

ABBREVIATIONS			
#	POUND(S) OR NUMBER	FTG	FOOTING
&	AND	FURN	FURNISHED
<	ANGLE	FURR	FURRED or FURRING
@	AT	FUT	FUTURE
AV	AUDIO/VISUAL	FVC	FIRE VALVE CABINET
AB	ANCHOR BOLT	GA	GAUGE
ABV	ABOVE	GALV	GALVANIZED
ACOUS	ACCOUSTICAL	GB	GRAB BAR
ACT	ACCOUSTICAL CEILING	GC	GENERAL CONTRACTOR
AD	AREA DRAIN or ACCESS	GCMU	GLAZED CONCRETE MASONRY UNIT(S)
ADD	ADDENDUM	GI	GALVANIZED IRON
ADJ	ADJACENT or ADJUSTABLE	GL	GLASS or GLAZING
AGG	AGGREGATE	GND	GROUND
AHU	AIR HANDLING UNIT	GR	GRADE
ALT	ALTERNATE	GRT	GROUT
ALUM	ALUMINUM	GT	GLASS TILE
ANOD	ANODIZED	GWB	GYPSUM WALLBOARD
APPROX	APPROXIMATE	GYP	GYPSUM
ARCH	ARCHITECTURAL	GYPSUM BOARD	
ASI	ARCHITECT'S SUPPLEMENTAL INSTRUCTIONS	GYP BD	GYPSUM BOARD
ASPH	ASPHALT	HAS	HEADED ANCHOR STUD
AUTO	AUTOMATIC	HDR	HEADER
AVE	AVENUE	HDWR	HARDWARE
AVG	AVERAGE	HM	HOLLOW METAL
AWP	ACCOUSTICAL WALL PANEL	HR	HORIZONTAL
B	BASE	HRZ	HOUR
B.O.	BY OWNER	HT	HEIGHT
B.O.F.	BY OWNER, FUTURE	HTR	HEATER
BD	BOARD	HVAC	HEATING, VENTILATION and AIR CONDITIONING
BIT	BITUMINOUS	HW	HOT WATER
BLDG	BUILDING	HHW	HOT WATER HEATER
BLKG	BLOCKING	HWY	HIGHWAY
BM	BEAM or BENCH MARK	IBC	INTERNATIONAL BUILDING CODE or INSTALLED BY CONTRACTOR
BOT	BOTTOM	ID	INSIDE DIAMETER
BRG	BEARING	IN	INCHES
BSMT	BASEMENT	INCAND	INCANDESCENT
C	CAULKING	INCL	INCLUDED
C.L.	CENTERLINE	INFO	INFORMATION
CAB	CABINET	INSUL	INSULATION or INSULATED
CATV	CABLE TELEVISION	INT	INTERIOR
CCD	CONSTRUCTION CHANGE DIRECTIVE	INTMED	INTERMEDIATE
CCTV	CLOSED CIRCUIT TELEVISION	INV	INVERT
CDOT	COLORADO DEPARTMENT OF TRANSPORTATION	JCT	JANITOR CLOSET
CEM	CEMENTITIOUS	JO	JOIST
CFI	COUNTERFLASHING	JT	JOINT
CG	CORNER GUARD	KD	KNOCKDOWN
CH	CAST IN PLACE	KIT	KITCHEN
CIRC	CIRCUMFERENCE	KO	KNOCKOUT
CJ	CONTROL JOINT	KP	KICK PLATE
CL	CORK TILE	LAB	LABORATORY
CL	COLUMN LINE	LAM	LAMINATE
CLG	CEILING	LAV	LAVATORY
CLOS	CLOSET	LBL	LABEL
CLR	CLEAR	LDR	LEADER
CM	CENTIMETERS	LH	LEFT HAND
CMU	CONCRETE MASONRY UNIT	LKR	LOOKER
CO	CHANGE ORDER or CLEANOUT	LLH	LONG LEG HORIZONTAL
COL	COLUMN	LLV	LONG LEG VERTICAL
CONC	CONCRETE	LP	LIGHTING PANEL or LIGHT PROOF
CONF	CONFERENCE	LT	LIGHT
CONN	CONNECTION	LTL	LINTEL
CONSTR	CONSTRUCTION	LVR	LOUVER
CONT	CONTINUOUS	MACH	MACHINERY
CONTR	CONTRACTOR	MAG	MAGNETIC
CORR	CORRIDOR or CORRUGATED	MAS	MASONRY
CPT	CARPET	MATL	MATERIAL
CT	CERAMIC TILE	MAX	MAXIMUM
CTR	COUNTER	MB	MOISTURE BARRIER
CUB	CUBIC	MECH	MECHANICAL
CY	CUBIC YARD	MED	MEDIUM
DAMP	DAMP-PROOFING	MEMB	MEMBRANE
DBL	DOUBLE	MEP	MECHANICAL ELECTRICAL and PLUMBING
DEG	DEGREE	MEZZ	MEZZANINE
DEMO	DEMOLISH or DEMOLITION	MFR	MANUFACTURER
DEPT	DEPARTMENT	MH	MANHOLE
DF	DRINKING FOUNTAIN	MIN	MINIMUM
DIA	DIAMETER	MIRR	MIRROR
DIAG	DIAGONAL	MISC	MISCELLANEOUS
DM	DIMENSION	MM	MILLIMETERS
DISP	DISPENSER	MO	MASONRY OPENING
DIV	DIVISION	MTD	MOUNT(ED)
DN	DOWN	MTL	METAL
DR	DOOR	MUL	MULLION
DS	DOWNSPOUT	(N)	NEW
DTL	DETAIL	N	NORTH
DWG	DRAWING	NIC	NOT IN CONTRACT
DWR	DRAWER	NO	NUMBER
(E)	EXISTING	NOM	NOMINAL
EA	EAST	NRC	NOISE REDUCTION COEFFICIENT
EB	EXPANSION BOLT	NTS	NOT TO SCALE
ED	EXHAUST DUCT	OA	OVERALL
EJ	EXHAUST FAN or EACH FACE	OC	ON CENTER
EF	EXPANSION JOINT	OD	OUTSIDE DIAMETER
EL	ELEVATION	OF	OUTSIDE FACE
ELEC	ELECTRICAL	OFF	OFFICE
ELEV	ELEVATOR	OH	OPPOSITE HAND
EMER	EMERGENCY	OPNG	OPENING
ENGR	ENGINEER	OPP	OPPOSITE
EOS	EDGE OF SLAB	OTO	OUTSIDE-TO-OUTSIDE
EQ	EQUAL	P	PAINT(ED)
EQUIP	EQUIPMENT	P/L	PROPERTY LINE
ES	EACH SIDE	PAC	PREVIOUSLY AWARDED CONTRACT
EST	ESTIMATE	PAR	PARALLEL
EW	EACH WAY	PBO	PROVIDED BY OTHERS
EWC	ELECTRIC WATER COOLER	PRECAS	PRECAST
EWI	ELECTRIC WATER HEATER	PERF	PERFORATED
EXT	EXTERIOR	PERIM	PERIMETER
FA	FARENHEIT	PKG	PARKING
FAC	FIRE ALARM	PL	PLATE
FACP	FIRE ALARM CABINET	PLAM	PLASTIC LAMINATE
FACP	FIRE ALARM CONTROL PANEL	PLAS	PLASTER
FBO	FURNISHED BY OTHER(S)	PLBS	PLUMBING
FD	FLOOR DRAIN or FIRE DAMPER	PLYWD	PLYWOOD
FDN	FOUNDATION	PNL	PANEL
FE	FIRE EXTINGUISHER	POL	POLISHED
FEC	FIRE EXTINGUISHER CABINET	PR	PAIR or PROPOSAL REQUEST
FF	FINISHED FLOOR	PREFAB	PREFABRICATED
FFL	FINISHED FLOOR LINE	PREFIN	PREFINISHED
FH	FIRE HYDRANT	PRESTR	PRESTRESSED
FHC	FIRE HOSE CABINET	PRIM	PRIMARY
FHMS	FLAT HEAD MACHINE SCREW	PROJ	PROJECT
FHV	FIRE HOSE VALVE	PSF	POUNDS PER SQUARE FOOT
FHWS	FLAT HEAD WOOD SCREW	PSI	POUNDS PER SQUARE INCH
FIN	FINISHED	PT	POST TENSIONED or PORCELAIN TILE
FRT	FIXTURE	PT	POINT OF TANGENCY
FLG	FLASHING		
FLR	FLOORING		
FLUOR	FLUORESCENT		
FOC	FACE OF CONCRETE		
FOF	FACE OF FINISH		
FOM	FACE OF MASONRY		
FOS	FACE OF STUD		
FR	FIRE RESISTIVE or FIRE RATED		
FRP	FIBERGLASS REINFORCED PANELING		
FRT	FIRE RETARDANT		
FT	TREATED FOOT (FEET)		

GRAPHIC ANNOTATIONS	
STRUCTURAL GRID 1 GRID NUMBER A GRID LINE A GRID LETTER	WINDOW ID TAG A WINDOW TYPE
DOOR ID TAG 100 DOOR NUMBER	GLAZING ID TAG A GLAZING TYPE
ROOM ID TAG ROOM ROOM NAME 100 ROOM NUMBER 1000 SF ROOM AREA (WHEN APPLICABLE)	KEYNOTE ID TAG 1 KEYNOTE NUMBER
INTERIOR ELEVATION ID TAG 1 DRAWING NUMBER A701 SHEET NUMBER	ROOM FINISH ID TAG ROOM ROOM NAME 100 ROOM NUMBER P.1 WALL FINISH RB.1 BASE TYPE CPT.1 FLOOR FINISH
EXTERIOR ELEVATION ID TAG 1 DRAWING NUMBER A301 SHEET NUMBER	SPOT ELEVATION ID TAG ELEVATION 100'-0" SPOT ELEVATION LOCATION
BUILDING SECTION ID TAG A401 DRAWING NUMBER A401 SHEET NUMBER	MATERIAL PATTERNS CONCRETE EARTH GRAVEL / FILL STEEL ALUMINUM MASONRY - BRICK MASONRY - CONCRETE BLOCK INSULATION - RIGID INSULATION - BATT GYPSUM / PLASTER PLYWOOD WOOD - FINISH WOOD - ROUGH
WALL/DETAIL SECTION ID TAG A401 DRAWING NUMBER A401 SHEET NUMBER	ASSEMBLY ID TAGS EW1 EXTERIOR WALL ASSEMBLY TYPE F1 FLOOR ASSEMBLY TYPE C1 CEILING ASSEMBLY TYPE R1 ROOF ASSEMBLY TYPE
DETAIL ID TAG A501 DRAWING NUMBER A501 SHEET NUMBER	
ENLARGED PLAN/DETAIL ID TAG A250 DRAWING NUMBER A250 SHEET NUMBER	
PARTITION TYPE ID TAG 12A PARTITION TYPE RE: PARTITION TYPE SHEET	
ACOUSTIC PARTITION TYPE ID TAG 12A PARTITION TYPE RE: PARTITION TYPE SHEET	

PROJECT TEAM	
OWNER WOODSIDE DEVELOPMENT, LLC P.O. BOX 190 BEND . OREGON 97709	GENERAL CONTRACTOR CS CONSTRUCTION 1506 NE 1ST STREET , UNIT 1 BEND . OREGON 97702 CONTACT: MIKE ROGERS P: 541.948.8888 E: MIKER@CSCONSTRUCTION.COM
MECHANICAL CONTRACTOR X X X BEND . OREGON 97703 CONTACT: X P: X E: X	ELECTRICAL CONTRACTOR X X X BEND . OREGON 97703 CONTACT: X P: X E: X
PLUMBING CONTRACTOR X X X BEND . OREGON 97703 CONTACT: X P: X E: X	



DRAWING INDEX	
SHEET #	SHEET NAME
GENERAL	
G001	COVER SHEET
G002	SUITE PLANS & CODE INFORMATION
ARCHITECTURE	
D201	DEMOLITION PLAN - LEVEL 1
A100	SITE PLAN
A201	PROPOSED FLOOR PLAN - LEVEL 1
A202	REFLECTED CEILING PLAN - LEVEL 1
A700	INTERIOR ELEVATIONS AND DETAILS

GENERAL NOTES	
PROJ. NO. 0000	
DATE: 3/9/2018	
REVISIONS:	
ISSUED FOR: LEASE AGREEMENT	
SHEET TITLE: COVER SHEET	
SCALE: 12" = 1'-0"	
SHEET NUMBER G001	


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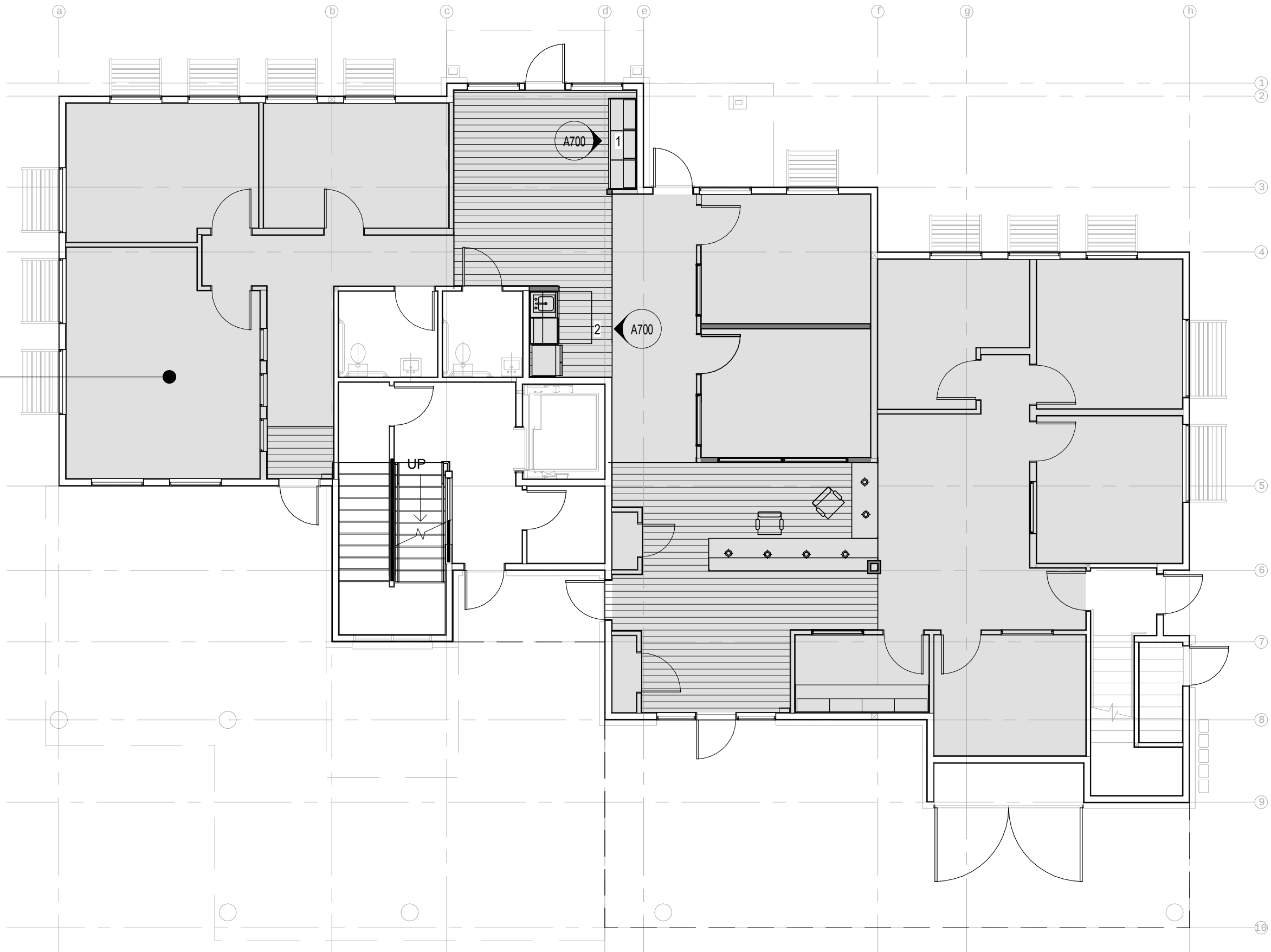
WOODSIDE BLUFF - LEVEL ONE TENANT
IMPROVEMENTS
255 SW BLUFF DRIVE . SUITE 100
BEND . OREGON 97702

SUITE 200 - NOT INCLUDED
IN SCOPE OF WORK FOR
THIS PERMIT
(CURRENTLY VACANT)



2 SUITE PLAN - LEVEL 2 (SUITE 200)
1/8" = 1'-0"

SUITE 100 - ALTERED
AREA INCLUDED IN THIS
PERMIT SHOWN
HIGHLIGHTED IN GRAY
(2,550 SF)



1 SUITE PLAN - LEVEL 1 (SUITE 100)
1/8" = 1'-0"

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CODE INFORMATION

APPLICABLE CODES:
2012 INTERNATIONAL BUILDING CODE (IBC)
2012 INTERNATIONAL FIRE CODE (IFC)
2012 INTERNATIONAL MECHANICAL CODE (IMC)
2012 INTERNATIONAL PLUMBING CODE (IPC)
2012 INTERNATIONAL FUEL AND GAS CODE (IFGC)
2012 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
2009 ICC/ANSI A117.1
2011 NATIONAL ELECTRICAL CODE (NEC)
LOCAL AMENDMENTS

ZONING DESIGNATION: XXX

OCCUPANCY CLASSIFICATION: XXX

CONSTRUCTION TYPE: XXX

FIRE SUPPRESSION: FULLY SPRINKLERED PER NFPA 13.

ALLOWABLE AREA: BASIC ALLOWABLE = XXX SF
SPRINKLER INCREASE = XXX SF
FROM AREA INCREASE = XXX SF
TOTAL ALLOWABLE = XXX SF/FLOOR
X 3 STORIES = XXX SF/BUILDING

ACTUAL AREA: LEVEL 1: XXX SF
LEVEL 2: XXX SF
LEVEL 3: XXX SF
TOTAL: XXX SF

ALLOWABLE HEIGHT: BASIC ALLOWABLE = X STORIES, X FEET
SPRINKLER INCREASE = 1 STORY, 10 FEET
TOTAL ALLOWABLE = X STORIES, X FEET

ACTUAL HEIGHT: X STORIES, X FEET

FIRE RESISTANCE REQUIREMENTS:
PRIMARY STRUCTURAL FRAME : X HR
EXTERIOR BEARING WALLS: X HR
INTERIOR BEARING WALLS: X HR
EXTERIOR NON-BEARING WALLS*: X HR < 5', X HR < 10', X HR < 30'
INTERIOR NON-BEARING WALLS: X HR
FLOOR CONSTRUCTION: X HR
ROOF CONSTRUCTION: X HR
* EXTERIOR NON-BEARING WALLS WITH FIRE SEPARATION DISTANCE > 10' NEED ONLY BE RATED FOR FIRE EXPOSURE FROM INSIDE.

ALL BEARING WALLS SUPPORTING RATED FLOORS TO BE 1-HR RATED (NO OPENING PROTECTION REQUIRED).

ALLOWABLE AREA OF UNPROTECTED OPENINGS BASED ON FIRE SEPARATION DISTANCE:
0'-3': NOT PERMITTED
3'-5': 15%
5'-10': 25%
10'-15': 45%
15'-20': 75%
>20' : NO LIMIT

EXIT WIDTH:
STAIRS: .3' PER OCCUPANT
OTHER COMPONENTS: .2' PER OCCUPANT

EXIT ACCESS TRAVEL DISTANCE (MAXIMUM LENGTH): XXX FEET

COMMON PATH OF EGRESS TRAVEL (MAXIMUM LENGTH): XXX FEET

ROOF COVERING CLASSIFICATION (MINIMUM): CLASS XXX

INTERIOR WALL & CEILING FINISH REQUIREMENTS (MINIMUM):
EXIT STAIRS & EXIT PASSAGEWAYS: CLASS XXX
CORRIDORS & EXIT ACCESS STAIRS: CLASS XXX
ROOMS: CLASS XXX



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WOODSIDE BLUFF - LEVEL ONE TENANT
IMPROVEMENTS

255 SW BLUFF DRIVE, SUITE 100
BEND, OREGON 97702

PROJ. NO. 0000

DATE: 3/9/2018

REVISIONS:

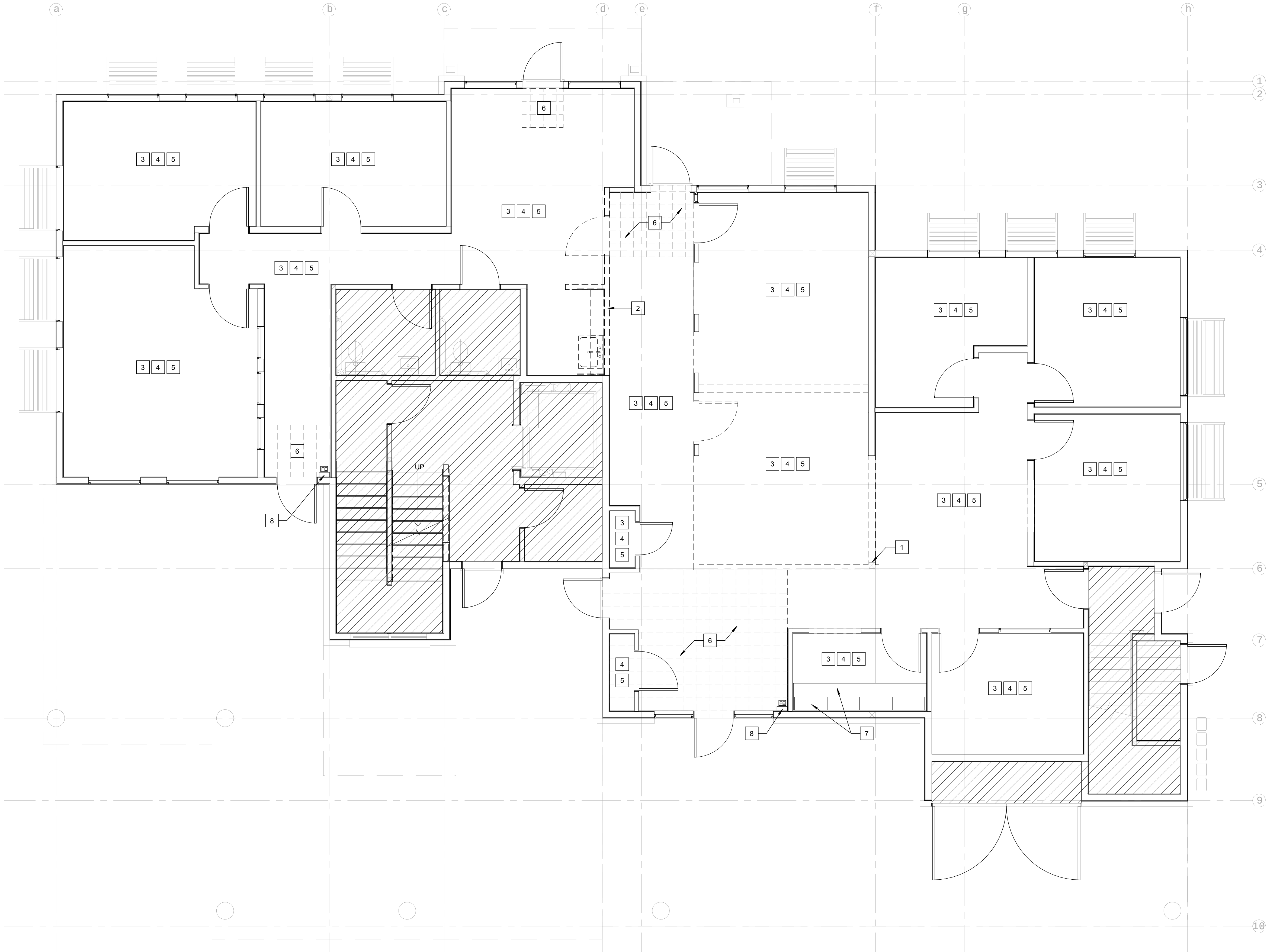
ISSUED FOR:
LEASE AGREEMENT

SHEET TITLE:
SUITE PLANS & CODE
INFORMATION

SCALE: As indicated
SHEET NUMBER

G002

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1 DEMOLITION PLAN - LEVEL 1

1/4" = 1'-0"

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DEMOLITION PLAN NOTES

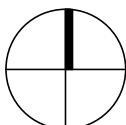
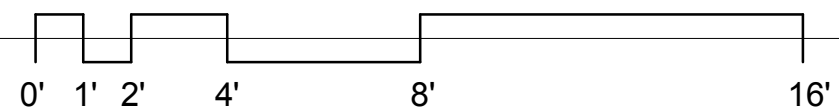
1. THE GC SHALL MAINTAIN THE INTEGRITY OF THE EXISTING STRUCTURE AND FIREPROOFING U.N.O.
2. NO HAZARDOUS MATERIALS EXIST PER ENVIRONMENTAL SURVEY AND REPORT BY PAULSEN ENVIRONMENTAL CONSULTING, INC. DATED FEBRUARY 23, 2018.
3. WORK TO BE REMOVED IS ILLUSTRATED IN DASHED LINE-WORK. EXISTING CONSTRUCTION TO REMAIN IS ILLUSTRATED IN SOLID LINE-WORK. ALL ITEMS FOR REMOVAL MAY NOT BE SPECIFICALLY NOTED. REMOVE ITEMS AS NECESSARY FOR THE COMPLETION OF THE WORK.
4. ALL ACOUSTICAL CEILING TILE AND GRID TO REMAIN U.N.O. AT LOCATIONS OF WALLS TO BE REMOVED. CEILING TILES TO BE REMOVED AND STACKED IN AN APPROPRIATE LOCATION TO PROVIDE PROTECTION DURING DEMOLITION WORK.
5. REFERENCE STRUCTURAL DRAWINGS AND SHEAR WALL PLANS PRIOR TO WALL DEMOLITION.
6. WHERE THE TERM "REMOVE" OR "DEMOLISH" IS USED, THE GC SHALL REMOVE ITEM FROM THE SITE AND LEGALLY DISPOSE OF.
7. WHERE THE TERM "SALVAGE" IS USED, THE GC SHALL REUSE THE ITEM ON THIS PROJECT OR RETURN TO THE OWNER.
8. WHERE THE TERM "REMOVE AND REPLACE" IS USED, THE GC IS TO DETACH ITEM FROM EXISTING CONSTRUCTION, PREPARE AND CLEAN ITEM FOR REUSE, AND REINSTALL WHERE INDICATED.
9. WHERE THE TERM "EXISTING TO REMAIN" IS USED, THE EXISTING ITEMS ARE NOT TO BE REMOVED. PROTECT FROM DAMAGE AS REQUIRED. THE GC IS TO REPLACE OR REPAIR ITEMS DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
10. SALVAGE MECHANICAL EQUIPMENT, PLUMBING FIXTURES, DOORS AND FRAMES, CABINETS, AND LIGHT FIXTURES FOR REINSTALLATION. STORE SALVAGEABLE MATERIALS IN A LOCATION AS DIRECTED BY THE OWNER. ALL OTHER MATERIAL AND DEBRIS SHALL BE DISPOSED OF BY THE GC.
11. WHERE MECHANICAL, ELECTRICAL, AND PLUMBING DEVICES ARE REMOVED, ABANDONED PIPING AND/OR CONDUITS SHALL BE CAPPED BELOW THE FLOOR, INSIDE THE PARTITION, OR ABOVE THE CEILING AND AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION. UNUSED WIRING IS TO BE REMOVED BACK TO PANEL BOXES. PATCH AND REPAIR FINISHES AS REQUIRED TO MATCH SURROUNDING FINISHES. BLANK COVER PLATES OVER EXISTING BOXES ARE NOT ACCEPTABLE U.N.O.
12. EXISTING CONCRETE SLAB DAMAGED DURING CONSTRUCTION SHALL BE PATCHED AND REPAIRED TO A CONDITION SUITABLE FOR NEW FINISHES.
13. PREPARE EXISTING WALLS FOR NEW FINISHES. REMOVE NAILS, PINS, TAPE, POSTERS, ETC.; FILL ALL HOLES; AND PREPARE SURFACES FOR PAINT OR WALLCOVERING.
14. PATCH AND REPAIR FLOOR AND PARTITION FINISHES WHERE INTERSECTING PARTITIONS HAVE BEEN REMOVED. MATCH ADJACENT SURFACE FOR FINISH, COLOR, AND TEXTURE.
15. PATCH AND REPAIR CEILING FINISHES WHERE INTERSECTING PARTITIONS HAVE BEEN REMOVED. MATCH ADJACENT SURFACE FOR FINISH, COLOR, AND TEXTURE.
16. COORDINATE UTILITY SHUT-DOWNS WITH BUILDING OWNER.
17. FOLLOW RECYCLING PROCEDURES FOR ITEMS TO BE REMOVED AS REQUIRED.

DEMOLITION PLAN KEYNOTES

- 1 FIELD VERIFY STRUCTURAL POSTS AND BEAMS TO REMAIN WITH STRUCTURAL DRAWINGS AT ALL EXISTING WALLS TO BE REMOVED. REVIEW STRUCTURAL SHEAR WALL PLANS AND NOTIFY GC/ARCHITECT IF ANY UNFORSEEN PLYWOOD SHEATHING IS ENCOUNTERED DURING DEMOLITION OF INTERIOR PARTITIONS.
- 2 LOAD-BEARING AND/OR SHEAR WALL, RE: STRUCTURAL DRAWINGS FOR POST AND BEAM LAYOUT AT THIS AREA.
- 3 ALL EXISTING CARPET FLOORING TO BE REMOVED. PREPARE SUBFLOOR FOR NEW FLOOR FINISHES.
- 4 ALL EXISTING RUBBER BASE TO BE REMOVED.
- 5 ALL EXISTING CEILINGS TO REMAIN UNLESS OTHERWISE REQUIRED AT AREAS OF WALLS TO BE REMOVED.
- 6 EXISTING FLOOR TILE TO BE REMOVED. PREPARE SUBFLOOR FOR NEW FLOOR FINISHES.
- 7 EXISTING COUNTERTOP, UPPER AND LOWER CABINETS TO REMAIN.
- 8 EXISTING WALL MOUNTED FIRE EXTINGUISHERS TO REMAIN. REMOVE FOR NEW PAINT AND REPLACE.

DEMOLITION PLAN LEGEND

- AREA NOT IN SCOPE
- EXISTING WALL TO REMAIN
- DEMO WALL OR OBJECT
- EXISTING DOOR TO REMAIN
- REMOVE AND REPLACE EXISTING DOOR



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WOODSIDE BLUFF - LEVEL ONE TENANT IMPROVEMENTS

255 SW BLUFF DRIVE, SUITE 100
BEND, OREGON 97702

PROJ. NO. 0000

DATE: 3/9/2018

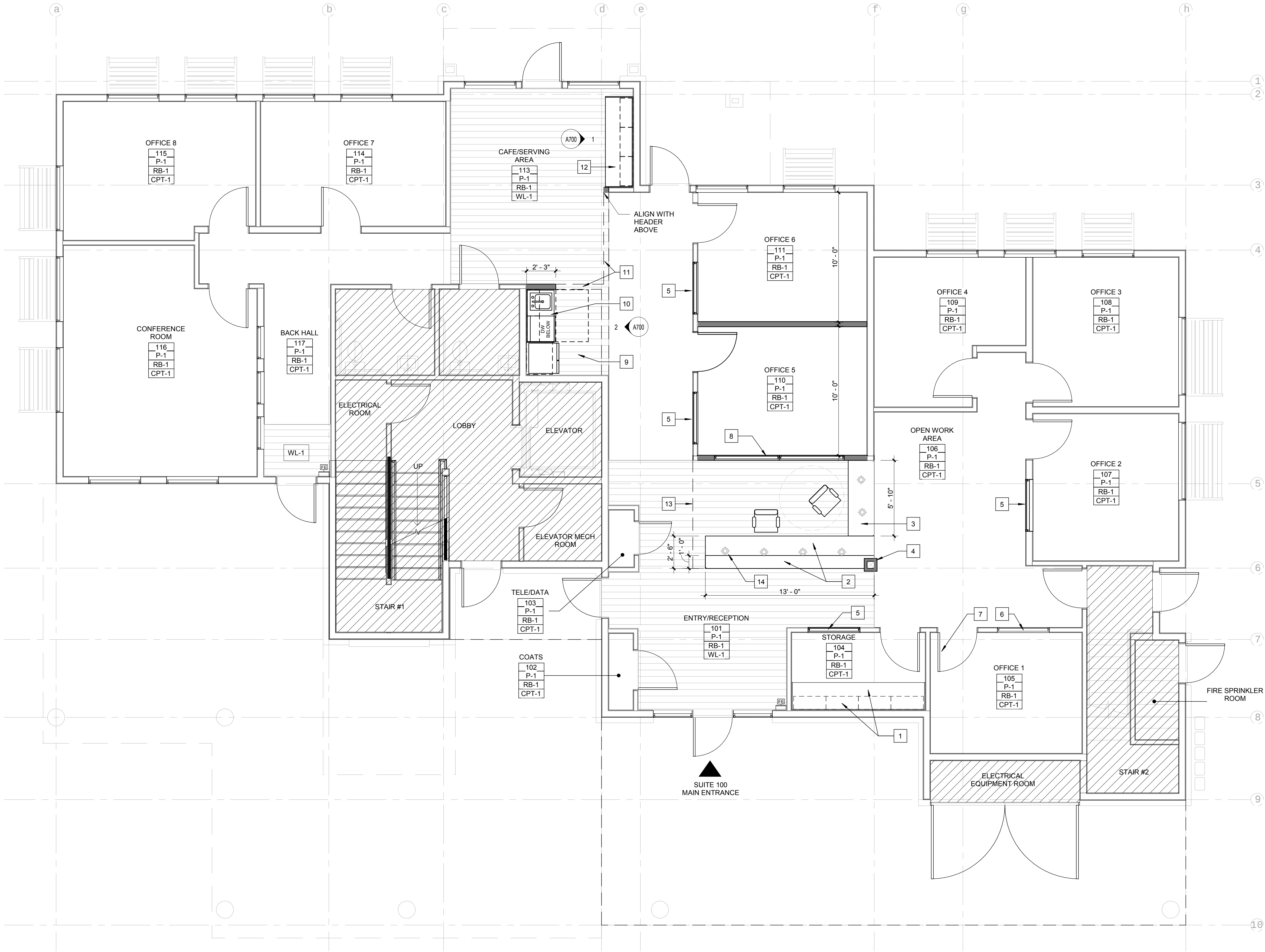
REVISIONS:

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SHEET TITLE:
DEMOLITION PLAN -
LEVEL 1

SCALE: As indicated
SHEET NUMBER

D201



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FLOOR PLAN NOTES

1. ALL EXISTING ACOUSTICAL CEILING TILE (ACT) AT 8'-6" A.F.F. AND TO REMAIN U.N.O. SEE REFLECTED CEILING PLAN.
2. ALL EXISTING GYP BOARD CEILINGS AT 8'-0" AND TO REMAIN U.N.O. SEE REFLECTED CEILING PLAN.
3. ALL WALL, DOOR AND WINDOW LOCATIONS BASED ON FLOOR PLAN INFORMATION RECEIVED FROM ORIGINAL DESIGN DRAWINGS. FIELD VERIFY ANY DIMENSIONS WHICH AFFECT THE INTENT OF THE WORK AND NOTIFY ARCHITECT WITH ANY DISCREPANCIES PRIOR TO COMPLETING NEW WORK.

FLOOR PLAN KEYNOTES

1. EXISTING COUNTERTOP, UPPER AND BASE CABINETS TO REMAIN.
2. NEW 30" HIGH RECEPTION DESK/WORKSPACE WITH 42" HIGH RAISED COUNTER SURFACE.
3. NEW 30" HIGH ADA WORKSURFACE WITH TOE AND KNEE CLEARANCE PER ANSI A117.1-2009.
4. NEW WOOD FURRING AND GYPSUM BOARD WRAP AT STRUCTURAL COLUMN TO REMAIN.
5. NEW 48"x48" INTERIOR BORROWED LITE, TEMPERED GLASS, TO MATCH EXISTING AT OFFICE 1, TIMELY INDUSTRIES OR EQUAL. VERIFY SIZE PRIOR TO ORDERING AND INSTALLATION.
6. EXISTING INTERIOR BORROWED LITE TO REMAIN. VERIFY IF SAFETY GLASS AND REPLACE WITH TEMPERED GLAZING IF NECESSARY.
7. ADD VISION LITE TO EXISTING DOOR AT OFFICE 1 TO MATCH EXISTING DOORS AT THIS AREA. APPROX. 24"x24", VERIFY IN FIELD.
8. NEW INTERIOR BORROWED LITES. (2) 60"x18" UNITS SHOWN WITH HEAD HEIGHT AT 8'-0" A.F.F.
9. EXISTING GYP BOARD CEILING AT 8'-0" A.F.F. TO REMAIN AT AREA OF NEW KITCHENETTE. SEE REFLECTED CEILING PLAN.
10. NEW KITCHENETTE TO INCLUDE BASE AND UPPER CABINETS, DISHWASHER, COMPACT REFRIGERATOR AND SINK. SEE INTERIOR ELEVATION.
11. GYP BOARD HEADER ABOVE. SEE REFLECTED CEILING PLAN.
12. NEW COFFEE SERVING STATION TO INCLUDE COUNTERTOP, UPPER AND BASE CABINETS. SEE INTERIOR ELEVATION.
13. LINE OF GYP BOARD SOFFIT ABOVE. SEE REFLECTED CEILING PLAN.
14. PENDANT LIGHT FIXTURES ABOVE. SEE REFLECTED CEILING PLAN.

FLOOR PLAN LEGEND

- AREA NOT IN SCOPE
- EXISTING WALL TO REMAIN
- NEW GYP BOARD WALL TO MATCH EXISTING CONSTRUCTION

FINISH PLAN LEGEND

- | ROOM | ROOM NAME |
|-------|--------------|
| 100 | ROOM NUMBER |
| P-1 | WALL FINISH |
| RB-1 | BASE TYPE |
| CPT-1 | FLOOR FINISH |
-
- | | |
|-------|--|
| WL-1 | WOOD LAMINATE - MATERIAL SELECTION AND COLOR TBD |
| CPT-1 | CARPET - MATERIAL SELECTION AND COLOR TBD |
| P-1 | PAINT - MATERIAL SELECTION AND COLOR TBD |
| RB-1 | RUBBER BASE - MATERIAL SELECTION AND COLOR TBD |

1 PROPOSED FLOOR PLAN - LEVEL 1

1/4" = 1'-0"



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WOODSIDE BLUFF - LEVEL ONE TENANT IMPROVEMENTS

255 SW BLUFF DRIVE, SUITE 100
BEND, OREGON 97702

PROJ. NO. 0000

DATE: 3/9/2018

REVISIONS:

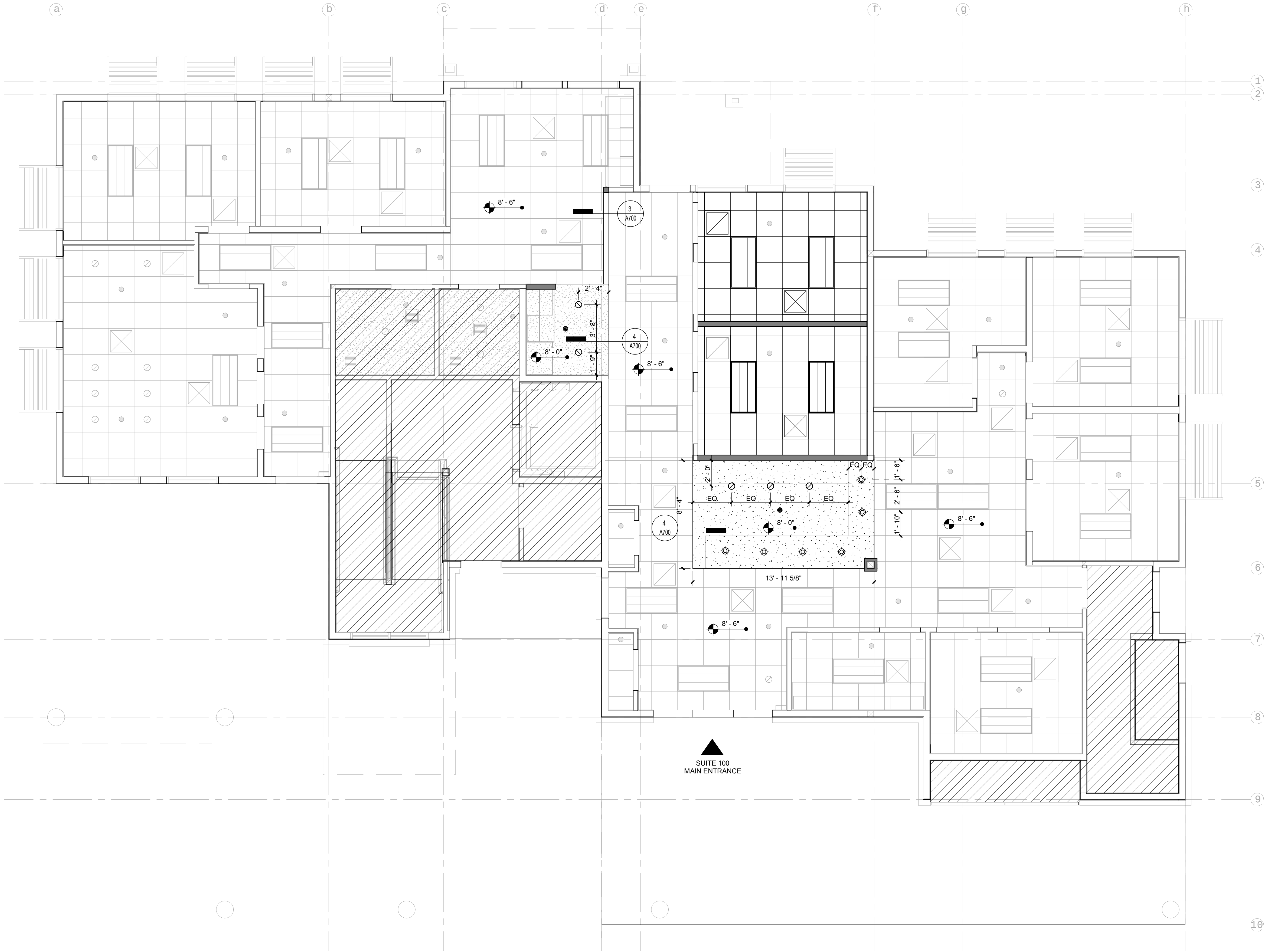
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SHEET TITLE:
PROPOSED FLOOR
PLAN - LEVEL 1

SCALE: As indicated
SHEET NUMBER

A201

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1 REFLECTED CEILING PLAN - LEVEL 1
1/4" = 1'-0"

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REFLECTED CEILING PLAN NOTES

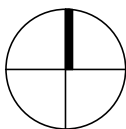
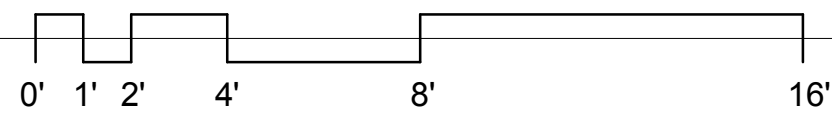
1. ALL EXISTING ACOUSTICAL CEILING TILE (ACT) AT 8'-6" A.F.F. AND TO REMAIN U.N.O.
2. ALL EXISTING GYP BOARD CEILINGS AT 8'-0" AND TO REMAIN U.N.O.
3. COORDINATE ALL TRADES INVOLVED IN THE CEILING WORK TO ENSURE INTENT OF PROPOSED CEILING PLAN SHOWN HEREIN, INCLUDING CLEARANCE FOR FIXTURES, DUCTS, PIPING, CEILING SUSPENSION SYSTEMS, ETC. NECESSARY TO MAINTAIN THE CEILING HEIGHTS INDICATED.
4. DIMENSIONS ARE TO FINISH U.N.O.
5. LIGHT FIXTURES, SPRINKLER HEADS, AND OTHER CEILING DEVICES SHALL BE EQUALLY SPACED AND ALIGNED WITH ADJACENT ELEMENTS AND CENTERED ON CEILING TILE, U.N.O.
6. PAINT GYPSUM BOARD CEILINGS P-1 U.N.O. SEE FINISH PLAN LEGEND ON PROPOSED FLOOR PLAN.
7. PAINT GYP BOARD SOFFITS (VERTICAL AND HORIZONTAL SURFACES) P-1 U.N.O. SEE FINISH PLAN LEGEND ON PROPOSED FLOOR PLAN.

REFLECTED CEILING PLAN KEYNOTES

1 x

REFLECTED CEILING PLAN LEGEND

	AREA NOT IN SCOPE		2'x2' ACOUSTICAL CEILING TILE (ACT) TO REMAIN
	NEW GYPSUM BOARD CEILING		GYPSUM BOARD CEILING TO REMAIN
	2'x4' LIGHT FIXTURE TO BE RELOCATED		2'x4' LIGHT FIXTURE TO REMAIN
	2'x2' SUPPLY AIR REGISTER TO BE RELOCATED		2'x2' SUPPLY AIR REGISTER TO REMAIN
	2'x2' RETURN AIR REGISTER TO BE RELOCATED		2'x2' RETURN AIR REGISTER TO REMAIN
	BATH EXHAUST OR SUPPLY		BATH EXHAUST OR SUPPLY TO REMAIN
	NEW PENDANT LIGHT FIXTURE		N/A
	6" DIA. RECESSED LIGHT FIXTURE TO REMAIN		6" DIA. RECESSED LIGHT FIXTURE TO REMAIN
	FIRE SPRINKLER HEAD TO BE RELOCATED		FIRE SPRINKLER HEAD TO REMAIN
	CEILING HEIGHT ABOVE FINISHED FLOOR		



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Bend, Oregon 97701
phone 541.617.9190

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PRELIMINARY -
NOT FOR
CONSTRUCTION

WOODSIDE BLUFF - LEVEL ONE TENANT
IMPROVEMENTS
255 SW BLUFF DRIVE, SUITE 100
BEND, OREGON 97702

PROJ. NO. 0000

DATE: 3/9/2018

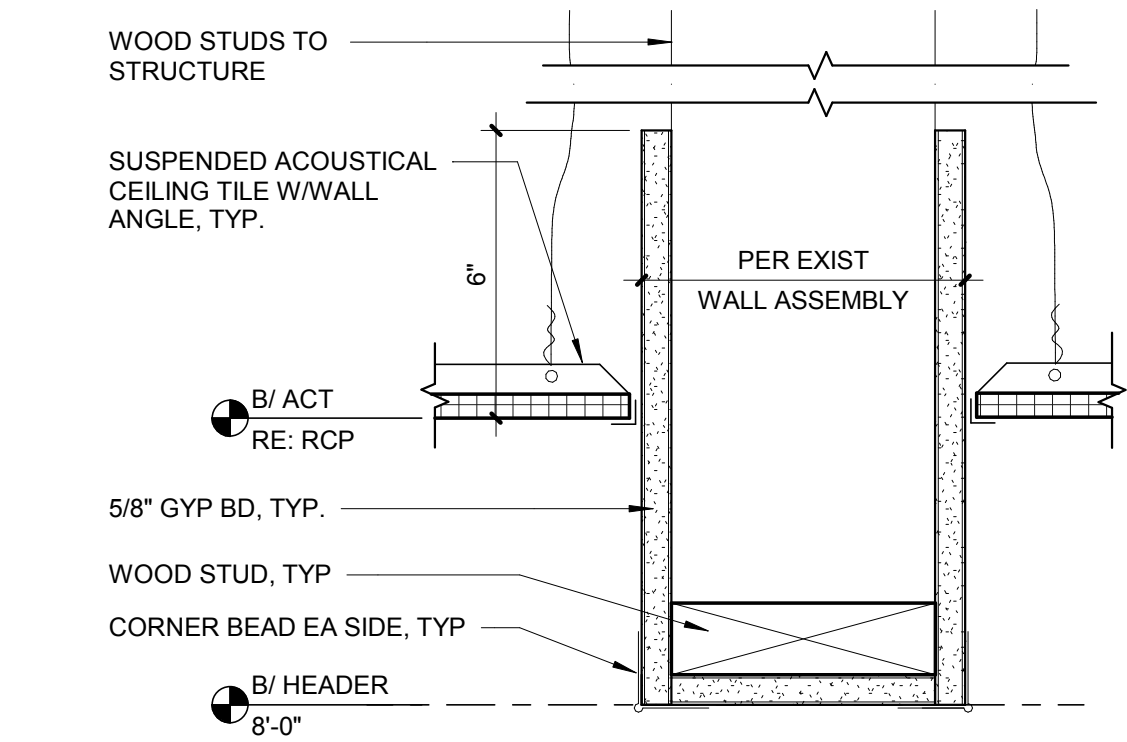
REVISIONS:

ISSUED FOR:
LEASE AGREEMENT

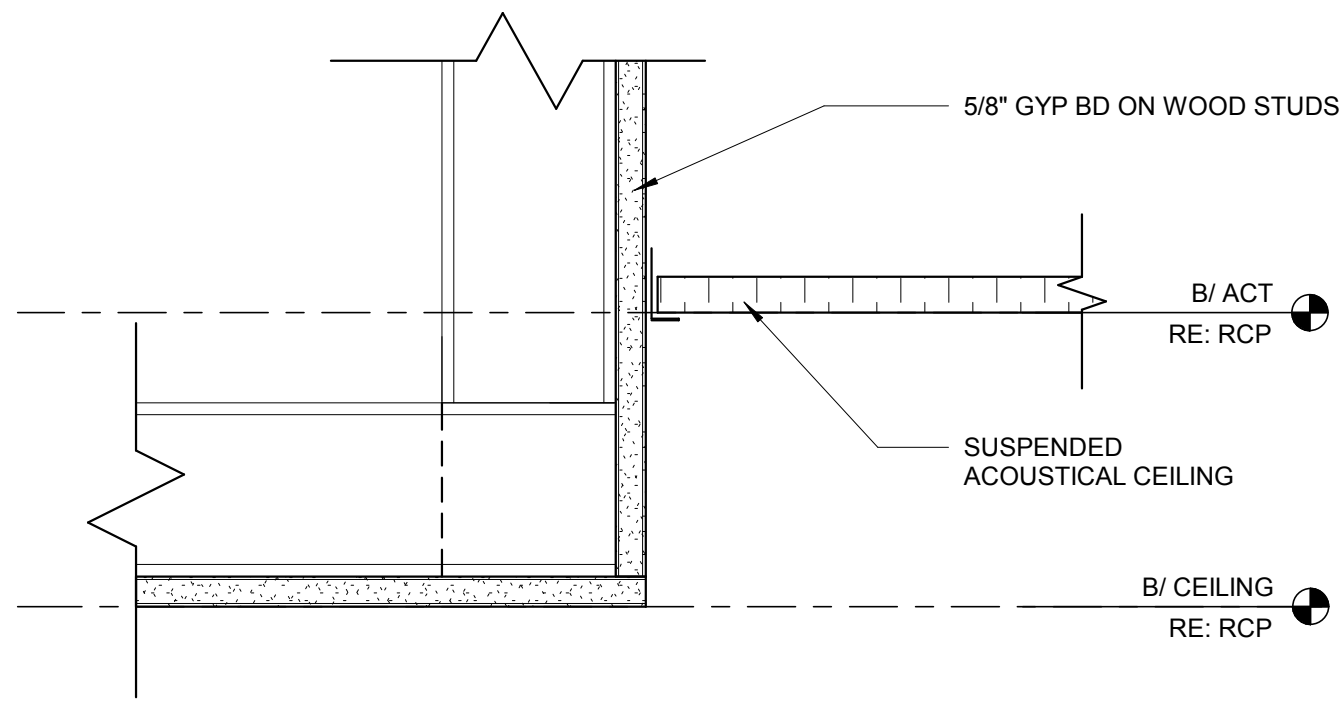
SHEET TITLE:
REFLECTED CEILING
PLAN - LEVEL 1

SCALE: As indicated
SHEET NUMBER

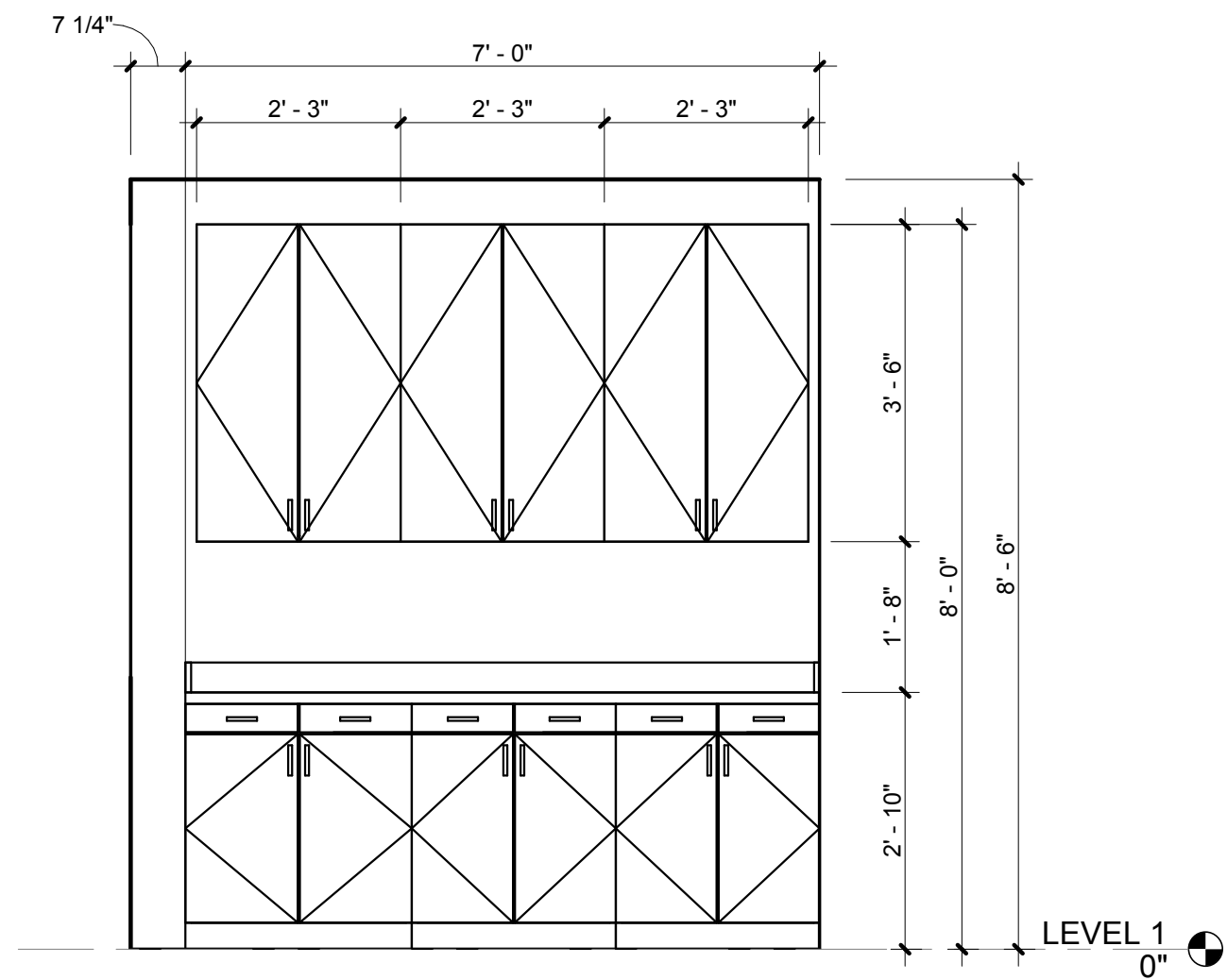
A202



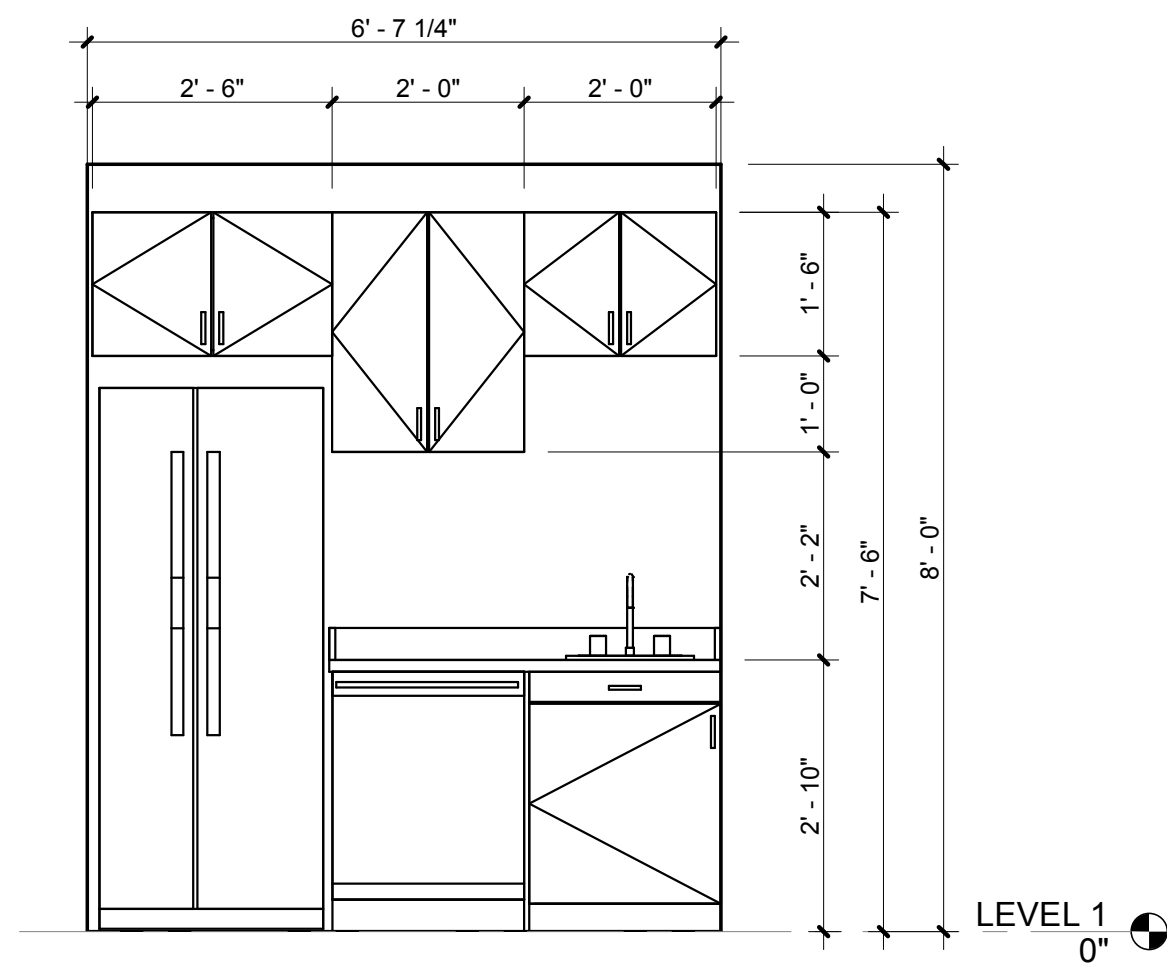
3 SOFFIT - ACT @ GYP BD HEADER
3" = 1'-0"



4 CEILING - GYP BOARD @ ACT
3" = 1'-0"



1 ELEVATION @ COFFEE STATION
1/2" = 1'-0"



2 ELEVATION @ KITCHENETTE
1/2" = 1'-0"

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PROJ. NO. 0000
DATE: 3/9/2018
REVISIONS:

ISSUED FOR:
LEASE AGREEMENT

SHEET TITLE:
INTERIOR ELEVATIONS
AND DETAILS

SCALE: As indicated
SHEET NUMBER

A700