

# INCA ST. 10 SITE DEVELOPMENT PLAN

LYING WITHIN THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 4, TOWNSHIP 4 SOUTH,  
RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
A PART OF 815 N. INCA ST, UNITS 101, 102, 103, 104, 201, 202, 203, 204, 301, 302

## ZONE LOT DESCRIPTION

LOT 25, BLOCK 18, SMITH'S ADDITION TO THE CITY OF DENVER, AND THE NORTH 18.14 FEET OF LOT 8, BLOCK 6, ELMWOOD ADDITION TO THE CITY OF DENVER, LOCATED WITHIN THE SE 1/4 SECTION 4, TOWNSHIP 4 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY AND COUNTY OF DENVER, STATE OF COLORADO.

LESS AND EXCEPT THE WEST 2.00 FEET OF SAID LOT 25, BLOCK 18, SMITH'S ADDITION TO THE CITY OF DENVER AND THE WEST 2.00 FEET OF THE NORTH 18.14 FEET OF LOT 8, BLOCK 6, ELMWOOD ADDITION TO THE CITY OF DENVER, STATE OF COLORADO.

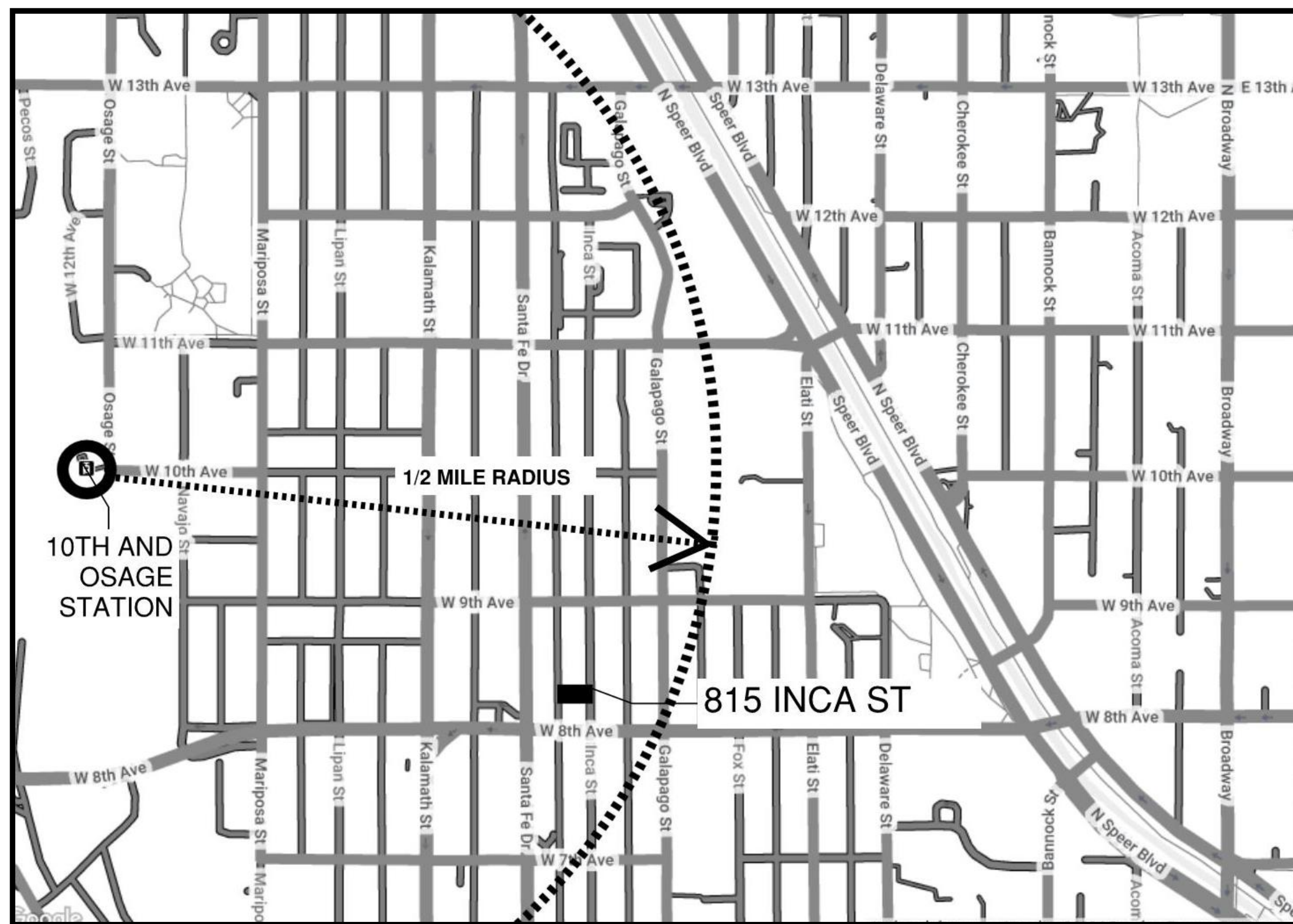
TOTAL AREA OF SUBJECT PROPERTY IS ±3,755 SQUARE FEET OR ±0.086 ACRES OF LAND, MORE OR LESS. ALSO KNOWN AS: 875 NORTH INCA STREET, DENVER, COLORADO 80204-4342

BASIS OF BEARING:

A 20.00 FOOT RANGE LINE LOCATED IN W. 9TH AVE. BETWEEN SANTA FE DRIVE AND INCA STREET IS ASSUMED TO BEAR NORTH 89°41'56" EAST, A DISTANCE OF 286.95 FEET BETWEEN A STONE WITH A CHISELED X IN A RANGE BOX FOUND AT THE INTERSECTION OF SANTA FE DRIVE AND WEST 9TH AVENUE AND A 2.5" ALUMINUM CAP STAMPED PLS 37969 IN A RANGE BOX FOUND AT THE INTERSECTION OF WEST 9TH AVENUE AND INCA STREET.

## STATISTICAL INFORMATION

GENERAL ZONE LOT INFORMATION		
ZONE DISTRICT	C-MS-5, UO-1, UO-2	
BASE PLANE TYPE	SINGLE BASE PLANE METHOD	
AREA	SF	ACRES
ZONE LOT SIZE	3827 SF	0.086
AREA DEEDED FOR ROW	72 SF	0.002
NET PROJECT AREA	3755 SF	0.086
BASE PLANE		
BASE PLANE	5,249.50'	
STREET DESIGNATION		
PRIMARY STREET	INCA ST.	
USE INFORMATION		
USE 1 - DWELLING, MULTI-UNIT (GFA)	6,264 GSF	
PARKING RATIO	.75 SPACES PER UNIT REQUIRED*	
TOTAL NUMBER OF DWELLING UNITS	10	
ENCLOSED GARAGE SF	235 SF	
BUILDING SITING STANDARDS		
BUILDING FORM USED	SHOPFRONT (7.3.3.3.1)	
BUILD-TO RANGE	0' - 10'	
PEDESTRIAN ACCESS	ENTRANCE	
DESIGN ELEMENTS		
BUILDING HEIGHT, STORIES	ALLOWED	PROVIDED
	5 MAX	3
BUILDING HEIGHT, FEET	24' MIN, 70' MAX	32' - 1"
REQUIRED		
SETBACK, PRIMARY ST*	0'	3' - 6"
SETBACK, SIDE INTERIOR*	0'	3' - 10" (N), 3' - 5/8" (S)
REAR, ALLEY SETBACK	0'	5' - 0 1/2"
PRIMARY STREET BUILD-TO, PERCENT	75.0%	78.0%
PRIMARY STREET BUILD-TO, FEET	27'	27' - 11"
STREET-LEVEL ACTIVATION		
PRIMARY STREET TRANSPARENCY (40%)	REQUIRED	PROVIDED
	11'-2" (40%)	12'-10" (46%)
PRIMARY STREET LEVEL ACTIVE USE	100% OF REQUIRED BUILD TO	100% OF REQUIRED BUILD TO
PARKING		
VEHICLE PARKING		
	REQUIRED	PROVIDED
VEHICLE PARKING EXEMPTION	VEHICLE PARKING EXEMPTION - SEC. 10.4.5.1.A.3.B - NEW BUILDINGS ON SMALL ZONE LOTS LOCATED WITHIN PROXIMITY TO TRANSIT SERVICE	
EXEMPTION ALLOWED	ALL USES IN THE LOWER 2 STORIES ARE EXEMPT FROM PROVIDING VEHICLE PARKING	
TOTAL REQUIRED SPACES (INC ACCESSIBLE)	10	2
ADJUSTED REQUIRED SPACES (INC ACCESSIBLE)	2	2
ACCESSIBLE SPACES (INC VAN ACCESSIBLE)	1	1
VAN ACCESSIBLE SPACES	1	1
COMPACT SPACES	10% MAX ALLOWED	N/A
BICYCLE		
TOTAL (1 PER 2 UNITS)	5	6
ENCLOSED (80%)	4	4
FIXED (20%)	1	2



VICINITY MAP  
SCALE: 1/50 = 1'-0"

## GENERAL NOTES

- THIS SDP WAS REVIEWED UNDER THE DENVER ZONING CODE, EFFECTIVE DATE JUNE 25TH, 2010, RESTATED IN ITS ENTIRETY ON JULY 1, 2021, AS AMENDED THROUGH JULY 5, 2023.
- FENCES, WALLS, SIGNS AND ACCESSORY STRUCTURES MAY BE SUBJECT TO SEPARATE REVIEWS AND PERMITS.
- WHERE PRIVATE ROADWAYS SERVE AS REQUIRED FIRE LANES OR FIRE APPARATUS ACCESS ROADS, "FIRE LANE" SIGNAGE NEEDS TO BE POSTED AS REQUIRED BY DENVER FIRE CODE SECTION 503.3. FIRE LANE DESIGNATIONS AND SIGNAGE LOCATIONS NEEDS TO BE SHOWN ON THE SITE PLAN. PRIVATE ROADWAYS SERVING AS FIRE LANES NEED TO BE CONSTRUCTED IN ACCORDANCE WITH AN APPROVED DOTI ROADWAY SECTION PER DENVER FIRE CODE SECTION 503.2.1.
- ACCESSIBLE PARKING SPACES MUST BE IDENTIFIED BY SIGNS AND ON PAVEMENT SURFACES WITH THE INTERNATIONAL SYMBOL OF ACCESSIBILITY (ISA).
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH ADA REQUIREMENTS.
- SITE SHALL BE LANDSCAPED PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY (CO) DURING THE GROWING SEASON OF APRIL 1ST TO OCTOBER 1ST. ALL OTHER TIMES THE INDIVIDUAL SITES SHALL BE LANDSCAPED WITHIN 45 DAYS OF THE START OF THE FOLLOWING GROWING SEASON.
- ALL LANDSCAPE AREAS NEED TO BE IRRIGATED WITH UNDERGROUND AUTOMATIC IRRIGATION SYSTEM. TREES, SHRUBS, AND DECORATIVE GRASSES WILL BE IRRIGATED BY A SEPARATE ZONE FROM SOI/GRASS; THIS INCLUDES TREES PLANTED IN SOI/GRASS AREA. THE IRRIGATION SYSTEM IS TO HAVE A RAIN SENSOR SHUTOFF INSTALLED.
- PRIVATE ROADWAYS ARE NON-DEDICATED STREETS AND WILL NOT BE MAINTAINED BY THE CITY AND COUNTY OF DENVER.
- DENVER GREEN BUILDING ORDINANCE: FULL EXEMPTION - NEW RESIDENTIAL ONLY BUILDING < 25,000 GFA, 5 STORIES OR LESS.
- AT THE TIME OF APPROVAL THE SITE DEVELOPMENT PLAN FALLS WITHIN TIER 0 OF THE TRANSPORTATION DEMAND MANAGEMENT (TDM) ORDINANCE NO. 20210342 AND ADOPTED RULES AND REGULATIONS, AND THEREFORE HAS NO TDM REQUIREMENTS. THE APPROVED TIER 0 TDM PLAN IS ON FILE WITH THE DEPARTMENT OF TRANSPORTATION AND INFRASTRUCTURE, TRAN FILE # TBD.
- PURSUANT TO ORDINANCES 20220424 & 20220426 AND ORDINANCE 20230422, WHICH EXTENDED THE DEADLINES BY WHICH AN APPLICANT MUST OBTAIN APPROVAL OF A SITE DEVELOPMENT PLAN, THE DEVELOPMENT RESULTING FROM THIS APPROVED SITE DEVELOPMENT PLAN IS EXEMPT FROM THE MANDATORY AFFORDABLE HOUSING ORDINANCE. THE PROJECT SUBMITTED A SITE DEVELOPMENT PLAN CONCEPT PRIOR TO JUNE 30, 2022, AND THE PROJECT RECEIVED CONSOLIDATED REVIEW COMMENTS BY MAY 17, 2024, WHICH REQUIRED A 4TH OR MORE ROUND OF FORMAL SITE DEVELOPMENT PLAN REVIEW, AND RECEIVED SITE DEVELOPMENT PLAN APPROVAL PRIOR TO AUGUST 31, 2024.

## SHEET INDEX

- COVER SHEET
- SURVEY
- SURVEY
- SITE PLAN
- UTILITY AND GRADING PLAN
- LANDSCAPE PLAN
- LANDSCAPE DETAILS
- FIRST FLOOR PLAN
- SECOND FLOOR PLAN
- THIRD FLOOR PLAN
- ROOF PLAN
- ARCHITECTURAL BUILDING ELEVATIONS
- PHOTOMETRIC PLAN
- DETAILS

## OWNER'S SIGNATURE

I (WE), THE UNDERSIGNED, SHALL COMPLY WITH ALL REGULATIONS CONTAINED IN DENVER ZONING CODE. THE FOLLOWING SIGNATURES CONSTITUTE ALL OWNERS AND HOLDERS OF DEEDS OF TRUST FOR LAND AND STRUCTURES INCLUDED IN THIS PLAN.

BY \_\_\_\_\_ DATE \_\_\_\_\_  
Ben Gearhart

STATE OF COLORADO  
CITY AND COUNTY OF DENVER

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_ OF \_\_\_\_\_ AD 2024 BY

WITNESS MY HAND AND OFFICIAL SEAL  
MY COMMISSION EXPIRES: \_\_\_\_\_

NOTARY PUBLIC

ADDRESS

## SURVEYOR'S CERTIFICATE

I, RICHARD B. GABRIEL, A REGISTERED LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY FOR THE INCA ST. 10 WAS MADE UNDER MY SUPERVISION AND THE ACCOMPANYING PLAN ACCURATELY AND PROPERLY SHOWS SAID SURVEY.

RICHARD B. GABRIEL, P.L.S.  
COLORADO LICENSE NO. 37929

## APPROVALS

APPROVED BY \_\_\_\_\_ Date \_\_\_\_\_  
For the Zoning Department

APPROVED BY \_\_\_\_\_ Date \_\_\_\_\_  
For the Manager of Community Planning and Development

## CLERK'S AND RECORDER'S CERTIFICATE

STATE OF COLORADO

JSS.

CITY AND COUNTY OF DENVER

I HEREBY, CERTIFY THAT THIS INSTRUMENT WAS FILED FOR RECORD IN MY OFFICE AT \_\_\_\_\_ O'CLOCK  
\_\_\_\_, \_\_\_\_\_, 2024 AND DULY RECORDED UNDER RECEPTION # \_\_\_\_\_.

CLERK AND RECORDER; EX-OFFICIO CLERK OF THE CITY AND COUNTY OF DENVER

BY \_\_\_\_\_ DEPUTY

SEE \_\_\_\_\_

COVER SHEET

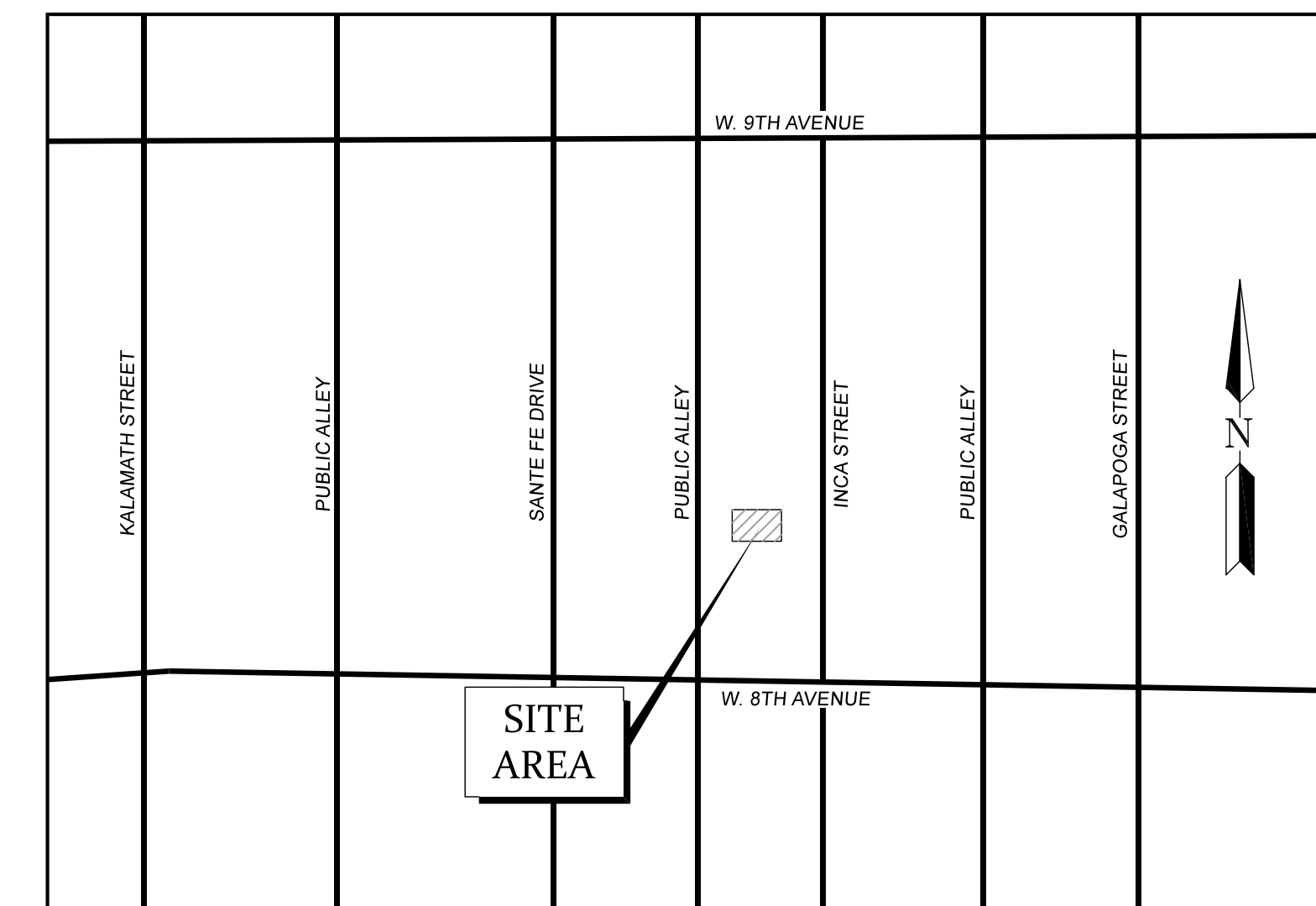
1

SHEET 1 OF 14

# INCA ST 10

## SITE DEVELOPMENT PLAN

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MERIDIAN, CITY AND COUNTY OF DENVER, STATE OF COLORADO  
A PART OF 815 N. INCA ST, UNITS 101, 102, 103, 104, 201, 202, 203, 204, 301, 302



VICINITY MAP  
NOT TO SCALE

### LEGEND

- FOUND CUT "+" IN CONCRETE
- RANGE POINT - CALCULATED POSITION
- FOUND SURVEY MONUMENT AS NOTED
- 
- RANGE LINE
- ZONE LOT LINE
- LOT OR BLOCK LINE
- RE-SUB BOUNDARY LINE
- (C) CALCULATED
- (R) PLAT OF OFFICIAL SURVEY OF ELMWOOD ADDITION, CITY OF DENVER ORD. NO. 2, 1/23/1892
- (R1) PLAT OF OFFICIAL SURVEY OF SMITH'S ADDITION, CITY OF DENVER ORD. NO. 148, 12/24/1890
- (M) MEASURED

### LAND DESCRIPTION

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TOTAL AREA OF SUBJECT PROPERTY IS ±3,755 SQUARE FEET OR ±0.086 ACRES OF LAND, MORE OR LESS.

ALSO KNOWN AS: 815 NORTH INCA STREET, DENVER, COLORADO 80204-4342

### BASIS OF BEARINGS

A 20.00 FOOT RANGE LINE LOCATED IN W. 9TH AVE BETWEEN SANTA FE DRIVE AND INCA STREET IS ASSUMED TO BEAR NORTH 89°41'56" EAST, A DISTANCE OF 266.95 FEET BETWEEN A STONE WITH A CHISELED X IN A RANGE BOX FOUND AT THE INTERSECTION OF SANTA FE DRIVE AND WEST 9TH AVENUE AND A 2.5" ALUMINUM CAP STAMPED PLS 37969 IN A RANGE BOX FOUND AT THE INTERSECTION OF WEST 9TH AVENUE AND INCA STREET.

### SURVEYOR'S NOTES

1. DATE OF FIELD WORK COMPLETION: JUNE 17, 2021.
2. NOTICE: ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.
3. THIS IMPROVEMENT SURVEY PLAT, AND THE INFORMATION HEREON, MAY NOT BE USED FOR ANY ADDITIONAL OR EXTENDED PURPOSES BEYOND THAT FOR WHICH IT WAS INTENDED AND MAY NOT BE USED BY ANY PARTIES OTHER THAN THOSE TO WHICH IT IS CERTIFIED.
4. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY POWER SURVEYING COMPANY INC. TO DETERMINE OWNERSHIP OR EASEMENTS OF RECORD, RIGHT OF WAY, AND TITLE OF RECORD. POWER SURVEYING COMPANY INC. PERFORMED AND ISSUED THIS IMPROVEMENT SURVEY PLAT WITHOUT THE BENEFIT OF A TITLE COMMITMENT.
5. THIS IMPROVEMENT SURVEY PLAT CONSISTS OF TWO (2) SHEETS, AND SHOULD NOT BE CONSIDERED COMPLETE UNLESS ALL SHEETS ARE INCLUDED AS A SET.
6. UNIT OF MEASUREMENT: U.S. SURVEY FOOT.
7. PROJECT BENCHMARK: A CITY AND COUNTY OF DENVER BENCHMARK # BM\_22 AN USGS BM DISK IN CONCRETE POST, 6.5' EAST OF EASTERLY FLOW LINE, 29.5' SOUTH OF WESTERLY FLOW LINE. LOCATED AT INTERSECTION OF 11TH AVENUE AND KALAMATH STREET.

PUBLISHED NAVD 88 ELEVATION = 5236.62 U.S. SURVEY FEET

### SURVEYOR'S CERTIFICATE

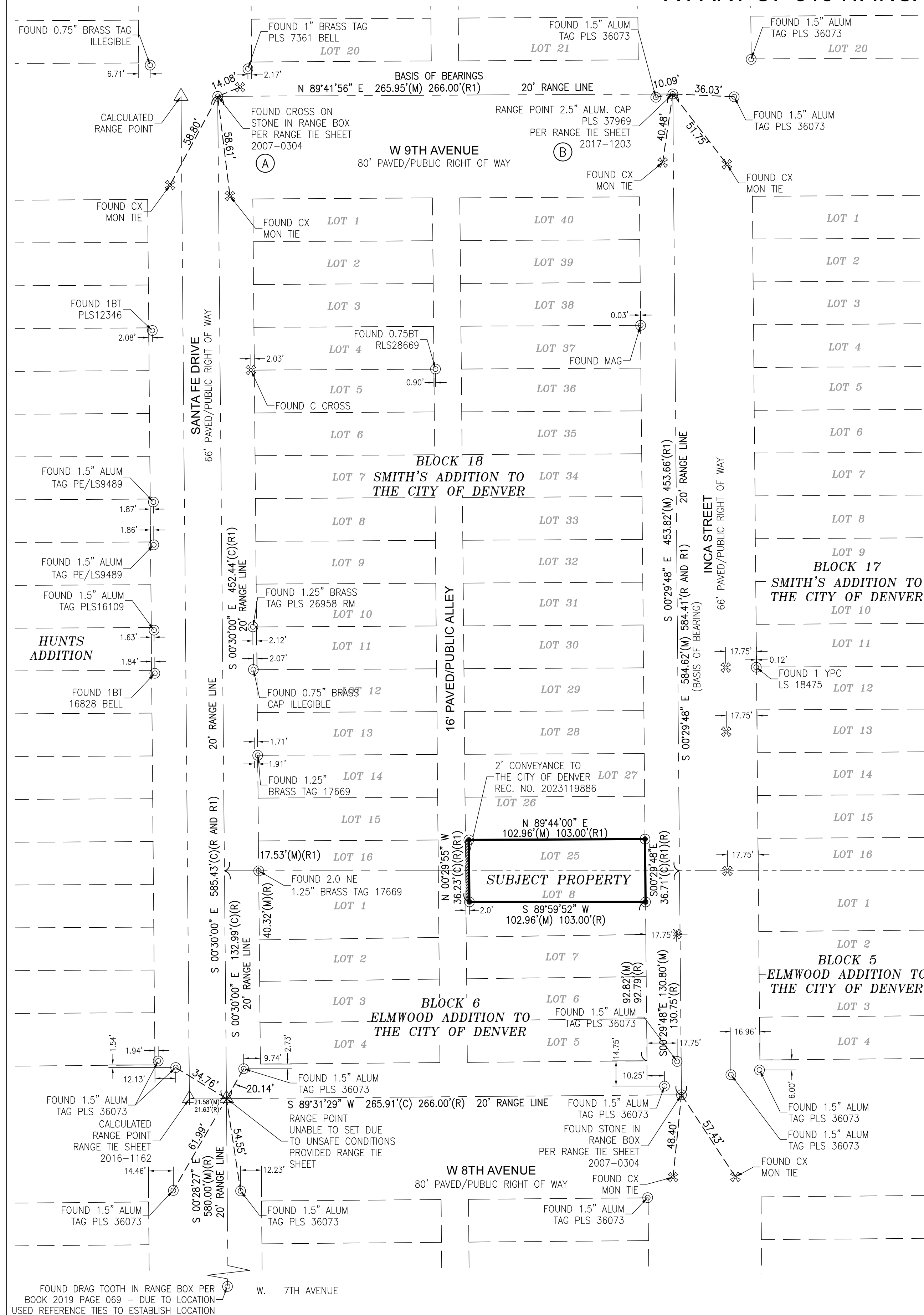
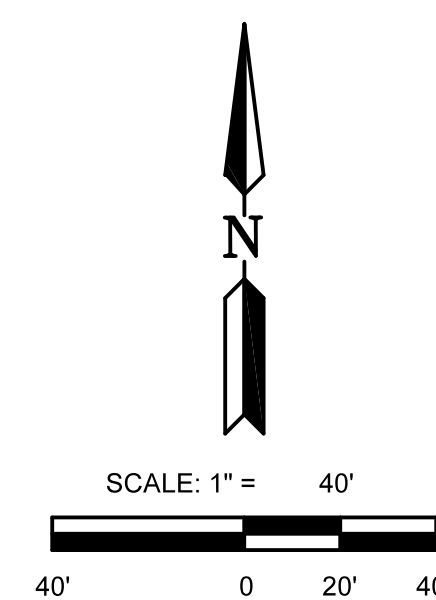
I, RICHARD B. GABRIEL, A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT ON JUNE 17, 2021, A SURVEY WAS MADE OF THE ABOVE DESCRIBED PROPERTY UNDER MY DIRECT SUPERVISION, AND BASED UPON MY KNOWLEDGE, INFORMATION AND BELIEF IS IN ACCORDANCE WITH APPLICABLE STANDARDS AT PRACTICE DEFINED BY THE STATE OF COLORADO, AND THE CORNERS WERE SET AS SHOWN, HOLDING FOUND POINTS AND PLAT DISTANCES WHEREVER POSSIBLE AND UTILIZING CITY OF DENVER SURVEY INFORMATION FOR CONTROL. I FURTHER CERTIFY THAT THE IMPROVEMENTS ON THE ABOVE PARCEL ON THIS DATE, JUNE 17, 2021, EXCEPT UTILITY CONNECTIONS, ARE ENTIRELY WITHIN THE BOUNDARIES OF THE PARCEL, EXCEPT AS SHOWN, THAT THERE ARE NO ENCROACHMENTS UPON THE DESCRIBED PREMISES EXCEPT AS INDICATED, AND THAT THERE IS NO EVIDENCE OR SIGN OF ANY EASEMENT CROSSING OR BURDENING ANY PART OF SAID PARCEL, EXCEPT AS NOTED. THIS STATEMENT IS NOT A GUARANTY OR WARRANTY, EITHER EXPRESSED OR IMPLIED.

RICHARD B. GABRIEL, P.L.S.  
Colorado License No. 37929  
For and on behalf of  
Power Surveying Company, Inc.

### CONVERSION - CO. STATE PLANE CENTRAL ZONE

A = RANGE POINT - FOUND CHISELED "X" ON STONE IN RANGE BOX  
LAT: 39°43'50.00778"N  
LONG: 104°59'54.93592"W  
N: 1,691,374.419  
E: 3,141,024.929

B = RANGE POINT - FOUND 2.5" ALUMINUM CAP PLS 37969 IN RANGE BOX  
LAT: 39°43'50.02153"N  
LONG: 104°59'51.53283"W  
N: 1,691,377.279  
E: 3,141,290.793

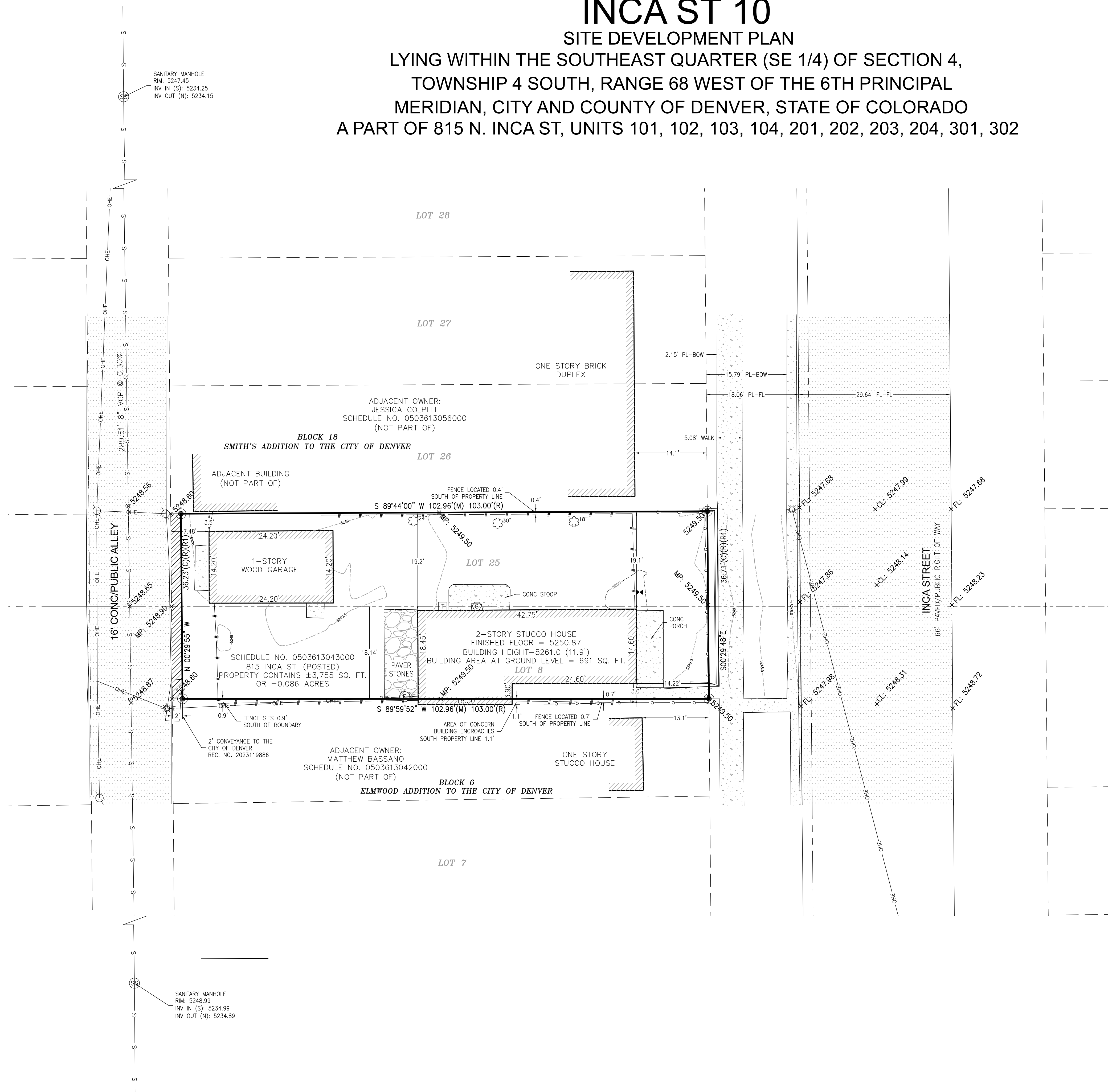


FOUND DRAG TOOTH IN RANGE BOX PER BOOK 2019 PAGE 069 - DUE TO LOCATION USED REFERENCE TIES TO ESTABLISH LOCATION

# INCA ST 10

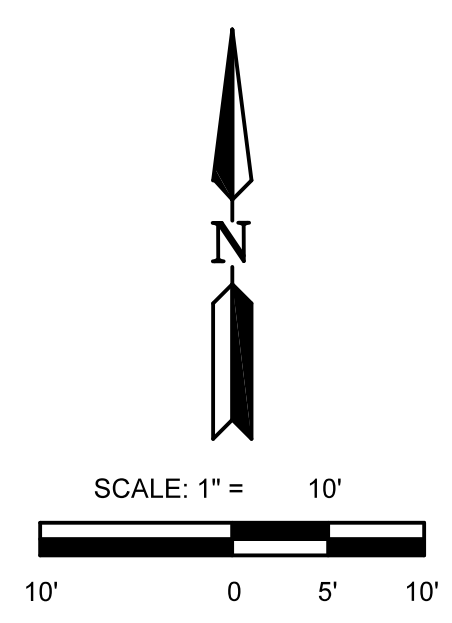
## SITE DEVELOPMENT PLAN

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### LEGEND

	IRRIGATION CONTROL VALVE
	WATER VALVE
	WATER METER
	POWER POLE
	ELECTRIC METER
	ELECTRIC BOX
	GAS METER
	TELEPHONE BOX
	TREE DECIDUOUS W/ CALIPER SIZE
	SANITARY SEWER MANHOLE
	STORM MANHOLE
	TRAFFIC LIGHT
	LIGHT POLE
	RANGE LINE
	ZONE LOT LINE
	LOT OR BLOCK LINE
	RE-SUB BOUNDARY LINE
	WOOD FENCE
	SANITARY SEWER
	BURIED GAS
	MINOR CONTOUR LINE
	MAJOR CONTOUR LINE
	OVERHEAD ELECTRIC
	STORM SEWER
	BURIED WATER
	BACK OF WALK
	FLOWLINE
	PROPERTY LINE
	RANGE LINE
	TOP BACK OF CURB
	RIGHT OF WAY
	MID POINT PROPERTY LINE
	CENTER LINE
	ELEVATION AT PROPERTY SETBACK
	CALCULATED RECORD MEASURED SPOT ELEVATION
	CONCRETE
	ASPHALT



SURVEY

**BUILD TO**

BUILD TO: PRIMARY ST:  
 REQUIRED: 75% = 27'-0" OF 36'-0"  
 PROVIDED: 78% = 27'-11" OF 36'-0"

**ACTIVE USE**

MIN % OF PRIMARY ST FRONTAGE  
 MEETING BUILD-TO REQUIREMENT:  
 REQUIRED: 100% = 27'-11" OF 27'-11"  
 PROVIDED: 100% = 27'-11" OF 27'-11"

**LIVE MATERIAL COVERAGE**

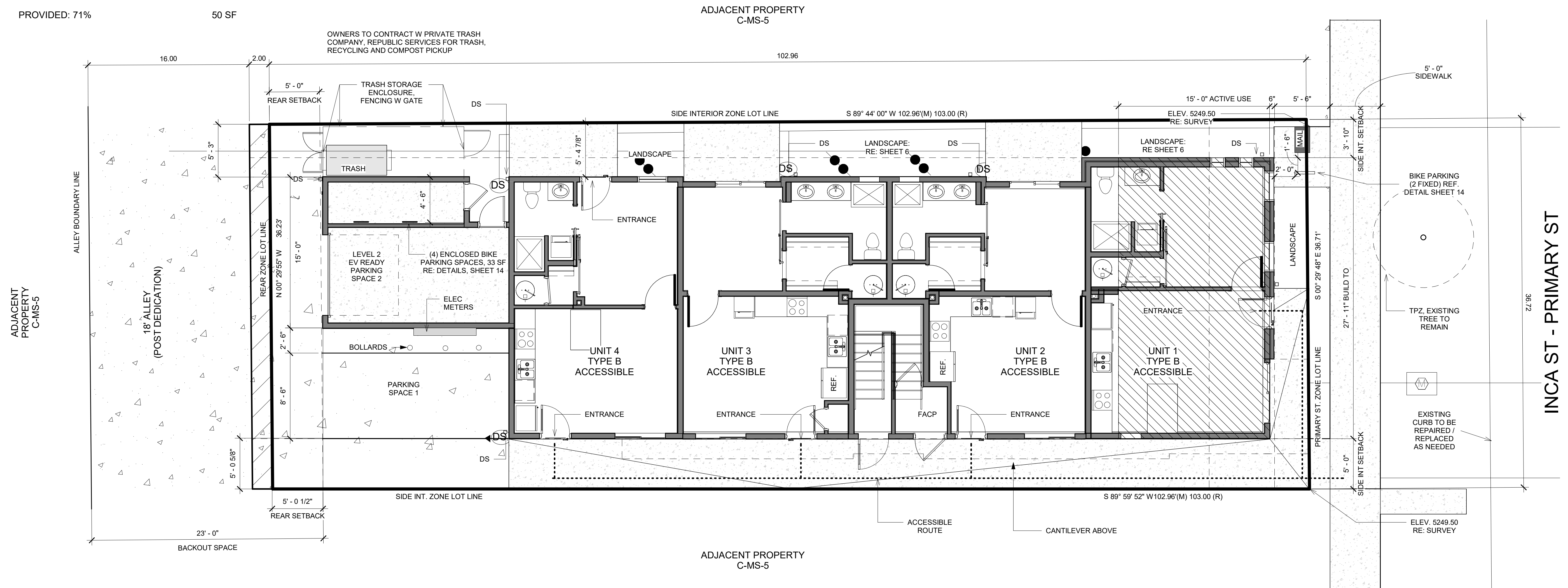
TOTAL AREA WITHIN PRIMARY SETBACK	135 SF
ENTRY WALKS	65 SF
BIKE RACK PAD	18 SF
AMOUNT OF OPEN AREA:	70 SF
AMOUNT OF LIVE MATERIAL IN OPEN AREA:	50 SF
REQUIRED: 50% MIN	35 SF
PROVIDED: 71%	50 SF

# INCA ST. 10

## SITE DEVELOPMENT PLAN

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- a. Site Development Plan approval is not a Notice to Proceed (NTP) for Public ROW work. The contractor must obtain all project ROW permits associated with construction in the ROW. Improvements made within the Public ROW totaling more than \$20,000 need a performance bond. Contact ROW construction inspection at 303-446-3469 or PWpermits@denvergov.org at least 2 weeks before any row permit needs.
- b. All work in the ROW shall conform to current City and County of Denver Specifications, shall be performed by a licensed and bonded ROW contractor, and require inspection by the City prior to a Temporary Certificate of Occupancy (TCO) or Certificate of Occupancy (CO) being issued.
- c. Contractor is responsible for providing and maintaining adequate traffic control throughout the project, including proper traffic control devices and/or personnel as required. A Traffic Control Plan (TCP) is subject to City and County of Denver and/or CDOT approval prior to commencing work on roadway ROW. A copy of approved TCPs must be available on site during work. Traffic control to be in accordance with M.U.T.C.D., Section VI.
- d. Per Section 49-551.1 of the Denver Municipal Code, the property owner or lessee of any real property is responsible for the continuing care, maintenance, repair, and replacement of all improvements installed in the public ROW between the property line and the curb line adjoining their property. Any existing curb, gutter, curb ramp, driveway, and/or sidewalk on the project's ROW frontage that does not meet ADA criteria or that is damaged must be repaired or replaced at the direction of Right of Way Construction Inspection.
- e. No construction access, activity, or storage of materials/debris/equipment is permitted within tree protection zones (TPZ), including grading, installation of underground utilities, installation of site improvements, and/or grubbing. All construction activity must occur outside TPZ.
- f. All existing grades within TPZ boundaries must remain as-is. All proposed grade changes must occur entirely outside TPZ boundaries.



INCA ST - PRIMARY ST

SITE PLAN

4

SHEET 4 OF 14

1 SITE | FIRST LEVEL PLAN  
 3/16" = 1'-0"

# INCA ST 10 SITE DEVELOPMENT PLAN

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MERIDIAN, CITY AND COUNTY OF DENVER, STATE OF COLORADO

## 815 N INCA STREET

**TRANSPORTATION NOTES:**

1. Repair or replace any portion of existing curb, gutter, sidewalk, alley, ramps or roadway along the property frontage that does not meet ADA criteria, is damaged or is not to current City standards as directed by the ROW Inspector during construction.
2. Public Streets within the City and County of Denver that have been re-paved, overlaid, or sealed within the last three years are under a street cut moratorium. Inca Street along this development's frontage is a moratorium street until 2022. During the moratorium period, street cuts will require either an overlay or infra-red patch. The extents of the overlay are a minimum of 50' either side of the street cut. The width of the overlay is dependent on the extents of the street cut.
3. Any underground utility connections must comply to appropriate asphalt/trnch/concrete patch. Refer to CCD Standard Drawings 12.0-12.3.

**TREE PROTECTION ZONE NOTES:**

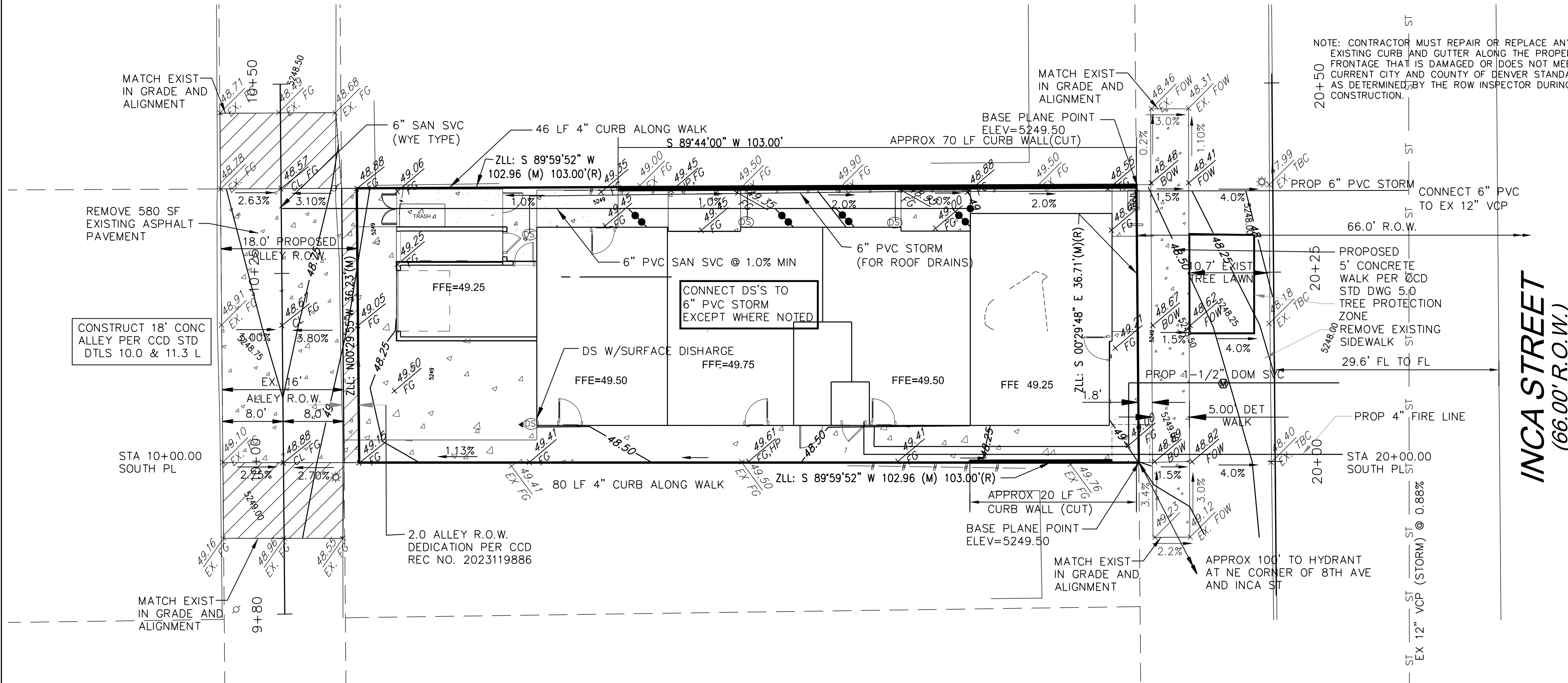
1. NO CONSTRUCTION ACCESS, ACTIVITY, OR STORAGE OF MATERIALS/DEBRIS/EQUIPMENT IS PERMITTED WITHIN TREE PROTECTION ZONES, INCLUDING GRADING, INSTALLATION OF UNDERGROUND UTILITIES, INSTALLATION OF SITE IMPROVEMENTS, AND/OR GRUBBING. ALL CONSTRUCTION ACTIVITY MUST OCCUR OUTSIDE TREE PROTECTION ZONES (SEE NOTE 2 IN OCF TREE PROTECTION NOTES TO DETERMINE TREE PROTECTION ZONE BOUNDARIES).
2. ALL EXISTING GRADES WITHIN TREE PROTECTION ZONE (TPZ) BOUNDARIES MUST REMAIN AS-IS. ALL PROPOSED GRADE CHANGES MUST OCCUR ENTIRELY OUTSIDE TPZ BOUNDARIES.

**DENVER WATER NOTES**

1. EACH FIRE HYDRANT MUST SUPPLY 1500 GPM MINIMUM AT 20 PSI RESIDUAL PRESSURE.
2. WATER PLANS FOR THIS PROJECT MUST BE SUBMITTED TO DW FOR REVIEW & APPROVAL SEPARATE OF THE DRC PROCESS.
3. AN APPROVED DW BACKFLOW PREVENTER IS REQUIRED ON FIRE LANES, COMMERCIAL AND MULTIFAMILY DWELLINGS.
4. METER LOCATION MUST BE APPROVED BY DW.
5. DEVELOPER IS RESPONSIBLE FOR ALL NECESSARY SYSTEM MODIFICATIONS NEEDED TO MEET THE REQUIRED FIRE FLOWS.
6. ALL EXISTING TAPS ON THE SITE THAT ARE NOT USED MUST BE CUT-OFF AT THE MAIN AND INSPECTED BY DW. THIS WILL BE DONE AT THE DEVELOPER'S COST.
7. SYSTEM DEVELOPMENT CHARGE CREDITS FOR TAP CUTS WILL BE GIVEN ACCORDING TO CURRENT OPERATING RULES.
8. IF A WATER EASEMENT IS REQUIRED ON A SITE, THIS EASEMENT WILL BE GRANTED TO DW BY SEPARATE DOCUMENT.
9. LANDSCAPING DEPICTED IN FUTURE WATER EASEMENTS MUST COMPLY WITH RESTRICTIONS CONTAINED WITHIN THE STANDARD WATER EASEMENT AGREEMENT.
10. EACH INDEPENDENT STRUCTURE MUST HAVE ITS OWN SEPARATED TAP, SERVICE LINE & METER.
11. SUB-METERING IS REQUIRED ON INDIVIDUAL MULTI-FAMILY UNITS AS MANDATED BY CITY ORDINANCE.
12. SOIL AMENDMENT IS REQUIRED ON ALL NEW WATER SERVICES. CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED WITHOUT A SOIL INSPECTION BY DW.
13. PRE-SUBMITTAL REVIEW IS REQUIRED PRIOR TO THE FORMAL WATER PLAN SUBMITTAL TO DW.

**FIRE NOTES**

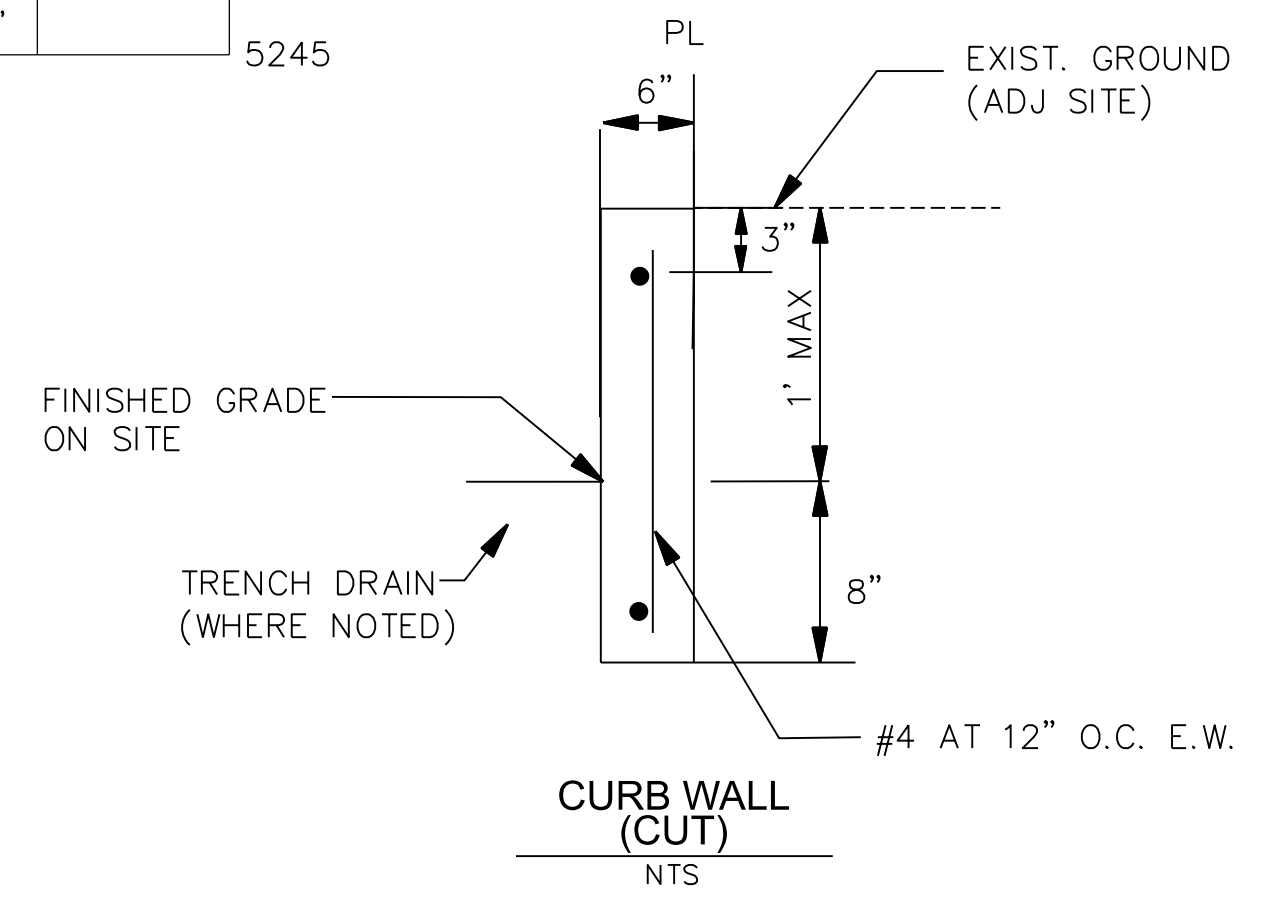
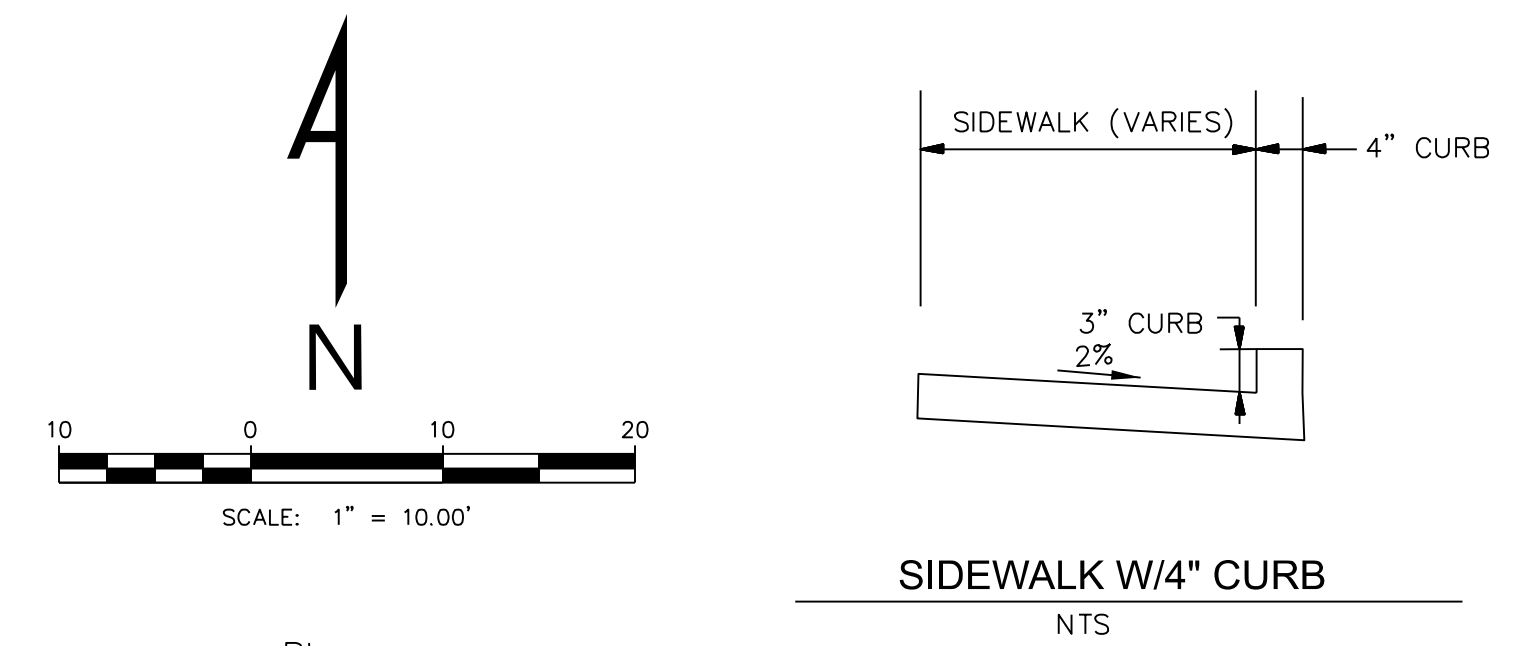
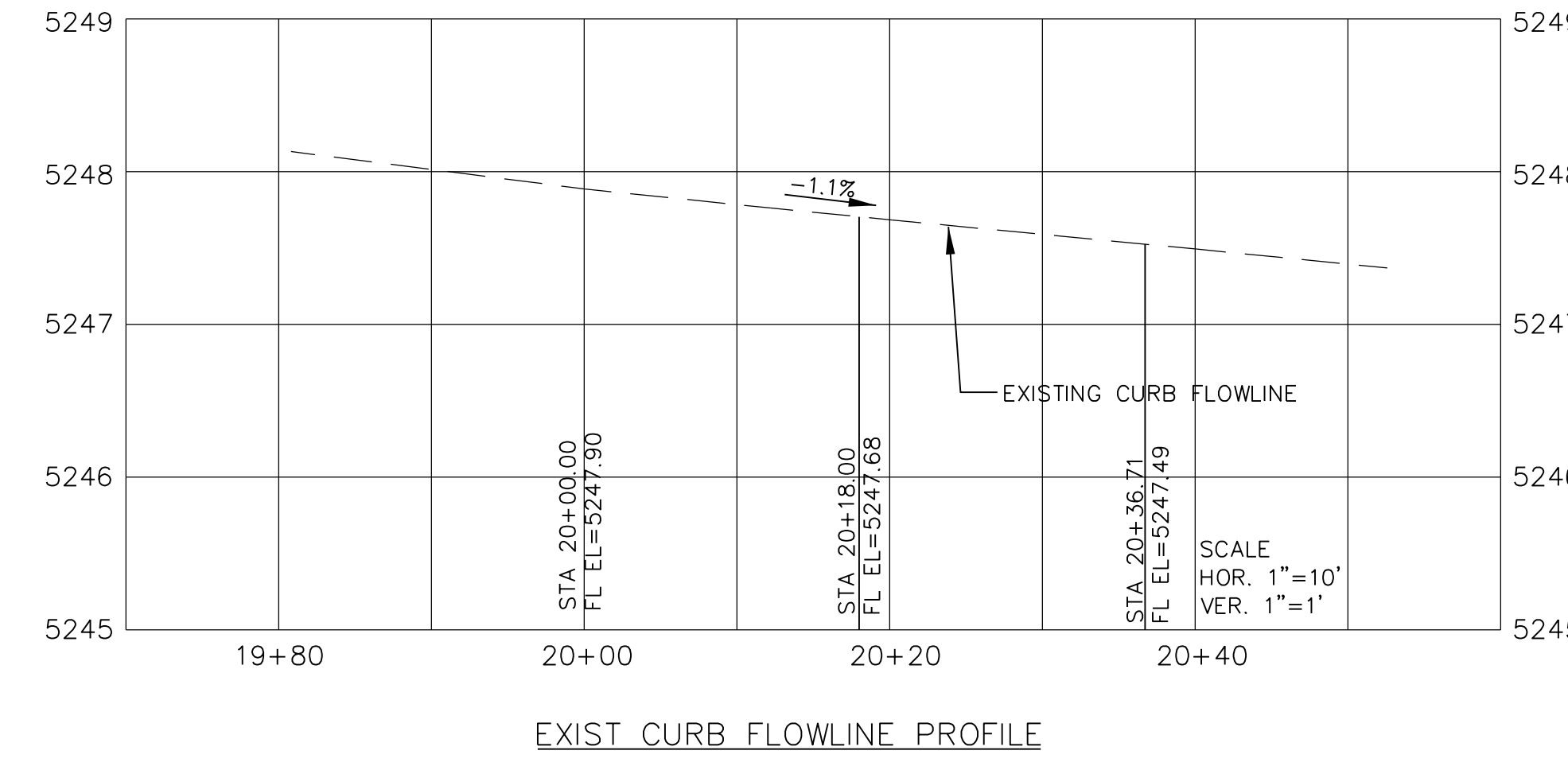
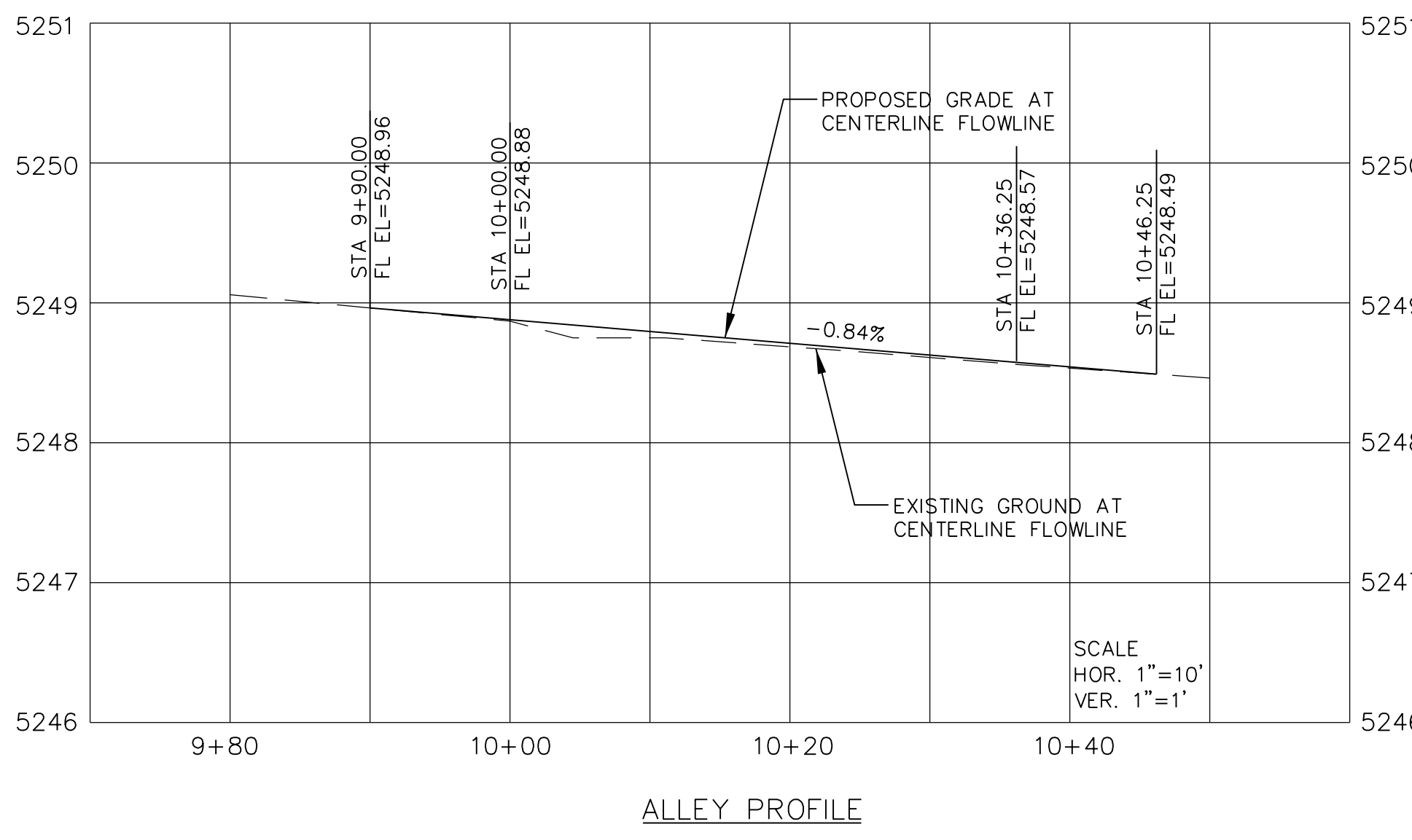
1. NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.



BASE PLANE (SINGLE BASE PLANE METHOD):  
(5249.50+5249.50)/2=5249.50

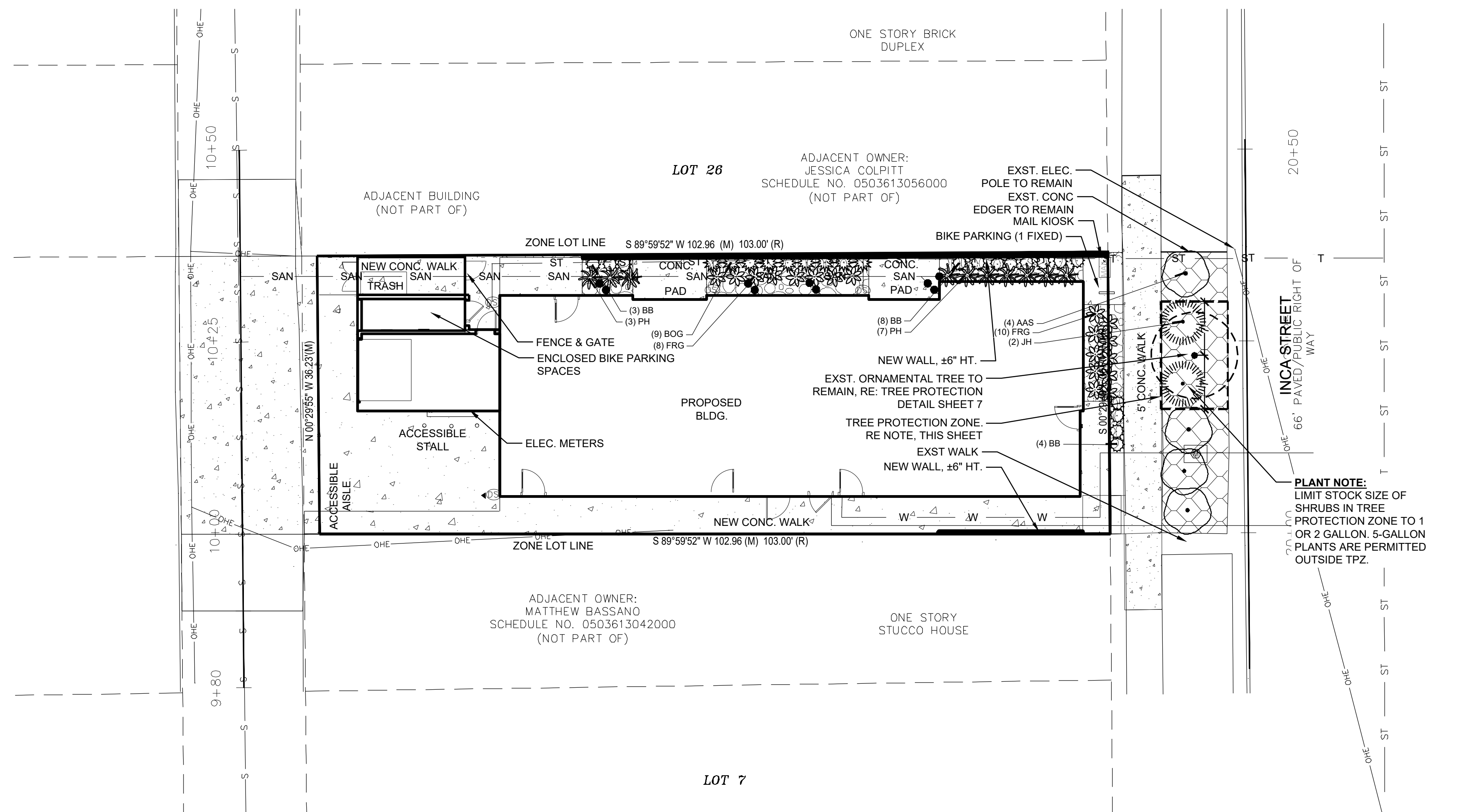
FIRE FLOW DATA BLOCK	
TOTAL FIRE FLOW REQUIRED FOR THIS SITE IS 1500GPM	
MINIMUM @ 20PSI RESIDUAL PRESSURE	
THIS FLOW MUST BE PROVIDED FROM A MINIMUM OF 1 FIRE HYDRANTS	
INDIVIDUALLY, EACH FIRE HYDRANT MUST SUPPLY 1500 GPM MINIMUM @ 20 PSI RESIDUAL PRESSURE	
CODE USED FOR ANALYSIS: 2018 IFC WITH 2019 AMENDMENTS	
OCCUPANCY GROUP(S): R-2	
CONSTRUCTION TYPE(S): V-B	
FIRE FLOW CALCULATION AREA: 6134 SF	
THIS BUILDING IS FULLY SPRINKLERED	

STORM DRAINAGE MUST FOLLOW HISTORIC FLOWS AND FLOWS MAY NOT BE DIRECTED TO ADJACENT PROPERTIES. ALL DISCHARGE POINTS FOR DOWNSPOUTS AND SUMP PUMP LINES MUST BE AT LEAST 6-INCHES FROM ALLEYS, 3- FEET FROM SIDE-YARD PROPERTY-LINES, AND 10- FEET BACK OF ANY PUBLIC SIDEWALK ADJACENT PROPERTY LINES AND NOT BE DIRECTED ONTO PEDESTRIAN SIDEWALKS/WALKWAYS.



# INCA ST. 10 SITE DEVELOPMENT PLAN

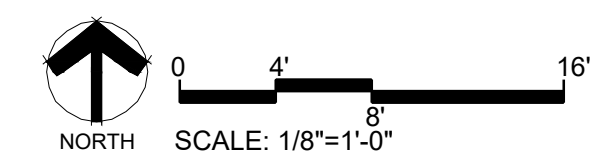
LOCATED IN THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 4, TOWNSHIP 4 SOUTH,  
RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
A PART OF 815 N. INCA ST, UNITS 101, 102, 103, 104, 201, 202, 203, 204, 301, 302



**ROW NOTE:**  
i. ALL PROPOSED LANDSCAPING IN THE ROW SHALL BE PER THE STREETScape DESIGN MANUAL WITH THE EXCEPTION OF TREE PLANTING, THIS SHALL BE IN ACCORDANCE WITH CURRENT OCF RULES AND REGULATIONS.

**TREE PROTECTION ZONE NOTE:**  
i. NO CONSTRUCTION ACCESS, ACTIVITY, OR STORAGE OF MATERIALS/DEBRIS/EQUIPMENT IS PERMITTED WITHIN TREE PROTECTION ZONES, INCLUDING GRADING, INSTALLATION OF UNDERGROUND UTILITIES, INSTALLATION OF SITE IMPROVEMENTS, AND/OR GRUBBING. ALL CONSTRUCTION ACTIVITY MUST OCCUR OUTSIDE TREE PROTECTION ZONES (SEE NOTE 2 IN OCF TREE PROTECTION NOTES TO DETERMINE TREE PROTECTION ZONE BOUNDARIES).  
ii. ALL EXISTING GRADES WITHIN TREE PROTECTION ZONE (TPZ) BOUNDARIES MUST REMAIN AS-IS. ALL PROPOSED GRADE CHANGES MUST OCCUR ENTIRELY OUTSIDE TPZ BOUNDARIES.  
**CRITICAL:** DO NOT GRUB EXISTING GROUNDCOVER FROM WITHIN TREE PROTECTION ZONE AS SCRAPING RESULTS IN SIGNIFICANT DESTRUCTION OF CRITICAL FEEDER ROOTS. TO REMOVE GROUNDCOVER WITHIN TPZ, APPLY HERBICIDE TO UNDERSTORY AND GENTLY RAKE DEAD GROUNDCOVER TO CLEAR.

**PLANT NOTE:**  
LIMIT STOCK SIZE OF SHRUBS IN TREE PROTECTION ZONE TO 1 OR 2 GALLON. 5-GALLON PLANTS ARE PERMITTED OUTSIDE TPZ.



## PLANT & GROUNDCOVER SCHEDULE

CODE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	HEIGHT/WIDTH
<b>ORNAMENTAL GRASS</b>					
BB	15	BLONDE AMBITION BLUE GRAMA	BOUTELOUA GRACILIS 'BLONDE AMBITION'	1 GAL	1' X 2'
BOG	9	BLUE OAT GRASS	HELICTOTRICHON SEMPERVIRENS 'SAPPHIRE'	1 GAL	2' X 2.5'
FRG	18	FEATHER REED GRASS	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	1 GAL	5' X 30"
PH	10	HEAVY METAL SWITCH GRASS	PANICUM VIRGATUM 'HEAVY METAL'	1 GAL	4' X 3'
<b>DECIDUOUS SHRUBS</b>					
AAS	4	AUTUMN AMBER SUMAC	RHUS TRILOBATA 'AUTUMN AMBER'	5 GAL	1.5' X 6'
<b>EVERGREEN SHRUBS</b>					
JH	2	HUGHES JUNIPER	JUNIPERUS HORIZONTALIS 'HUGHES'	5 GAL	1.5' X 6'
<b>SYMBOL</b>	<b>QTY</b>	<b>COMMON NAME</b>	<b>BOTANICAL NAME</b>	<b>CONT</b>	
<b>MULCH</b>					
	317 SF	GORILLA HAIR WOOD MULCH 4" DEPTH, RE: LDSCP NOTES	GORILLA HAIR WOOD MULCH	MULCH	
	323 SF	ROCK MULCH RE: LDSCP NOTES	ROCK MULCH	MULCH	

LANDSCAPE PLAN

6

SHEET 6 OF 14

# INCA ST. 10 SITE DEVELOPMENT PLAN

LOCATED IN THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 4, TOWNSHIP 4 SOUTH,  
RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
A PART OF 815 N. INCA ST, UNITS 101, 102, 103, 104, 201, 202, 203, 204, 301, 302

## LANDSCAPE NOTES

### SITE PREPARATION

- CONTRACTOR SHALL MINIMIZE ALL DISTURBANCE TO NON-IMPACTED AREAS.
- SITE MUST BE CLEAN AND FREE OF ALL CONSTRUCTION DEBRIS BEFORE FINAL ACCEPTANCE.
- CONTRACTOR IS RESPONSIBLE FOR SETUP OF BARRICADES, WARNING SIGNAGE, OR OTHER PROTECTIVE DEVICES IF ANY EXCAVATIONS ARE LEFT EXPOSED AFTER ON-SITE WORK HOURS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACQUIRE ALL NECESSARY PERMITS FOR CONSTRUCTION OPERATIONS IN PUBLIC RIGHTS-OF-WAY, EXCEPT WITHIN TREE PROTECTION ZONE, LEAVE SOIL GRADES AS-IS. DO NOT CHANGE GRADE/STRIP TOPSOIL WITHIN TPZ.
- SUITABLE TOPSOIL IS TO BE STRIPPED & STOCKPILED ON-SITE FOR LATER USE. SOD AREAS SHALL BE CLEARED AND GRUBBED PRIOR TO THE ADDITION OF SOIL AMENDMENTS EXCEPT IN TREE PROTECTION ZONES. GRUBBING AND TOPSOIL STRIPPING IS NOT PERMITTED IN THIS AREA.
- CONTRACTOR IS RESPONSIBLE FOR THE REPLACEMENT AND/OR REPAIR OF ANY PROPERTY DAMAGED ON OR OFF PREMISES.
- LOCATE ALL UTILITIES PRIOR TO ANY DIGGING OR LANDSCAPE PLANTING. CONTRACTOR SHALL HAND DIG ALL PLANTING PITS ADJACENT TO UTILITIES. IF UTILITIES ARE DAMAGED, REPAIRS SHALL BE MADE AT THE CONTRACTOR'S EXPENSE.
- PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENEED & AMENDED.

### PLANT & GROUND COVER MATERIAL

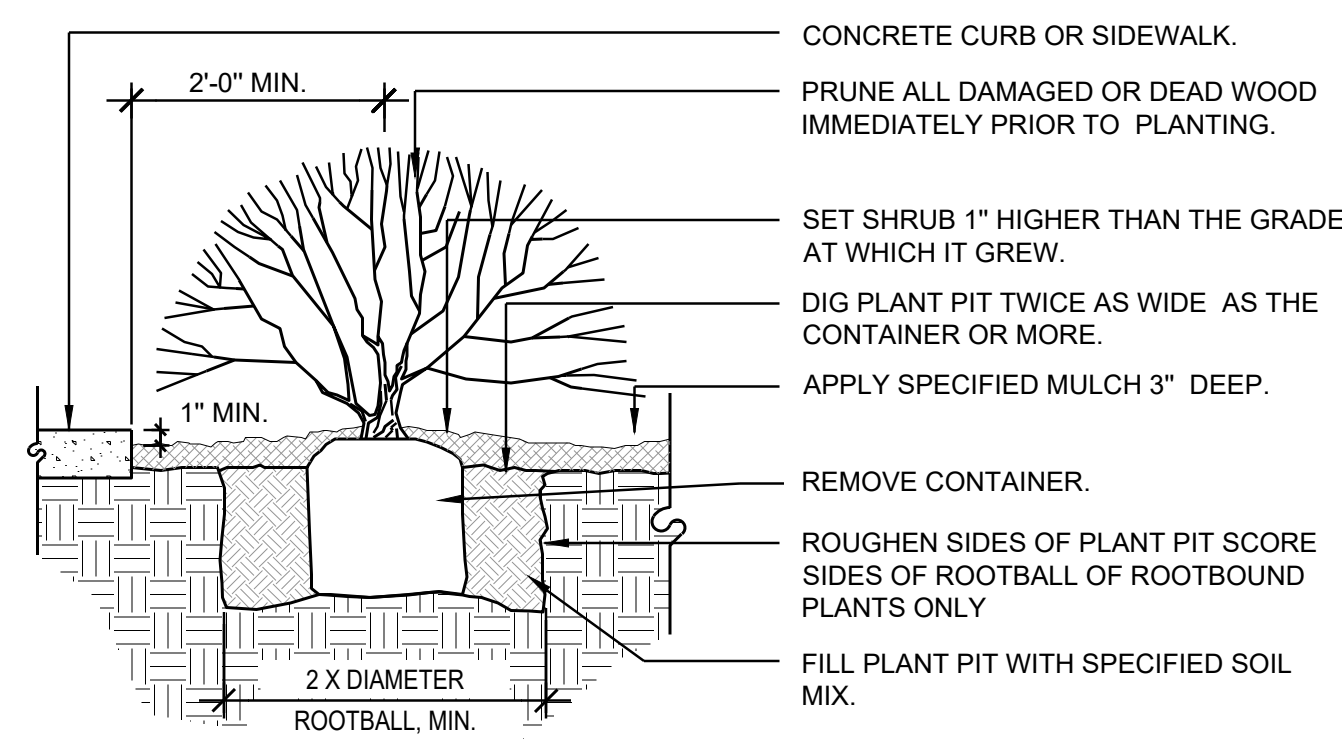
- ANY SUBSTITUTION OR ALTERATION OF PLANT OR LANDSCAPE MATERIALS IN LOCATION, SPECIES, TYPE, ETC. SHALL BE ALLOWED ONLY WITH APPROVAL OF THE OWNER. OVERALL PLANT QUANTITY AND QUALITY TO BE CONSISTENT WITH APPROVED PLANS.

### PLANTING BEDS

- WOOD MULCH AREAS SHALL CONTAIN DOUBLE-SHREDDED REDWOOD CEDAR MULCH AT A DEPTH OF 4" MIN. NO WEED BARRIER FABRIC IS TO BE INSTALLED.
- ROCK MULCH SHALL BE 1.5"-3" DIA. TAN RIVER ROCK, 3" DEPTH OVER WEED BARRIER FABRIC.

### CITY OF DENVER SOIL AMENDMENT REQUIREMENTS

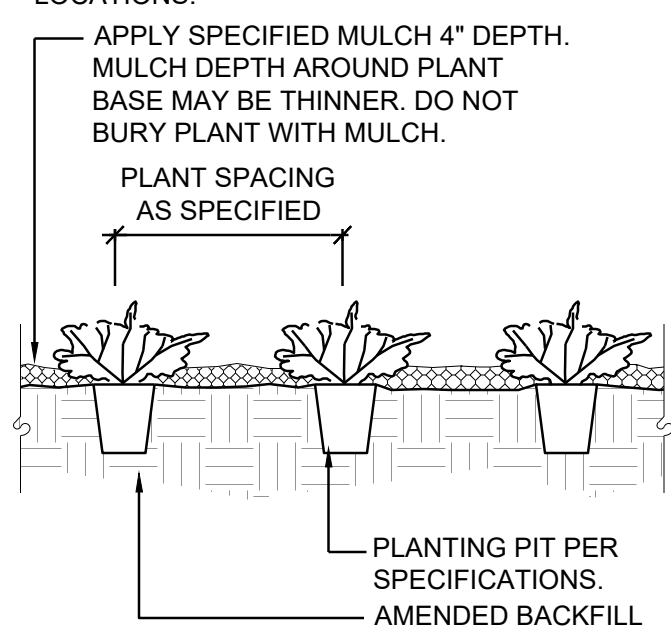
- LIMITS ON USE: UNMETERED USE OF WATER FOR CONSTRUCTION IS PERMITTED ONLY UNTIL THE WATER SERVICE IS ACTIVATED AS REQUIRED IN RULE 2.02.1, OR THE WATER SUPPLY LICENSE IS CANCELLED UNDER RULE 2.12, WHICHEVER OCCURS FIRST. LANDSCAPE IRRIGATION AND OCCUPANCY OF THE PREMISES PRIOR TO THE INSTALLATION OF A METER ARE PROHIBITED AND SHALL CONSTITUTE UNAUTHORIZED USE OF WATER. AT THE TIME OF APPLICATION FOR THE WATER TAP, A SOIL AMENDMENT FEE (\$80) WILL BE COLLECTED IN ADDITION TO ALL OTHER APPLICABLE FEES. IN THE CASE OF RE-INSPECTIONS, A \$60 TRIP CHARGE WILL BE ASSESSED FOR EACH ADDITIONAL VISIT TO THE PROPERTY AND WILL BE BILLED TO THE PROPERTY ONCE THE METER HAS BEEN SET/INSPECTED.
- PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL, INCLUDING SOD, APPLY A MINIMUM OF FOUR (4) CUBIC YARDS OF SOIL AMENDMENT PRODUCT PER ONE THOUSAND (1,000) SQUARE FEET OF PERMEABLE AREA. THIS SOIL AMENDMENT PRODUCT MUST BE INCORPORATED OR ROTOTILLED TO A DEPTH OF FOUR TO SIX INCHES. SITE SHALL BE RAKED SMOOTH AND FINISH GRADES ESTABLISHED. ROCKS AND DEBRIS OVER 1-INCH DIAMETER THAT MAY INTERFERE WITH PLANTING AND MAINTENANCE OPERATIONS SHALL BE REMOVED. LEAVE SOIL IN TREE PROTECTION ZONE AS-IS. DO NOT AMEND OR DISTURB SOIL.
- THE SOIL AMENDMENT PRODUCT APPLIED TO THE PREMISES MUST BE ON THE APPROVED SOIL AMENDMENT PRODUCT LIST AVAILABLE AT DENVERWATER.ORG.
- ROTTILLING IS NOT PERMITTED IN TREE PROTECTION ZONE. SCHEDULE AN INSPECTION FOR SOIL AMENDMENT.



NOTE: ANY BROKEN OR CRUMBLING ROOTBALL WILL BE REJECTED. REMOVING THE CONTAINERS WILL NOT BE AN EXCUSE FOR DAMAGED ROOTBALLS. HOLD GRADE 1" BELOW EDGE OF WALK OR CURB

**1 SHRUB PLANTING** NOT TO SCALE

NOTE: REFER TO LANDSCAPE PLAN FOR INDIVIDUAL PLANT SPACING & LOCATIONS.



**2 ORNAMENT GRASS PLANTING** NOT TO SCALE

- PROVIDE DOCUMENTATION OF SOIL AMENDMENT PRODUCT, QUANTITY OF PRODUCT AND ADDRESS(ES) IT WILL BE APPLIED TO INVOICE OR LOAD TICKET -TO DENVER WATER PRIOR TO INSPECTION APPOINTMENT. INSPECTION WILL BE ARRANGED ONCE DOCUMENTATION HAS BEEN RECEIVED AND PRODUCT APPROVED. DOCUMENTATION MAY BE:
  - E-MAILED - SOIL AMENDMENT@DENVERWATER.ORG
  - FAXED - 303-628-6238 (INDICATE SOIL AMENDMENT)
  - MAILED - DENVER WATER CONSERVATION-SA, MC 330, 1600 W. 12TH AVE., DENVER, CO 80204

- SCHEDULE AN INSPECTION WITH DENVER WATER BY CALLING 303-628-6343 OPTION 3. THE INSPECTION WILL TAKE PLACE WITHIN 2 BUSINESS DAYS OF REQUEST.
- INSPECTION STATUS (PASS OR FAIL) WILL BE COMMUNICATED TO THE PARTY WHO REQUESTED THE INSPECTION. BOTH HARD COPY NOTICE (LEFT AT THE PROPERTY) AND PHONE CALL WILL BE PROVIDED. DAY OF INSPECTION. IF THE PROPERTY IS SERVED BY A MASTER METER DISTRIBUTOR, THE DISTRIBUTOR'S REPRESENTATIVE WILL ALSO BE NOTIFIED VIA PHONE. THE REPRESENTATIVE WILL BE PROVIDED THE SAME INFORMATION VIA E-MAIL WITHIN THE NEXT BUSINESS DAY.
- ONCE THE PROPERTY PASSES SOIL AMENDMENT INSPECTION, THE MET ER SET/INSPECTION APPOINTMENT MAY BE MADE THE FOLLOWING BUSINESS DAY.

### IRRIGATION

- ALL PLANTS SHALL BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM. TREES AND SHRUBS SHALL BE IRRIGATED ON SEPARATE ZONES FROM SOD GRASS (IF APPLICABLE). THIS INCLUDES TREES PLANTED IN SOD GRASS AREAS. THE IRRIGATION SYSTEM SHALL INCLUDE A RAIN SENSOR WITH AUTOMATIC SHUTOFF. IF APPLICABLE, REFER TO OCF TREE PROTECTION NOTES FOR IRRIGATION INSTALL REQUIREMENTS WITHIN TREE PROTECTION ZONE (MAINLINE & LATERAL INSTALL BY DIRECTIONAL BORE ONLY - TRENCHING IS NOT ACCEPTABLE).

- RIGHT OF WAY TURF AREAS SHALL UTILIZE A SPRAY SYSTEM WHERE APPLICABLE.

- SHRUBS SHALL BE IRRIGATED UTILIZING EITHER A DRIP/BUBBLER SYSTEM OR COMBINATION THEREOF.

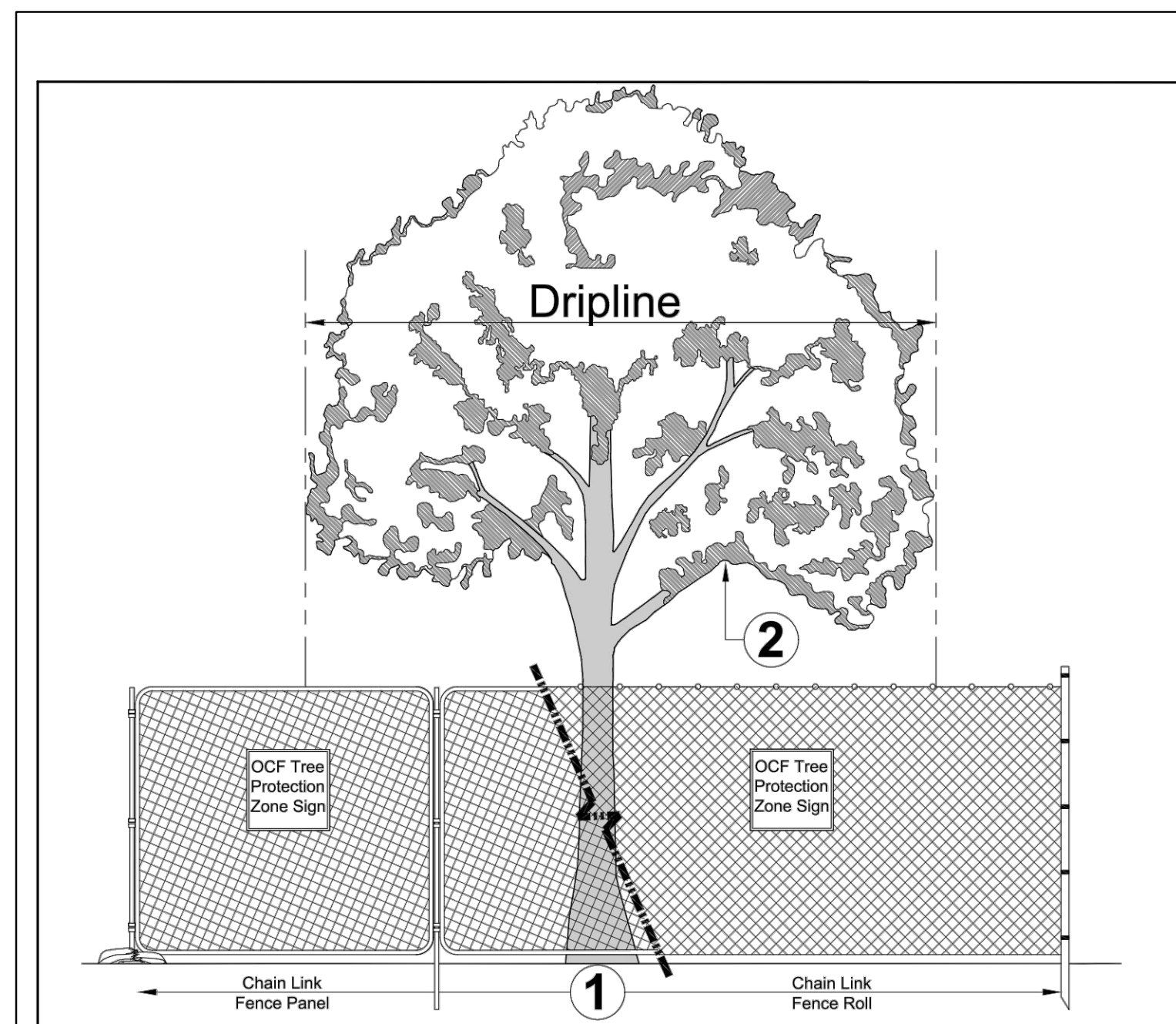
### WARRANTY & MAINTENANCE

- CONTRACTOR IS TO MAINTAIN ALL PLANTINGS AND ASSOCIATED IRRIGATION SYSTEM INSTALLED UNDER THIS CONTRACT UNTIL FINAL ACCEPTANCE AND TURNOVER TO OWNER. THIS MAINTENANCE SHALL INCLUDE PROPER WATERING OF ALL PLANTS, AND MOWING OF TURF IF NECESSARY.
- SITE MUST BE CLEAN AND FREE OF ALL CONSTRUCTION DEBRIS BEFORE FINAL ACCEPTANCE.
- ALL PLANT MATERIAL WILL BE COVERED BY A ONE (1) CALENDAR YEAR WARRANTY. THE CONTRACTOR SHALL REPLACE DEAD, UNHEALTHY, OR OTHERWISE UNSATISFACTORY MATERIAL THROUGHOUT THIS PERIOD. THE WARRANTY SHALL BEGIN UPON FINAL ACCEPTANCE OF THE JOB.
- LANDSCAPE AREAS WITHIN THE PROPERTY AND WITHIN THE ADJACENT RIGHT OF WAY SHALL BE MAINTAINED BY THE PROPERTY OWNER.

## OFFICE OF THE CITY FORESTER (OCF) STANDARD GENERAL PLAN NOTES:

- EXISTING TREES REQUIRED TO BE PRESERVED IN ROW AND/OR PUBLIC PLACE SHALL BE PROTECTED PER OCF STANDARDS AND PRACTICES. TREE PROTECTION SHALL BE INSTALLED PRIOR TO ISSUE OF DEMOLITION/BUILDING PERMIT, APPROVED BY THE OCF, AND SHALL REMAIN AS APPROVED THROUGHOUT CONSTRUCTION. NO ACCESS, CONSTRUCTION ACTIVITIES OR STORAGE OF CONSTRUCTION MATERIALS/DEBRIS/EQUIPMENT SHALL TAKE PLACE WITHIN TREE PROTECTION ZONES WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OCF.
- PER CITY CODE, ALL TREE REMOVALS IN CITY/COUNTY OF DENVER MUST BE PERFORMED BY THE PROPERTY OWNER OR A TREE CONTRACTOR LICENSED BY OCF, INCLUDING TREES IN ROW, PUBLIC PLACE AND PRIVATE PROPERTY. FOR A CURRENT LIST OF LICENSED TREE CONTRACTORS, VISIT [WWW.DENVERGOV.ORG/FORESTRY](http://WWW.DENVERGOV.ORG/FORESTRY).
- OCF-APPROVED TREE REMOVALS IN ROW OR PUBLIC PLACE:
  - A TREE REMOVAL PERMIT ISSUED BY THE OCF IS REQUIRED PRIOR TO REMOVAL. TREE REMOVAL PERMITS ARE NOT INCLUDED WITH BUILDING PERMITS OR PLAN APPROVALS AND MUST BE OBTAINED SEPARATELY FROM THE OCF. CONTACT THE OCF (FORESTRY@DENVERGOV.ORG) WITH NAME OF LICENSED CONTRACTOR OR PROPERTY OWNER PERFORMING REMOVAL. INCLUDE PROJECT NUMBER (2021PM0000309) AND PROJECT ADDRESS.
  - EXISTING ROW OR PUBLIC PLACE TREES APPROVED FOR REMOVAL BY THE OCF MUST BE PROTECTED IN PLACE UNTIL REMOVED BY AN OCF LICENSED TREE CONTRACTOR. FAILURE TO PROTECT SUCH TREES UNTIL REMOVAL, OR REMOVING TREES WITHOUT A PERMIT, WILL RESULT IN A NOTICE OF VIOLATION AND/OR CITATIONS/FINES.
- A TREE REMOVAL PERMIT IS NOT REQUIRED FOR PRIVATE PROPERTY TREE REMOVALS.
- ALL PROPOSED LANDSCAPING IN THE ROW SHALL BE PER THE STREETScape DESIGN MANUAL WITH THE EXCEPTION OF TREE PLANTING, THIS SHALL BE IN ACCORDANCE WITH CURRENT OCF RULES AND REGULATIONS.
- ALL ELECTRIC FIXTURES AND UTILITIES, INCLUDING BUT NOT LIMITED TO OUTLETS AND LIGHTS, SHALL BE LOCATED AT OUTSIDE PERIMETER OF TREE PLANTING AREAS WITHIN HARDSCAPE. IN TREE LAWNS, FIXTURES SHALL BE PLACED MINIMUM 3 (THREE) FEET RADIALLY FROM BASE OF TRUNK.
- AN OCF- ISSUED TREE PLANTING PERMIT IS REQUIRED FOR ALL TREES TO BE PLANTED IN ROW OR PUBLIC PLACE. CONTACT OCF (FORESTRY@DENVERGOV.ORG) WITH NAME OF CONTRACTOR OR PROPERTY OWNER PERFORMING WORK. INCLUDE PROJECT NUMBER (2021PM0000309) AND PROJECT ADDRESS WHEN REQUESTING PERMIT. TREE PLANTING PERMITS ARE NOT INCLUDED WITH BUILDING PERMITS AND MUST BE OBTAINED SEPARATELY FROM THE OCF PRIOR TO INSTALLATION.
  - ONCE TREES HAVE BEEN PLANTED, EMAIL FORESTRY@DENVERGOV.ORG FOR FINAL TREE PLANTING INSPECTION APPROVAL. WE WILL VERIFY CORRECT TREE SPECIES HAVE BEEN INSTALLED, TREES HAVE BEEN PLANTED AT PROPER DEPTH, AND ALL BURLAP, WIRE, AND ROPE HAS BEEN REMOVED FROM TREE ROOT BALLS. TREES PLANTED TOO DEEPLY MUST BE CORRECTED PER FORESTRY DIRECTION. ROW TREE SPECIES THAT DEVIATE FROM APPROVED SDP MUST BE APPROVED BY OFFICE OF THE CITY FORESTER.
- PROPOSED TREE PLANTING IN THE RIGHT-OF-WAY (ROW) OR PUBLIC PLACE SHALL BE PRE-APPROVED BY THE OFFICE OF THE CITY FORESTER (OCF) AND SHALL BE A MINIMUM OF:
  - 30' FROM OUTSIDE EDGE OF INTERSECTING CURBS FOR SIGHT TRIANGLE
  - 20' FROM STOP SIGNS
  - 25' FROM STREET LIGHTS
  - 20' FROM PEDESTRIAN CURB RAMPS
  - 10' FROM EDGE OF VEHICULAR DRIVE APRON AND HYDRANTS.
- ALL PLANT MATERIAL SHALL MEET OR EXCEED CURRENT AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1 AND THE COLORADO NURSERY ACT AND ACCOMPANYING RULES AND REGULATIONS.
- REQUIRED SOIL REMEDIATION WHEN REMOVING HARDSCAPE/CONCRETE/ASPHALT/PAVERS/ETC. TO PLANT TREES:
  - SOIL ANALYSIS, BULK DENSITY TESTING AND REMEDIATION REQUIRED WHEN REMOVING HARDSCAPE TO PLANT TREES; INCLUDING BUT NOT LIMITED TO CONCRETE, ASPHALT, PAVERS, BRICK
    - DEEP SOIL ANALYSIS TO 24" DEPTH REQUIRED FROM CREDITED, LOCAL SOIL ANALYSIS LABORATORY WITH EXPERIENCE IN LOCAL URBAN SOILS.
    - ANALYSIS MUST DETERMINE SOIL TEXTURE AND TYPE, PH BALANCE, SOIL SALINITY, ORGANIC MATTER (OM) PERCENTAGE, AND PLANT AVAILABLE NUTRIENTS
  - SOIL REMEDIATION REQUIRED BASED ON SOIL ANALYSIS.
- CONTACT THE OCF A MINIMUM OF FIVE (5) BUSINESS DAYS BEFORE COMMENCEMENT OF DEMOLITION AND/OR CONSTRUCTION ACTIVITY.
- FOLLOWING PROJECT COMPLETION, ANY PROPOSED ROW AMENITY ZONE SURFACE TREATMENT CONVERSION FROM ONE TYPE TO ANOTHER (EX: TURFGRASS TREE LAWN TO PAVEMENT OR NON-ORGANIC MULCH) MUST BE REVIEWED AND APPROVED BY THE OCF.

COLUMN A	PLANT COVERAGE TABLE					COLUMN F
	COLUMN B	COLUMN C	COLUMN D	COLUMN E	COLUMN F	
LOCATION	TOTAL AREA WITHIN EACH SETBACK/BUILD TO ZONE (NOT OVERLAPPED SQ. FT.)	AMOUNT OF AREA NOT CONSIDERED OPEN AREAS PER SECTION 10.5.4.2A.4 (SQ. FT.)	AMOUNT OF FLATWORK WITHIN COLUMN B (SQ. FT.)	AMOUNT OF OPEN AREA (SQ. FT.) / COLUMN B - COLUMN C (SQ. FT.)	AMOUNT OF LIVE MATERIAL WITHIN OPEN AREA (SQ. FT.) (SUBSET OF COLUMN E)	
PRIMARY STREET (INCA) SETBACK/BUILD TO	135	ENTRY WALKS 92	BIKE RACK PAD 18	43	TOTAL PLANT COVERAGE AREA IN SETBACK (SF.)	25
					% LIVE MATERIAL	58%
					% NON-LIVE MATERIAL	42%



Any work in these areas must have written approval of OCF prior to commencement of activity. Contact OCF for instruction.

### Area 1: Tree Protection Zone and Critical Root Zone Protection

The Tree Protection Zone (TPZ) shall be equal to dripline or 1.5 feet radially from the tree for every one inch of trunk diameter at breast height (DBH = 4.5' above soil line), whichever is greater.

- Min 6' in height steel chain link fence is required unless otherwise approved by the Office of the City Forester (OCF). Steel chain link fence panels or rolls are acceptable.

- When chain link panels are installed, anchor to ground or weight with sandbags to hold panels in place.
- When chain link rolls are installed, it shall be fastened to heavy duty steel posts with safety caps at minimum five (5) attachment points with 12-gauge wire, including points at top and bottom. Weave wire through top of roll to eliminate sag.
- Posts shall be driven 2' to 3' below grade and spaced at max. five to ten foot (5' - 10') o.c. intervals. Fencing must be kept taut at all times.
- "Tree Protection Zone" signs shall be placed one (1) per each tree protection zone minimum or more per direction of the OCF; maintain in the location and condition in which approved.
- TPZ, including signage, shall be maintained in the location and condition in which approved.
- Trunk protection may be required and shall be installed at the direction of the OCF.

### Area 2: Canopy Protection

Contact OCF if potential for damage exists and/or if pruning is needed for any clearance issues prior to performing work.

### Notes

- OCF Tree Retention and Protection Specifications shall be followed throughout duration of work.
- After TPZ is approved:
  - TPZ shall not be resized, modified, removed, or altered in any manner without prior written approval. TPZ shall be maintained in place as approved until removal is authorized by OCF.
  - Entrance/access to the TPZ is not permitted without prior written approval from the OCF.
  - No materials, debris, equipment, or site amenities shall be stored within the TPZ without prior written approval from the OCF.
- While TPZ fencing is in place, trees shall be deep-root watered at an interval of once every two weeks when temperatures are at or above 40 degrees F. Trees shall be watered at the rate of twenty-five (25) gallons per inch DBH. OCF may ask for proof of watering.
- Violation of TPZ or damage to protected trees is subject to penalty per City Ordinance.

<b>DENVER</b> THE MILE HIGH CITY	City and County of Denver Office of the City Forester 101 W. Colfax Ave, Denver, CO 80202	Tree Protection Zone - Public Space Fencing Detail	Detail: OCF-TPZ 1 Effective: 4-01-2022
	DENVER THE MILE HIGH CITY City and County of Denver Office of the City Forester 101 W. Colfax Ave, Denver, CO 80202 Tree Protection Zone - Public Space Fencing Detail Detail: OCF-TPZ 1 Effective: 4-01-2022		

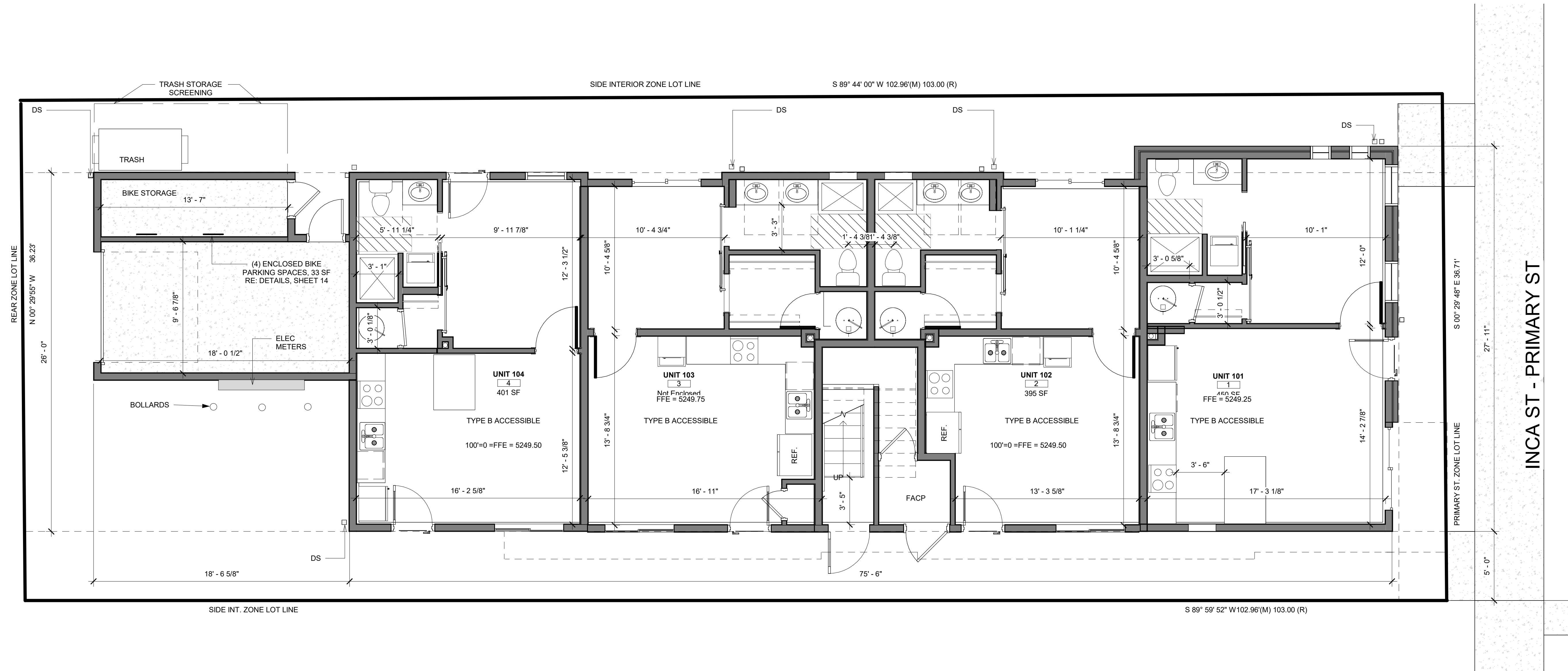
## LANDSCAPE NOTES & DETAILS

# INCA ST. 10

## SITE DEVELOPMENT PLAN

LYING WITHIN THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 4, TOWNSHIP 4 SOUTH,  
RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
A PART OF 815 N. INCA ST, UNITS 101, 102, 103, 104, 201, 202, 203, 204, 301, 302

BUILDING AREA	
LEVEL 01	1980 SF
UNIT 1	501 SF
UNIT 2	445 SF
UNIT 3	480 SF
UNIT 4	448 SF
COMMON	106 SF
LEVEL 02	2100 SF
UNIT 5	533 SF
UNIT 6	416 SF
UNIT 7	437 SF
UNIT 8	460 SF
COMMON	254 SF
LEVEL 03	1949 SF
UNIT 9	942 SF
UNIT 10	903 SF
COMMON	104 SF
TOTAL CONDITIONED	6029 SF
GARAGE / BIKE	235 SF
TOTAL	6264 SF



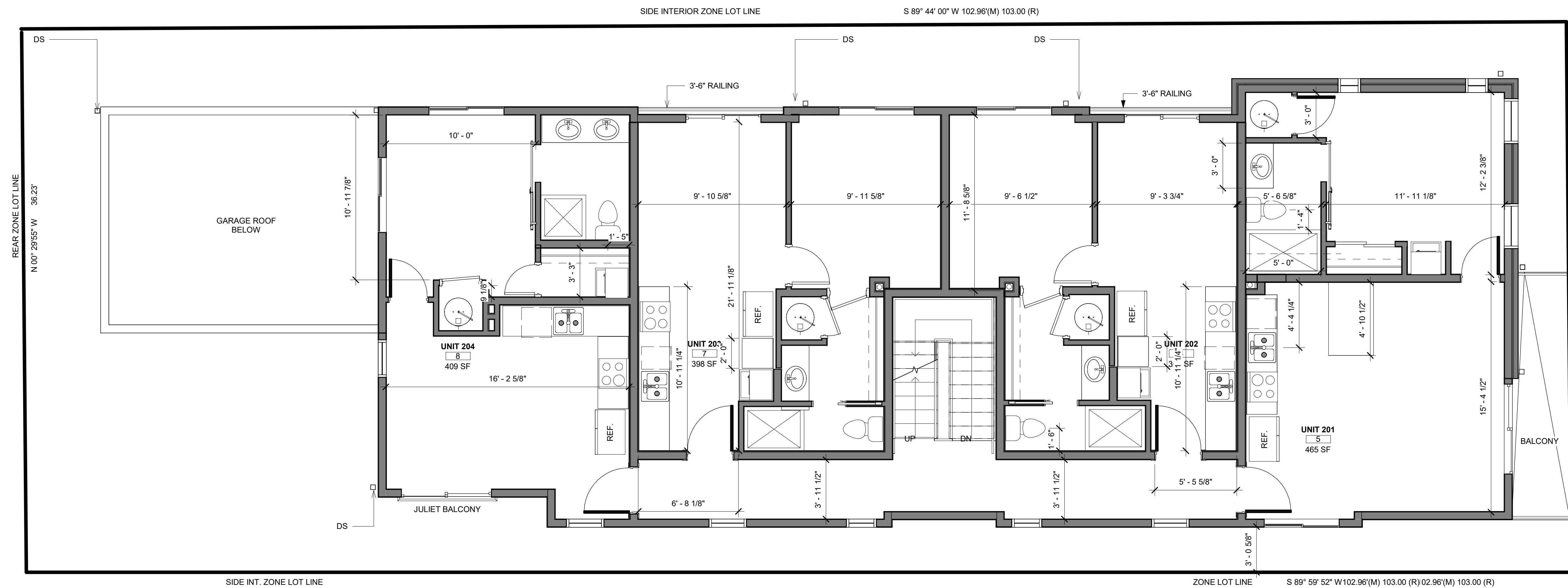
**1 FIRST LEVEL PLAN**  
1/4" = 1'-0"

⊕ FIRST FLOOR PLAN

# INCA ST. 10 SITE DEVELOPMENT PLAN

LYING WITHIN THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 4, TOWNSHIP 4 SOUTH,  
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COMMON	254 SF
LEVEL 03	1949 SF
UNIT 9	942 SF
UNIT 10	903 SF
COMMON	104 SF
TOTAL CONDITIONED	6029 SF
GARAGE / BIKE	235 SF
TOTAL	6264 SF



⊕ SECOND FLOOR PLAN

**1 2ND LEVEL PLAN**  
1/4" = 1'-0"

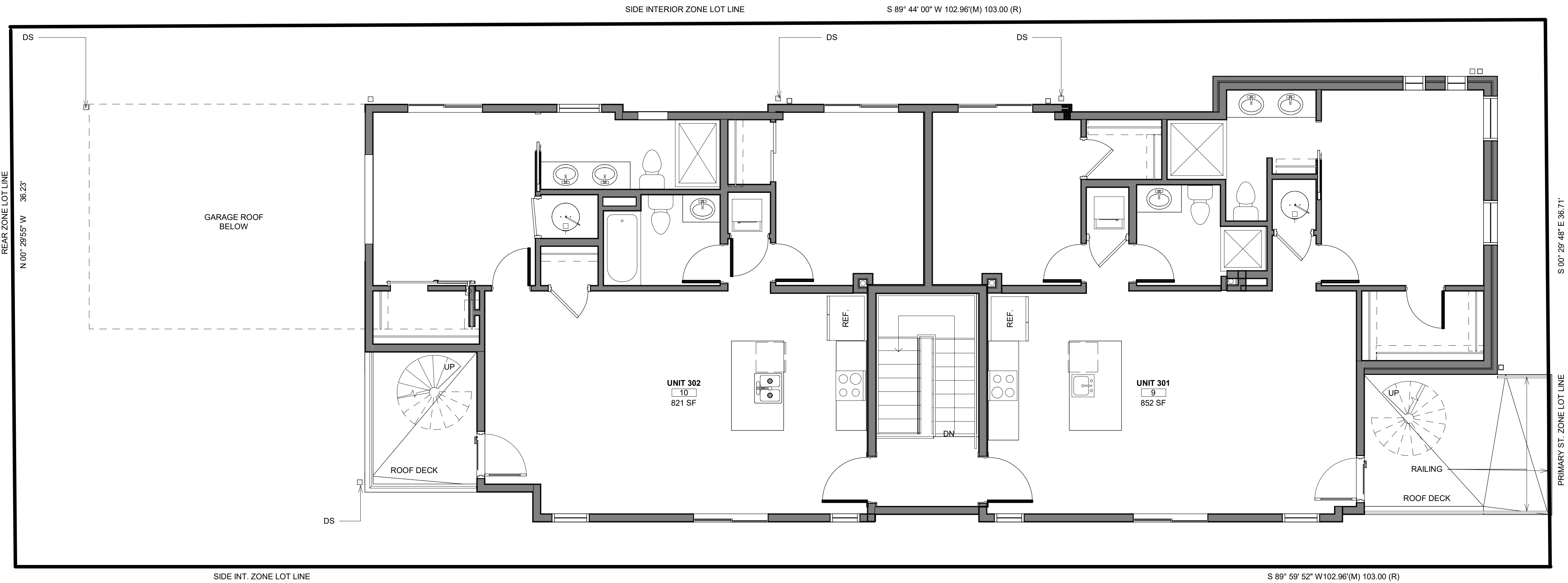
**9**  
SHEET 9 OF 14

# INCA ST. 10

## SITE DEVELOPMENT PLAN

LYING WITHIN THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 4, TOWNSHIP 4 SOUTH,  
 RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
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UNIT 5	533 SF
UNIT 6	416 SF
UNIT 7	437 SF
UNIT 8	460 SF
COMMON	254 SF
LEVEL 03	1949 SF
UNIT 9	942 SF
UNIT 10	903 SF
COMMON	104 SF
TOTAL CONDITIONED	6029 SF
GARAGE / BIKE	235 SF
TOTAL	6264 SF



**1 3RD LEVEL PLAN**  
 1/4" = 1'-0"

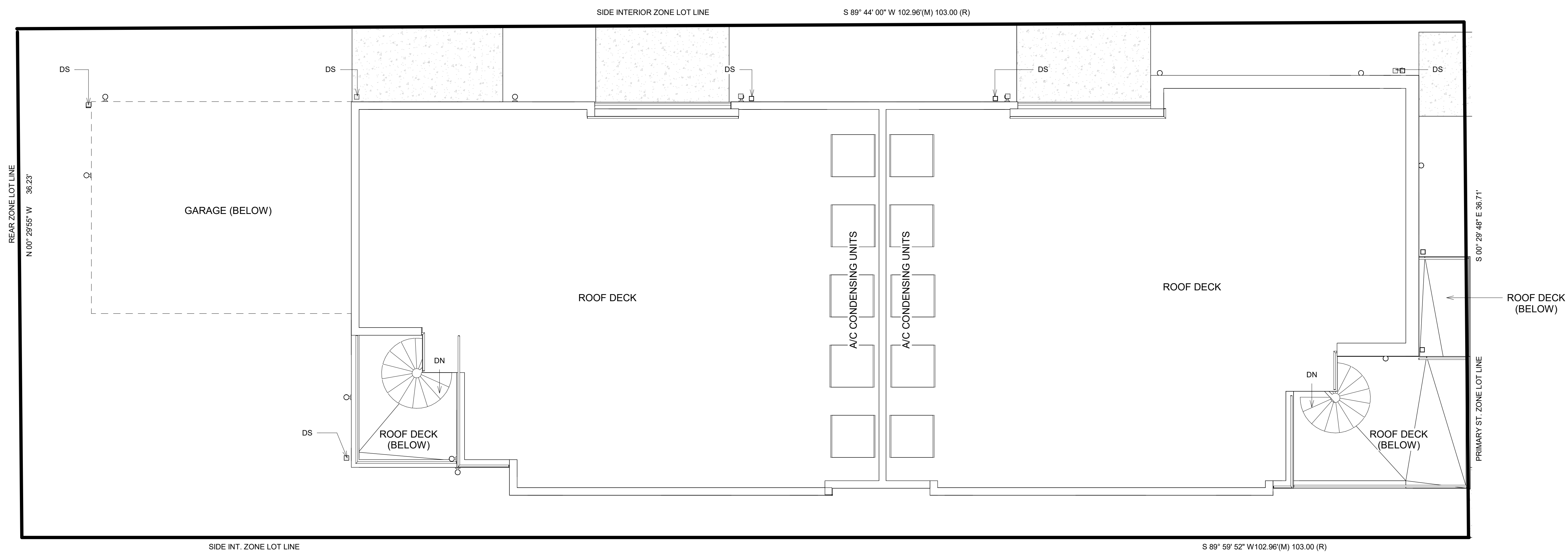
⊕ THIRD FLOOR PLAN

**10**

SHEET 10 OF 14

# INCA ST. 10 SITE DEVELOPMENT PLAN

LYING WITHIN THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 4, TOWNSHIP 4 SOUTH,  
RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
A PART OF 815 N. INCA ST, UNITS 101, 102, 103, 104, 201, 202, 203, 204, 301, 302



**1 ROOF PLAN**  
1/4" = 1'-0"

⊕ ROOF PLAN

**11**

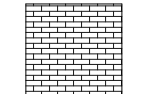
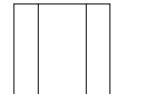
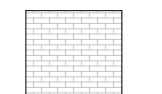
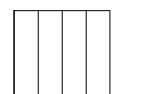
SHEET 11 OF 14

# INCA ST. 10

## SITE DEVELOPMENT PLAN

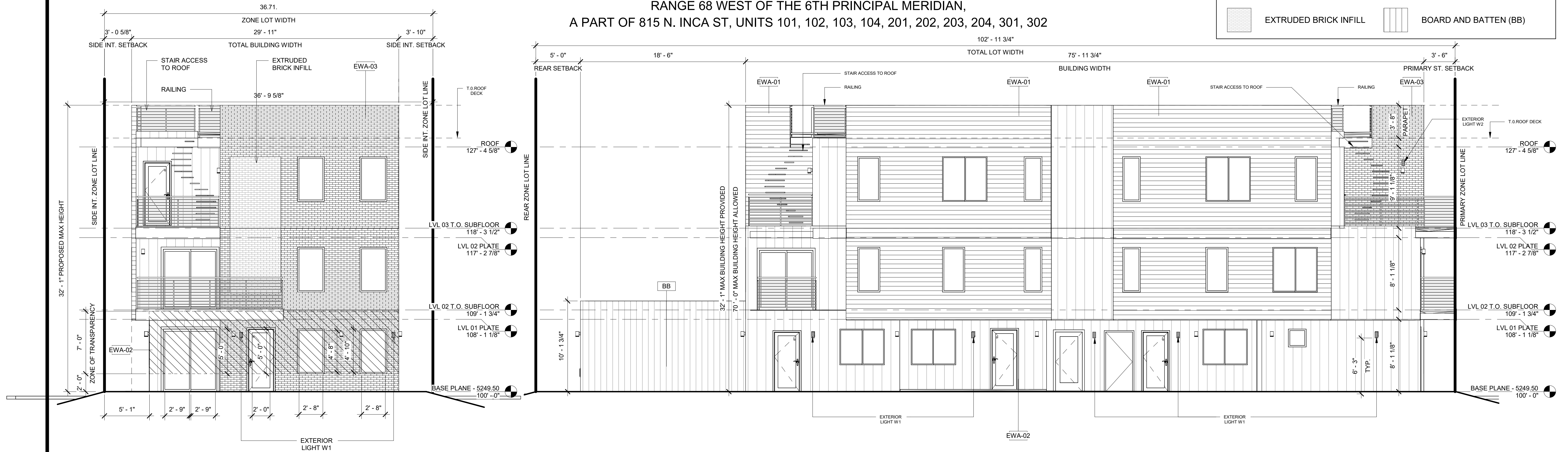
LYING WITHIN THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 4, TOWNSHIP 4 SOUTH,  
RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
A PART OF 815 N. INCA ST, UNITS 101, 102, 103, 104, 201, 202, 203, 204, 301, 302

### MATERIAL LEGEND

	BRICK (BR)		STANDING SEAM METAL (MP)
	EXTRUDED BRICK INFILL		BOARD AND BATTEN (BB)

#### BUILDING ONE TRANSPARENCY - INCA ST. - PRIMARY ST.

STREET LEVEL FACADE WIDTH: 27' - 11"  
REQUIRED TRANSPARENCY: 11' - 2" (40%)  
PROVIDED TRANSPARENCY: 12' - 10" (46%)

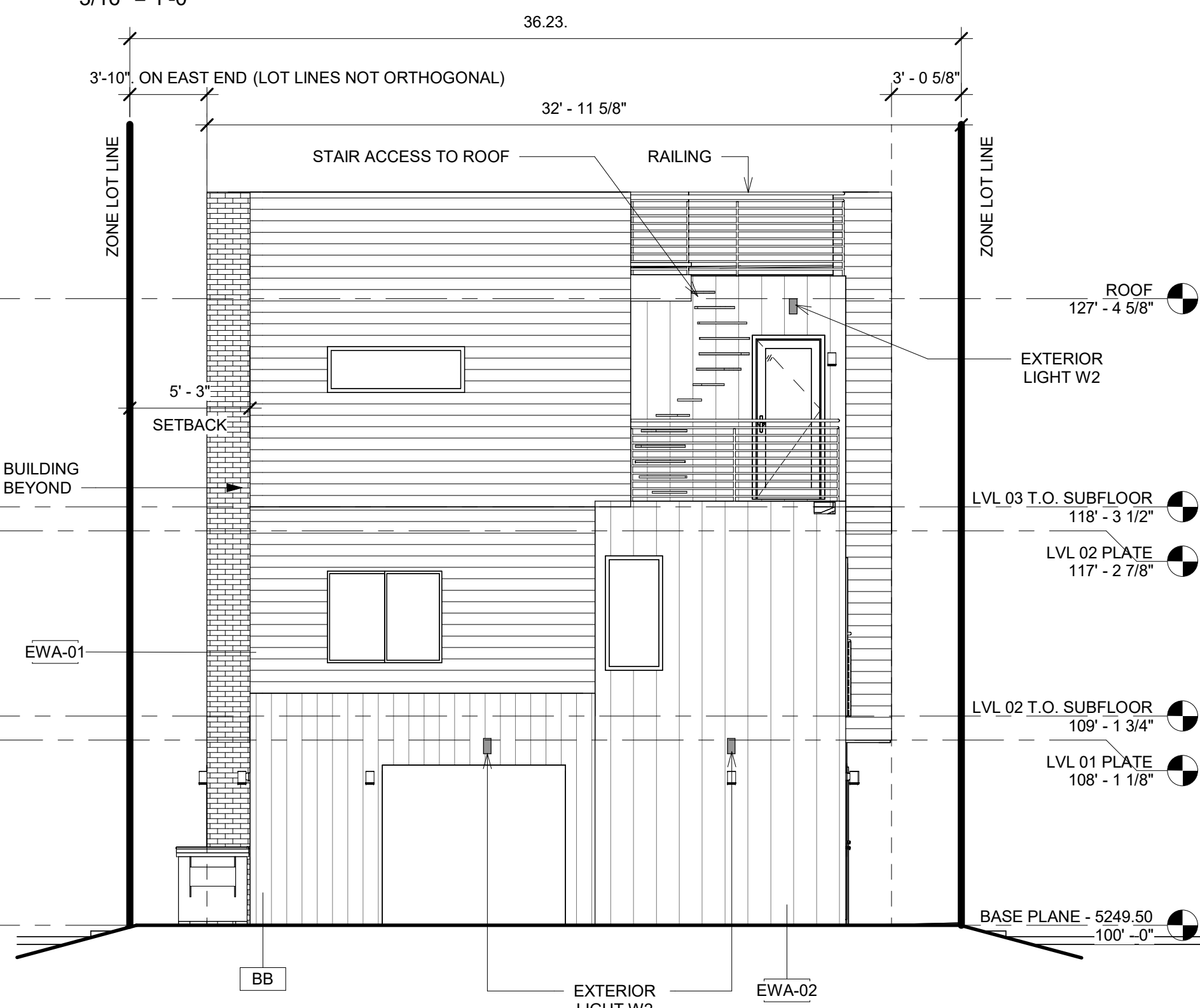


**1 EAST ELEVATION, INCA ST. - PRIMARY ST.**

3/16" = 1'-0"

**3 SOUTH ELEVATION**

3/16" = 1'-0"



**4 WEST ELEVATION, ALLEY**

3/16" = 1'-0"



**2 NORTH ELEVATION**

3/16" = 1'-0"

EXTERIOR ELEVATIONS

12

SHEET 12 OF 14

# INCA ST. 10

## SITE DEVELOPMENT PLAN

LYING WITHIN THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 4,  
TOWNSHIP 4 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL  
MERIDIAN, CITY AND COUNTY OF DENVER, STATE OF COLORADO  
A PART OF 815 N. INCA ST, UNITS 101, 102, 103, 104, 201, 202, 203, 204, 301, 302

### GENERAL NOTES (THIS SHEET)

- NO SUBSTITUTIONS, ADDITIONS, OR CHANGES MAY BE MADE WITHOUT PRIOR APPROVAL BY THE CITY OF DENVER.
- ALL CALCULATIONS ARE DONE WITH A LIGHT LOSS FACTOR OF 1.0.
- ALL CALCULATIONS POINTS ARE AT GRADE.
- ANY PROPOSED LIGHT FIXTURES INSTALLED ON PRIVATE PROPERTY, ADJACENT TO THE RIGHT-OF-WAY, SHALL BE SHIELDED AND DIRECTED DOWNWARD AND INWARD SO AS TO REDUCE GLARE ONTO NEIGHBORING PROPERTIES AND RIGHTS-OF-WAY. SHALL NOT EXCEED NATIONAL IES LIGHTING STANDARDS FOR DISABILITY GLARE.
 

A. "DISABILITY GLARE" IS WHEN VARIANCES IN THE BRIGHTNESS OF THE BACKGROUND AGAINST WHICH AN OBJECT IS VIEWED IMPAIRS THE EYE'S ABILITY TO SEE THAT OBJECT. I.E., STRAY LIGHT FROM A SECURITY LIGHT ON PRIVATE PROPERTY COULD REACH A DRIVER'S EYE AND CHANGE THE VISUAL BACKDROP OF THE ROADWAY AHEAD AND ALTER THE DRIVER'S ABILITY TO SEE AN ONCOMING OBJECT.
- ALL LUMINAIRES TO BE FULL CUTOFF.

**Wall luminaire - directed light**

**TYPE W1**

**BEGA**

**Application**  
Wall luminaires with directed light. As individual luminaires with low mounting height, they can be used for marking danger areas or in rows for illuminating corridors and passageways. With high mounting heights they can be used as wall luminaires next to doors or for lighting small wall areas.

**Materials**  
Luminaire housing constructed of die-cast marine grade, copper free (5.0.3% copper content) A360.0 aluminum alloy  
Matte safety glass  
High temperature silicone gasket  
Mechanically captive stainless steel fasteners  
NRTL listed to North American Standards, suitable for wet locations  
Protection class IP64  
Weight: 0.9 lbs

**Electrical**  
Operating voltage 120-277V AC  
Minimum start temperature -20° C  
LED module wattage 2.1W  
System wattage 3.0W  
Controllability Dimming not available  
Color rendering index Ra > 90  
Luminaire lumens 172 lumens (4000K)  
LED service life (L70) 90,000 hours

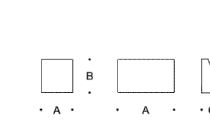
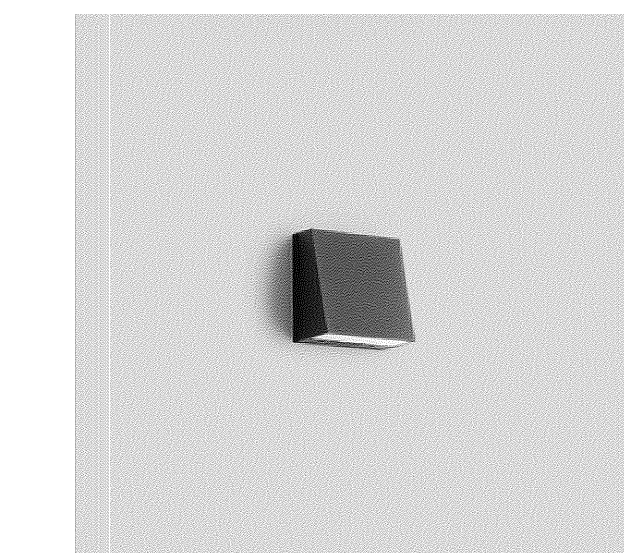
**LED color temperature**  
 4000K - Product number + K4  
 3500K - Product number + K25  
 3000K - Product number + K3  
 2700K - Product number + K27

**BEGA** can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details

**Finish**  
All BEGA standard finishes are matte, textured polyester powder coat with minimum 3 mil thickness.  
Available colors  Black (BLK)  White (WHT) RAL:  Bronze (BRZ)  Silver (SLV) CUG:

Type: **TYPE W1**

BEGA Product:  
Project:  
Modified:

**22215** LED 2.1W 3' x 3' 2 1/4" 19.538

BEGA 1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0533 info@bega-us.com  
Due to the dynamic nature of lighting products and the associated technologies, luminaire data on this sheet is subject to change at the discretion of BEGA North America. For the most current technical data, please refer to bega-us.com © copyright BEGA 2019

**LED wall luminaire - directed light**

**TYPE W2**

**BEGA**

**Application**  
As an individual luminaire with low mounting heights, it can be used for marking danger areas or in rows for illuminating corridors and passageways. With high mounting heights it can be used as a wall luminaire next to doors or for lighting small wall areas.

**Materials**  
Luminaire housing constructed of die-cast marine grade, copper free (5.0.3% copper content) A360.0 aluminum alloy  
Matte safety glass  
High temperature silicone gasket  
Mechanically captive stainless steel fasteners  
NRTL listed to North American Standards, suitable for wet locations  
Protection class IP64  
Weight: 1.5 lbs

**Electrical**  
Operating voltage 120-277V AC  
Minimum start temperature -30° C  
LED module wattage 4.2 W  
System wattage 5.8 W  
Controllability 0-10V dimmable  
Color rendering index Ra > 90  
Luminaire lumens 362 lumens (3000K)  
Lifetime at Ta = 15° C >500,000 h (L70)  
Lifetime at Ta = 35° C >434,000 h (L70)  
LED color temperature

4000K - Product number + K4  
3500K - Product number + K25  
3000K - Product number + K3 (EXPRESS)  
2700K - Product number + K27

BEGA can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details

**Finish**  
All BEGA standard finishes are matte, textured polyester powder coat with minimum 3 mil thickness.  
Available colors Black (BLK) White (WHT) Bronze (BRZ) Silver (SLV)

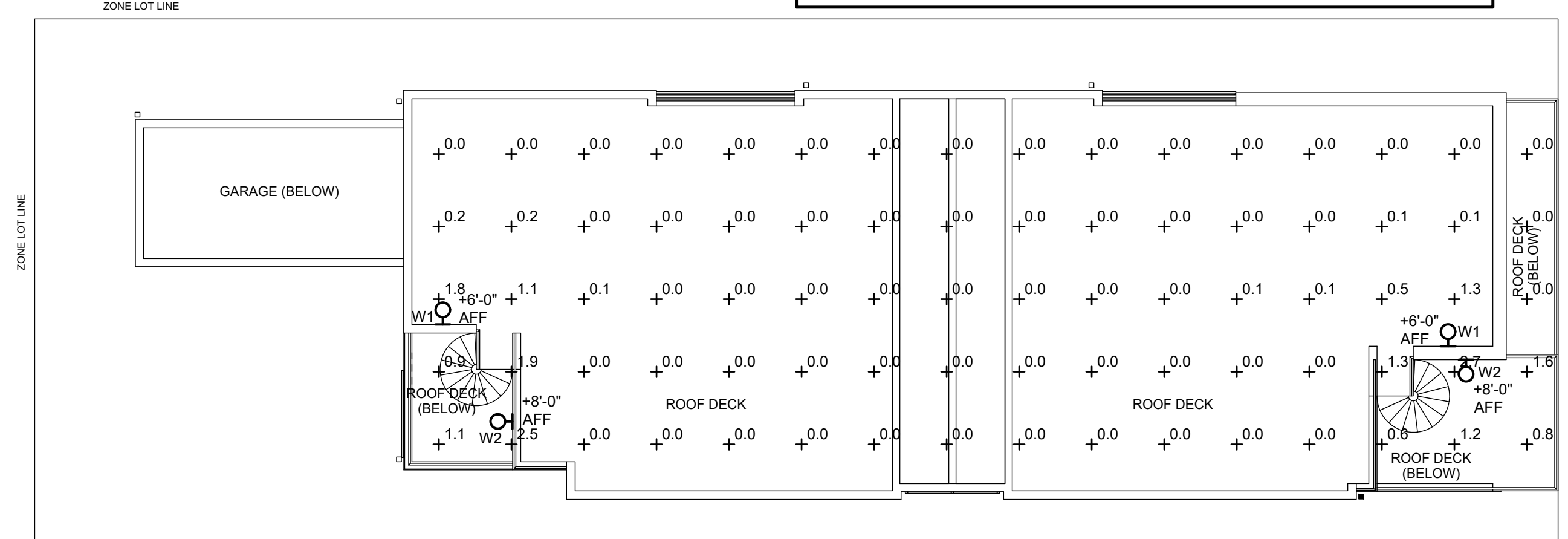
Type: **TYPE W2**

BEGA Product:  
Project:  
Modified:




**22261** LED 4.2 W 6' 18" 3' 3/4" 2 3/8"

BEGA 1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0533 info@bega-us.com  
Due to the dynamic nature of lighting products and the associated technologies, luminaire data on this sheet is subject to change at the discretion of BEGA North America. For the most current technical data, please refer to bega-us.com © copyright BEGA 2019

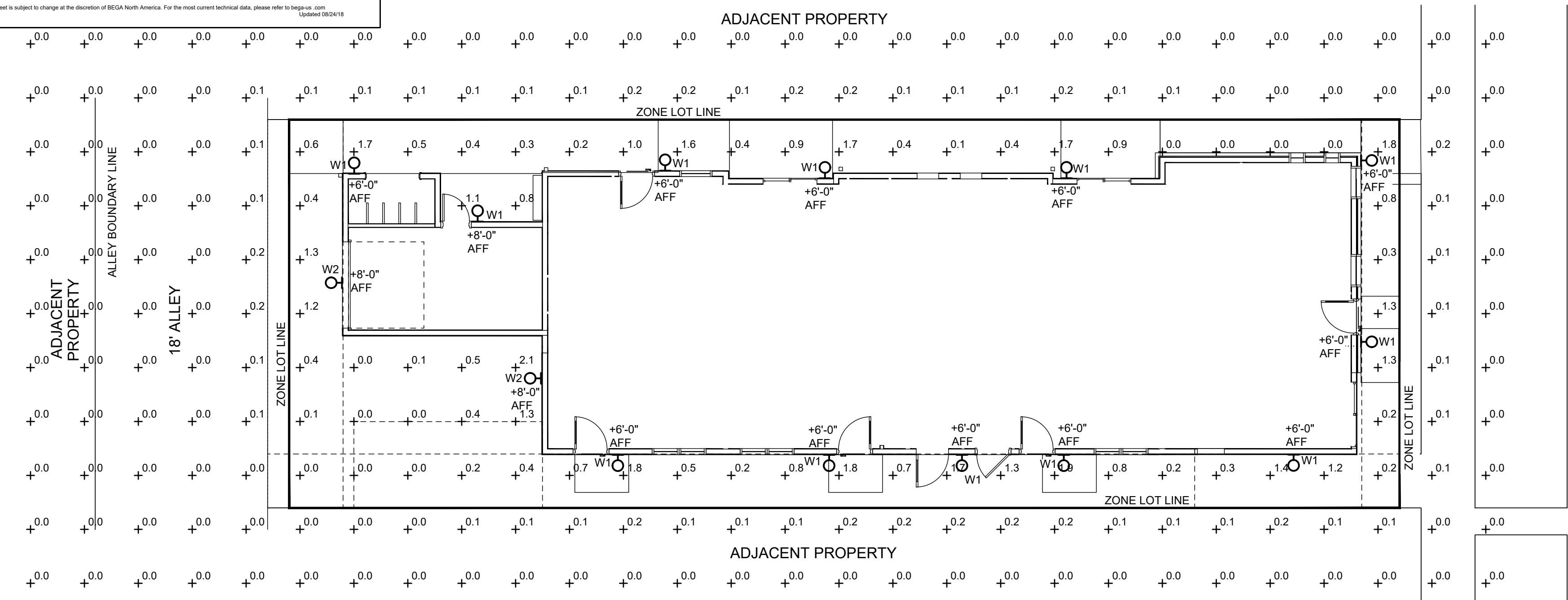


SITE LUMINAIRE SCHEDULE												
TYPE	DESCRIPTION	MANUFACTURER	CATALOG SERIES NUMBER	LAMPS (QTY) TYPE	INPUT VA	LUMENS	VOLTAGE	BUG RATING	MOUNTING			NOTES
									R	S	P	
W1	WALL SCONCE, FULL CUTOFF	BEGA	22215-K3-BLK	LED, 3000K	3	172	120	B0 U0 G0	X	X	X	
W2	WALL SCONCE, FULL CUTOFF	BEGA	22261-K3-BLK	LED, 3000K	5.8	362	120	B0 U0 G0	X	X	X	

ABBREVIATIONS: R - RECESSED; S - SURFACE; P - PENDANT; W - WALL

SITE CALCULATION STATISTICS:					
AREA	AVG (FC)			RATIOS*	
	AVG (FC)	MAX (FC)	MIN (FC)	MAX/MIN	AVG/MIN
SITE	0.1	2.4	0.0	N/A	N/A
ALLEY	0.1	1.9	0.0	N/A	N/A
PARKING	0.4	2.4	0.0	N/A	N/A
WALKWAYS	0.1	1.3	0.0	N/A	N/A
PROPERTY LINE W	0.2	0.5	0.0	N/A	N/A
PROPERTY LINE E	0.0	0.1	0.0	N/A	N/A
PROPERTY LINES N,S	0.0	0.2	0.0	N/A	N/A

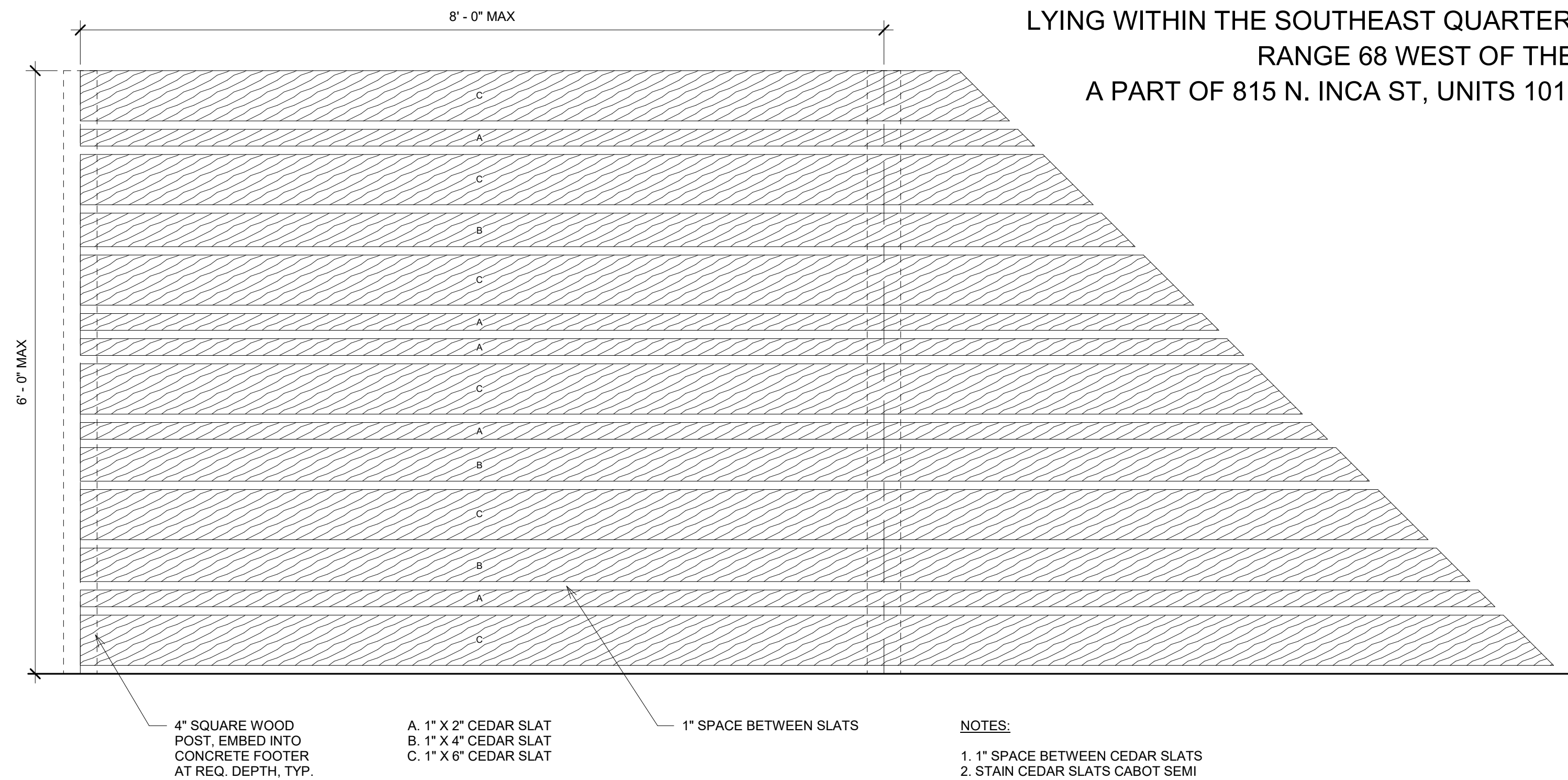
(\* NOTE: THESE VALUES ARE RATIOS, NOT FOOTCANDLES. RATIOS REPRESENT QUANTITATIVE RELATION BETWEEN TWO VALUES AND ARE UNITLESS.



PHOTOMETRIC PLAN

# INCA ST. 10 SITE DEVELOPMENT PLAN

LYING WITHIN THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 4, TOWNSHIP 4 SOUTH,  
RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
A PART OF 815 N. INCA ST, UNITS 101, 102, 103, 104, 201, 202, 203, 204, 301, 302



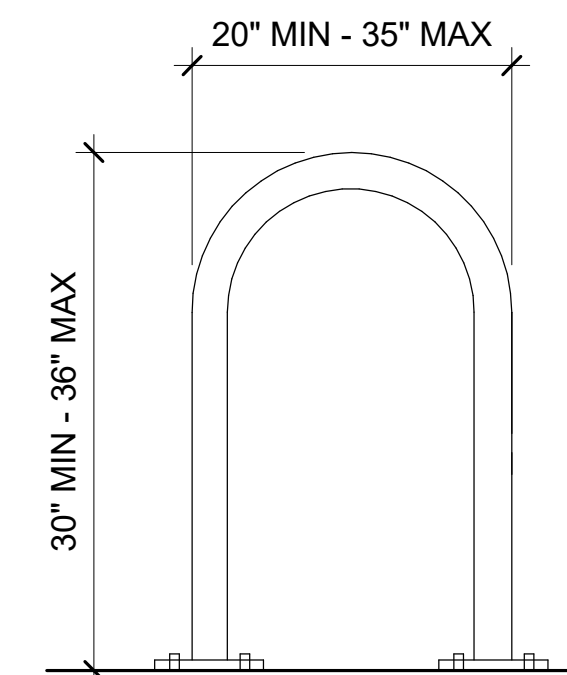
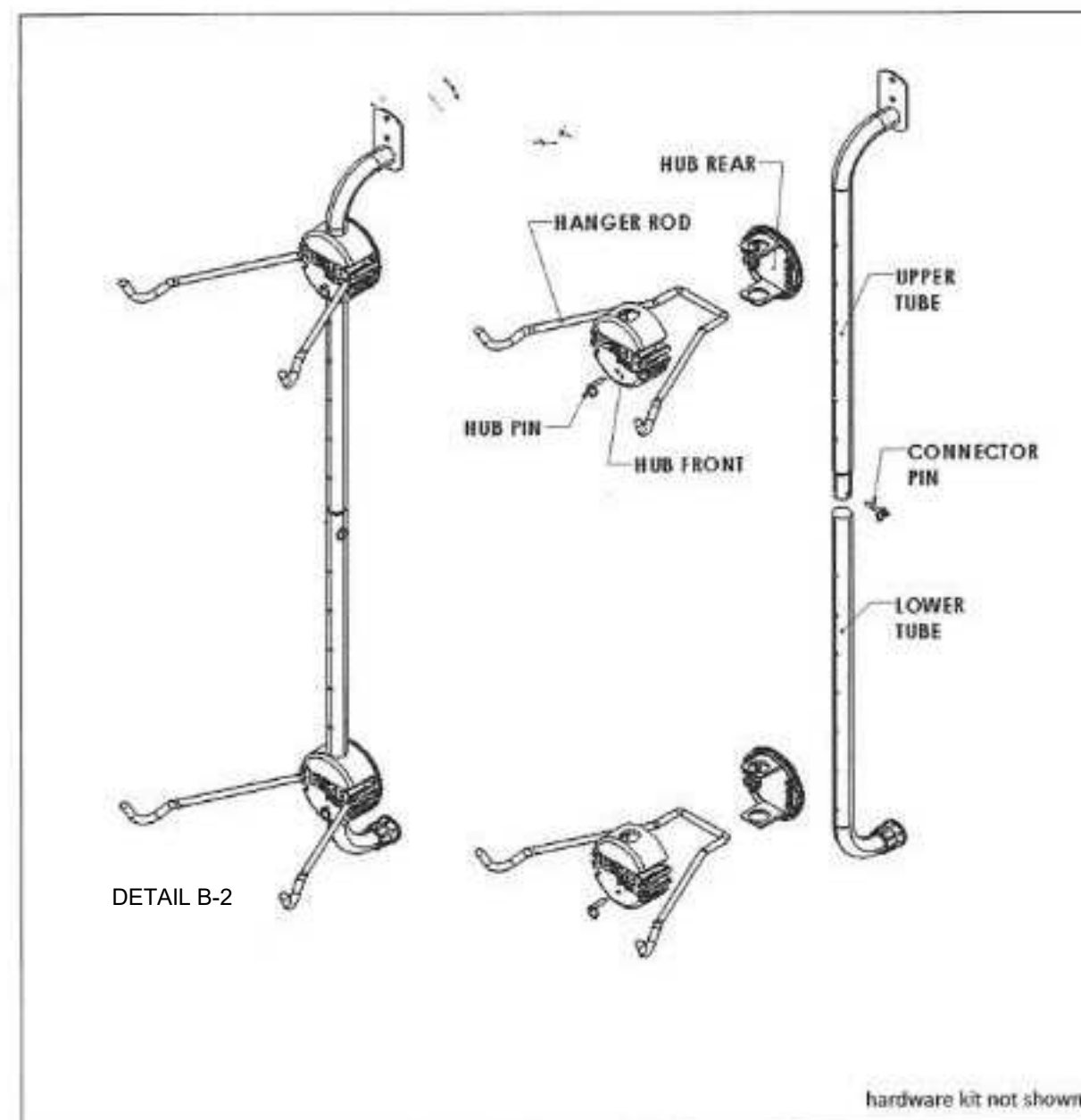
## 2 WOOD FENCE DETAIL

1" = 1'-0" RE: PLAN FOR LOCATION AND HEIGHT

- NOTES:**
- 1" SPACE BETWEEN CEDAR SLATS
  - STAIN CEDAR SLATS CABOT SEMI SOLID WOOD STAIN, COLOR: TBD
  - USE CLEAR HEART CEDAR SLATS
  - USE STAINLESS STEEL SCREWS

## BIKE TREE - DUAL

BIKE TREE-DUAL  
MOUNTING INSTRUCTIONS



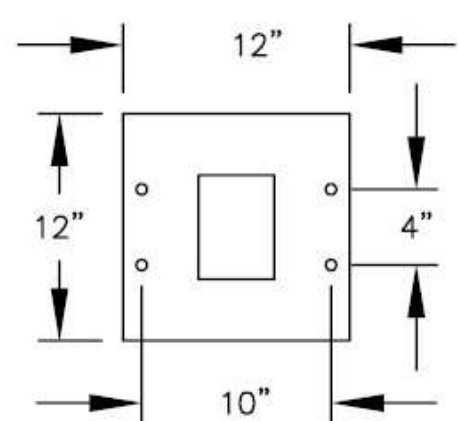
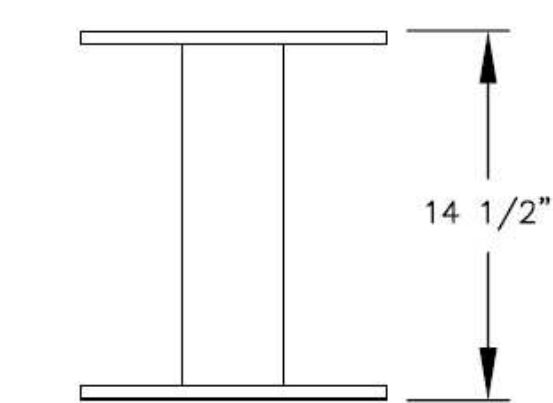
- NOTES:**
- INSTALLED WITH TAMPER RESISTANT HARDWARE

## INDIVIDUAL U BIKE RACK DETAIL

DETAIL B-1



Visit us at: [www.mailboxes.com](http://www.mailboxes.com)



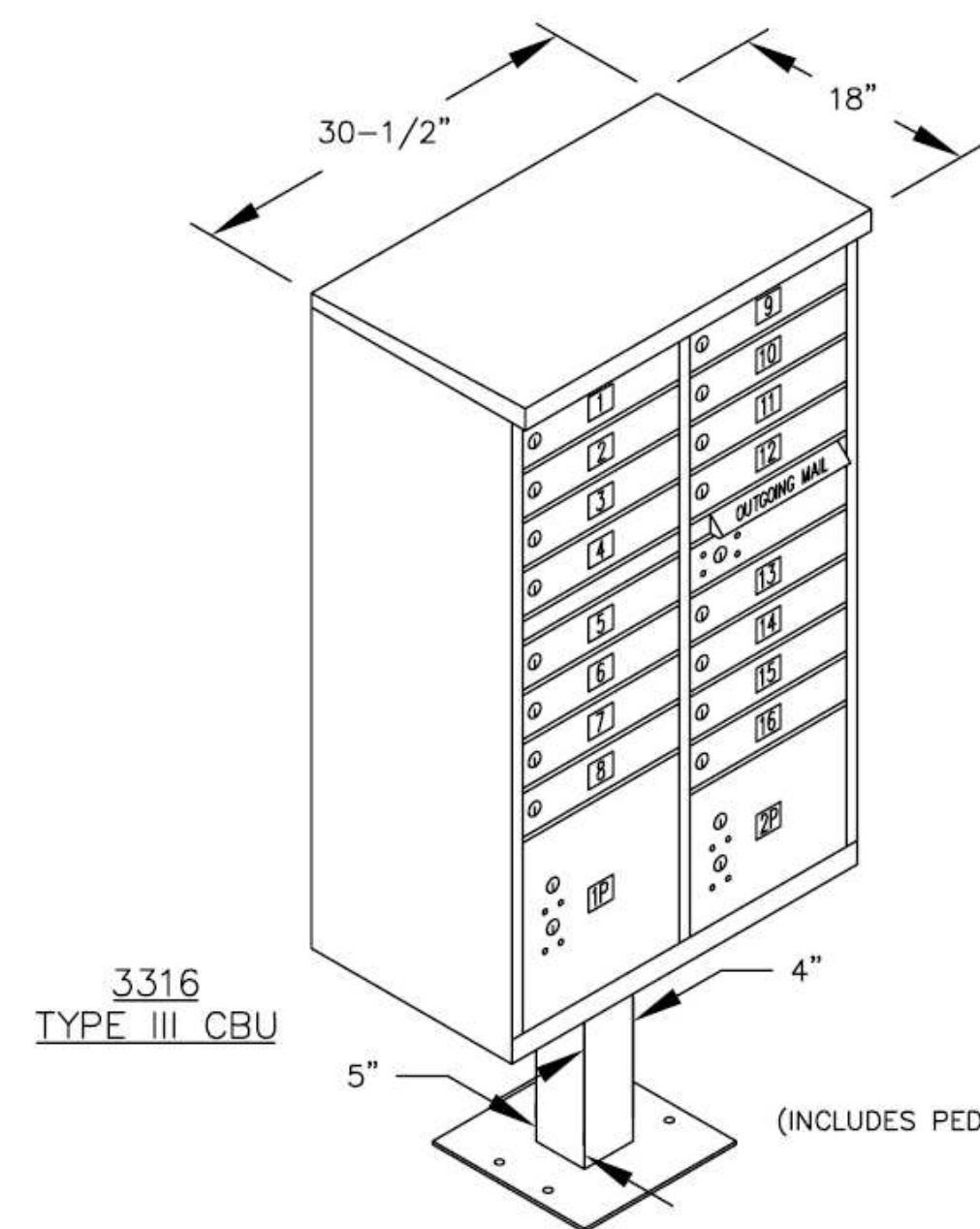
PEDESTAL BASE  
BOLT PATTERN

MODEL #3316  
CLUSTER BOX UNIT  
(F SERIES)

AVAILABLE COLORS:  
SANDSTONE, BRONZE, GREEN, BLACK, WHITE  
OR GRAY (FOR REPLACEMENT UNITS)

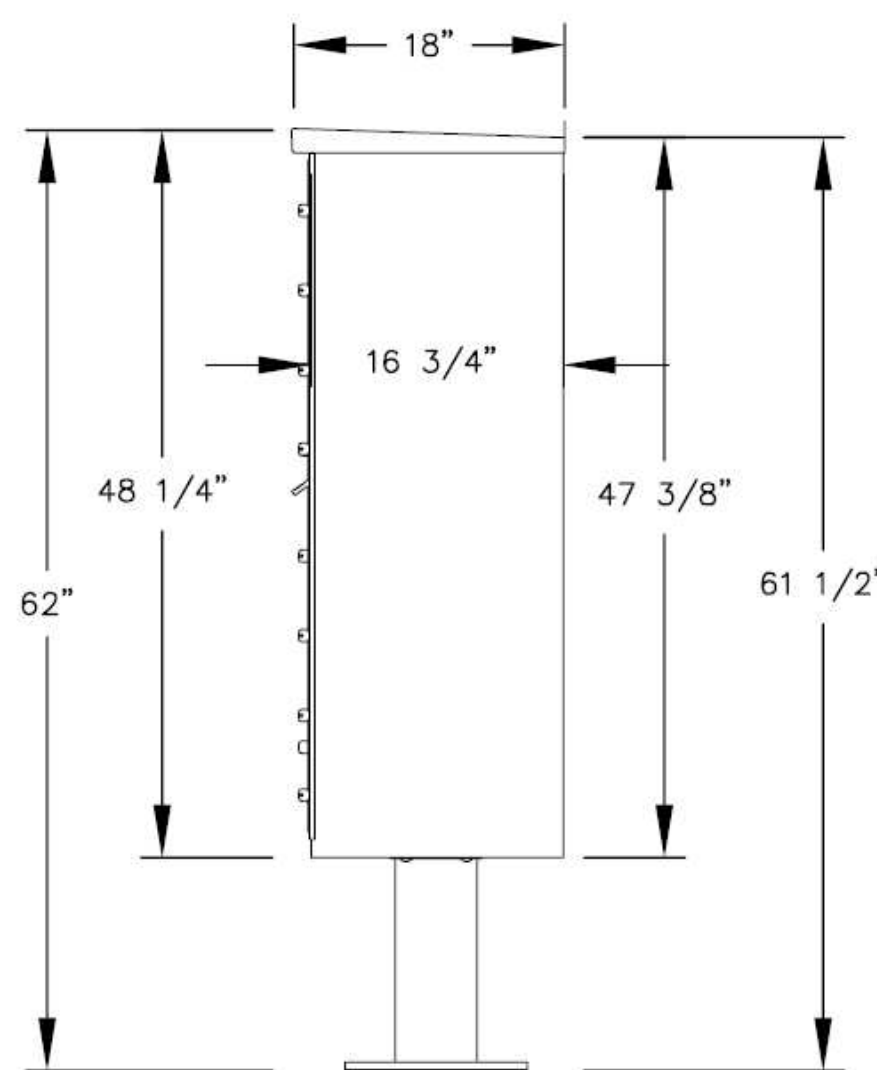
USPS ACCESS OR PRIVATE ACCESS

DRAWN: 8/2020



3316  
TYPE III CBU

(INCLUDES PEDESTAL)



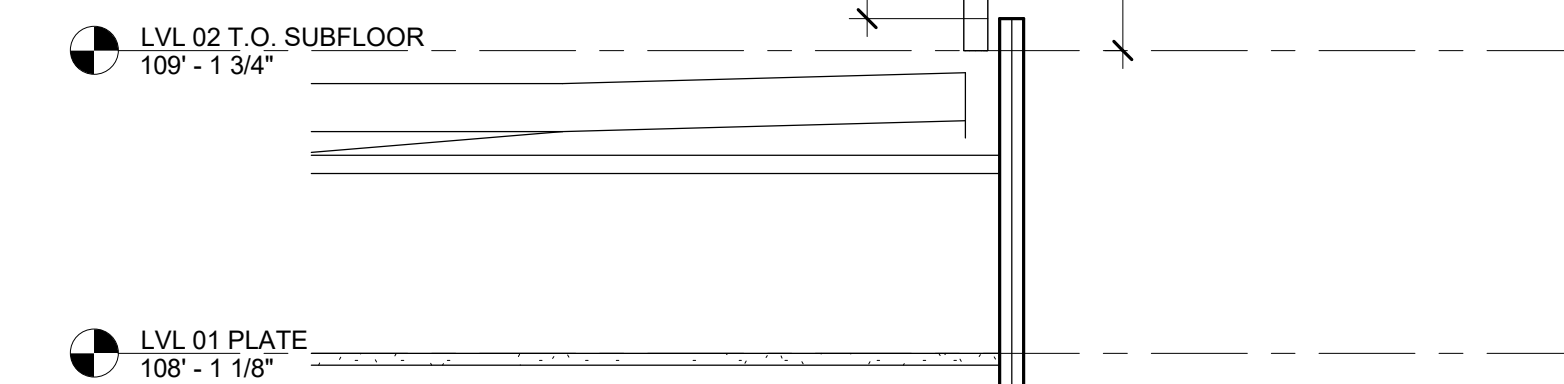
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## ENCLOSED WALL BIKE RACK DETAIL



DETAILS

## 1 RAILING DETAIL

1 1/2" = 1'-0"

14

SHEET 14 OF 14