

1776 Hilltop Road

St. Joseph, Michigan 49085

Multi-Tenant Leased Industrial Investment

Marcus & Millichap

WILLIAMS INDUSTRIAL GROUP



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Marcus & Millichap
WILLIAMS INDUSTRIAL GROUP

Mark Antinucci

Associate Director Investments
Direct: 858.373.3241
mark.antinucci@marcusmillichap.com
License: CA 02186109

Luis Ortega

Director Investments
Direct: 858.373.3214
luis.ortega@marcusmillichap.com
License: CA: 02071282

Kent R. Williams

Senior Managing Director Investments
Direct: 858.373.3193
kent.williams@marcusmillichap.com
License: CA 00823860

Paul Kerber

Broker of Record
Two Towne Square, Ste. 450
Southfield, MI 48076
P: (248) 415-2600
License: 6502433613



Front Exterior

Marcus & Millichap is pleased to present an exclusive industrial investment opportunity located at **1776 Hilltop Road**, St. Joseph, Michigan. The Subject Property is a masonry & metal warehouse that features 119,000 SF± of total leaseable space on an industrial-commercial zoned 21-acre parcel.

The Subject Property is currently occupied by Centennial Storage, a regional specialized vehicle storage business. Associated with local waterfront and marina operations (such as Fisherman's Wharf St. Joseph), Centennial Storage primarily serves the seasonal, recreational, and industrial storage needs of Southwest Michigan residents and visitors.

Conveniently situated off Hilltop Road in South St. Joseph, the Property is positioned for manufacturing and distribution, with an approximate 4-minute drive to Michigan's I-94. This proximity provides convenient transit access for freight trucks and commuters traveling along the I-94 corridor between Chicago and Detroit.



Investment Summary

*VALUE ADD
INVESTMENT OPPORTUNITY*

\$4,760,000
PURCHASE PRICE

\$40.00
SALE PRICE/SF

119,000 ± SF
GROSS LEASEABLE SF

Contact Marcus & Millichap for full financial and investment details.



Property Specifications

BUILDING	
Parcel Size	21.5 Acres ±
Zoning	Industrial / Commercial
Building Size	119,000 SF ±
Warehouse/Production Area	110,000 SF ±
Office Area	9,000 SF ±
Floor	6" Concrete w/ Mesh & Wire Reinforcement
Rail Proximity	CSX Transportation
Sprinkler System	Wet System Served by Municipal Water
Electrical	2500 KVA 277/480 3-Phase by AEP Electrical
Natural Gas	Michigan Gas
Municipal Water	8" Main
Truck Docks	Five (5) with 6' x 6' Dock Levers
Paved Parking	100 to 150 Spaces
Ceiling Height	13' to 22' Clear

Centennial Storage

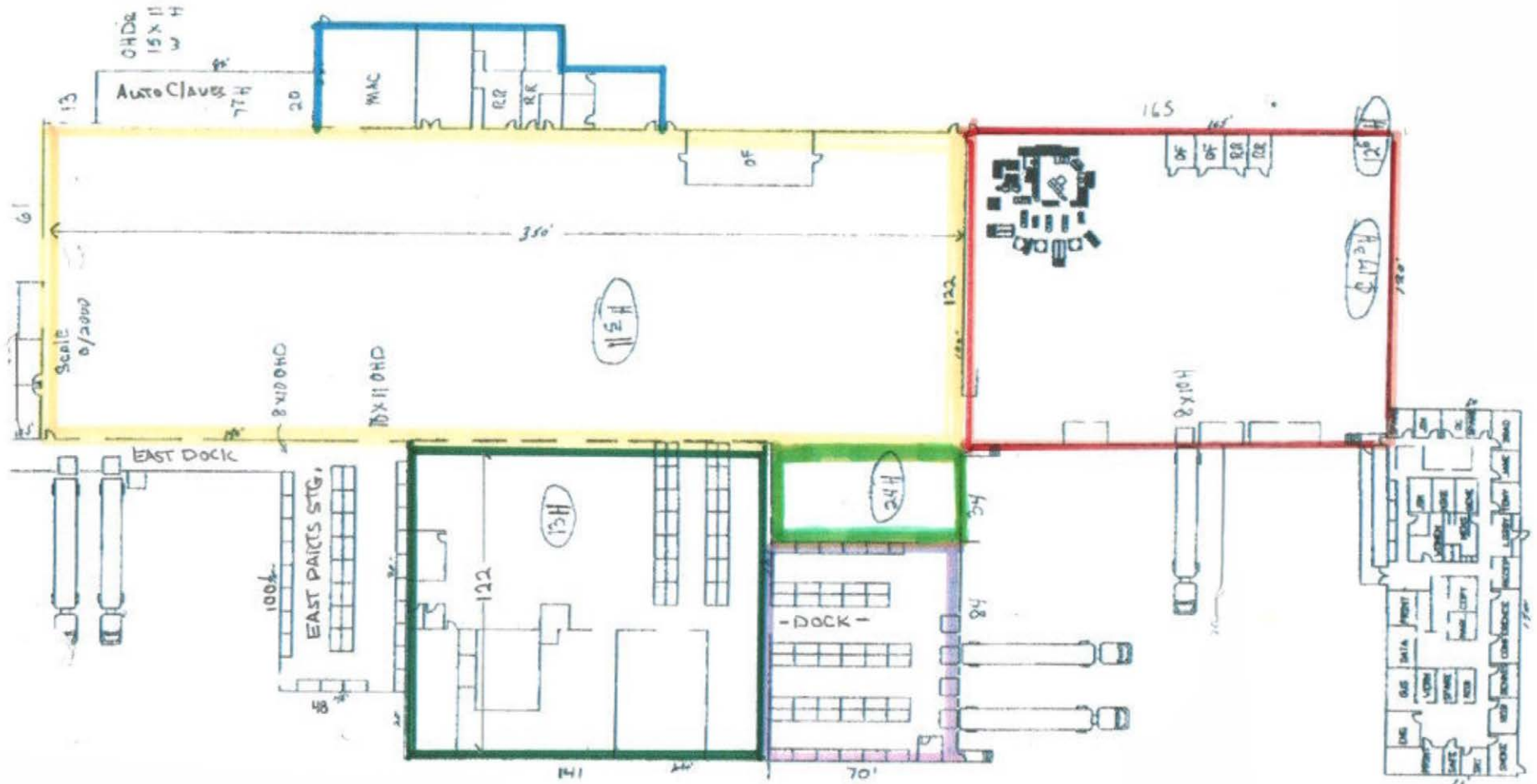
Centennial Storage is a specialized vehicle storage operation located in St. Joseph, Michigan. Associated with local waterfront and marina operations (such as Fisherman's Wharf St. Joseph), the business primarily serves the seasonal, recreational, and industrial storage needs of Southwest Michigan residents and visitors.

- **Target Asset Classes:** Specialized indoor and covered space tailored for boats, RVs, motorhomes, and personal automobiles.
- **Seasonal Storage Strategy:** Capitalizing on St. Joseph's location along Lake Michigan, the business caters heavily to local watercraft owners needing secure winter lay-up storage, as well as seasonal RV and vehicle owners seeking protection from coastal winter weather.
- **Operational Synergy:** The storage facility operates in tandem with local marine/recreational offerings in the Twin Cities area (St. Joseph/Benton Harbor), serving as an off-site dry-land storage extension for local marina users.



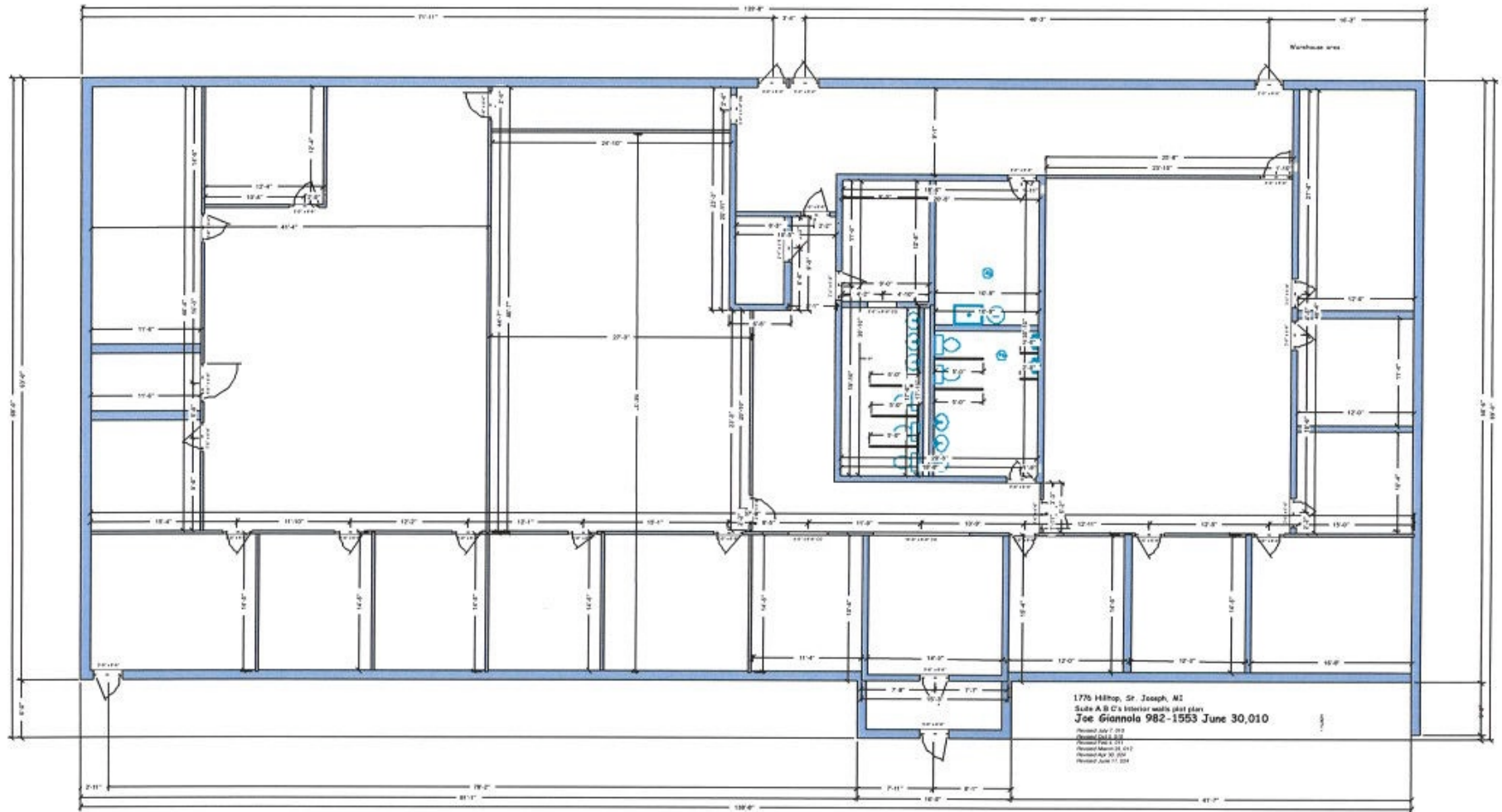
Property Survey

Building Plan



Property Specifications

Front Office Building Plan



Property Specifications

Proposed Railspurs onto Subject Property





S CLEVELAND AVE

CSX RAIL LINE

HILLTOP ROAD



Exterior Front Entrance

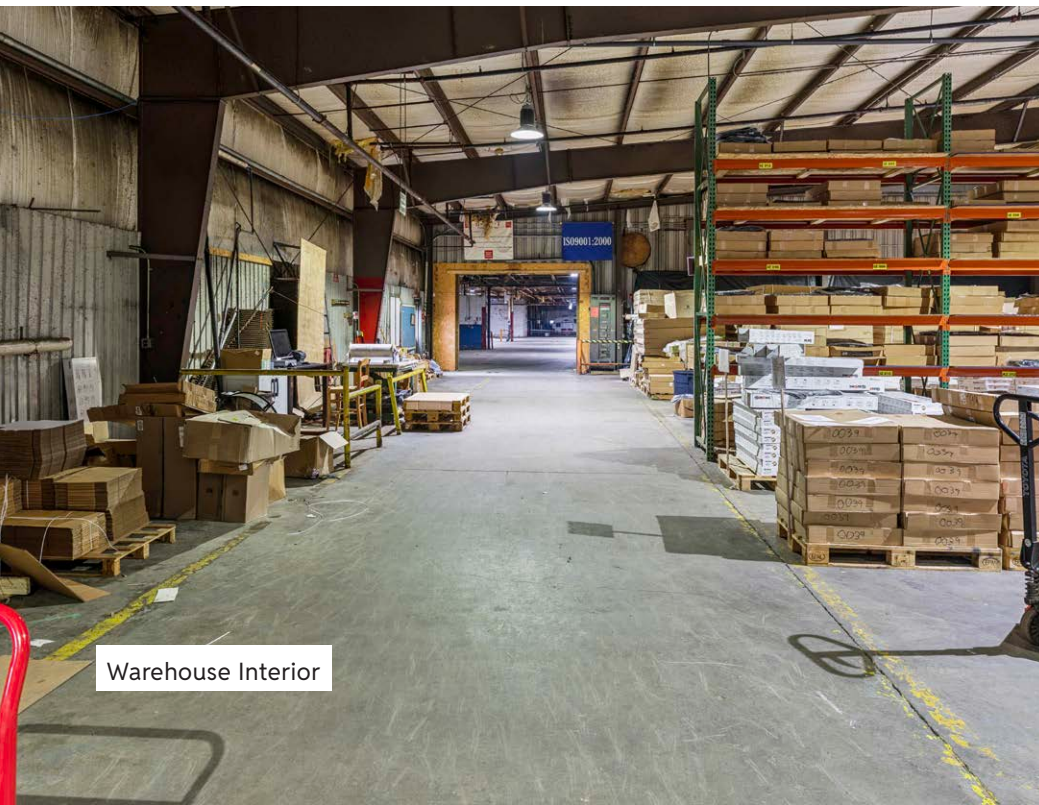


Loading Docks

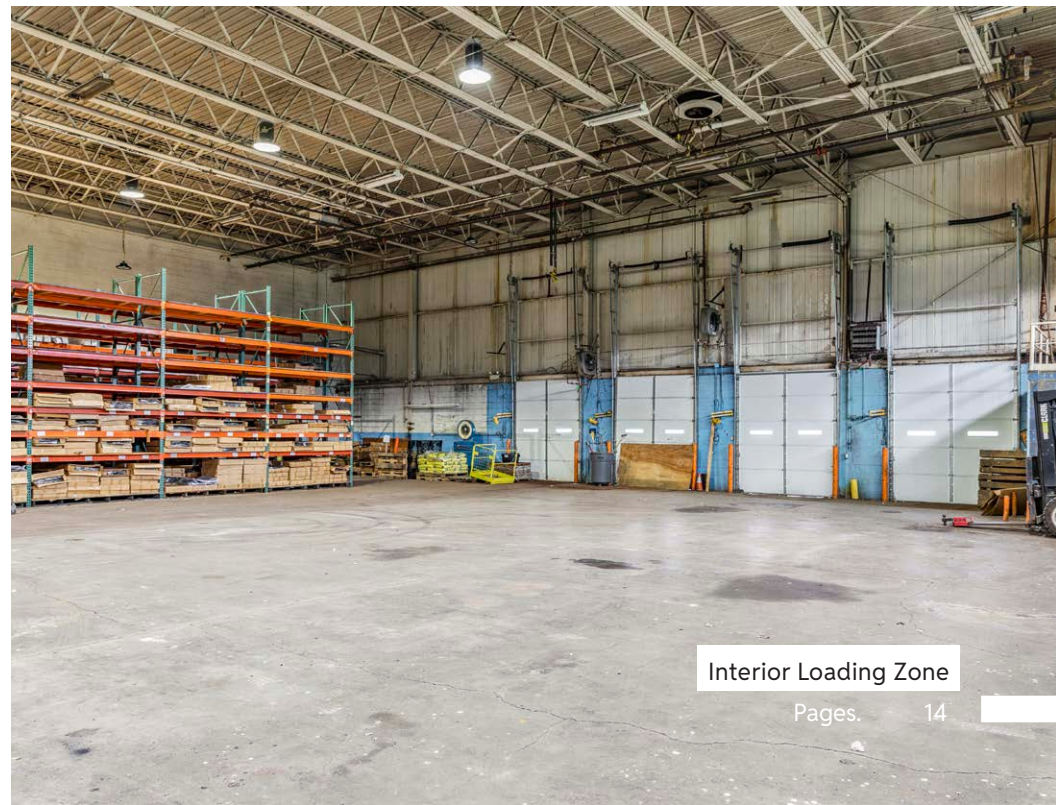




Warehouse Interior



Warehouse Interior

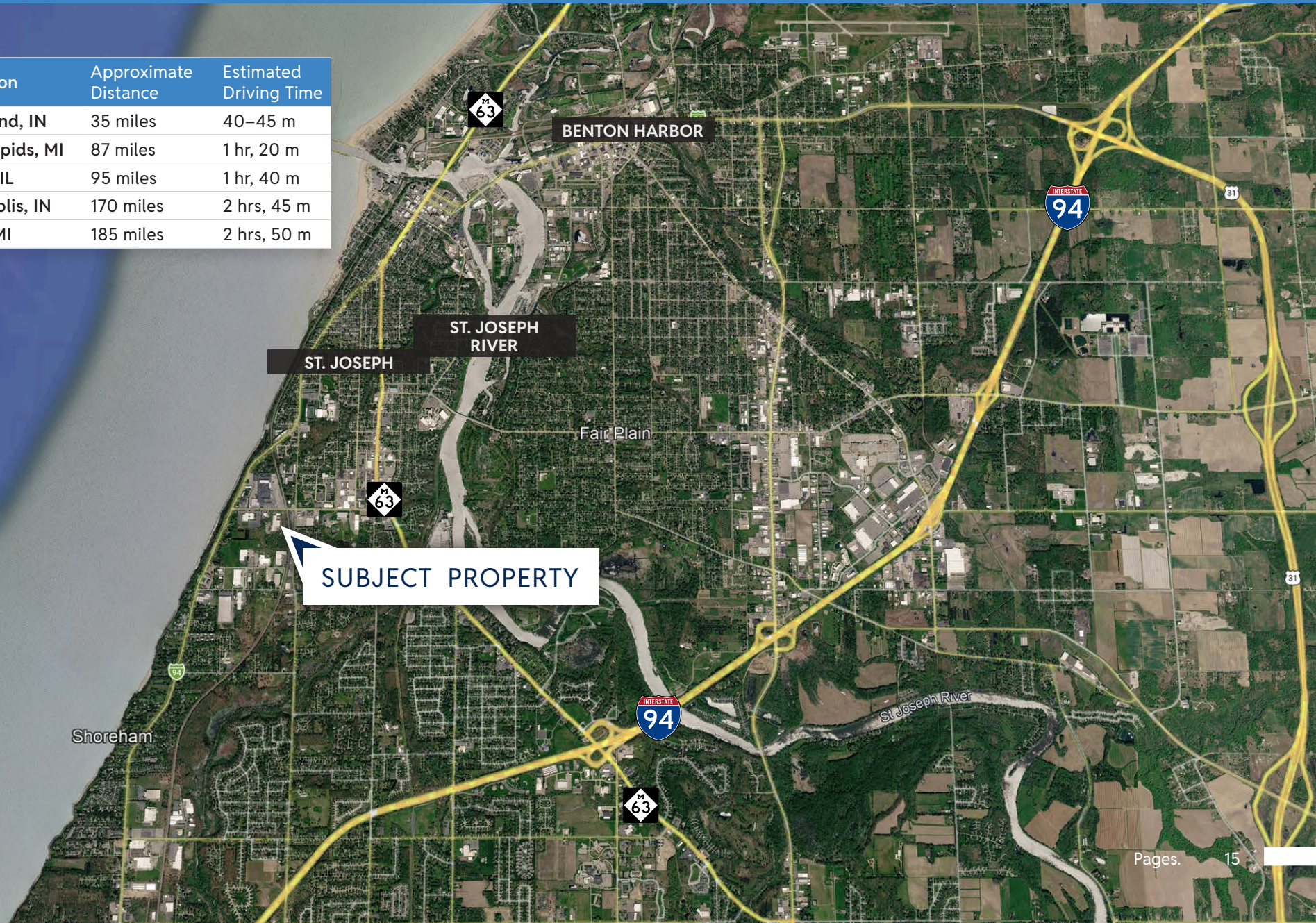


Interior Loading Zone

Local Map

St. Joseph is situated in Southwest Michigan on the eastern shore of Lake Michigan, sitting at the mouth of the St. Joseph River. Dubbed part of the “Riviera of the Midwest,” the city offers direct beach access, deepwater port facilities, and a classic coastal New England feel. Its geography provides convenient transportation links via I-94 (connecting Chicago to Detroit) and US-31 (a primary north-south regional route). The city is also served by Amtrak’s Pere Marquette line, providing daily passenger rail connections directly into downtown Chicago, alongside nearby regional air transportation at South Bend International Airport.

Destination	Approximate Distance	Estimated Driving Time
South Bend, IN	35 miles	40–45 m
Grand Rapids, MI	87 miles	1 hr, 20 m
Chicago, IL	95 miles	1 hr, 40 m
Indianapolis, IN	170 miles	2 hrs, 45 m
Detroit, MI	185 miles	2 hrs, 50 m



St. Joseph, Michigan

Economic Profile

St. Joseph North Pier
Inner and Outer Lights

St. Joseph serves as a major commercial center for Berrien County in Southwest Michigan. The local economy is driven by a strong mix of **corporate headquarters, advanced manufacturing, healthcare, and tourism/hospitality**. St. Joseph and its neighboring Twin City, Benton Harbor, are internationally recognized as the global headquarters of Whirlpool Corporation, bringing a significant corporate and technological presence to the region. Key regional employers also include Corewell Health Lakeland (healthcare system) and LECO Corporation (laboratory instrumentation manufacturing). Additionally, the city's scenic blufftop location overlooking Lake Michigan fuels a vibrant tourism economy, supporting a dense cluster of downtown shops, wineries, restaurants, and summer resort developments.

Corporate & Tech Hub

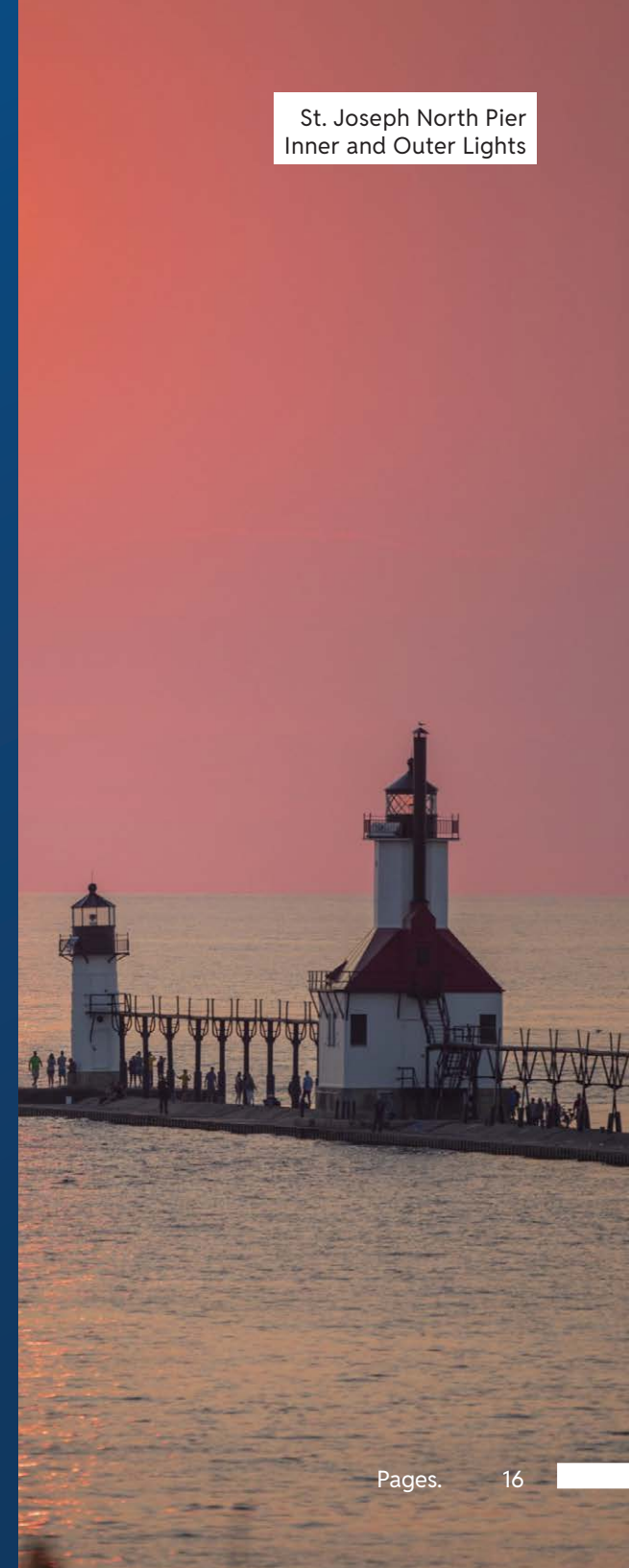
St. Joseph and its immediate area serve as the global headquarters for Fortune 500 home appliance leader Whirlpool Corporation, driving significant high-skilled engineering and corporate employment.

Coastal Tourism Powerhouse

Situated along Lake Michigan's sand dunes and beaches, the city's robust hospitality and retail sectors thrive on seasonal tourism and regional weekend travelers from major urban centers.

Key Multi-Modal Transit Gateway

Positioned along Interstate 94 and supported by deepwater port access and direct Amtrak rail service, St. Joseph seamlessly links regional agricultural and industrial products to Midwest markets.



Regional Data

Joplin, MO Industrial Market

AVAILABILITY	
Market Asking Rent/SF	\$6.14
Vacancy Rate	7.70%
Vacant SF	1.3M
Availability Rate	9.40%
Available SF Direct	1.4M
Available SF Sublet	162K
Available SF Total	1.6M
Months on Market	29.1
DEMAND	
12 Mo Net Absorption SF	199K
12 Mo Leased SF	167K
6 Mo Leasing Probability	25.40%
INVENTORY	
Existing Buildings	422
Inventory SF	17M
Average Building SF	40.2K
Under Construction SF	0
12 Mo Delivered SF	\$-

Demographic Within Subject Property Radius

RADIUS FROM PROPERTY	2 miles	5 miles	10 miles
2025 Population	12,628	49,797	68,319
2030 Population Projection	12,241	48,879	67,206
Annual Growth 2020-2025	-2.20%	-1.30%	-1.10%
Annual Growth 2025-2030	-0.60%	-0.40%	-0.30%
2025 Households	5,845	20,751	28,271
2030 Household Projection	5,658	20,318	27,755
Annual Growth 2020-2025	-1.10%	-0.10%	0.00%
Annual Growth 2025-2030	-0.60%	-0.40%	-0.40%
Avg Household Income	\$108,957	\$93,248	\$94,114
Median Household Income	\$78,835	\$64,861	\$66,365
Median Home Value	\$277,554	\$269,576	\$265,656

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Front Office Exterior, Visualized