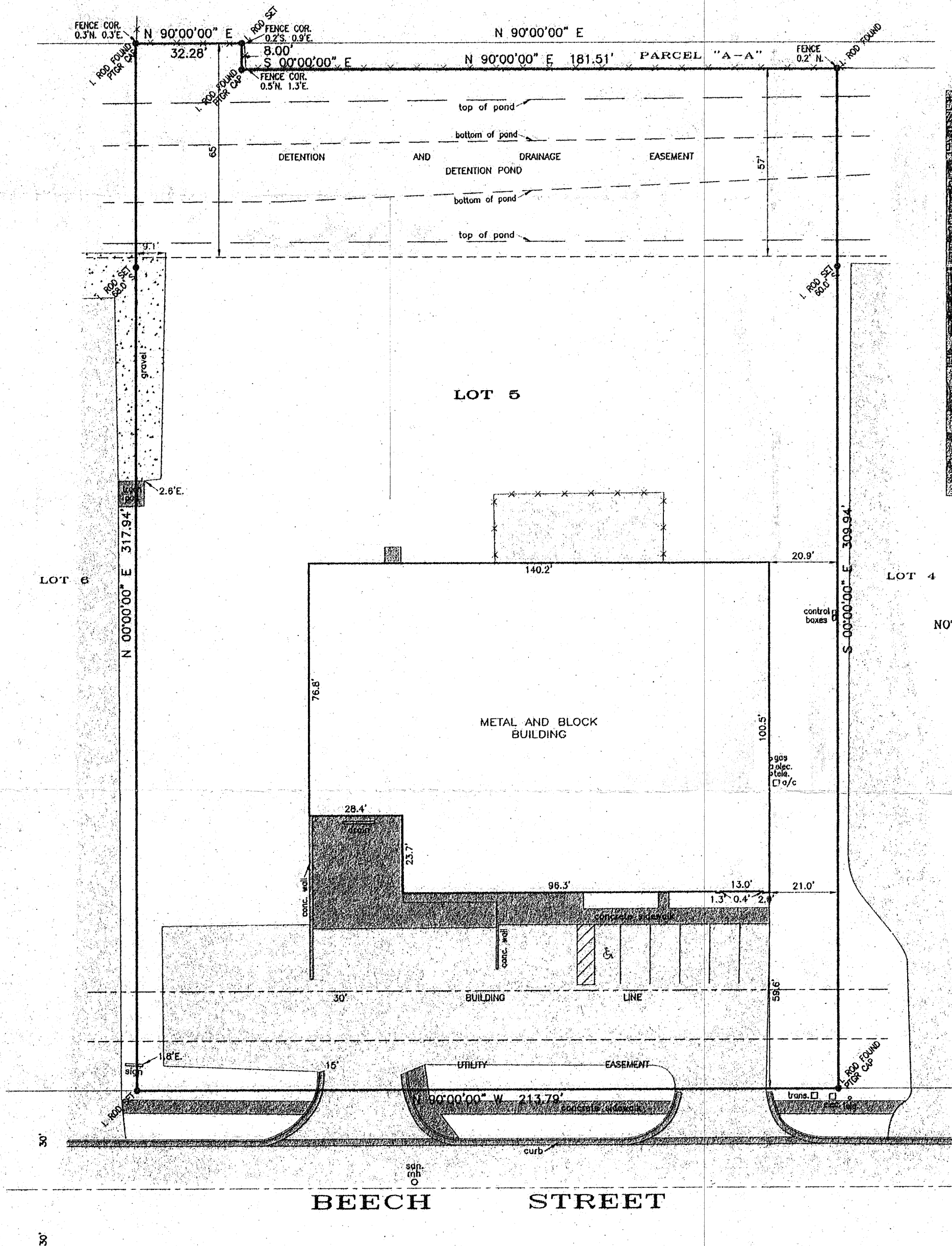
ROBERT A. KRULL
REG. ENGINEER NO. 3892
REG. SURVEYOR NO. 10516

ALTA/ACSM LAND TITLE SURVEY

NAME OF OWNER:

ADDRESS OF PROPERTY: 2501 Beech Street, Valparaiso, Indiana 46383

DESCRIPTION OF PROPERTY: Lot 5 in the Partial Replat of Parcel B and Parcel C in Silhavy Commercial Park, as per plat thereof, recorded in Plat File 18-E-5B, in the Office of the Recorder of Porter County, Indiana.



VICINITY MAP

NOTE: According to FIRM Community-Panel 180425-0000-B, dated April 1, 1982, the above described parcel is in Zone "C".

LEGEND

- = SANITARY MANHOLE
- = TELEPHONE BOX
- = GAS METER
- = ELECTRIC METER
- = ELECTRIC BOX
- = ELECTRIC TRANSFORMER
- = AIR CONDITIONER
- = GRAVEL
- = BITUMINOUS PAVEMENT ROADWAY
- = CONCRETE SIDEWALK, CURB, ETC.

SURVEYOR'S REPORT

In accordance with Title 865, Article 1.0, Chapter 12, Section 1 through 34 of the Indiana Administrative Code, the following observations and opinions are submitted regarding the various uncertainties in the location of the lines and corners established on this survey as a result of:

- The following documents were used in the course of this survey:
1. The recorded subdivision plat of Partial Replat of Parcel B and Parcel C in Silhavy Commercial Park prepared by PTGR.
 2. Chicago Title Insurance Company Commitment Order No. 520101425, effective date August 16, 2010. The description on the hereon drawn plat was obtained from said Commitment.

The following monuments were used for this survey:

1. Iron monuments from previous surveys of Lot 5 and adjacent lots in said Partial Replat of Parcel B and Parcel C in Silhavy Commercial Park.
2. Iron rods shown as set hereon are 5/8 inch rebar, 24 inches long, with yellow surveyor identification cap stamped "Krull RLS 20100075".

Availability and condition of reference monuments:

The monuments were in good condition and appeared undisturbed and were found at or near grade.

Uncertainties resulting from occupation lines:

Apparent uncertainties in possession were observed. Fences lines, gravel paving, a concrete pad and a sign deviated from the deed lines by as much as 9.1 feet as shown on the hereon drawn plat.

Discrepancies due to record descriptions:

No apparent uncertainties resulted from the record descriptions.

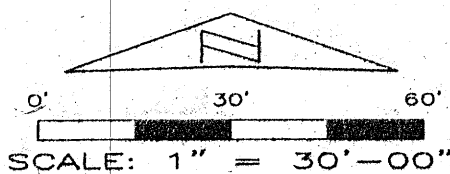
The Relative Positional Accuracy (due to random errors in measurements) of this survey is within that allowable for a Suburban Survey (0.13 feet plus 100 ppm) as defined in IAC 865.

STATE OF INDIANA
COUNTY OF LAKE)

September 27, 2010

TO, 2501 BEECH STREET, INC., T&BA HOLDINGS, INC., ROYNAT CAPITAL AND CHICAGO TITLE INSURANCE COMPANY: THIS IS TO CERTIFY THAT THIS PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS IN 2005, AND INCLUDES ITEMS 1, 2, 3, 4, 7A, 8, 9, 10 AND 11A OF TABLE A THEREOF. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION AS A LAND SURVEYOR REGISTERED IN THE STATE OF INDIANA, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.

Kevin A. Krull, REG. LAND SURVEYOR NO. 20100075



EXPLANATIONS

NO DIMENSIONS SHOULD BE ASSUMED BY SCALE MEASUREMENTS UPON THE PLAT
NOTE - CONTRACTORS OR BUILDERS SHOULD BE NOTIFIED TO CAREFULLY TEST AND COMPARE ON THE GROUND THE POINTS, MEASUREMENTS, ETC., AS NOTED IN THIS CERTIFICATE, WITH THE STAKES, POINTS, ETC., GIVEN ON THE PROPERTY, BEFORE BUILDING ON THE SAME, AND AT ONCE REPORT ANY SEEMING OR APPARENT DIFFERENCE BETWEEN THE SAME TO THE SURVEYOR, THAT MISUNDERSTANDING, DISPLACEMENT OF POINTS, ETC., MAY BE CORRECTED BEFORE DAMAGE IS DONE.

SILHAVY COMMERCIAL PARK, PARTIAL REPLAT P.C.S. B & C
DISK: K1338 FILE: 10-232.*

FIELD BOOK NO. Notes PAGE

ORDERED BY Commercial Properties PLAT NO. XL