

Hackthorpe Hall Business Centre

HACKTHORPE, PENRITH, CUMBRIA CA10 2HX

To Let



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LOCATION

Hackthorpe Hall Business Centre provides office accommodation within the Lowther Estate. The property is located west of the M6 in the village of Hackthorpe. The business centre benefits from direct access off the A6, providing excellent road links north towards Carlisle and south towards Kendal.

The business centre is situated within the village of Hackthorpe located 6 miles south of Penrith, 22 miles east of Keswick, and 25 miles south of Carlisle. The location offers good connectivity to the Lake District National Park, the Yorkshire Dales, and South Cumbria.

Penrith railway station, situated on the West Coast Main Line, provides direct services north to Carlisle and Glasgow, and south to London Euston. Newcastle International Airport (NCL) is the nearest major airport, located approximately 70 miles to the north east.

DESCRIPTION

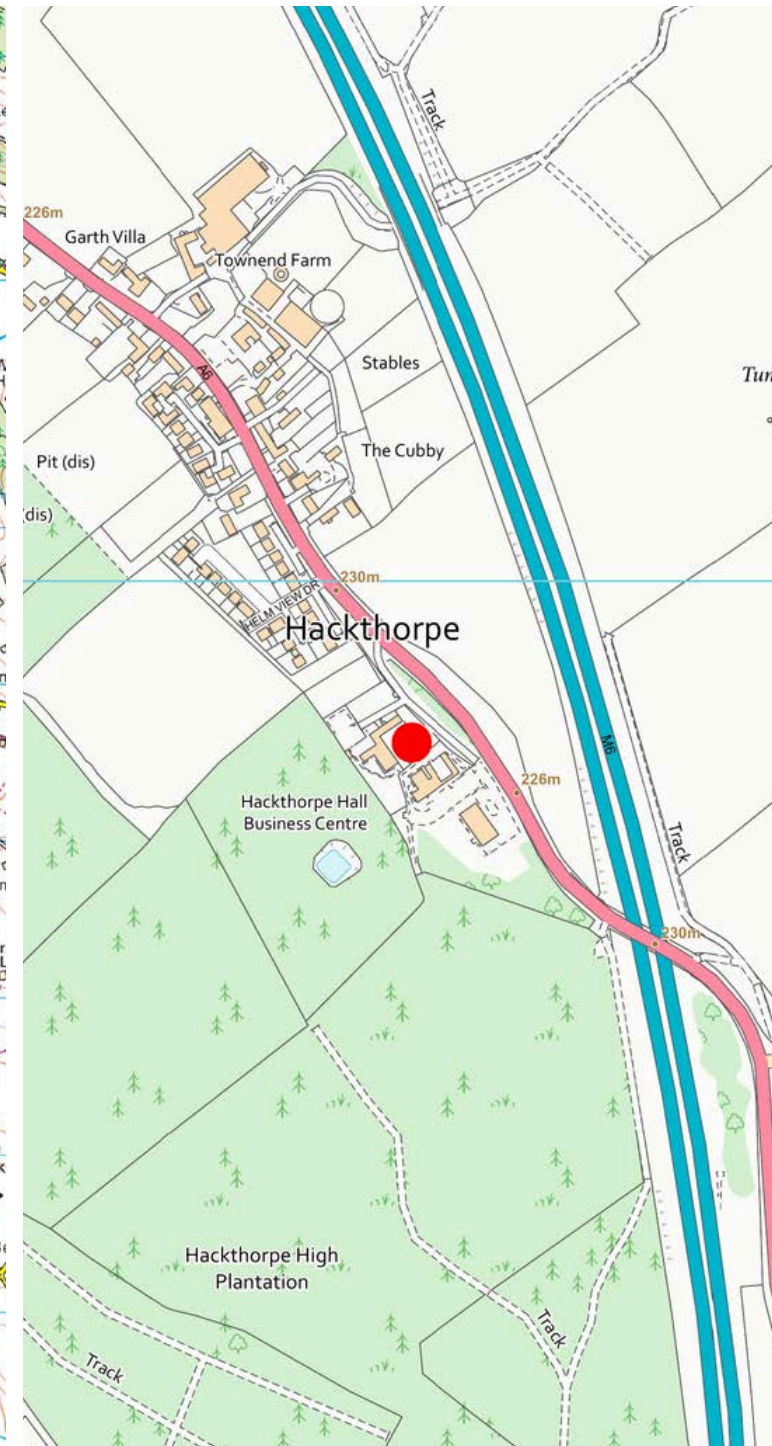
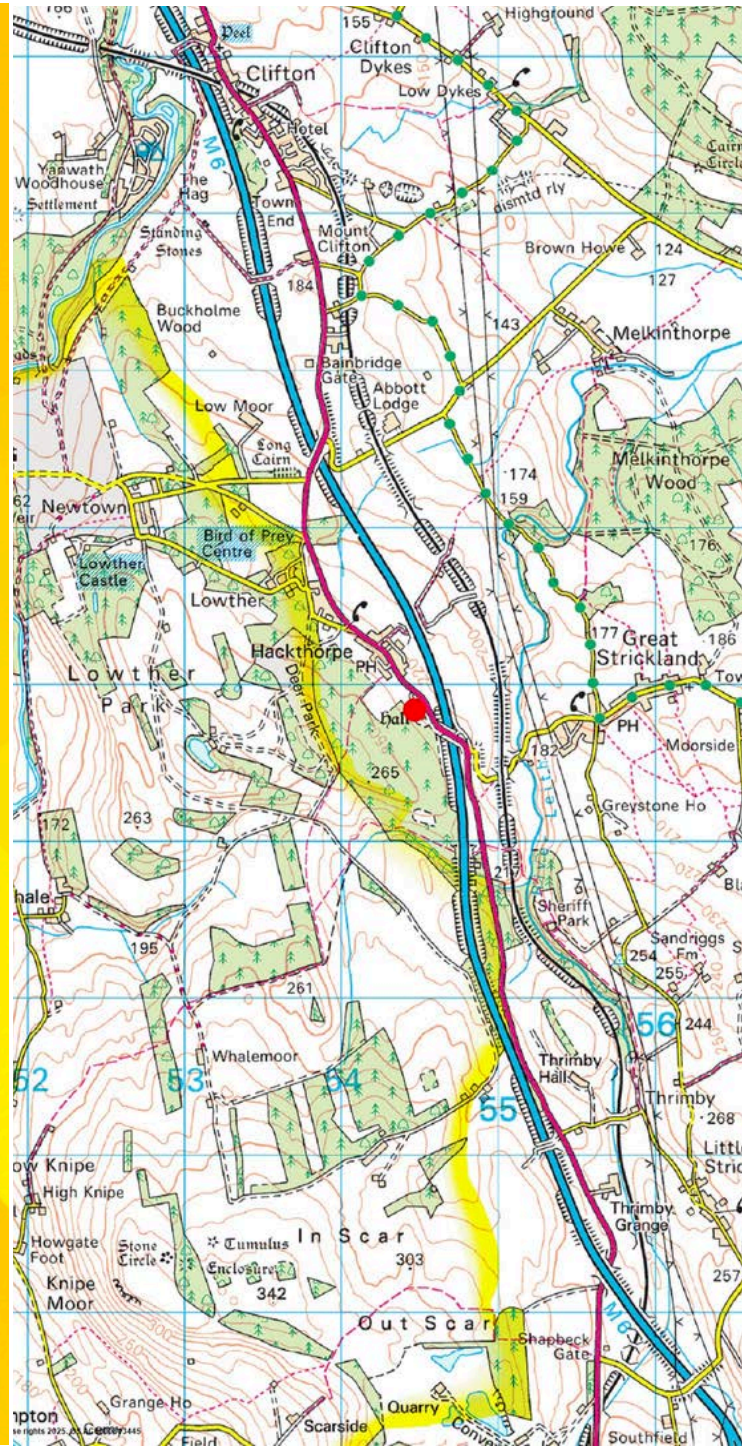
Hackthorpe Hall Business Centre provides a mixture of converted commercial units which benefit from good on site parking, high quality fixtures and fittings and an attractive and easily accessible location.

The units available include Hackthorpe Main Hall which is arranged over two floors, Ground Floor Units 1, 3, 10, and First Floor Units 17 and 18, offering flexible and versatile office space for any size of business.

SPECIFICATION

The accommodation has been fitted to the following specification:

- Data cabling and electric sockets in all offices;
- Full security systems with CCTV, infra-red cameras and security alarm wiring;
- Free car parking;
- Male and female toilet facilities;
- Landscaped courtyard and gardens;
- Underfloor heating in Unit 1, 3 and 10;
- Offices are separately metered for electric; and
- Broadband available.





AVAILABILITY

All suites are available by way of a new lease, for a term to be agreed, with the landlord responsible for property insurance, structure and external repairs and the tenant(s) responsible for internal repairs, redecoration, floor coverings and their own public and employer's liability insurance. Flexible agreements are available.

The available accommodation is set out in the table below and is available as a whole or on a unit by unit basis providing the following Net Internal Areas:

AREA	SIZE (SQ.FT)	SQ.M
MAIN HALL		
ROOM 1	321	30
ROOM 2	312	29
ROOM 3	442	41
ROOM 4	266	25
ROOM 5	221	21
ROOM 6	240	22
ROOM 7	157	15
ROOM 8	193	18
ROOM 9	225	21
NORTH RANGE		
UNIT 1	559	52
UNIT 3	641	60
UNIT 10	TBC	TBC
SOUTH RANGE		
UNIT 17	255	24
UNIT 18	733	68
	4,565	424

RENT

The accommodation is available as a whole, or on a unit by unit basis at a quoting rent of £11.00 per sq. ft, including parking.

VAT

VAT is chargeable on the rent and service charge.

BUSINESS RATES

Interested parties are advised to make their own enquiries to Westmorland and Furness Council.

SERVICE CHARGE

The Service Charge will be 10% of the monthly rents plus VAT payable in advance in equal monthly instalments. The Service Charge includes:

Cleaning of communal areas internally, e.g. stairs and toilets. Cleaning of communal areas externally, roads, paths etc. CCTV System. Gardening / Landscape maintenance. Refuse collection. Recycling collection. External window cleaning. Routine Maintenance. Consumables in toilets.

LEGAL COSTS

Each party to be responsible for their own legal costs incurred in this transaction.

EPC

It is understood that Energy Performance Asset Rating assessments for the units have been produced and a copy of the Energy Performance Certificate are available upon request.



CONTACT

For further information please contact:

savills

Jenny Dixon

JMDixon@savills.com
07525 630 353

Emma Young

emma.young@savills.com
07977 097 760

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