

February 3, 2023

Ref. SS23-0101.01

To: Kris Salser
Edwards Drugs

REF: STRUCTURAL INSPECTION OF THE PROPERTY @
1081-1085 Mt Vernon Ave,
Columbus, OH 43203



Dear Sir/Madam,

The purpose of this inspection was to inspect the structural integrity of the above mixed-use business (commercial) and multi-unit residential complex and provides a professional opinion on the structural stability of the structures.

It was understood and agreed that this inspection & evaluation was on readily accessible areas of the building and was limited to visual observation on apparent conditions at the time of this inspection. This inspection should not be considered an exhaustive engineering analysis. The findings within this report represent the opinion of STABLE STRUCT (SS) as of the date and time of this inspection. Opinions and comments within this report are based solely upon visual observations. No invasive or destructive testing was performed as part of this overall analysis. This structural inspection and subsequent report do not constitute a warranty, guarantee, or an insurance policy, either expressed or implied, as to the condition, performance, or adequacy of the items being inspected. This report is not intended to be used by a third party or should not be considered as a certification or guarantee of the construction.

Based on your request, this inspection was performed on January 17, 2023. Photographs were taken, and notes were recorded to document the existing conditions. Selected photographs are included in the following section of this report. Additional photographs are retained in our file and are available upon request. This inspection was limited to provide professional opinion only on the areas referenced within this report.

OBSERVATION & RECOMMENDATIONS

The property is a three-story building with full basement consisting of three open space business use area on the first floor and multi-unit residential complex in the second and third floor level. The building construction's structural system appears to be a mortar filled stone foundation wall and the brick exterior wall above ground level of the property. The observations and recommendations regarding the structural conditions of the structures are discussed here with pictures.

The pictures (Pic. 1 through Pic. 16) show the exterior and interior foundation wall of the basement of the three units. Based on the inspection, it is our opinion that most of the foundation is in acceptable condition, and there is no structural foundation repair required except a portion of the wall at the northeast corner in the basement of unit #1085 with heavy water seep through the foundation as shown in the picture (Pic. 13). It is recommended to waterproof the wall to prevent the foundation from deterioration.

The pictures (Pic. 17 through Pic. 20) show the typical view of the first-floor framing of unit #1081. Based on the inspection, we believe the floor is NOT structurally supported adequately for the intended purposes due to poor maintenance. Therefore, the business space of unit #1081 shall not be used. However, the exterior walls of the unit are directly supported by the foundation wall. Therefore, there are no structural issues with the wall system above ground, and no structural repair is required on the walls.

The pictures (Pic. 21, Pic. 22, Pic. 23 & Pic. 24) show the typical view of the damaged first-floor framing of unit #1085. Based on the inspection, we understand that the floor framing should have failed due to fire damage and the subsequent prolonged moisture exposure due to the roof leak. Therefore, the business space of unit #1085 shall not be used unless restoring the floor framing. However, the exterior walls of the unit are directly supported by the foundation wall. Therefore, there are no structural issues with the wall system above ground, and no structural repair is required on the walls.

The pictures (Pic. 25 through Pic. 31) show the typical view of the second and third-floor residential units. The residential units are not in acceptable condition for use due to poor maintenance, including the stair railing. As shown in the pictures, a few cracks were noted on the wall. Based on the inspection, we believe those cracks are not affecting the load-bearing wall's structural integrity. Therefore, there is no structural repair required on the walls. However, it is recommended to repair the roof leak to prevent the existing floor framing from deteriorating.

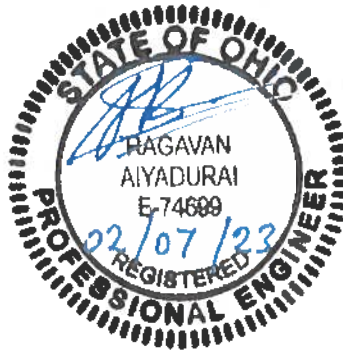
Based on the evaluation, the following is our opinion on the structure.

1. A portion of the foundation wall needs to be waterproofed at unit #1085
2. The exterior & interior walls are in good condition, and there no repair is required.
3. Units #1081 & #1085 shall not be occupied unless the floor framings are restored.
4. There is no structural issue noted in Unit #1083 floor framing.
5. There is no significant structural issue noted in the second & third floor residential floor framing system. However, the moisture damage on the roof framing system should be repaired to prevent other areas from future moisture damage.
6. Residential units shall not be occupied unless item 5 above and the staircase hand/guard railing system are repaired as appropriate.

On behalf of STABLE STRUCT, we greatly appreciate the opportunity to provide structural engineering services on this project. If you have any questions concerning this report or if we can assist you in any other matter, please contact us at (614) 284-0054.

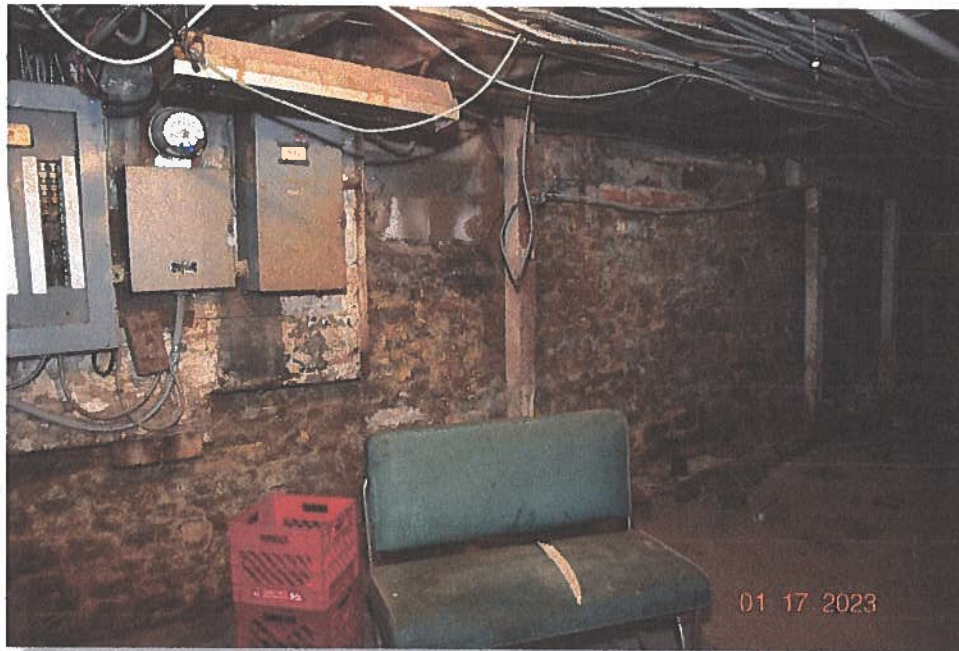
Sincerely,

Ragavan Aiyadurai, PE, LEED AP
Civil/Structural Engineer
STABLE STRUCT





Pic. 1: Typical view of the foundation (exterior wall) of unit #1081



Pic. 2: Typical view of the foundation (exterior wall) of unit #1081



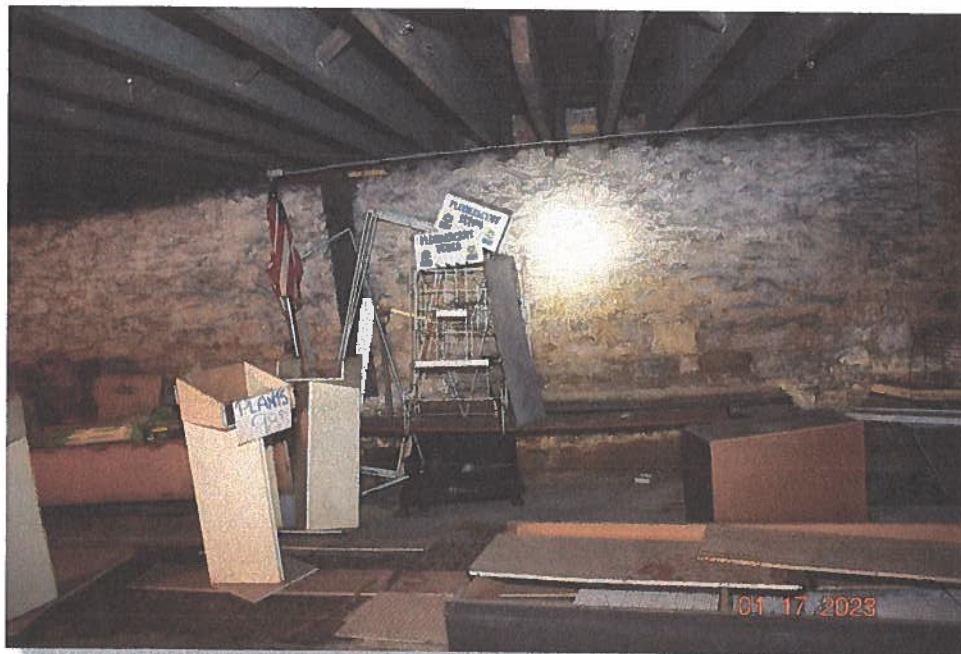
Pic. 3: Typical view of the foundation (exterior wall) of unit #1081



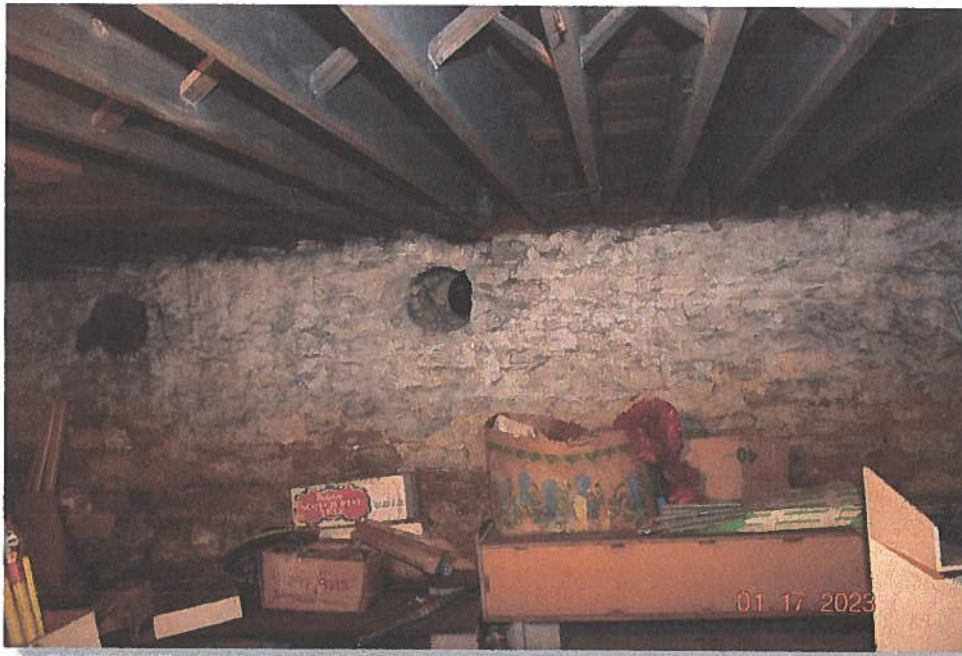
Pic. 4: Typical view of the foundation (inexterior wall) of unit #1083



Pic. 5: Typical view of the foundation (exterior wall) of unit #1083



Pic. 6: Typical view of the foundation (interior wall) of unit #1083



Plc. 7: Typical view of the foundation (interior wall) of unit #1083



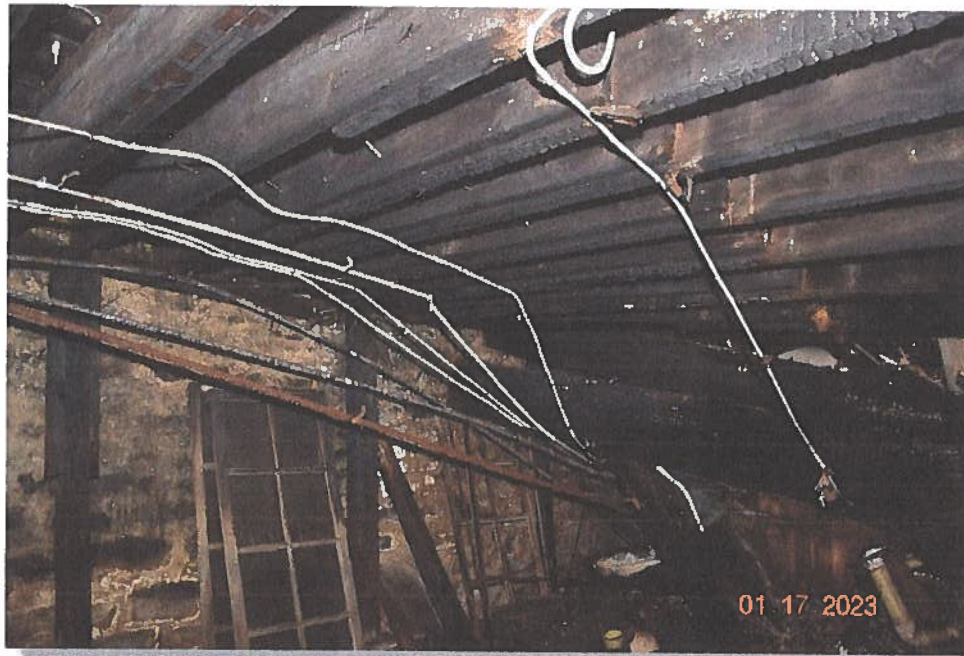
Plc. 8: Typical view of the foundation (interior wall) of unit #1083



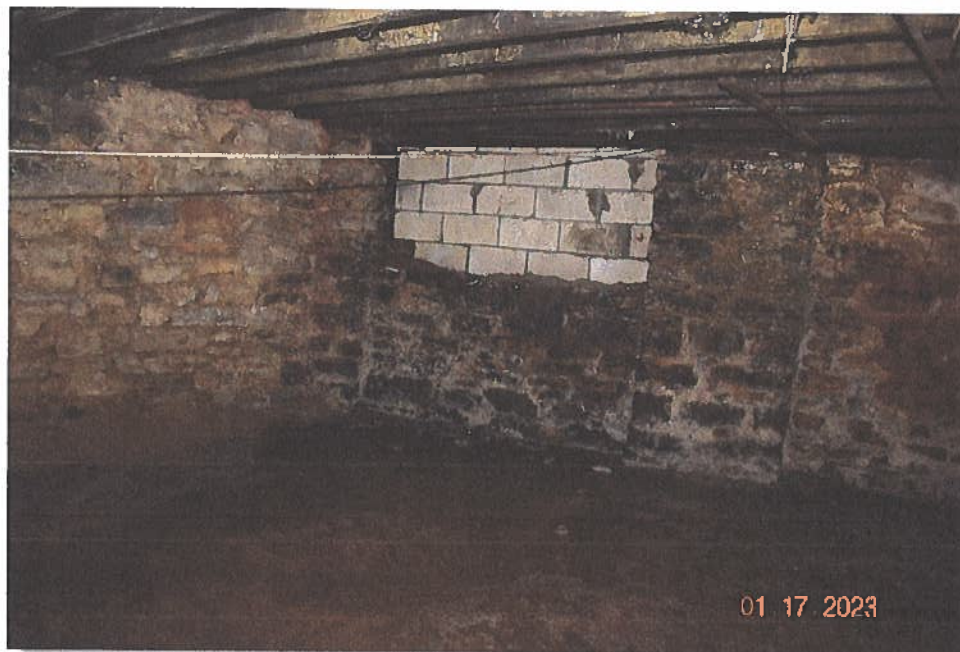
Pic. 9: Typical view of the foundation (interior wall) of unit #1083



Pic. 10: Typical view of the foundation (interior wall) of unit #1083



Pic. 11: Typical view of the foundation (exterior wall) of unit #1085



Pic. 12: Typical view of the foundation (exterior wall) of unit #1085



Pic. 13: Typical view of the foundation (exterior wall) of unit #1085



Pic. 14: Typical view of the foundation (exterior wall) of unit #1085



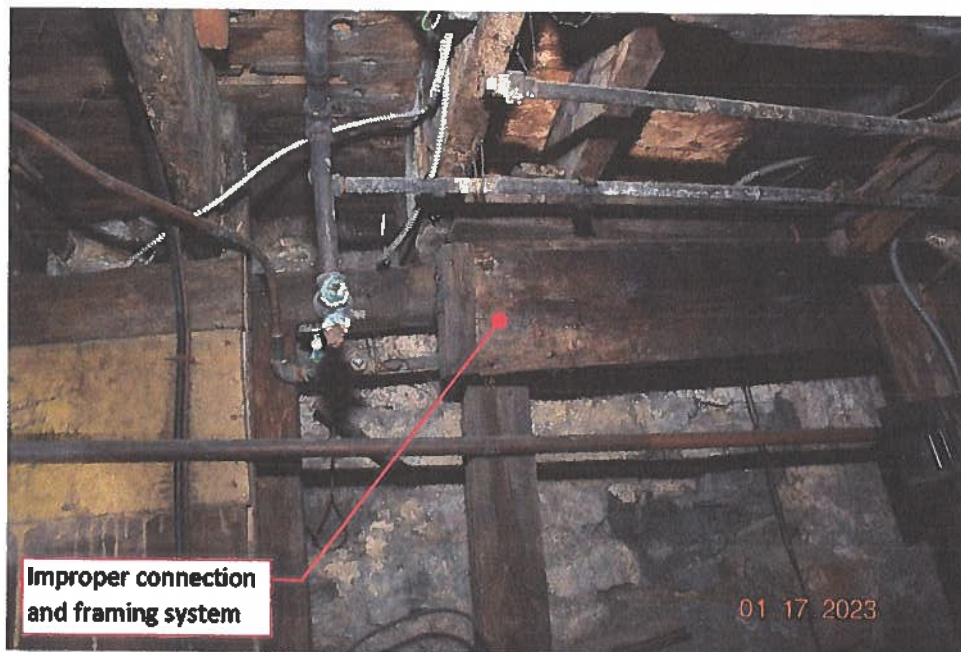
Pic. 15: Typical view of the foundation (interior wall) of unit #1085



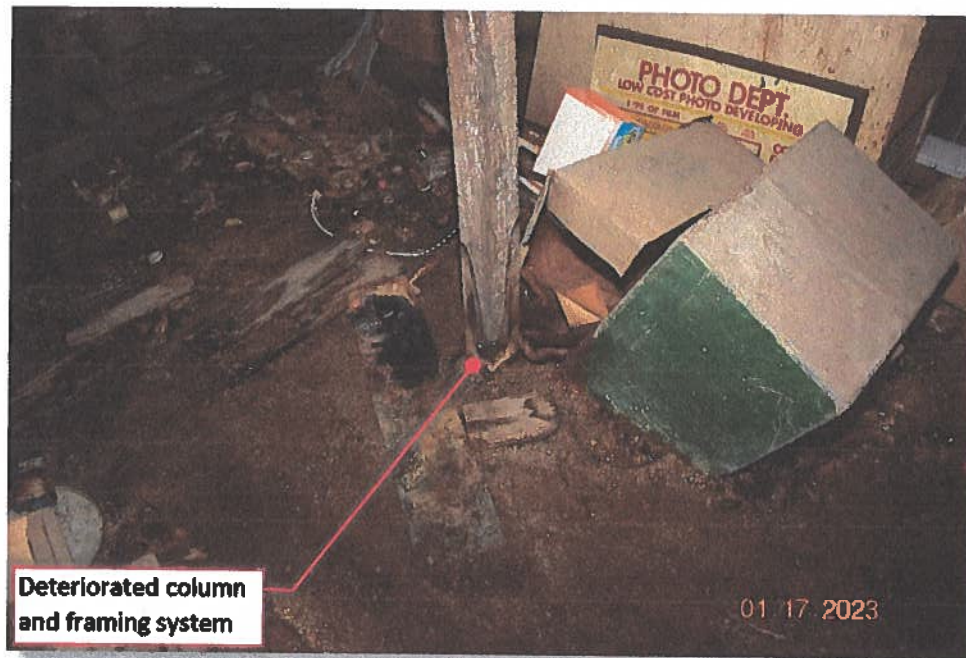
Pic. 16: Typical view of the foundation (interior wall) of unit #1085



Pic. 17: View of the first-floor level joist framing exterior support @ unit #1081



Pic. 18: View of the first-floor level joist framing & support @ unit #1081



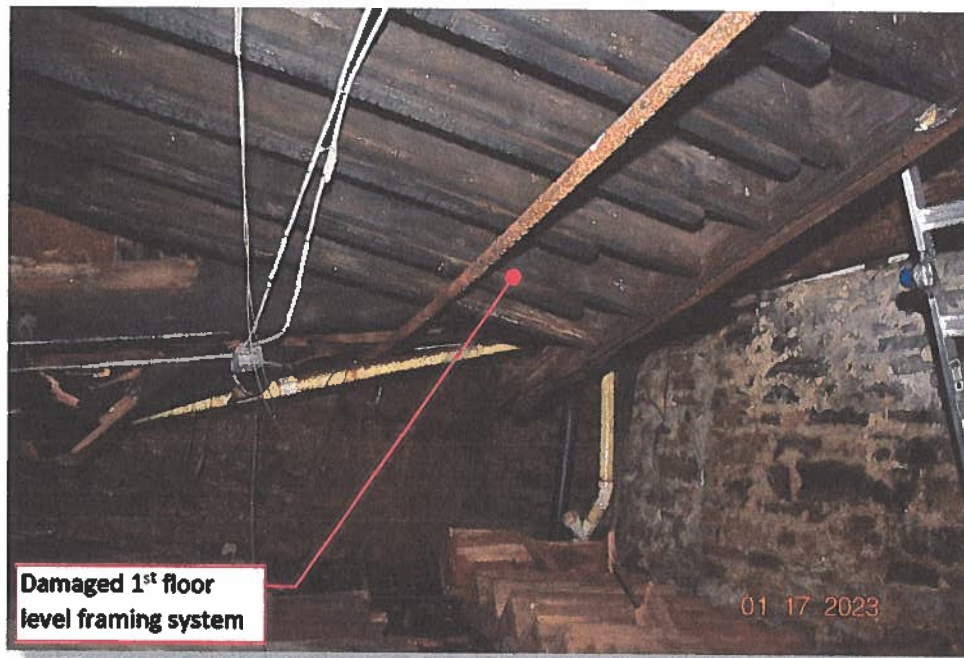
Deteriorated column
and framing system

Pic. 19: View of the first-floor framing intermediate support @ unit #1081



Improper support
and framing system

Pic. 20: View of the first-floor level joist framing & support @ unit #1081



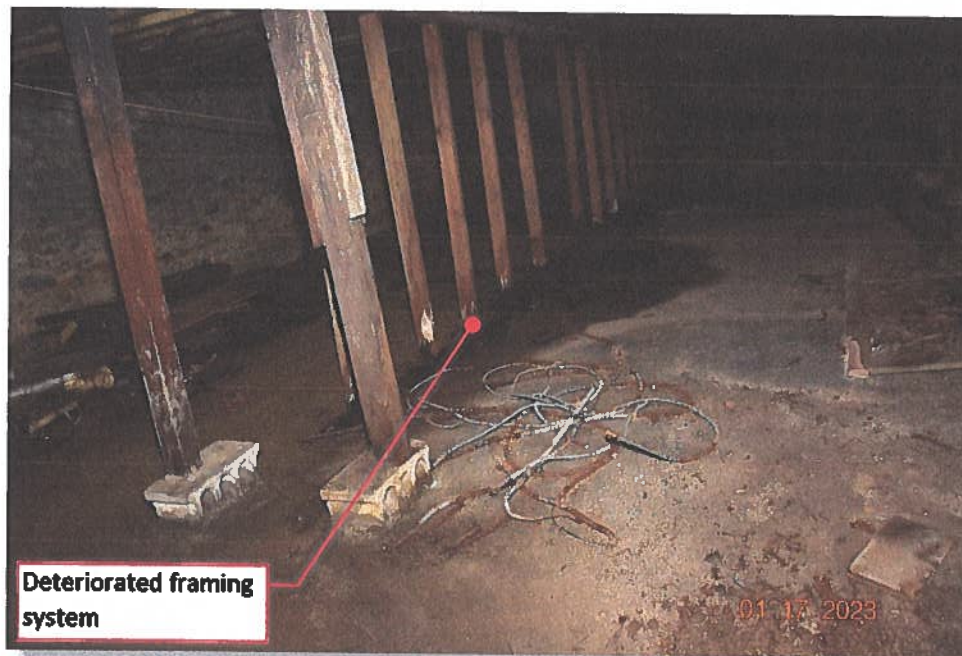
Pic. 21: View of the damaged first-floor level joist @ unit #1085



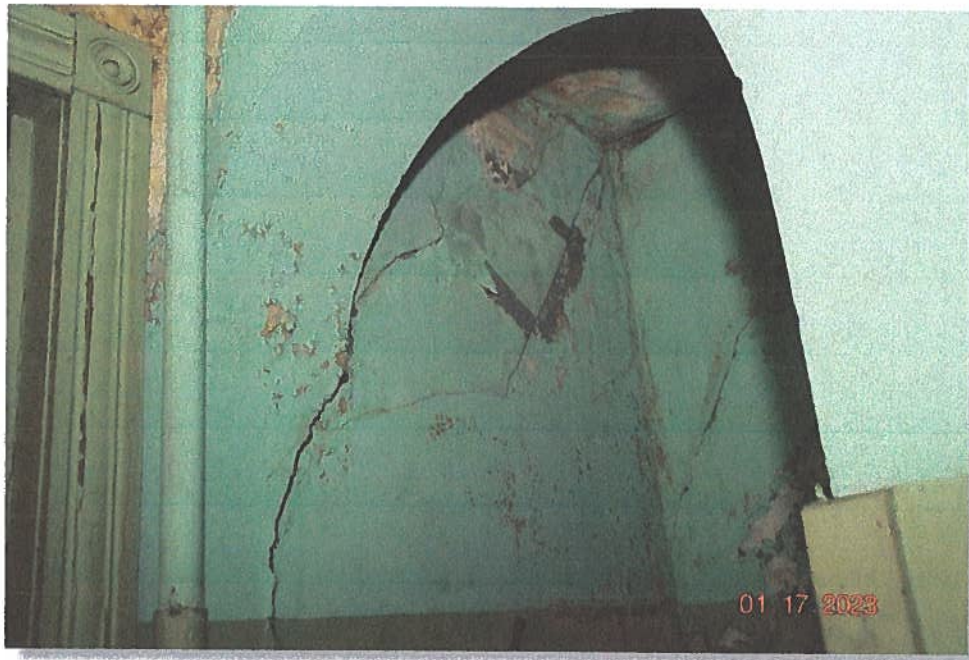
Pic. 22: View of the damaged first-floor level joist @ unit #1085



Pic. 23: View of the damaged first-floor level joist @ unit #1085



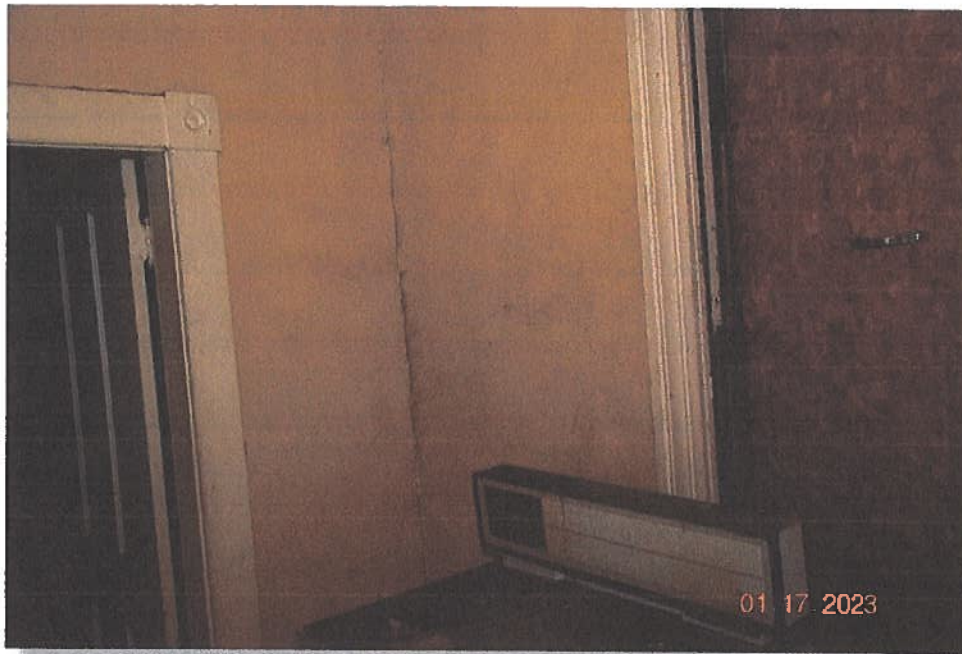
Pic. 24: View of the intermediate support to first-floor level joist @ unit #1085



Pic. 25: Typical view of the cracks in the interior walls on the third-floor level



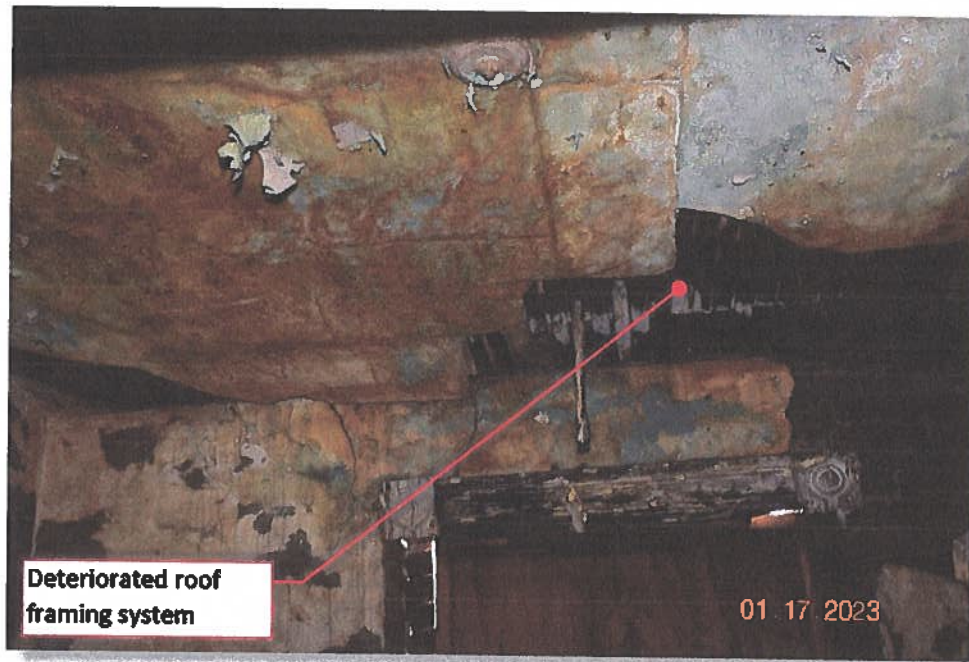
Pic. 26: Typical view of the cracks in the interior walls on the third-floor level



Pic. 27: Typical view of the cracks in the interior walls on the third-floor level



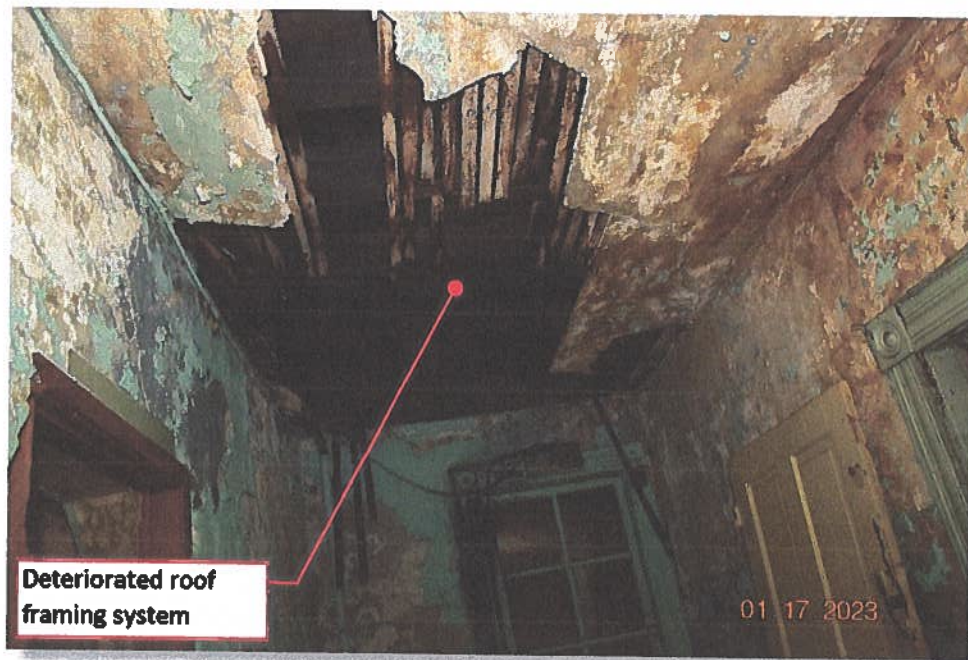
Pic. 28: Typical view of the existing ceiling on the roof level



Deteriorated roof
framing system

01 17 2023

Pic. 29: Typical view of the existing ceiling framing on the roof level



Deteriorated roof
framing system

01 17 2023

Pic. 30: Typical view of the existing ceiling framing on the roof level



Pic. 31: View of the existing guard rail on the third-floor level