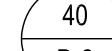
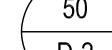


This architectural elevation drawing depicts a symmetrical two-story building facade. The central feature is a large, arched doorway. On either side of the entrance are wings containing multiple windows; some have arched tops, while others are rectangular with decorative elements. The roof is flat, topped with decorative finials at the corners. A small fence is shown on the far left. The drawing includes various annotations such as '12', '6', and '4' with arrows, likely indicating dimensions or levels. The entire drawing is set against a background of a grid.

INTERIOR FINISHING					
	CEILING FIN. NO.		DETAIL NUMBER		DOOR SYMBOL
	PARTITIONS FIN. NO.		SHEET NUMBER		WINDOW SYMBOL
	FLOOR FIN. NO.	DETAIL			WALL TYPE SYMBOL
	ELEVATION NO.		DETAIL NUMBER		
	SHEET NO.		SHEET NUMBER		REVISION NUMBER
	(DP) DATUM POINT		SECTION NUMBER		INTERIOR BEARING WALL
	DATUM ELEVATION		SHEET NUMBER		HEADER ABOVE
	FLOOR BREAK				LOW PARTITION
	C.T.	BUILDING & WALL SECTION			

A-000

[illegible]

THESE PLANS ARE THE PROPERTY OF THE ARCHITECT AND MUST NOT BE COPIED, RE-USED, OR ALTERED WITHOUT HIS APPROVAL

[illegible]

USE GROUP	DESCRIPTION	NO. OF PERSONS OF EACH SEX	WATER CLOSETS (URINALS)		LAVATORIES		DRINKING FACILITY
			MALE	FEMALE	MALE	FEMALE	
A2	RESTAURANT	1 - 75	1	1	1	1	1 PER 500
		75 - 150	1	1	1	1	
TOTAL REQUIRED			2	2	2	2	1
TOTAL PROVIDED			12	12	12	12	1

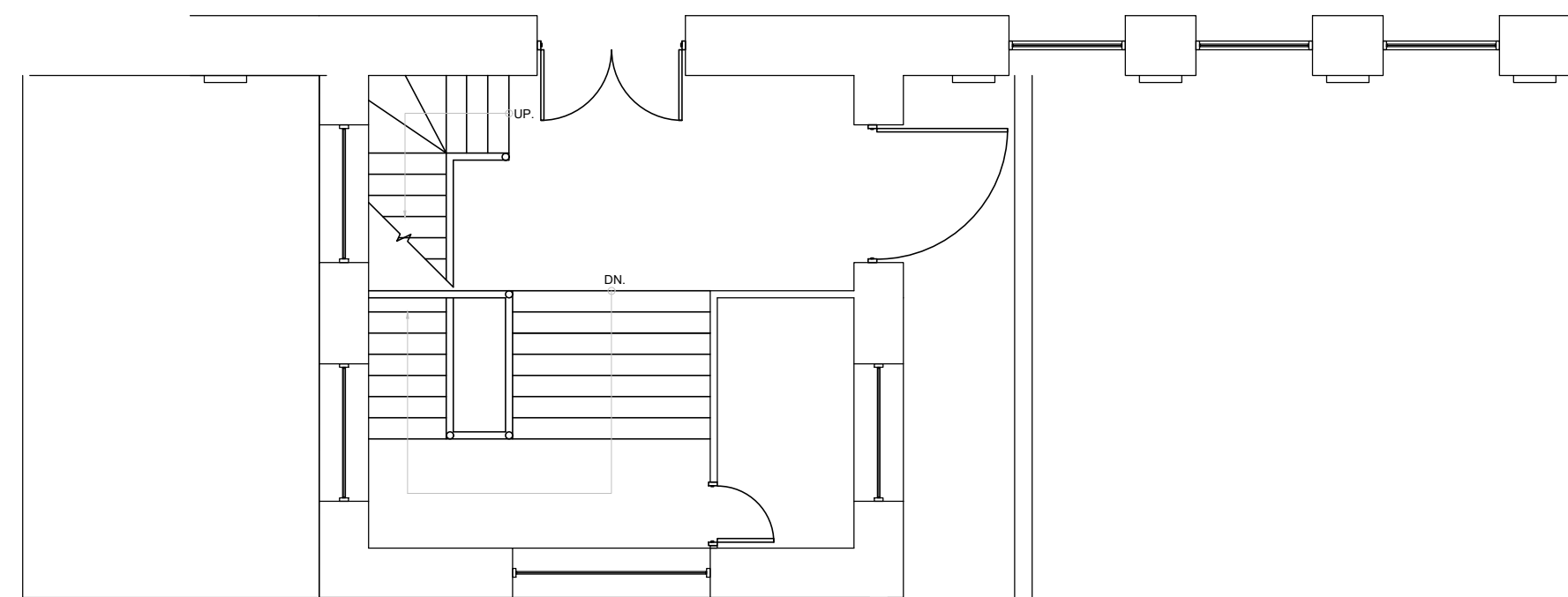
EXIST DOOR	
165	0.2
24.75"	34"
226	

Diagram labels and values:

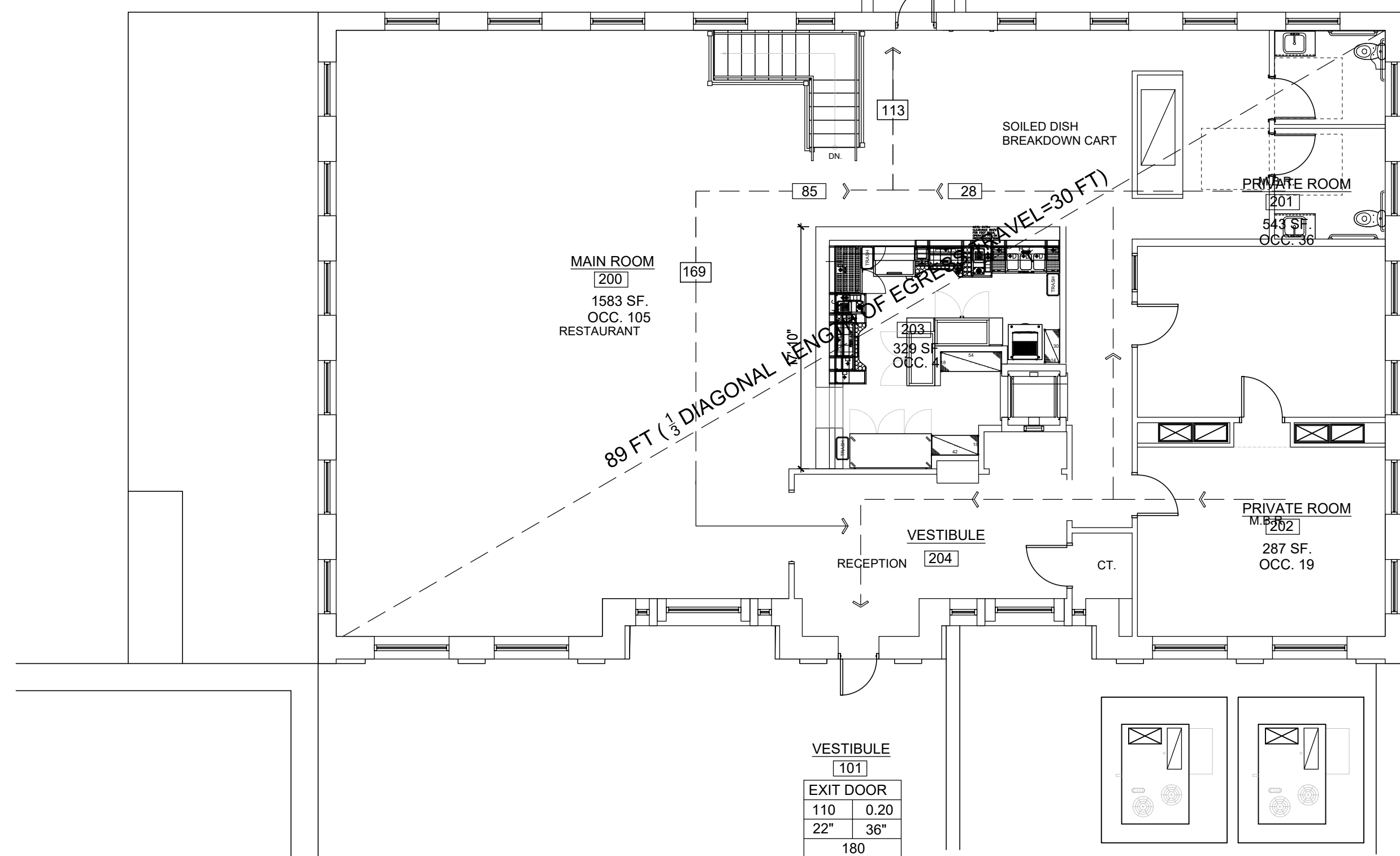
- OCCUPANT LOADS REQUIRED TO EXIT: 165
- REQUIRED STAIR WIDTH: 24.75"
- OPENING CAPACITY: 226
- WIDTH PER OCCUPANT LOAD FACTOR (1005.1) 0.20: 0.2
- PROVIDED CLEAR OPENING WIDTH: 34"

Legend:

- SEMI-RECESS WALL MOUNTED FIRE EXTINGUISHER 2A-10-B-C CABINET WHITE FINISH (1 PER 3,000 SF.)
- WALL MOUNTED FIRE 2A-10-B-C FIRE EXTINGUISHER (1 PER 3,000 SF.)
- CEILING/ WALL MOUNTED ILLUMINATED EXIT SIGN WITH BATTERY BACKUP. SHADING INDICATES ILLUMINATED FACE & ARROW INDICATED THE DIRECTION OF EGRESS. MOUNTED ON UNDERSIDE OF SIGN WHERE REQUIRED FOR INTENDED VISIBILITY



VESTIBULE	
101	
EXIT DOOR	
113	0.20
22"	36"
180	



SCALE: 1/8" = 1'-0"

MAXIMUM LENGTH OF EGRESS TRAVEL (TABLE 1017.2-IBC2018)		250'-0".
- ACTUAL MAXIMUM LENGTH OF EGRESS TRAVEL		40'-0".
- NUMBER OF EXITS (1006.3.2-IBC2018)	REQUIRED	PROVIDED
5001-1000	3	3
- EXIST ACCESS PASSAGEWAYS AND CORRIDORS		
MINIMUM WIDTH (1020.2)	72"	85"
DEAD ENDS (1018.4)	20'-0"	0'-0"
CORRIDOR FIRE RESISTANCE RATING	0 HR.	0 HR.
(TABLE 1020.1)		
- MEANS OF EGRESS DOORWAYS (1009)	0 HR.	0 HR.
- PANIC HARDWARE	YES	YES
- STAIRWAYS (1009)		
- WIDTH (1009.1)	44" MIN.	48 MIN.
- HEADROOM (1011.3)		
- TREADS AND RISERS (1009.4.2)	80"	80"
RISERS		
TREADS	7" MAX.	7"
	1 1" MIN.	1 1"
- VERTICAL EXIT STAIRWAY ENCLOSURES (1022)		
- GUARDS (1015)	YES	YES
- HEIGHT (1015.3)	42"	42"
- OPENING LIMITATIONS	4"	4"
- HANDRAILS (1014)	YES	YES
- HEIGHT	34"-38"	36"
- HANDRAIL GRASPABILITY (1014.3)	1.5"	1.5"
- HANDRAIL EXTENSIONS (1014.6)	12" MIN.	12"
- PROJECTION (1014.8)	4.0" MAX.	4"
- STAIRWAY TO ROOF () - VARIANCE REQUIRED		
- SHIP LADDER AND ROOF HATCH PROVIDED IN STAIR #1 AND #2		
- SEE NOTE DWG. A103 ROOF PLAN.		

Flowchart illustrating the calculation of Total Occupant Egress:

- OCCUPANCY LOAD OF ROOM (XX)
- TRAVEL PATH AND LENGTH (XX)
- SUB-TOTAL OCC. EGRESS (XX)
- TOTAL OCCUPANT EGRESS (XXX)

- USE GROUP
SECTION 303.3 - ASSEMBLY GROUP A-2 RELIGIOUS WORSHIP

-CONSTRUCTION TYPE
III-B (NONCOMBUSTIBLE)

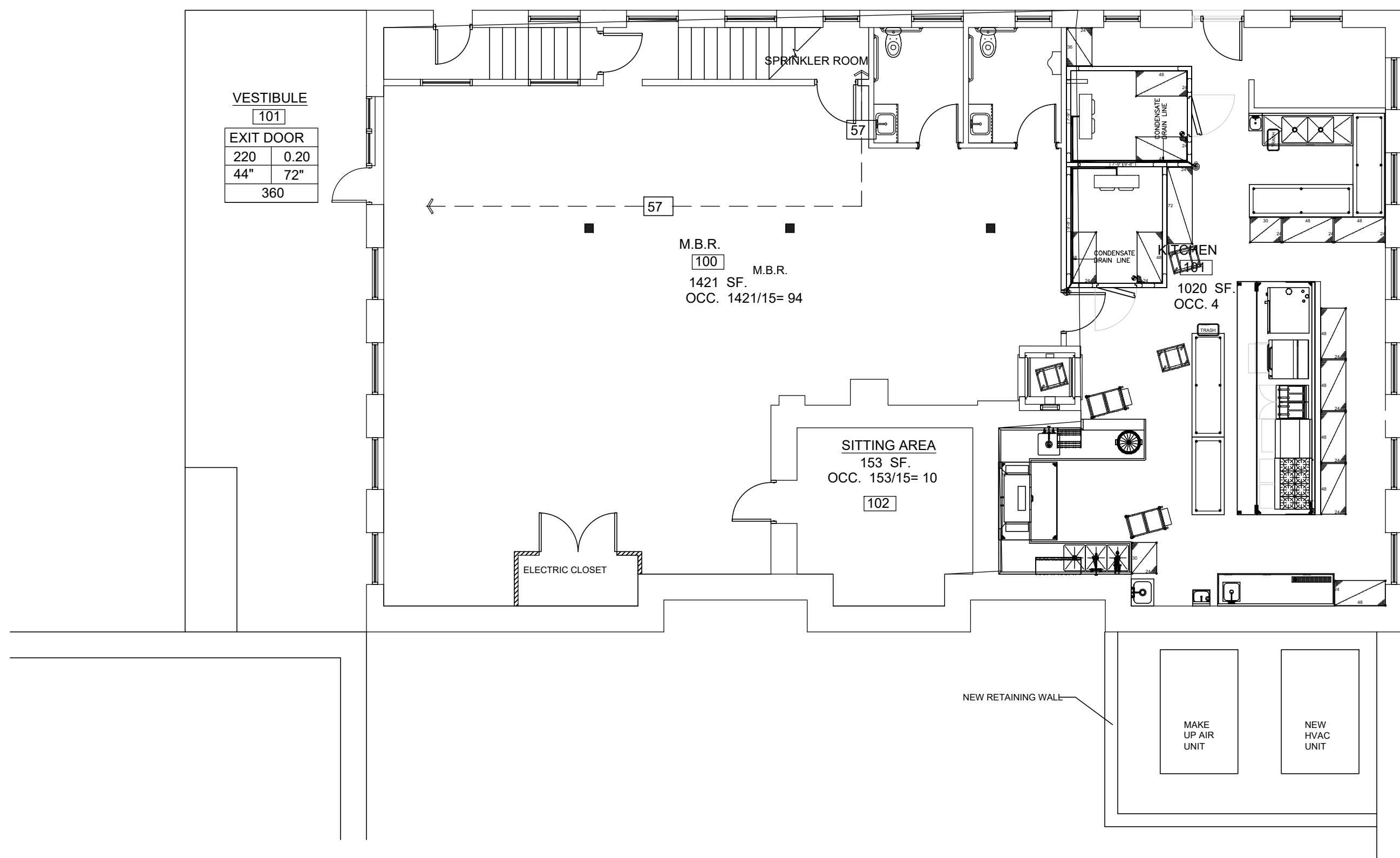
-BULK REQUIREMENTS

	REQUIRED	PROVIDED	
HEIGHT LIMITATION	75'-0"	35'-0"	2021 IBC NJ ED. (TABLE 504.3)
STORIES LIMITATION	3	2	2021 IBC NJ ED. (TABLE 504.4)
AREA LIMITATION	9,500 SF.	3,787 SF.	2021 IBC NJ ED. (TABLE 506.2)

- (TABLE 602) FIRE RESISTANT FOR BUILDING ELEMENTS - CONSTRUCTION TYPE II-B
(SEPARATION DISTANCE GRATER THAN 30 FEET)

- | | |
|-----------------------|-------|
| - STRUCTURAL FRAME: | 0 HR. |
| (BEARING WALLS) | |
| - EXTERIOR: | 0 HR. |
| - INTERIOR: | 0 HR. |
| - FLOOR CONSTRUCTION: | 0 HR. |
| - ROOF CONSTRUCTION: | 0 HR. |
| - SHAFT ENCLOSURE | 1 HR. |

- (903.2.1.2) AUTOMATIC SPRINKLER REQUIRED FOR GROUP A-2 OCCUPANCY MORE THAN 100 PERSONS.



SCALE: 1/8" = 1'-0"



PEOD REVIEW

[illegible]

THESE PLANS ARE THE PROPERTY OF THE ARCHITECT AND MUST NOT BE COPIED, RE-USED, OR ALTERED WITHOUT HIS APPROVAL

EXISTING PLANS AND ELEVATIONS

[illegible]

DO NOT SCALE DRAWING

DATE:	05/20/24
DRAWN / CHECKED:	NM.
SCALE:	AS NOTED
PROJECT NUMBER:	062919

DRAWING NUMBER

241 HUDSON STREET
HACKENSACK, NJ 07601
PHONE: (201) 925 5888
F A X : (201) 488-1020
MIJAARCH@OPTONLINE.NET

NABIL N. MIJALLI, R.A.
NJ LIC. #AIO 1665500
NY LIC. # 032031
PA LIC. # RA405317
CT LIC. # 1 3827
SC LIC. # 8469

PONEMAH MILL LANDING
FORMER PONEMAH MILLS
NORWICH AVENUE
TAFTVILLE, CT

555 SOUTH MILL . LLC

[illegible]

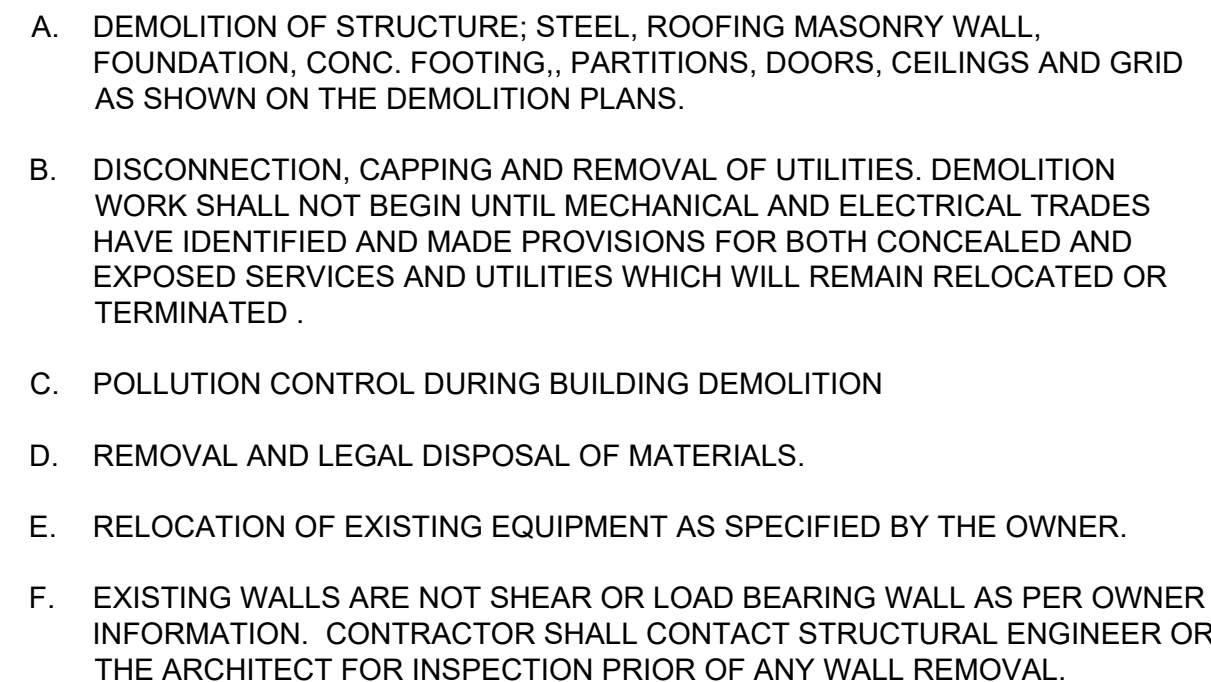
THESE PLANS ARE THE PROPERTY OF THE ARCHITECT AND MUST NOT BE COPIED, RE-USED, OR ALTERED WITHOUT HIS APPROVAL

DEMOLITION PLAN
AND ELEVATIONS

[illegible]

DATE:	05/20/24
DRAWN / CHECKED:	NM.
SCALE:	AS NOTED
PROJECT NUMBER:	062919

A-100



- A. REMOVAL OF ABANDONED UTILITIES AND WIRING SYSTEMS.
- B. NOTIFICATION TO OWNER OF SCHEDULE OF SHUT OFF OF UTILITIES WHICH SERVE OCCUPIED SPACES.
- C. REMOVAL AND LEGAL DISPOSAL OF MATERIALS.
- D. REMOVE TELEPHONE OUTLETS AND PULL CABLE TO CEILING. NEATLY COIL CABLE AND LEAVE HANGING FROM CEILING SUPPORT STRUCTURE. REMOVE ELECTRICAL CIRCUITS BACK TO NEAREST JUNCTION BOX.

A. REMOVAL OF ASBESTOS OR MATERIALS CONTAINING ASBESTOS .

B. REMOVAL OF HAZARDOUS MATERIALS.

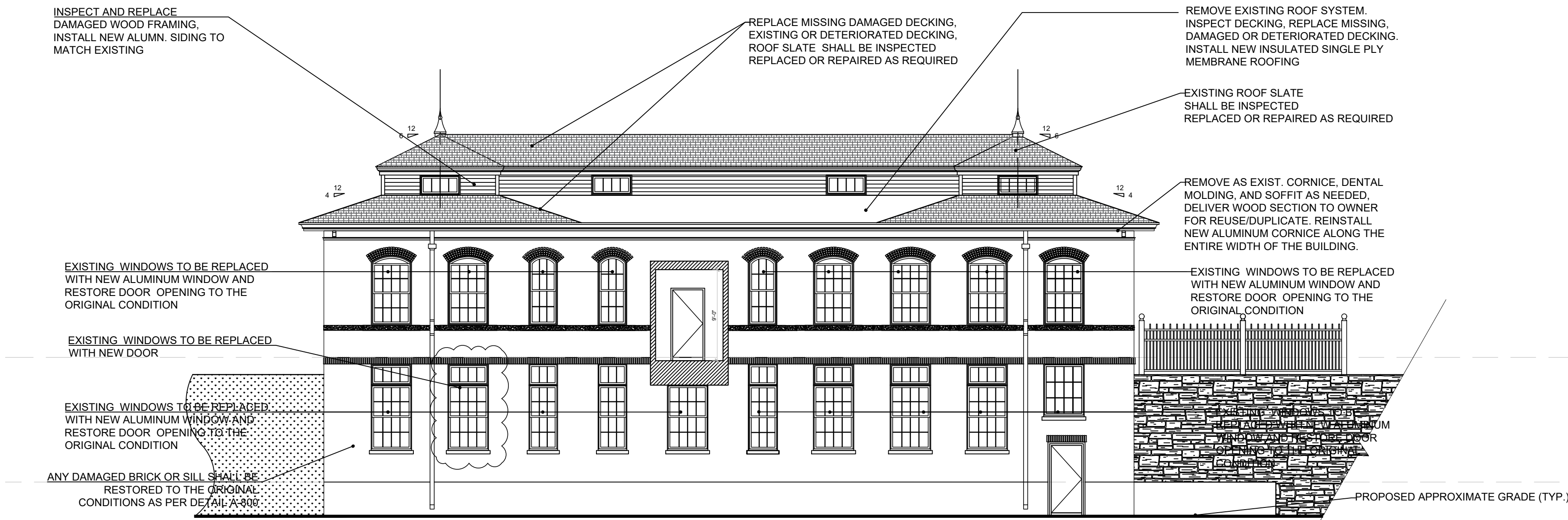
A. WHEN THE NATURE OF DEMOLITION WORK REQUIRES THE USE, ERECT AND MAINTAIN DUST CHUTES FOR THE DISPOSAL OF MATERIALS, RUBBISH, AND DEBRIS.

- B. REMOVE SALVAGE AND DEBRIS FROM THE SITE AS IT ACCUMULATES. DO NOT STORE, SELL, BURN OR OTHERWISE DISPOSE OF DEBRIS ON THE SITE. (REMOVAL OF DEBRIS INCLUDES CLEARING OF BASEMENTS AND SIMILAR EXCAVATIONS). REMOVE ALL MATERIAL IN SUCH MANNER AS TO PREVENT SPILLAGE. KEEP ALL PAVEMENTS AND AREAS ADJUTMENT TO AND LEADING FROM THE SITE, CLEAN AND FREE OF MUD, DIRT, AND DEBRIS AT ALL TIMES. 5.PROTECTION
- C. ERECT AND MAINTAIN TEMPORARY BRACING, BARRICADES (EXPECT CONSTRUCTION BARRICADES FOR SUBSEQUENT NEW CONSTRUCTION), WARNING SIGNS, AND GUARDS NECESSARY TO PROTECT STREET, SIDEWALK AND ADJOINING PROPERTY FROM DAMAGE. ALL ACCIDENT WITH APPLICABLE RULES, REGULATIONS, AND GOOD PRACTICE.

A. EXECUTE DEMOLITION WORK TO ENSURE SAFETY OF PERSONS AND ADJACENT PROPERTY AGAINST DAMAGE BY SETTLEMENT, FALLING DEBRIS, OR CAUSES IN CONNECTION WITH THIS WORK.

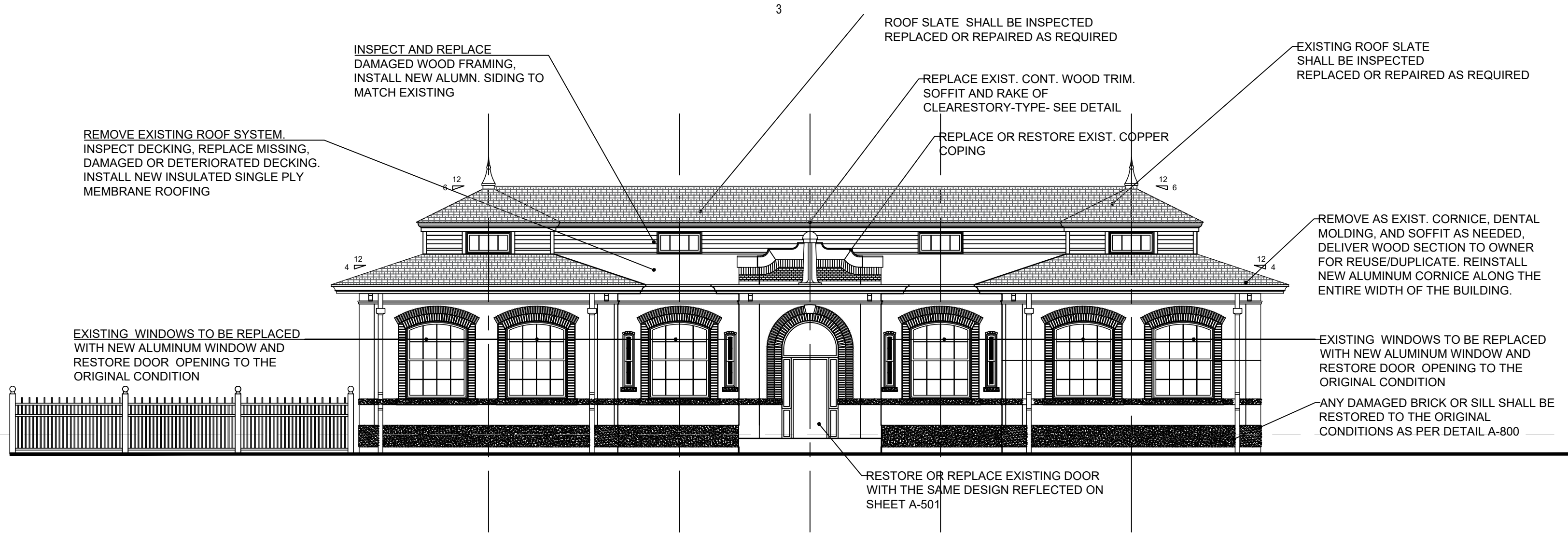
- B. ALL WORK SHALL COMPLY WITH RULES AND REGULATIONS OF ALL LOCAL AND STATE, AGENCIES AND AUTHORITIES HAVING JURISDICTION. . OBTAIN AND PAY FOR ALL PERMITS REQUIRED





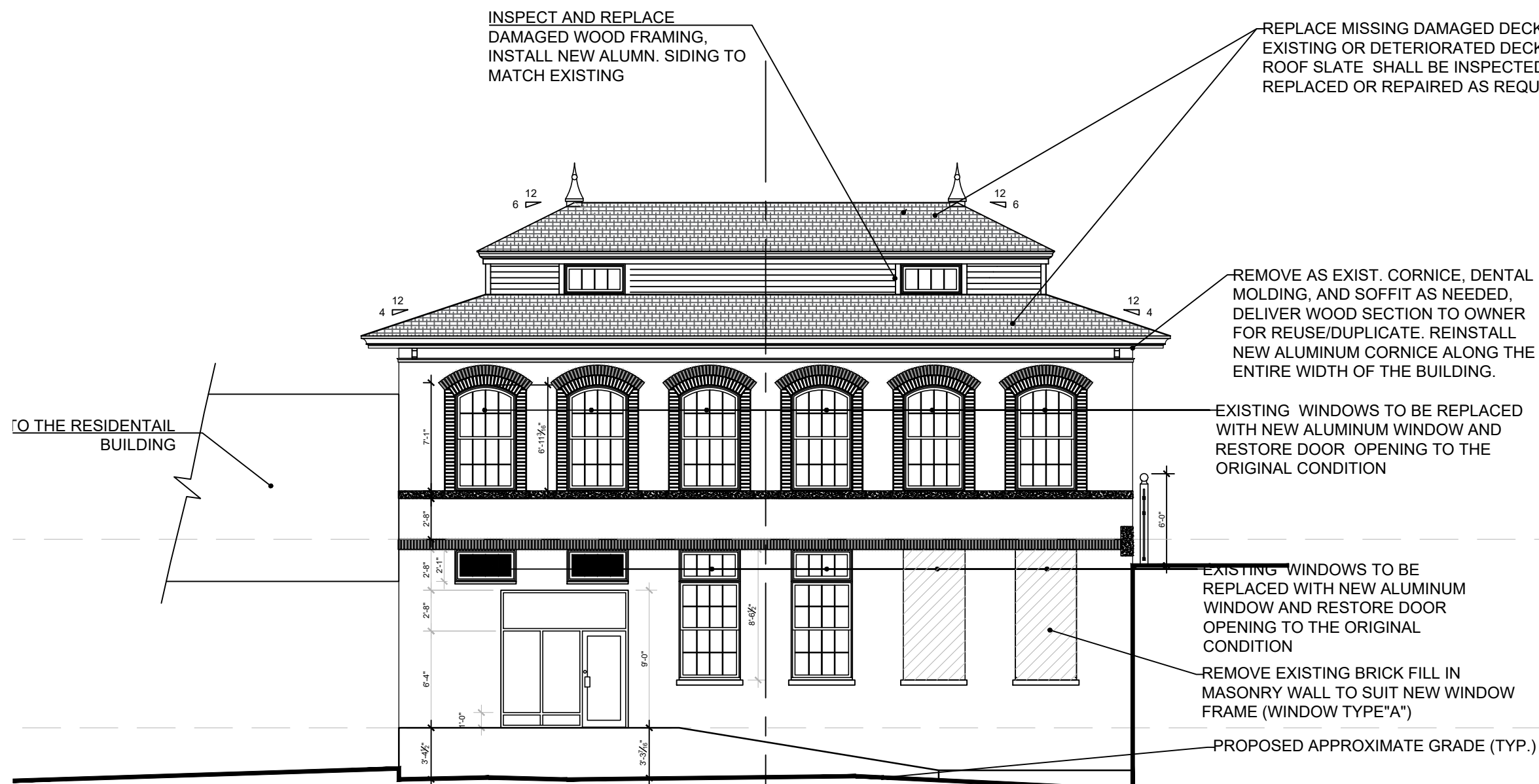
3 DEMOLITION- EAST ELEVATION

SCALE:1/8"=1'-0"



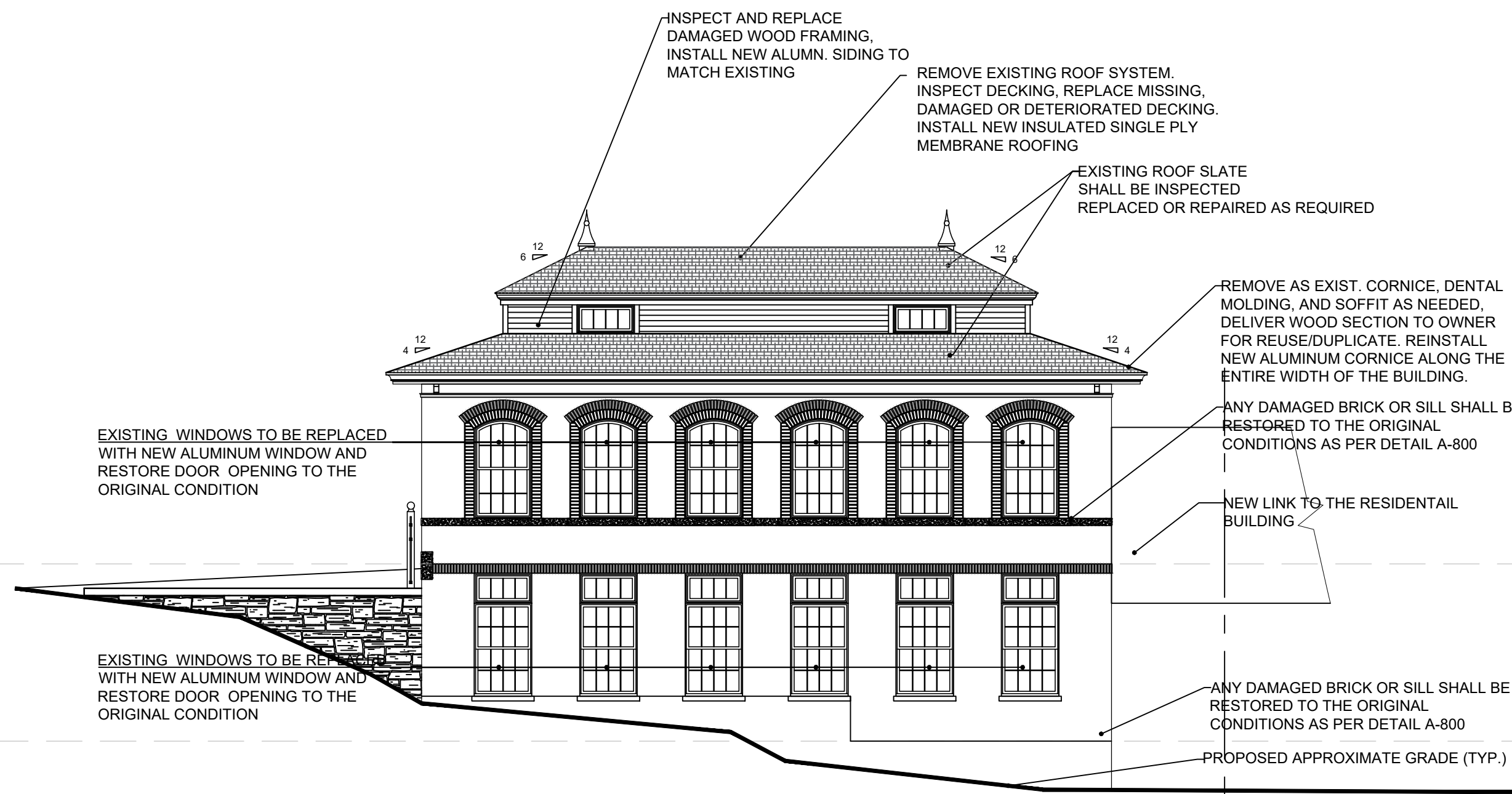
4 DEMOLITION- WEST ELEVATION

SCALE:1/8"=1'-0"



5 DEMOLITION- SOUTH ELEVATION

SCALE:1/8"=1'-0"



6 DEMOLITION- NORTH ELEVATION

SCALE:1/8"=1'-0"

ELEVATION DEMOLITION NOTES:

1. REMOVE EXISTING WINDOW IN ITS ENTIRETY AND PREPARE OPENING TO RECEIVE NEW WINDOW. COORDINATE WITH G.C. THE REMOVAL OF THE EXISTING WINDOW & ITS REPLACEMENT OF THE NEW WINDOW IN ITS ENTIRETY
2. REMOVE EXISTING BRICK WALL MASONRY TO PROVIDE OPENING FOR NEW WINDOW. COORDINATE WITH G.C. THE SCHEDULE OF THE OPENING & THE WINDOW TO BE REPLACED IN ITS ENTIRETY.
3. AREA OF EQUIPMENTS OWNED BY CONNECTICUT LIGHT AND POWER. NOT IN THE SCOPE OF WORK.
4. REMOVE EXISTING BRICK WALL MASONRY TO PROVIDE OPENING FOR NEW DOOR.

ASSOCIATE ARCHITECTS



N.J. AC. 669

241 HUDSON STREET
HACKENSACK, NJ 07601
PHONE: (201) 925-5888
FAX: (201) 488-1020
MIJAARCH@OPTONLINE.NET

ARCHITECT

NABIL N. MIJALLI, R.A.
NJ LIC. #A10166550
NY LIC. # 032031
PA LIC. # RA405317
CT LIC. # 13827
SC LIC. # 8469

PROJECT NAME:

PONEMAH MILL LANDING
FORMER PONEMAH MILLS
NORWICH AVENUE
TAFTVILLE, CT

OWNER:

555 SOUTH MILL . LLC

RELEASE STATUS OF DRAWING		DATE:
1	FOR REVIEW	09/04/2024
2	FOR REVIEW	10/24/2024

THESE PLANS ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE COPIED, RE-USED, OR ALTERED WITHOUT HIS APPROVAL.

DRAWING TITLE:

DEMOLITION PLANS
AND ELEVATIONS

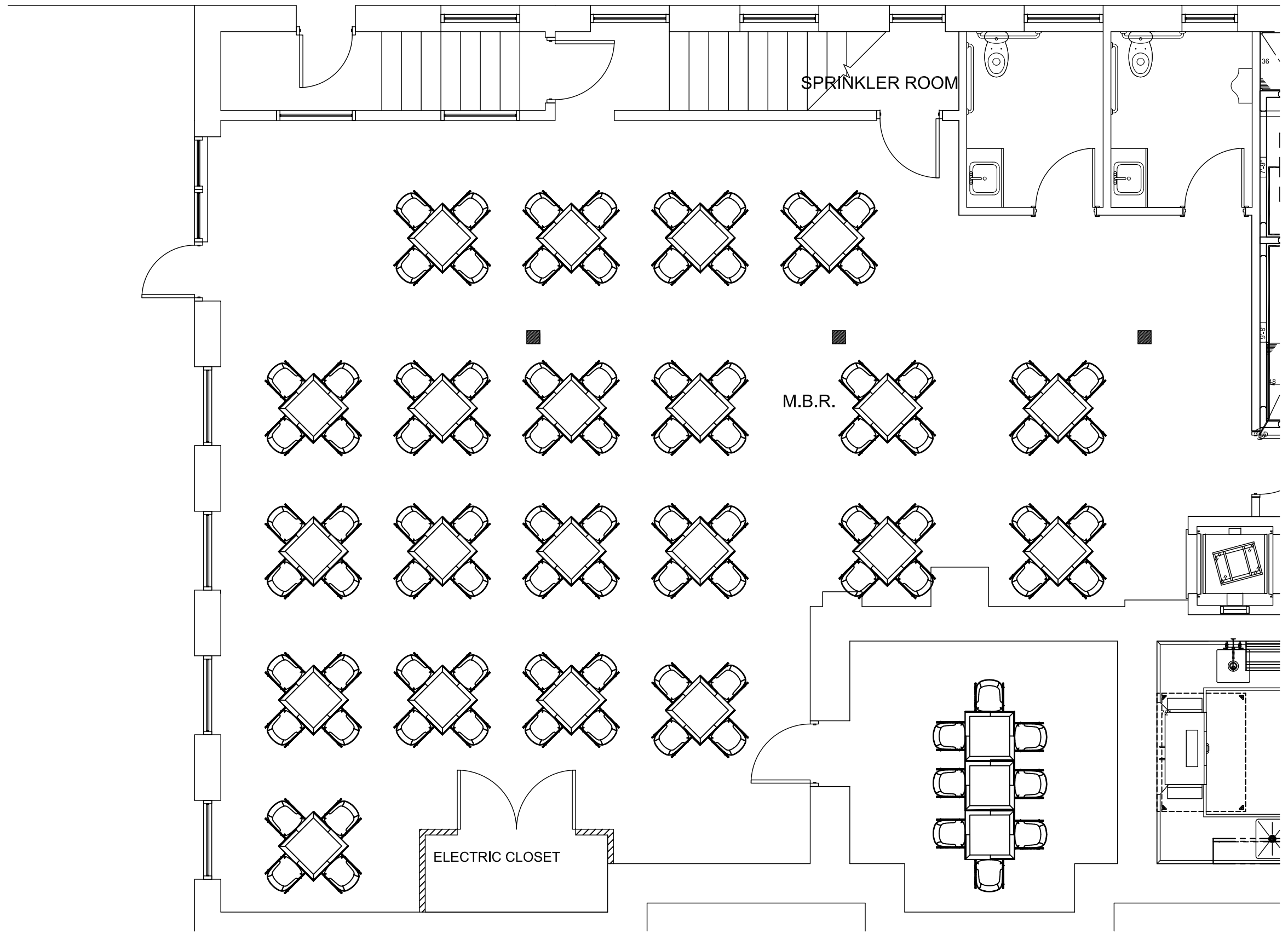
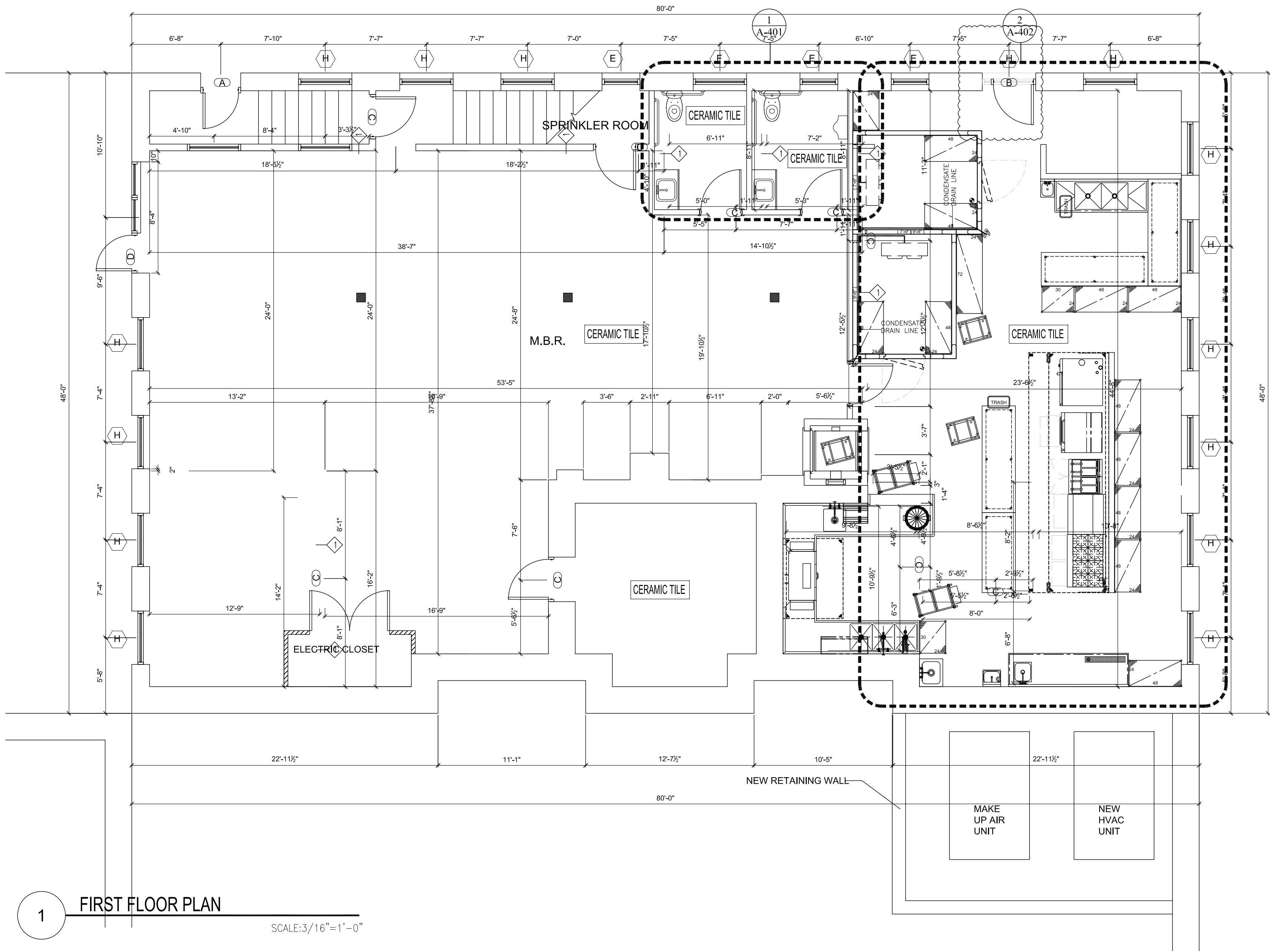
REVISIONS				
NO	DATE	DWN/CHK	REMARKS	

DO NOT SCALE DRAWINGS

DATE:	05/20/24
DRAWN / CHECKED:	NM.
SCALE:	AS NOTED
PROJECT NUMBER:	062919

DRAWING NUMBER:

FOR REVIEW



ASSOCIATE ARCHITECTS



Mija
Architecture LLC

N.J. AC. 669

241 HUDSON STREET
HACKENSACK, NJ 07601
PHONE: (201) 925 5888
F A X : (201) 488-1020
MIJAARCH@OPTONLINE.NET

ARCHITECT

NABIL N. MIJALLI, R.A.
NJ LIC. #AJO 1695500
NY LIC. # 032031
PA LIC. # RA405317
CT LIC. # 1 3827
SC LIC. # 8469

PROJECT NAME:

PONEMAH MILL LANDING
555 NORWICH AVENUE
TAFTVILLE, CT

OWNER:

555 SOUTH MILL . LLC

RELEASE STATUS OF DRAWING

DATE:

1 FOR REVIEW 09/04/2024

2 FOR REVIEW 10/24/2024

THESE PLANS ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE COPIED, RE-USED, OR ALTERED WITHOUT HIS APPROVAL.

DRAWING TITLE:

1ST FLOOR PLAN

REVISIONS

NO DATE DWN CHK REMARKS

DO NOT SCALE DRAWINGS

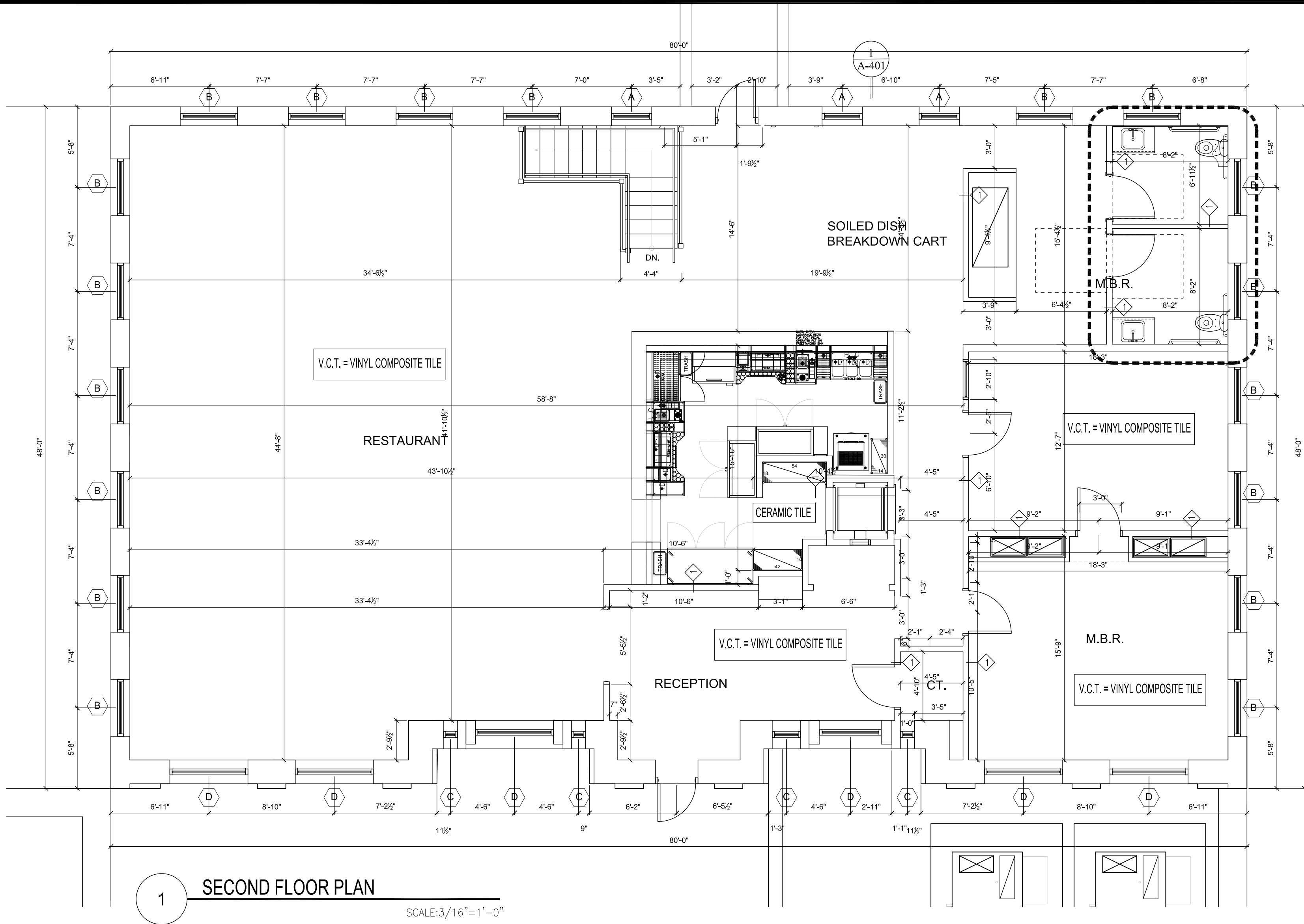
DATE: 05/20/24

DRAWN / CHECKED: NM.

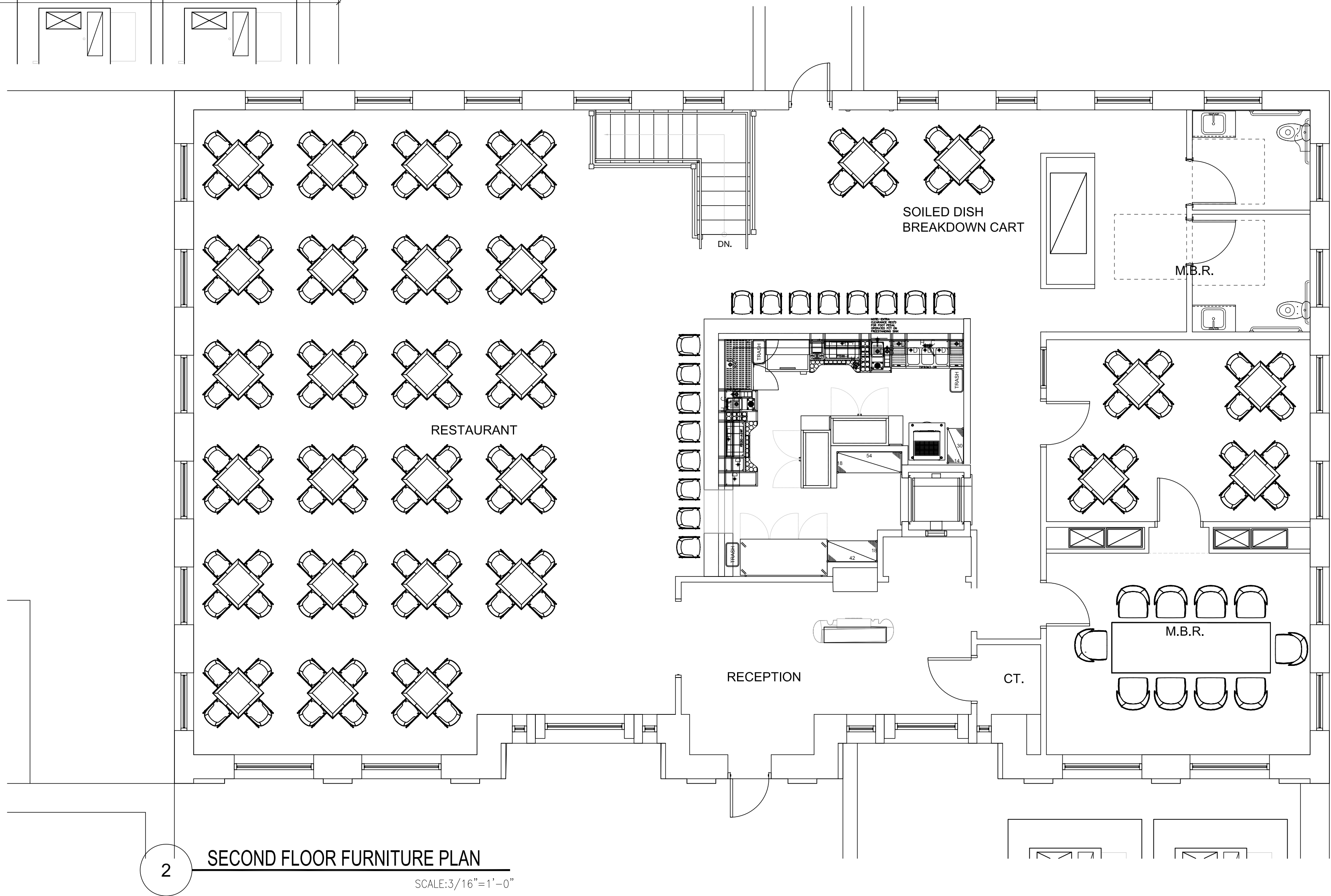
SCALE: AS NOTED

PROJECT NUMBER: 062919

DRAWING NUMBER:



1 SECOND FLOOR PLAN
SCALE: 3/16" = 1' - 0"



2 SECOND FLOOR FURNITURE PLAN
SCALE: 3/16" = 1' - 0"

ASSOCIATE ARCHITECTS



N.J. AC. 669

241 HUDSON STREET
HACKENSACK, NJ 07601
PHONE: (201) 925 5888
FAX: (201) 488-1020
MIJAARCH@OPTONLINE.NET

ARCHITECT

NABIL N. MIJALLI, R.A.
NJ LIC. #A101665500
NY LIC. # 032031
PA LIC. # RA405317
CT LIC. # 13827
SC LIC. # 8469

PROJECT NAME:

PONEMAH MILL LANDING
555 NORWICH AVENUE
TAFTVILLE, CT

OWNER:

555 SOUTH MILL, LLC

RELEASE STATUS OF DRAWING		DATE:
1	FOR REVIEW	09/04/2024
2	FOR REVIEW	10/24/2024

THESE PLANS ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE COPIED, REPRODUCED, OR ALTERED WITHOUT HIS APPROVAL.

DRAWING TITLE:

2ND FLOOR PLAN

REVISIONS			
NO	DATE	DWN/CHK	REMARKS

DO NOT SCALE DRAWINGS

DATE:	05/20/24
DRAWN / CHECKED:	NM.
SCALE:	AS NOTED
PROJECT NUMBER:	062919

DRAWING NUMBER:

A-102

FOR REVIEW



N.J. AC. 669

241 HUDSON STREET
HACKENSACK, NJ 07601
PHONE: (201) 925 5888
FAX: (201) 488-1020
MIJAARCH@OPTONLINE.NET

ARCHITECT

NABIL N. MIJALLI, R.A.
NJ LIC. #A10 1665500
NY LIC. # 032031
PA LIC. # RA405317
CT LIC. # 1 3827
SC LIC. # 8469

PROJECT NAME:

PONEMAH MILL LANDING
555 NORWICH AVENUE
TAFTVILLE, CT

OWNER:

555 SOUTH MILL, LLC

RELEASE STATUS OF DRAWING		DATE:
1	FOR REVIEW	09/04/2024
2	FOR REVIEW	10/24/2024

THESE PLANS ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE COPIED, RE-USED, OR ALTERED WITHOUT HIS APPROVAL.

DRAWING TITLE:

WEST ELEVATION

REVISIONS				
NO	DATE	DWN	CHK	REMARKS

DO NOT SCALE DRAWINGS

DATE:	05/20/24
DRAWN / CHECKED:	NM.
SCALE:	AS NOTED
PROJECT NUMBER:	062919

DRAWING NUMBER:

A-200

FOR REVIEW



1 PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"



N.J. AC. 669

241 HUDSON STREET
HACKENSACK, NJ 07601
PHONE: (201) 925 5888
FAX: (201) 488-1020
MIJAARCH@OPTONLINE.NET

ARCHITECT

NABIL N. MIJALLI, R.A.
NJ LIC. #AJO 1665500
NY LIC. # 032031
PA LIC. # RA405317
CT LIC. # 1 3827
SC LIC. # 8469

PROJECT NAME:

PONEMAH MILL LANDING
555 NORWICH AVENUE
TAFTVILLE, CT

OWNER:

555 SOUTH MILL, LLC

RELEASE STATUS OF DRAWING

1	FOR REVIEW	09/04/2024
2	FOR REVIEW	10/24/2024

THESE PLANS ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE COPIED, RE-USED, OR ALTERED WITHOUT HIS APPROVAL.

DRAWING TITLE:

EAST ELEVATION

REVISIONS

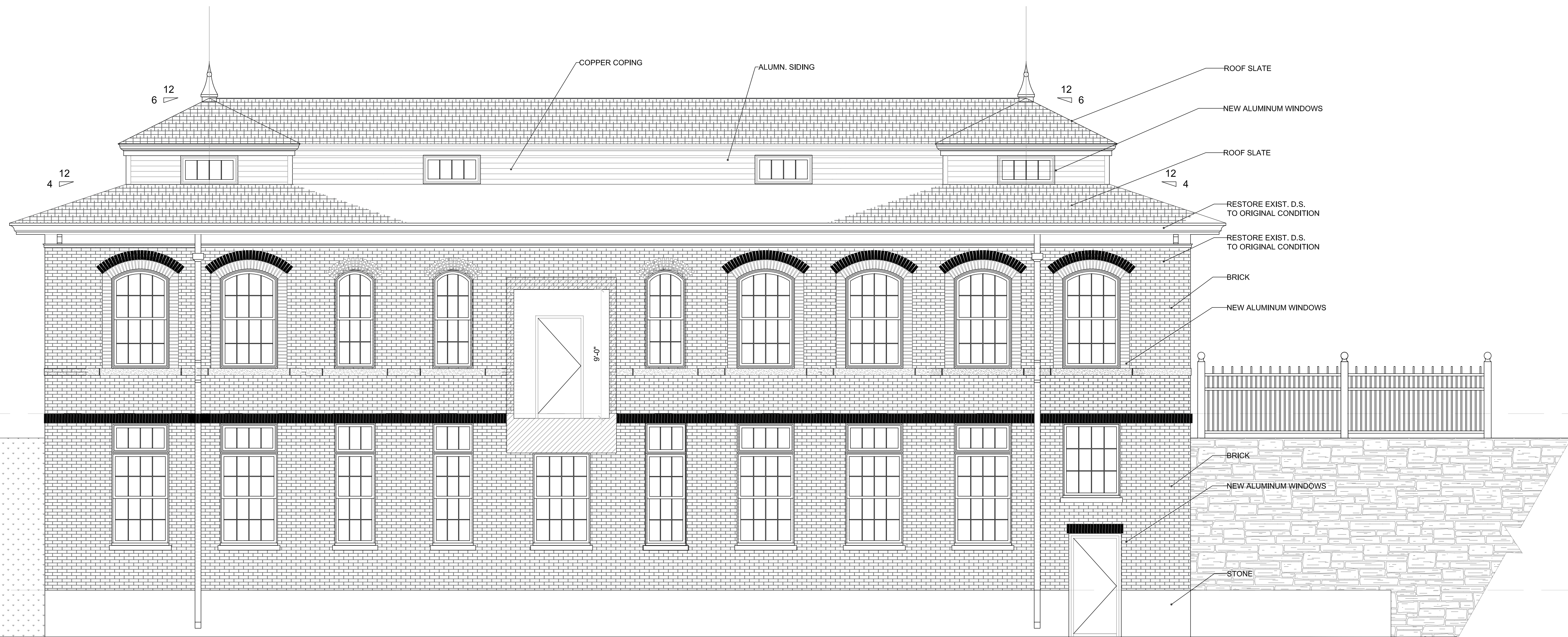
NO	DATE	DWN	CHK	REMARKS

DO NOT SCALE DRAWINGS

DATE:	05/20/24
DRAWN / CHECKED:	NM.
SCALE:	AS NOTED
PROJECT NUMBER:	062919

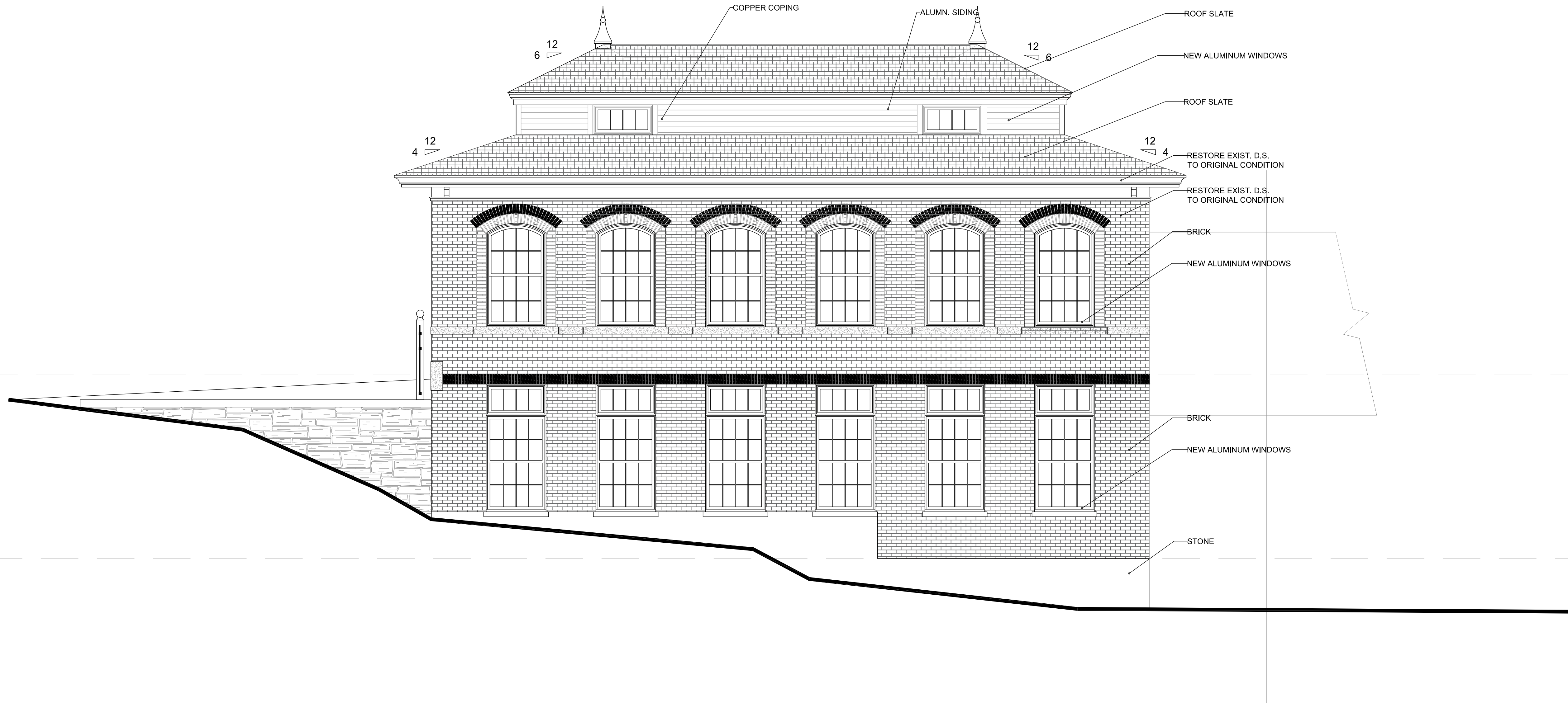
DRAWING NUMBER:

A-201



1 PROPOSED EAST ELEVATION
SCALE: 1/4"=1'-0"

FOR REVIEW



1 **PROPOSED SOUTH ELEVATION**
SCALE: 1/4" = 1'-0"

6

ASSOCIATE ARCHITECTS



N.J. AC. 669

241 HUDSON STREET
HACKENSACK, NJ 07601
PHONE: (201) 925 5888
FAX: (201) 488-1020
MIJAARCH@OPTONLINE.NET

ARCHITECT

NABIL N. MIJALLI, R.A.
NJ LIC. #AJO 1065500
NY LIC. # 032031
PA LIC. # RA405317
CT LIC. # 1 3827
SC LIC. # 8469

PROJECT NAME:

PONEMAH MILL LANDING
555 NORWICH AVENUE
TAFTVILLE, CT

OWNER:

555 SOUTH MILL, LLC

RELEASE STATUS OF DRAWING		DATE:
1	FOR REVIEW	09/04/2024
2	FOR REVIEW	10/24/2024

THESE PLANS ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE COPIED, RE-USED, OR ALTERED WITHOUT HIS APPROVAL.

DRAWING TITLE:

SOUTH ELEVATION

REVISIONS				
NO	DATE	DWN	CHK	REMARKS

DO NOT SCALE DRAWINGS

DATE:	05/20/24
DRAWN / CHECKED:	NM.
SCALE:	AS NOTED
PROJECT NUMBER:	062919

DRAWING NUMBER:

A-202

FOR REVIEW



1 PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"

ASSOCIATE ARCHITECTS



N.J. AC. 669

241 HUDSON STREET
HACKENSACK, NJ 07601
PHONE: (201) 925 5888
FAX: (201) 488-1020
MIJAARCH@OPTONLINE.NET

ARCHITECT

NABIL N. MIJALLI, R.A.
NJ LIC. #AJO 1665500
NY LIC. # 032031
PA LIC. # RA405317
CT LIC. # 1 3827
SC LIC. # 8469

PROJECT NAME:

PONEMAH MILL LANDING
555 NORWICH AVENUE
TAFTVILLE, CT

OWNER:

555 SOUTH MILL, LLC

RELEASE STATUS OF DRAWING		DATE:
1	FOR REVIEW	09/04/2024
2	FOR REVIEW	10/24/2024

THESE PLANS ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE COPIED, RE-USED, OR ALTERED WITHOUT HIS APPROVAL.

DRAWING TITLE:

NORTH ELEVATION

REVISIONS				
NO	DATE	DWN	CHK	REMARKS

DO NOT SCALE DRAWINGS

DATE:	05/20/24
DRAWN / CHECKED:	NM.
SCALE:	AS NOTED
PROJECT NUMBER:	062919

DRAWING NUMBER:

A-203

FOR REVIEW



N.J. AC. 669

241 HUDSON STREET
HACKENSACK, NJ 07601
PHONE: (201) 925 5888
FAX: (201) 488-1020
MIJAARCH@OPTONLINE.NET

ARCHITECT

ABIL N. MIJALLI, R.A.
NJ LIC. #AIO 1665500
NY LIC. # 032031
PA LIC. # RA405317
CT LIC. # 1 3827
SC LIC. # 8469

PROJECT NAME:

PONEMAH MILL LANDING
555 NORWICH AVENUE
TAFTVILLE, CT

OWNER:

55 SOUTH MILL . LLC

RELEASE STATUS OF DRAWING		DATE:
1	FOR REVIEW	09/04/2024
2	FOR REVIEW	10/24/2024

THESE PLANS ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE COPIED, RE-USED, OR ALTERED WITHOUT HIS APPROVAL.

DRAWING TITLE:

BUILDING SECTION

[illegible]

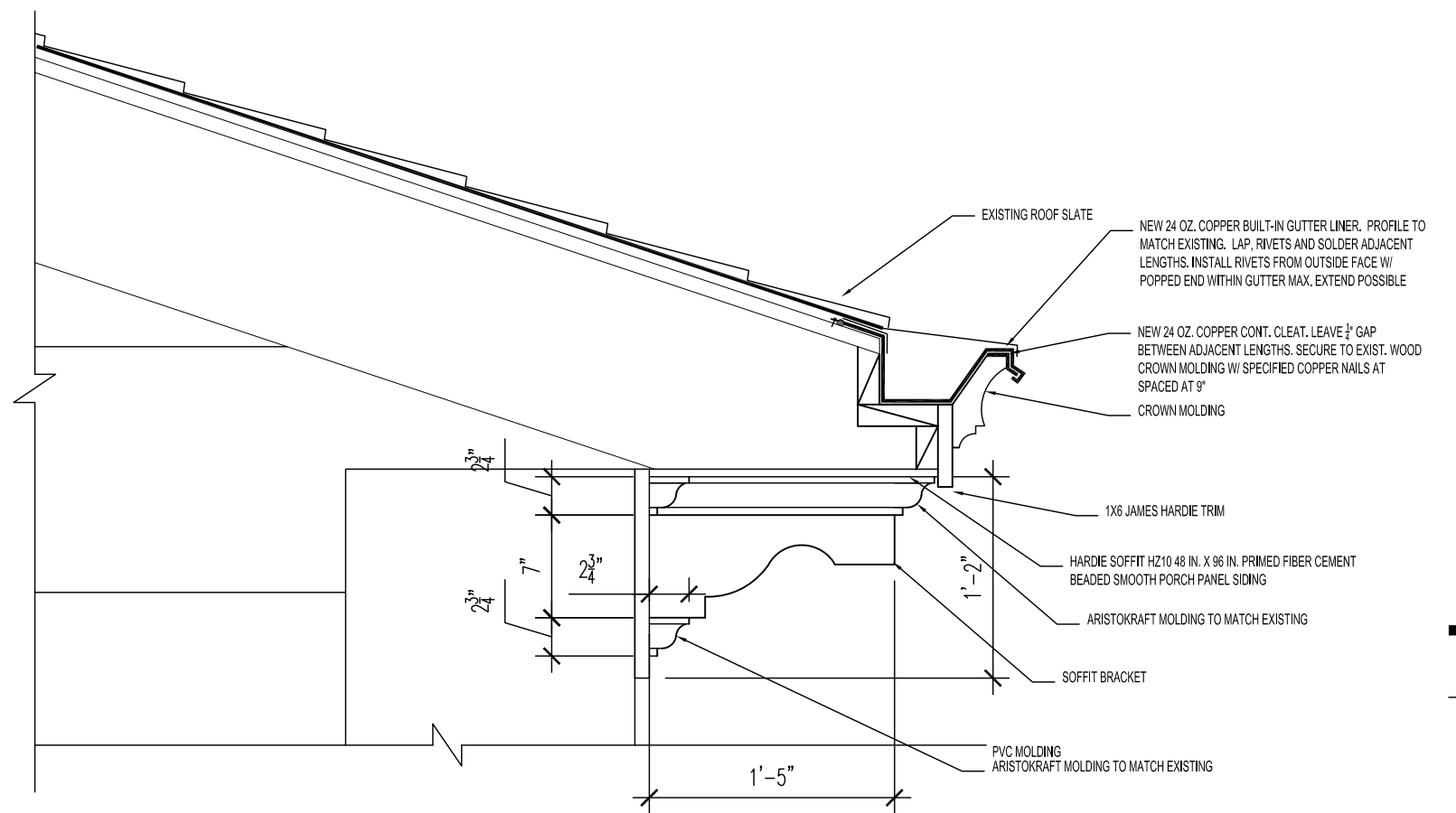
DO NOT SCALE DRAWINGS

DATE:	05/20/24
-------	----------

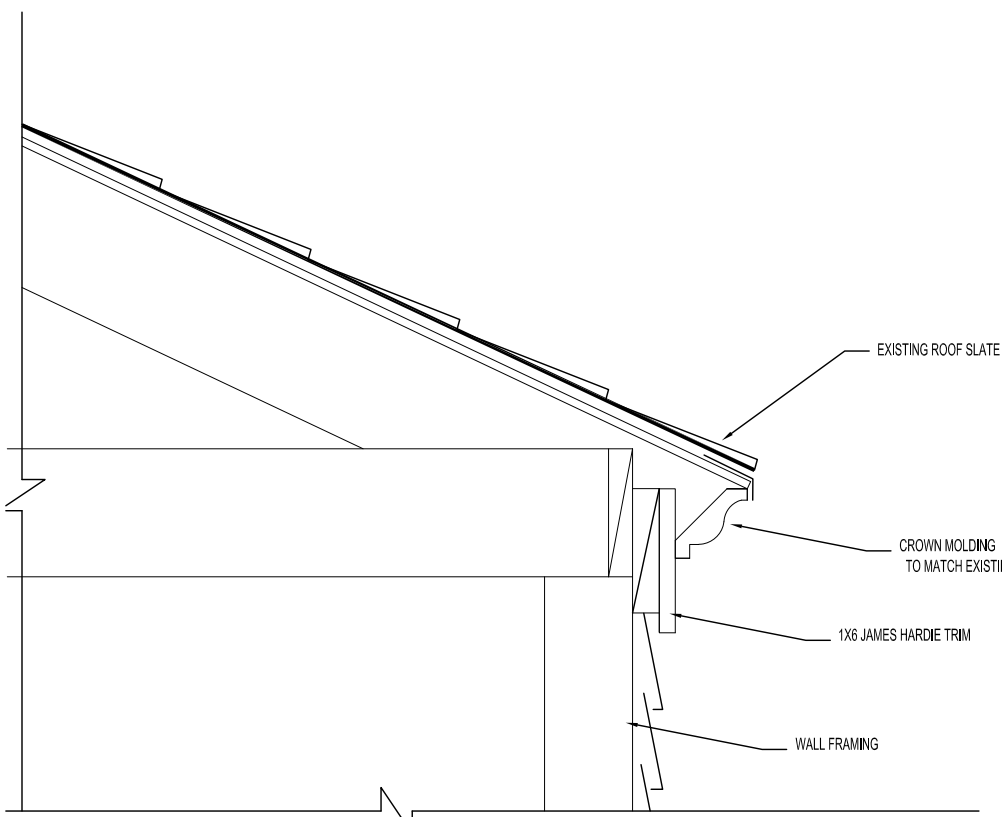
DRAWN / CHECKED: NM.

SCALE:	AS NOTED
--------	----------

DRAWING NUMBER:



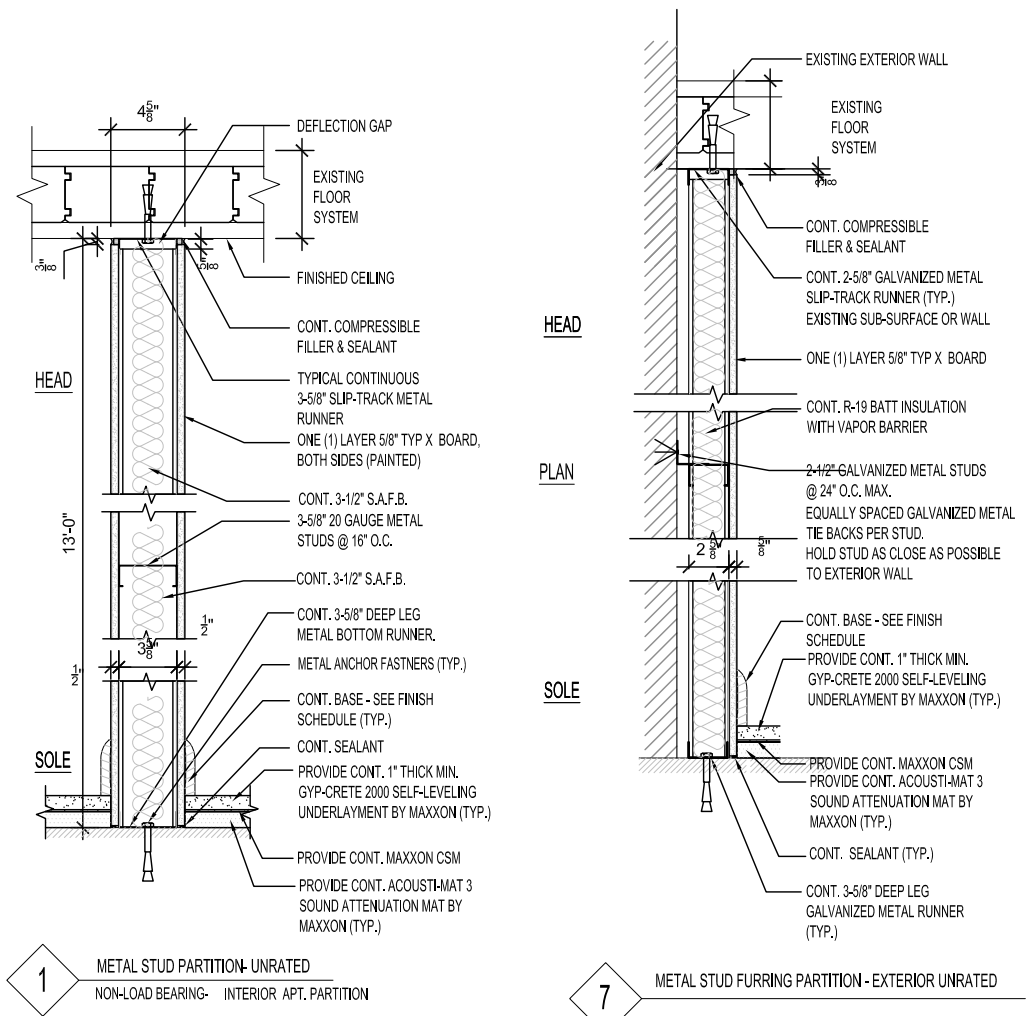
DETAIL 'A'



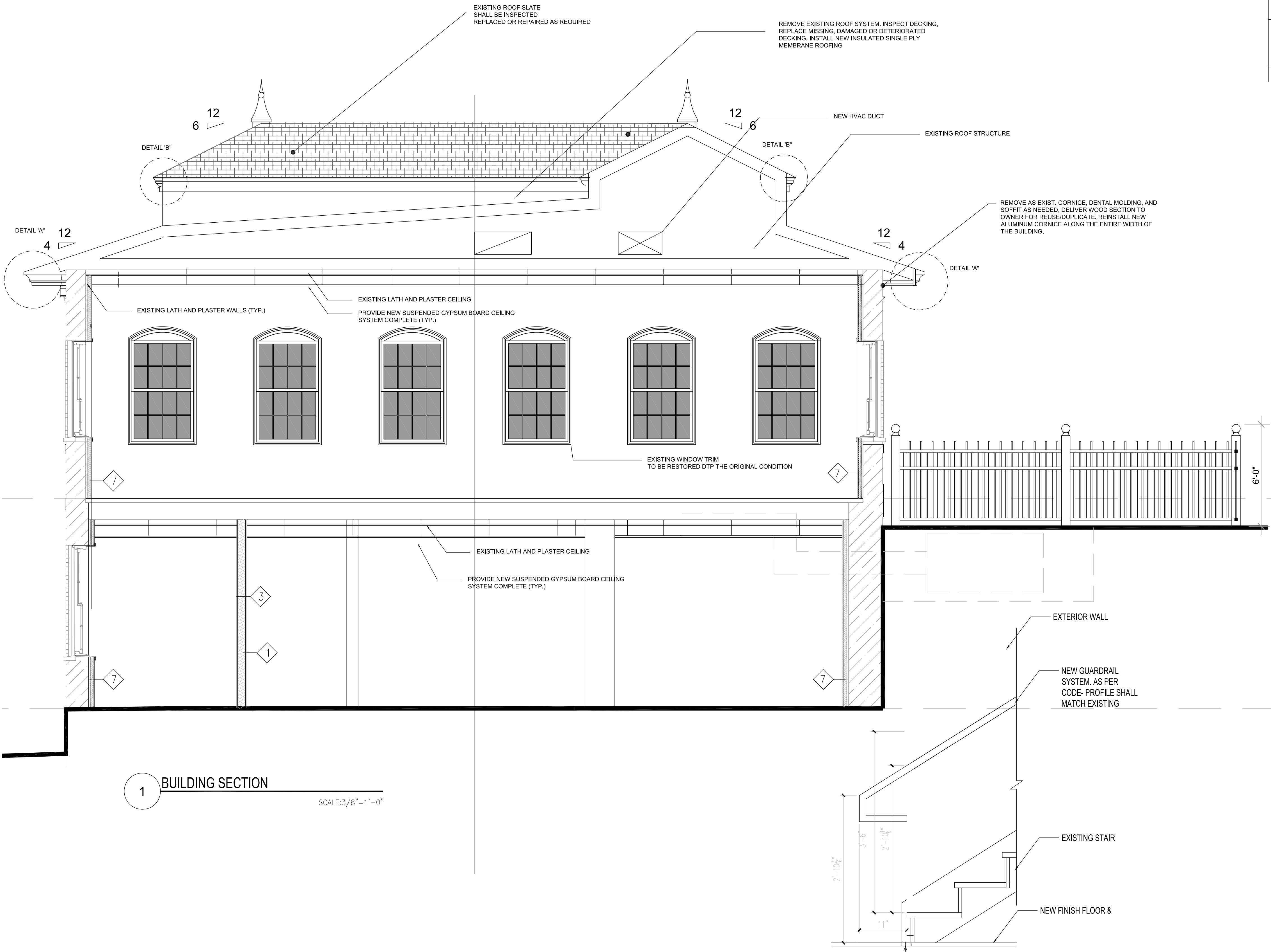
DETAIL 'B"

2 CORNICE DETAIL

SCALE: 1"=1'-0"



FOR REVIEW



2 STAIR DETAIL

SCALE: 1"=1'-0"

241 HUDSON STREET
HACKENSACK, NJ 07601
PHONE: (201) 925 5888
F A X : (201) 488-1020
MIJAARCH@OPTONLINE.NET

NABIL N. MIJALLI, R.A.
NJ LIC. #AIO 1665500
NY LIC. # 032031
PA LIC. # RA405317
CT LIC. # 1 3827
SC LIC. # 8469

SOUTH MILL
FORMER PONEMAH MILLS
NORWICH AVENUE
TAFTVILLE CT

555 SOUTH MILL . LLC

[illegible]

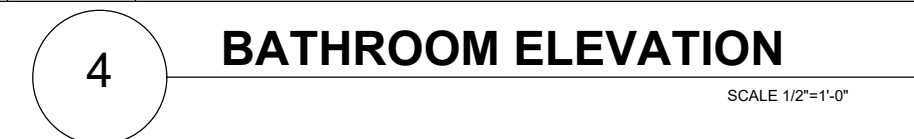
THESE PLANS ARE THE PROPERTY OF THE ARCHITECT AND M

BATHROOM ELEVATION AND DEATILS

[illegible]

DATE:	05/20/24
DRAWN / CHECKED:	NM.
SCALE:	AS NOTED
PROJECT NUMBER:	062919

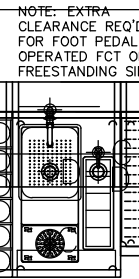
A-401



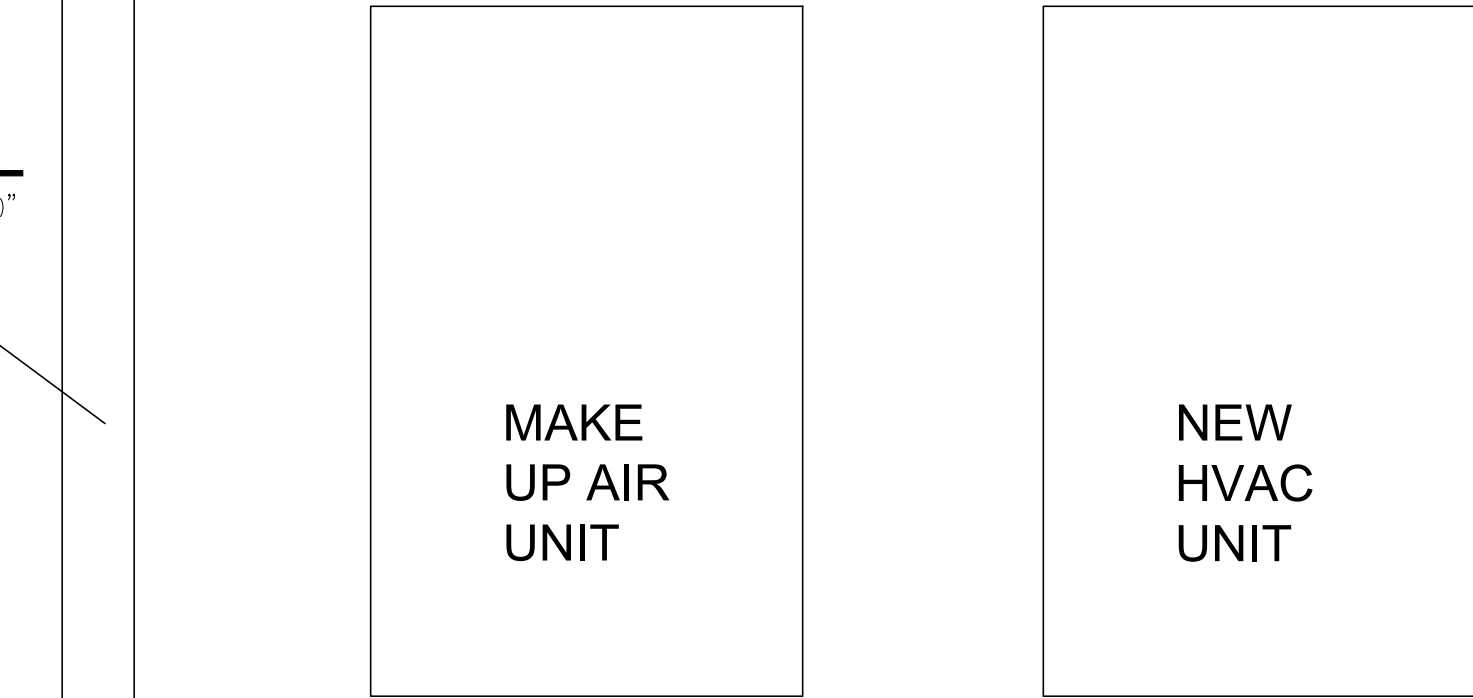
FOR REVIEW

FOR REVIEW

EQUIPMENTS SCHEDULE



1



2

NEW RETAINING WALL

The logo for Mija Architecture LLC features a stylized graphic above the company name. The graphic consists of a large, bold letter 'M' with a small house icon integrated into its upper right vertical stroke. The 'M' is enclosed within a circular frame that has a horizontal line across its middle. Below the graphic, the word 'Mija' is written in a large, elegant, serif font. Underneath 'Mija', the words 'Architecture LLC' are written in a smaller, sans-serif font.

241 HUDSON STREET
HACKENSACK, NJ 07601
PHONE: (201) 925 5888
F A X : (201) 488-1020
MIJAARCH@OPTONLINE.NET

NABIL N. MIJALLI, R.A.
NJ LIC. #AIO 1665500
NY LIC. # 032031
PA LIC. # RA405317
CT LIC. # 1 3827
SC LIC. # 8469

PONEMAH MILL LANDING
FORMER PONEMAH MILLS
NORWICH AVENUE

555 SOUTH MILL . LLC

RELEASE STATUS OF DRAWING

THESE PLANS ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE COPIED, RE-USED, OR ALTERED WITHOUT HIS APPROVAL

1ST FLOOR PLAN

REVISIONS

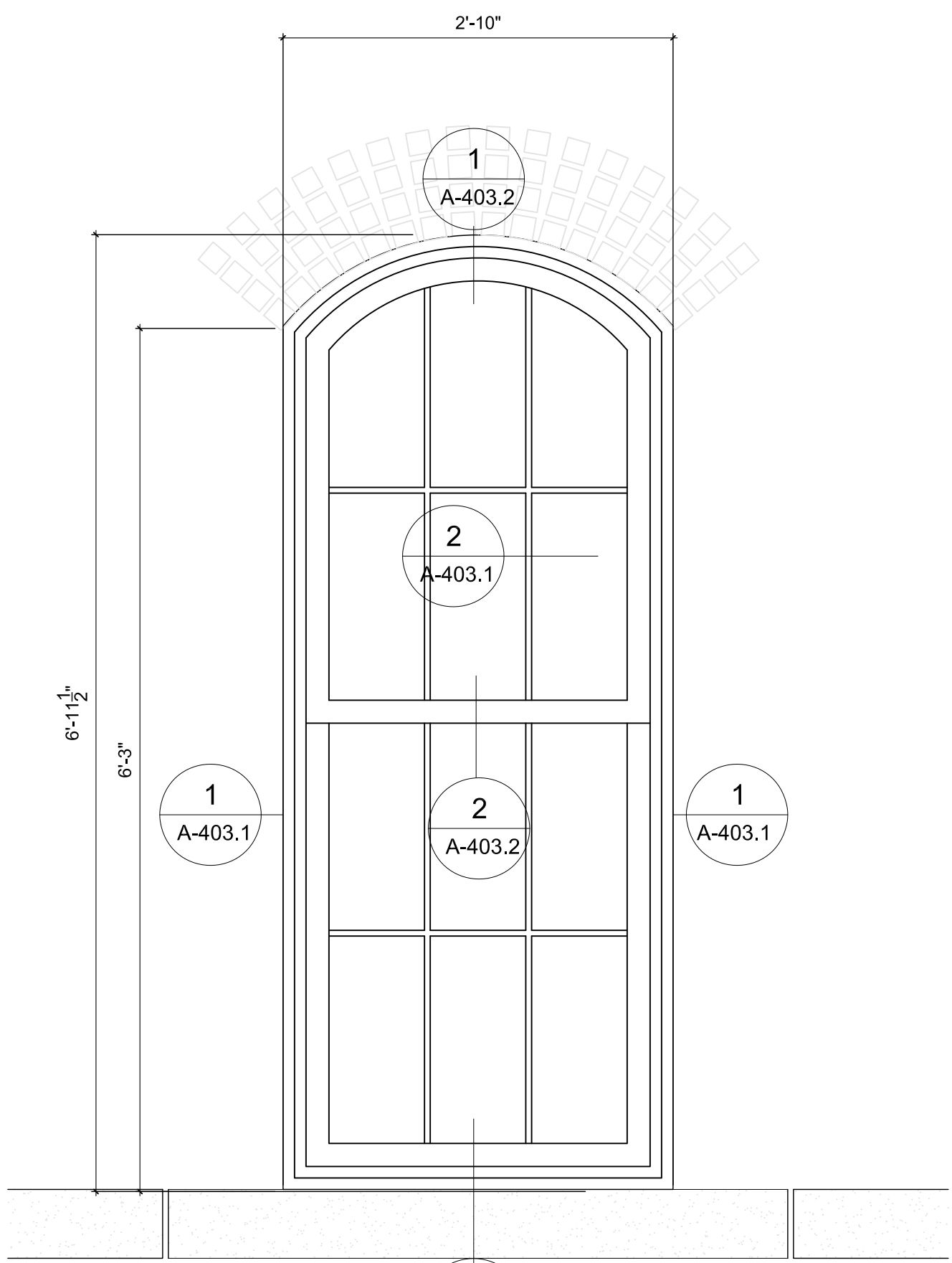
DO NOT SCALE DRAWINGS

DATE:

DRAWING NUMBER:

A-402

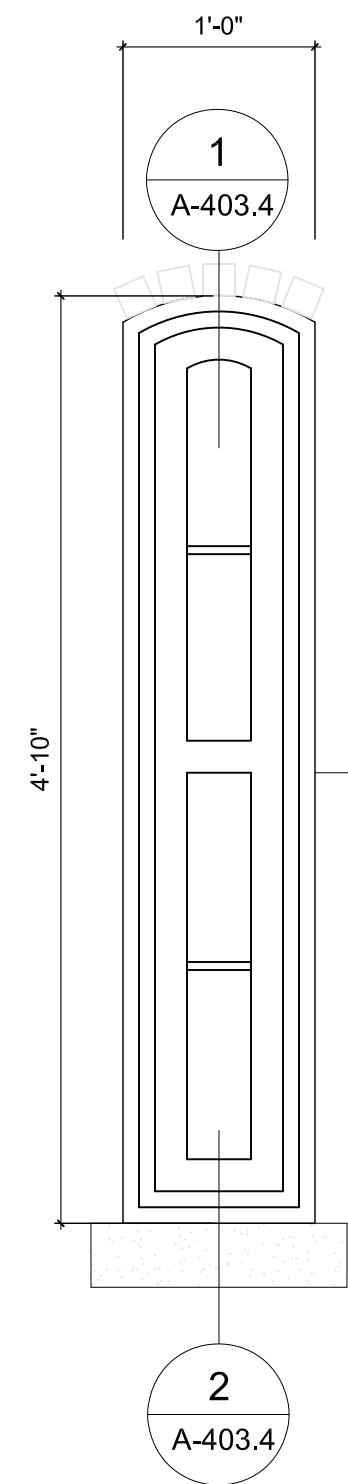
~~FOR REVIEW~~



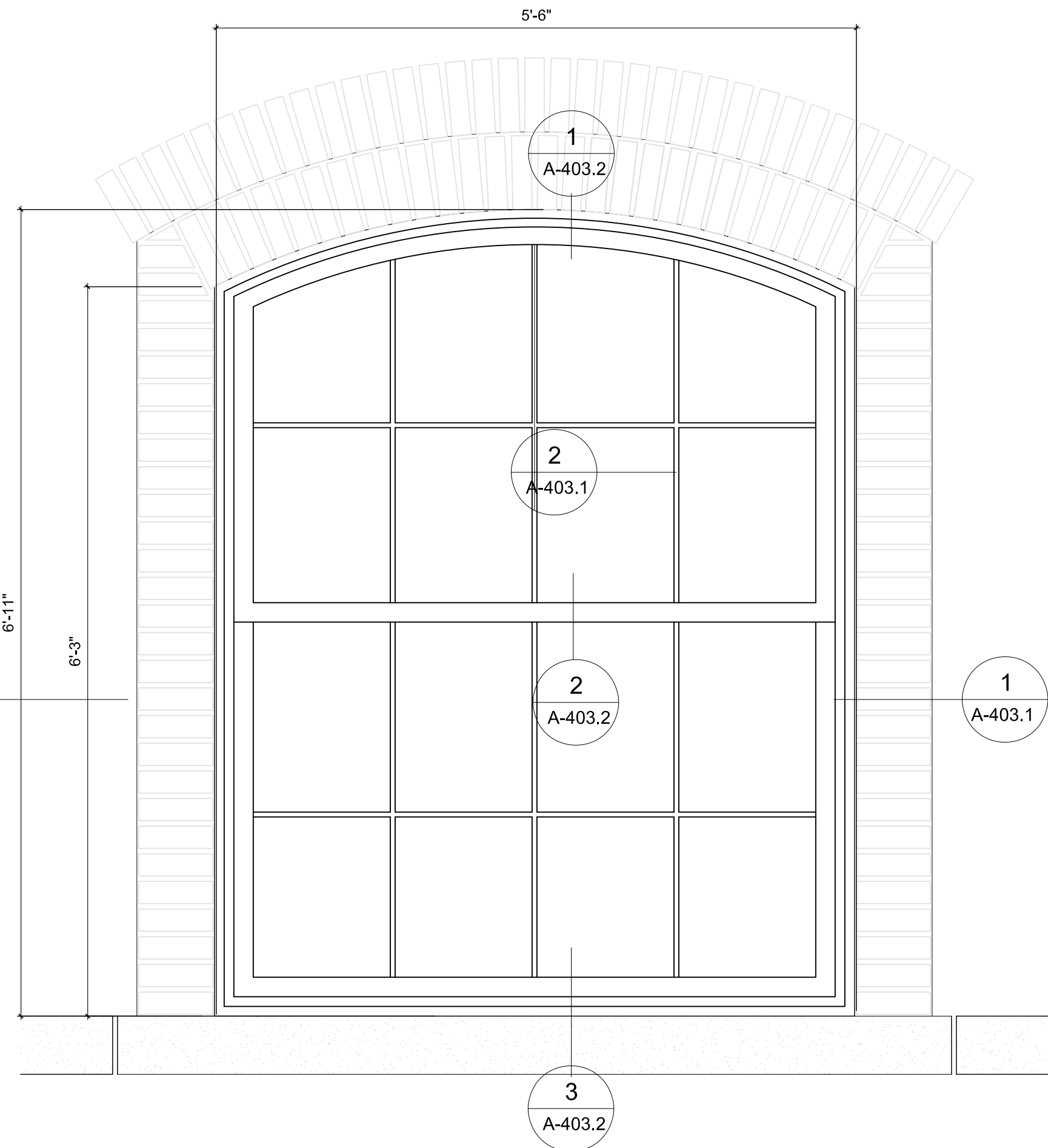
EXISTING HISTORIC WINDOW - TYPE 'A' - ELEVATION
SCALE: 1"=1'-0"



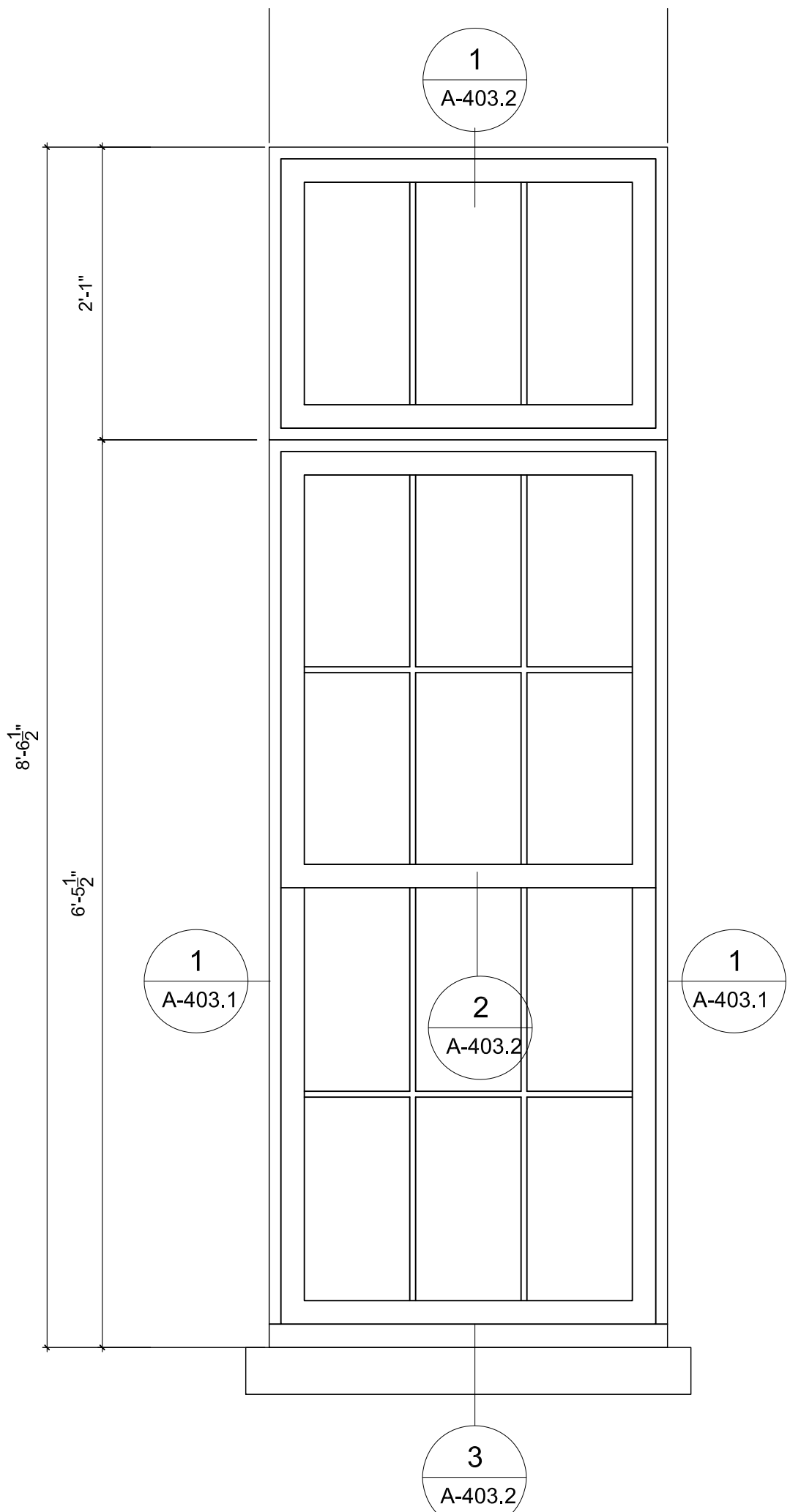
EXISTING HISTORIC WINDOW - TYPE 'B' - ELEVATION
SCALE: 1"=1'-0"



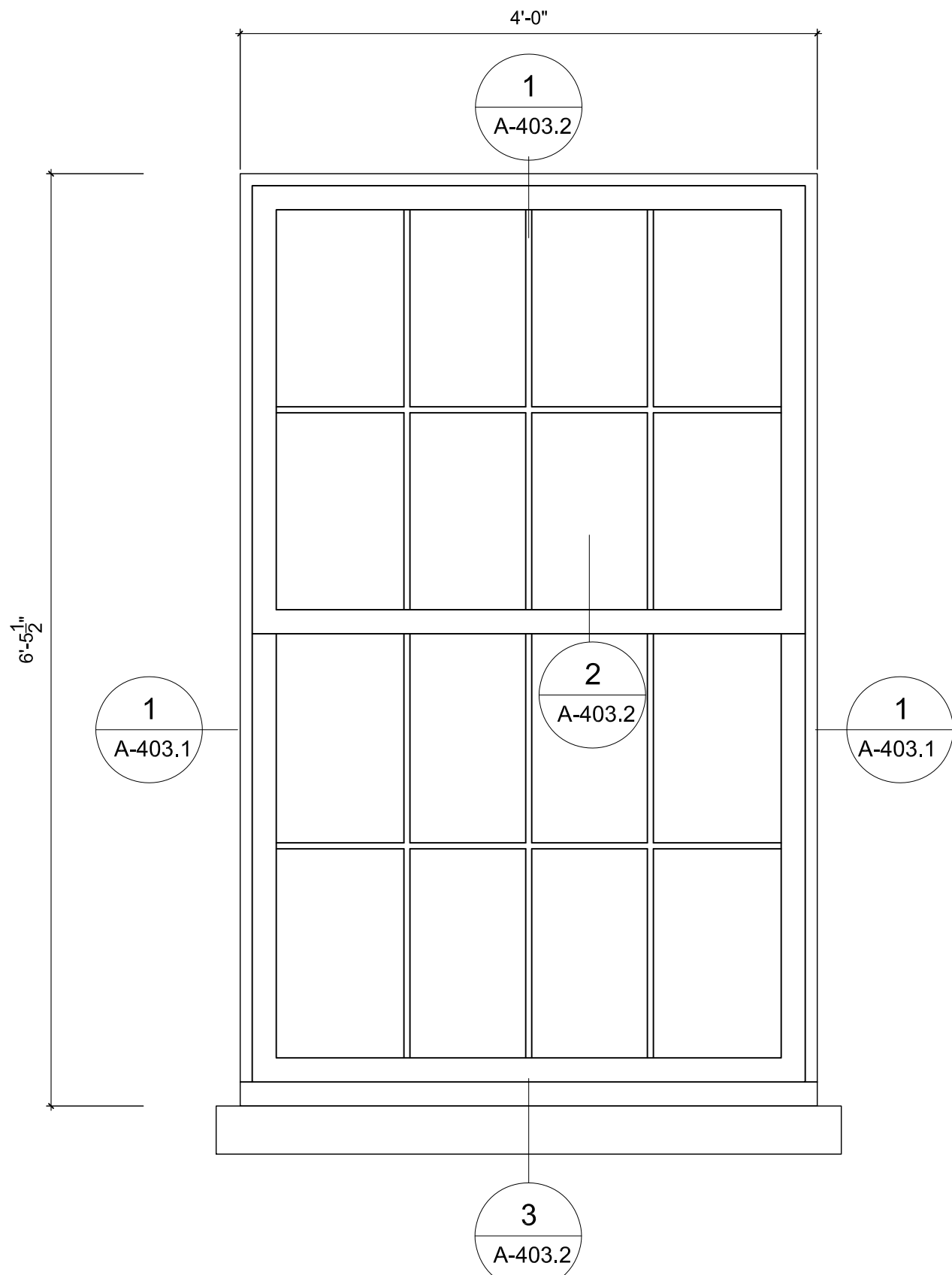
EXISTING HISTORIC WINDOW - TYPE 'C' - ELEVATION
SCALE: 1"=1'-0"



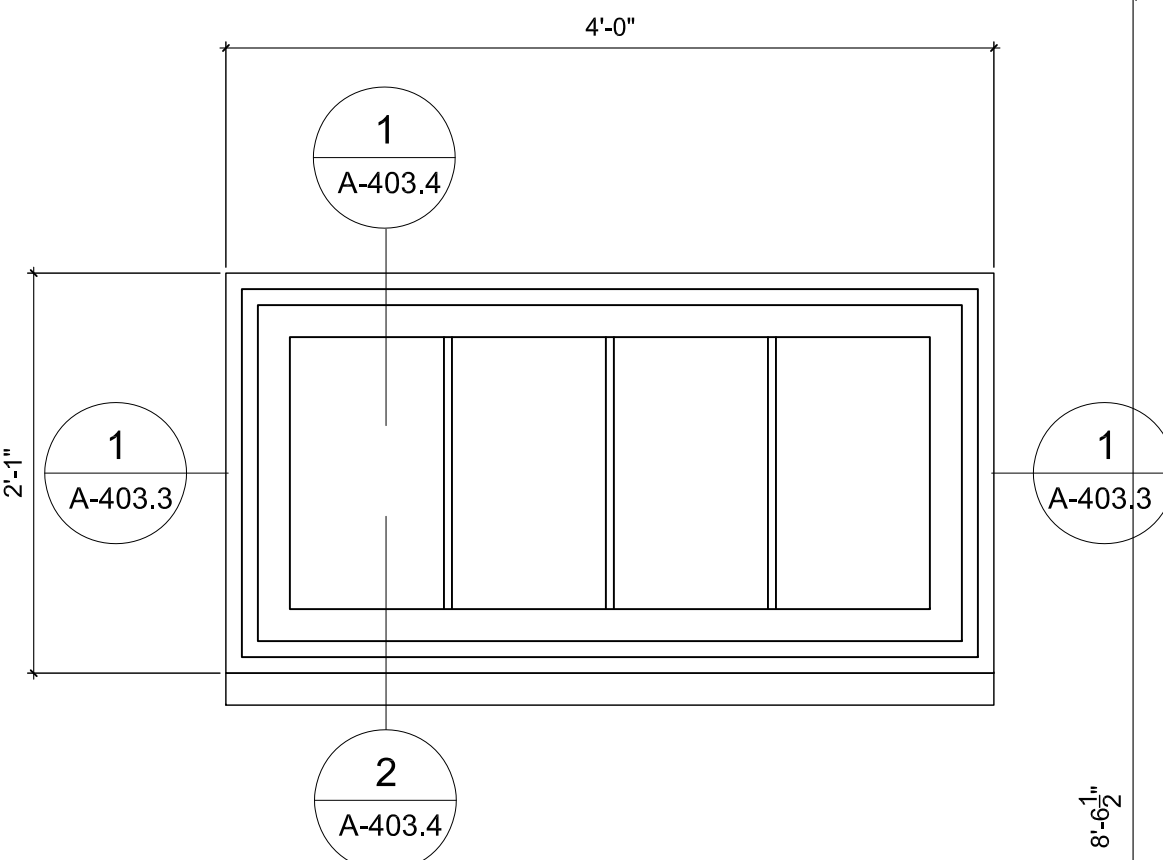
EXISTING HISTORIC WINDOW - TYPE 'D' - ELEVATION
SCALE: 1"=1'-0"



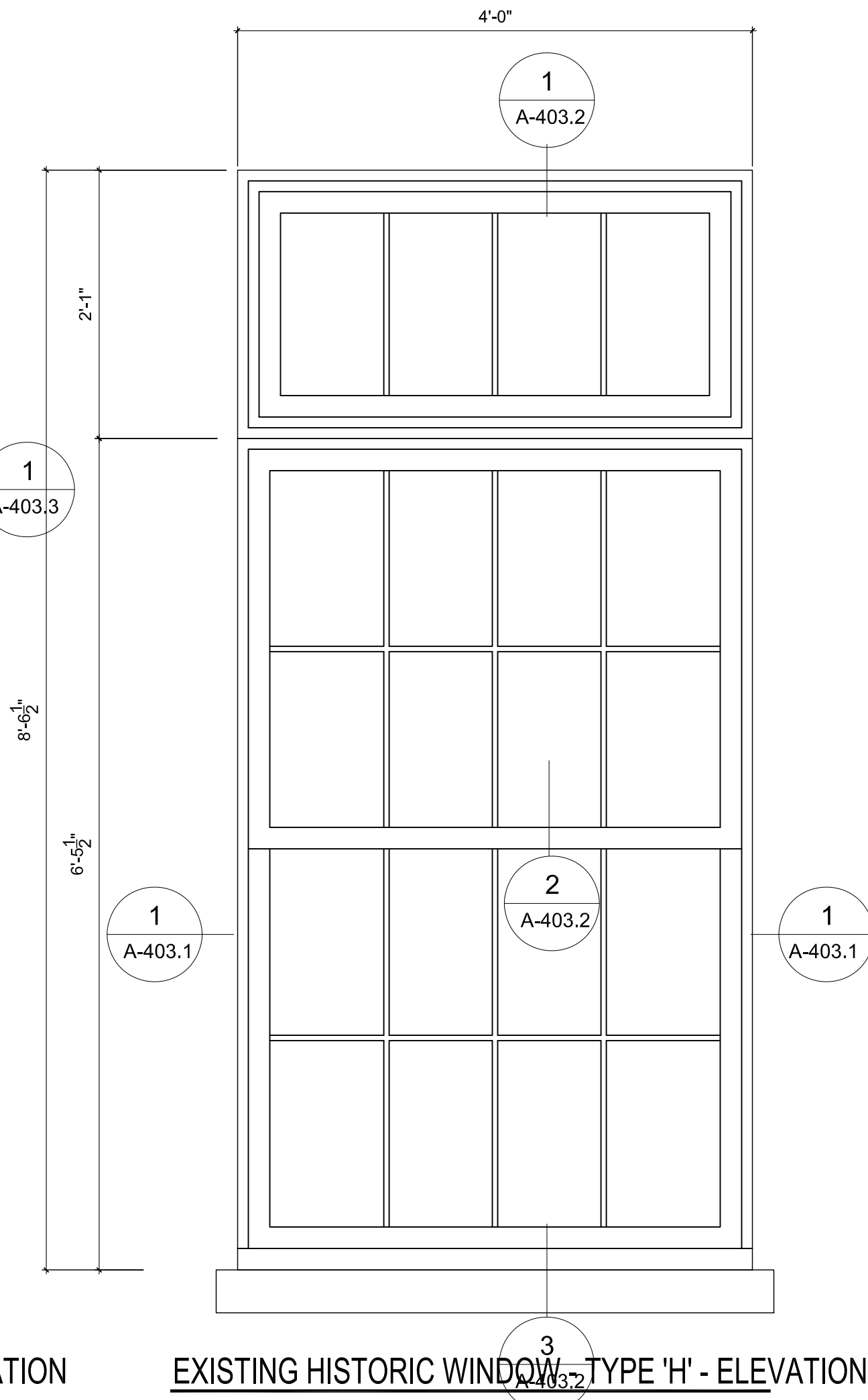
EXISTING HISTORIC WINDOW - TYPE 'E' - ELEVATION
SCALE: 1"=1'-0"



EXISTING HISTORIC WINDOW - TYPE 'F' - ELEVATION
SCALE: 1"=1'-0"



EXISTING HISTORIC WINDOW - TYPE 'G' - ELEVATION
SCALE: 1"=1'-0"



EXISTING HISTORIC WINDOW - TYPE 'H' - ELEVATION
SCALE: 1"=1'-0"

ASSOCIATE ARCHITECTS



N.J. AC. 669

241 HUDSON STREET
HACKENSACK, NJ 07601
PHONE: (201) 925 5888
FAX: (201) 488-1020
MJAARCH@OPTONLINE.NET

ARCHITECT

NABIL N. MIJALLI, R.A.
NJ LIC. #A10 1065500
NY LIC. # 032031
PA LIC. # RA405317
CT LIC. # 1 3827
SC LIC. # 8469

PROJECT NAME:

PONEMAH MILL LANDING
555 NORWICH AVENUE
TAFTVILLE, CT

OWNER:

555 SOUTH MILL, LLC

RELEASE STATUS OF DRAWING

1	FOR REVIEW	09/04/2024
2	FOR REVIEW	10/24/2024

THESE PLANS ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE COPIED, REPRODUCED, OR ALTERED WITHOUT HIS APPROVAL.

DRAWING TITLE:

WINDOWS DETAILS

REVISIONS

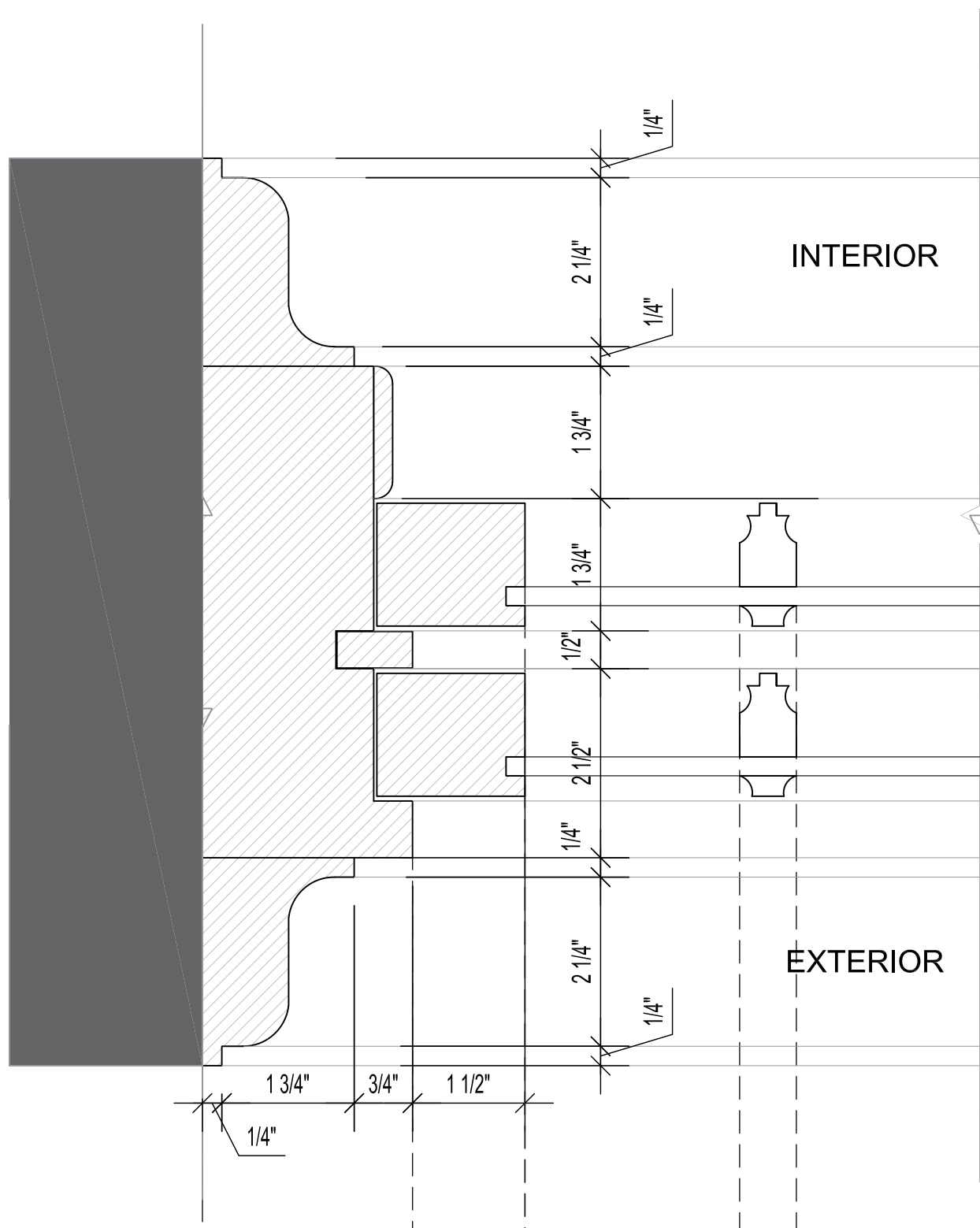
NO	DATE	DWN	CHK	REMARKS

DO NOT SCALE DRAWINGS

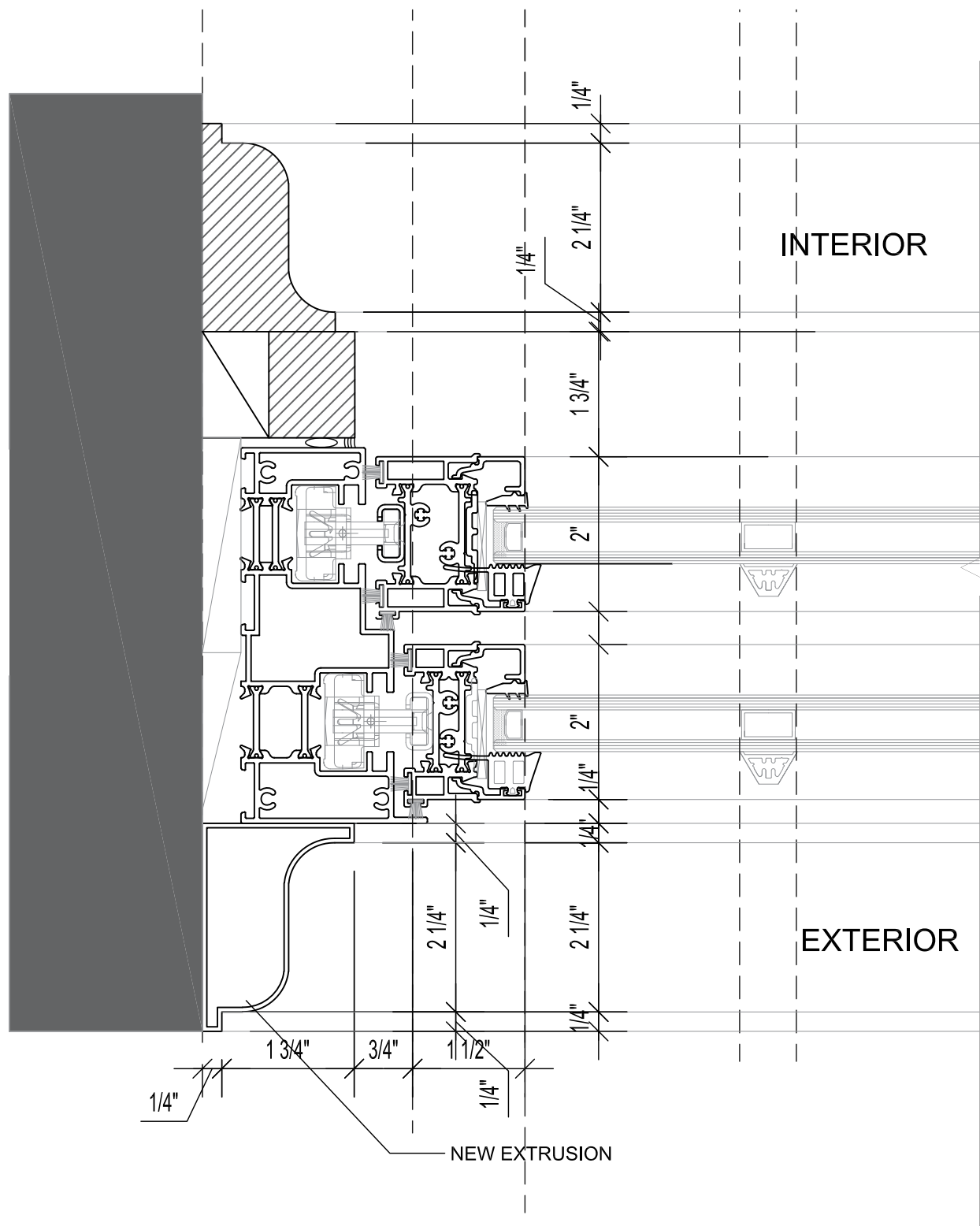
DATE:	05/20/24
DRAWN / CHECKED:	NM.
SCALE:	AS NOTED
PROJECT NUMBER:	062919

DRAWING NUMBER:

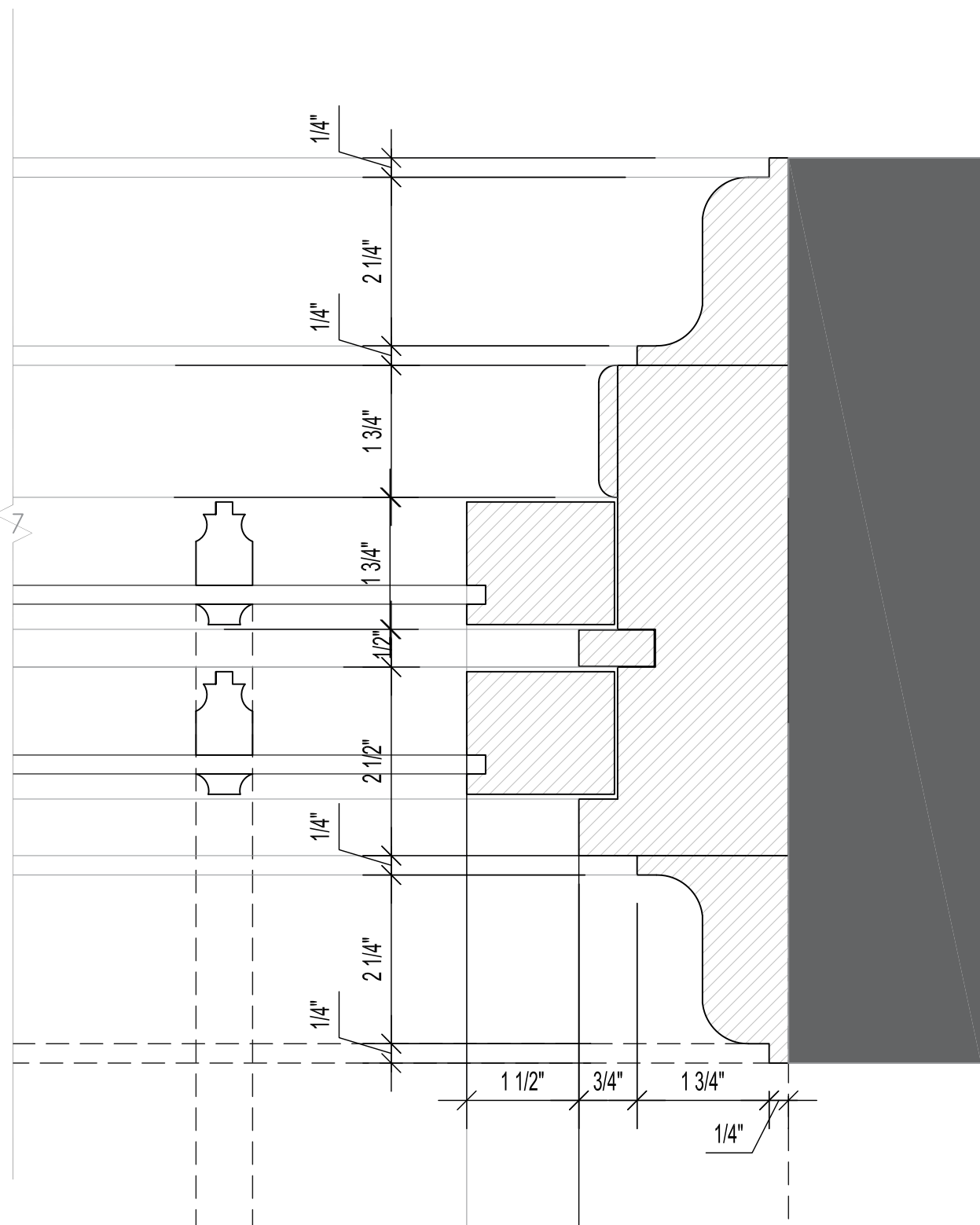
A-403



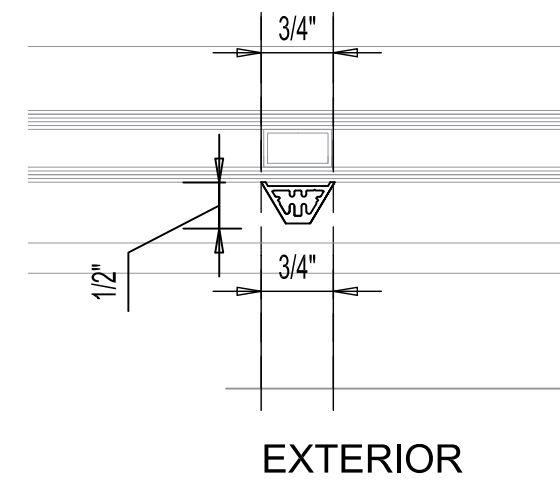
1 HISTORIC WINDOW - EXISTING WINDOW JAMB
SCALE: 6" = 1'-0"



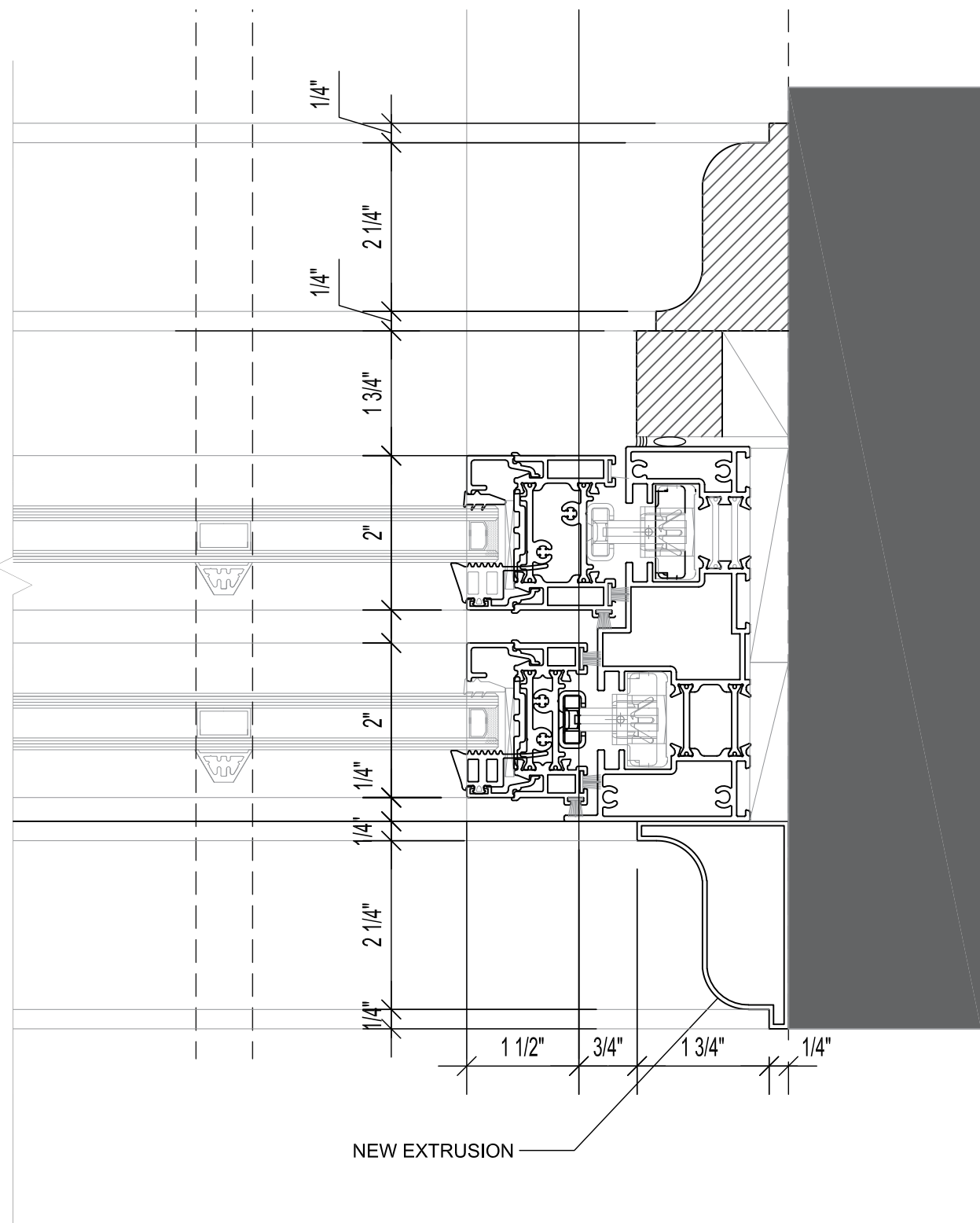
1 HISTORIC WINDOW - PROPOSED WINDOW JAMB
SCALE: 6" = 1'-0"



2 HISTORIC WINDOW - EXISTING MULLION DETAIL
SCALE: 6" = 1'-0"



2 HISTORIC WINDOW - PROPOSED MULLION DETAIL
SCALE: 6" = 1'-0"



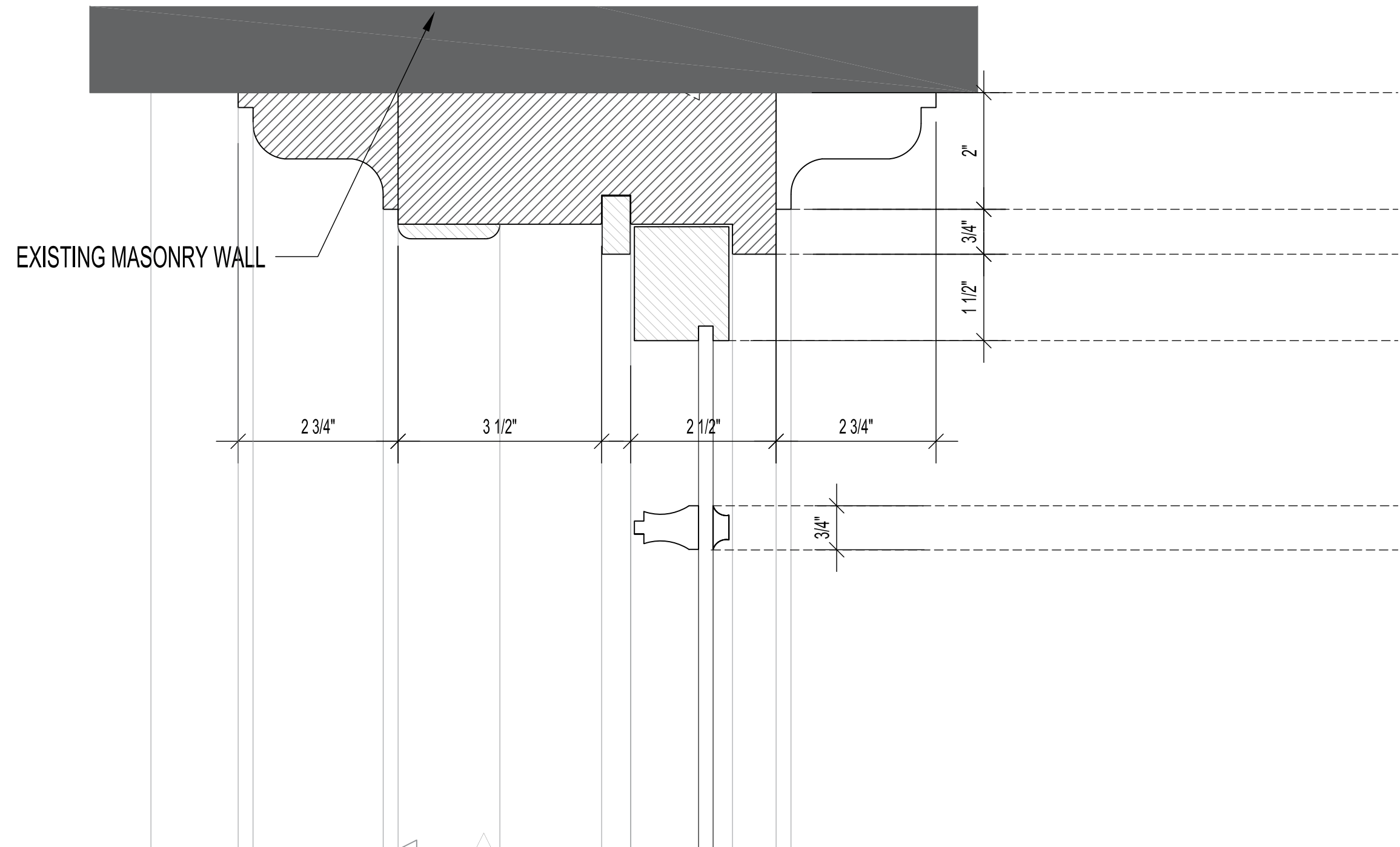
RELEASE STATUS OF DRAWING	DATE:
1 FOR REVIEW	09/04/2024
2 FOR REVIEW	10/24/2024

THESE PLANS ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE COPIED, REPRODUCED, OR ALTERED WITHOUT HIS APPROVAL.

REVISIONS			
NO	DATE	DWN/CHK	REMARKS

DATE:	05/20/24
DRAWN / CHECKED:	NM.
SCALE:	AS NOTED
PROJECT NUMBER:	062919

FOR REVIEW

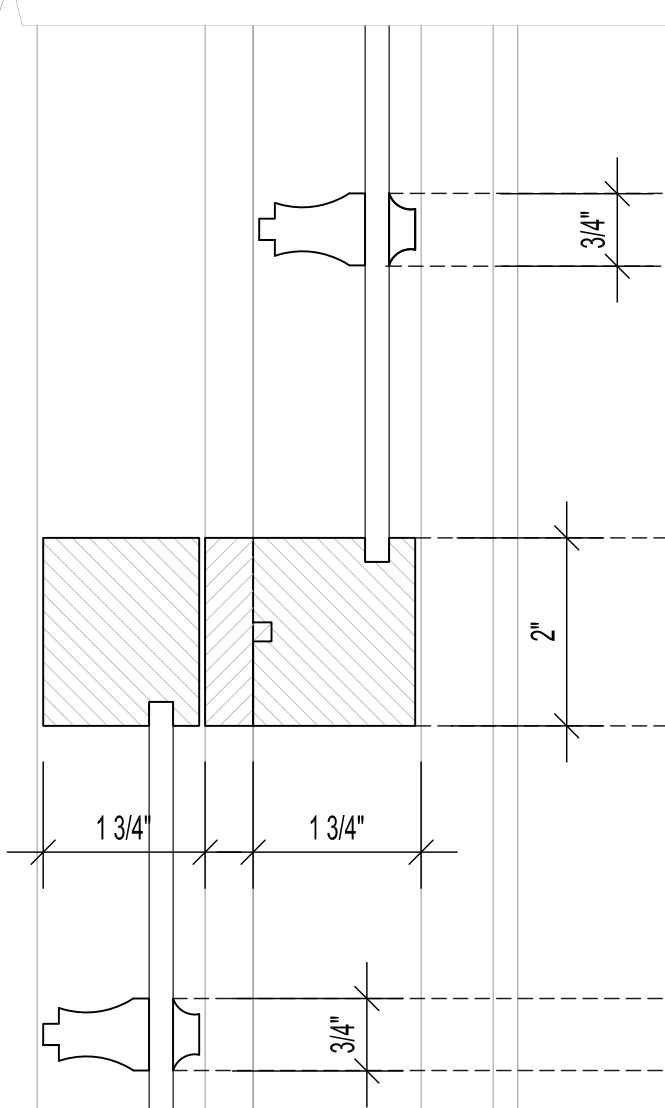


1 HISTORIC WINDOW - EXISTING WINDOW HEAD DETAIL

SCALE: 6" = 1'-0"

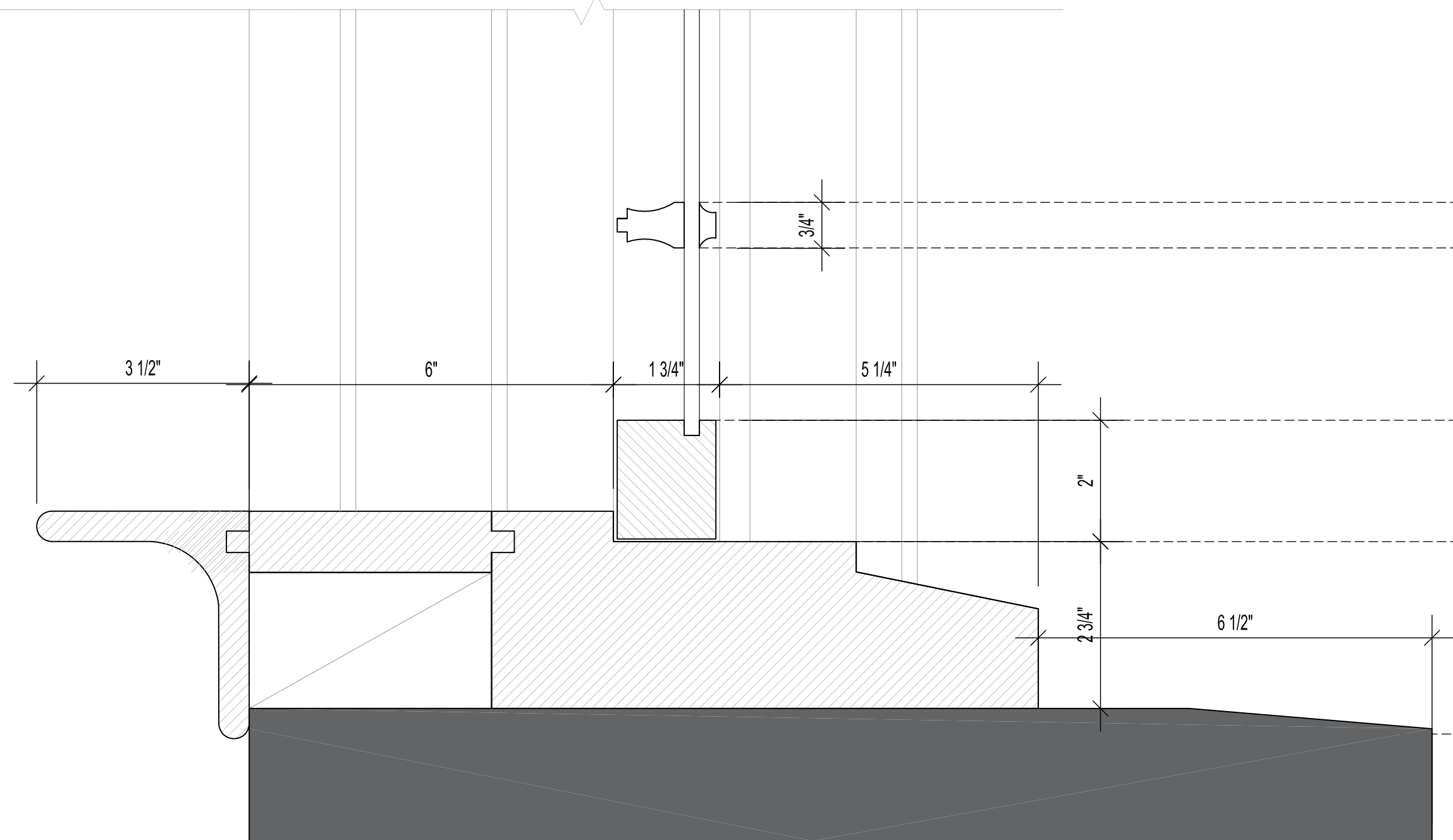
INTERIOR

EXTERIOR



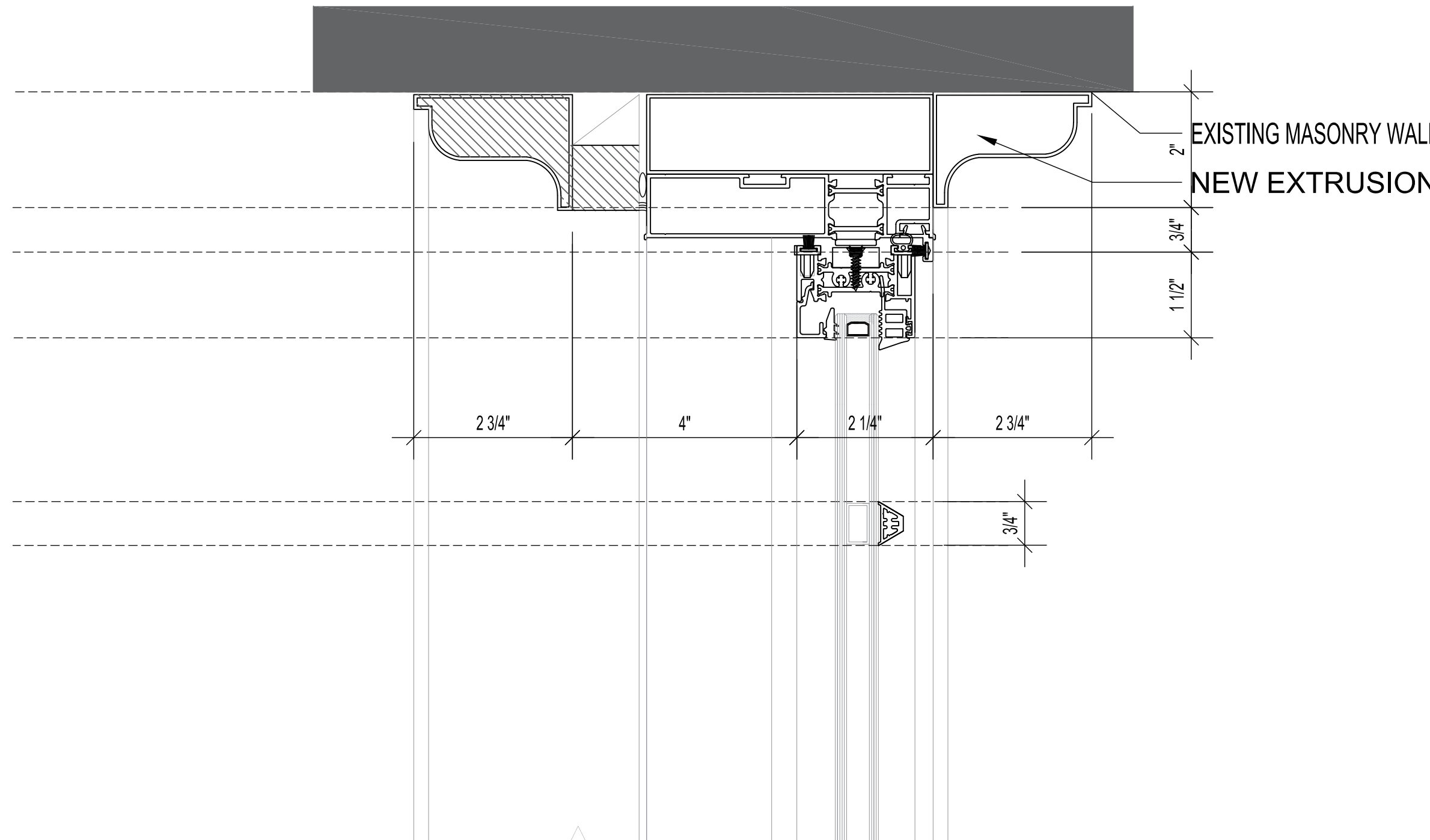
2 HISTORIC WINDOW - EXISTING WINDOW CONNECTION DETAIL

SCALE: 6" = 1'-0"



3 HISTORIC WINDOW - EXISTING WINDOW SILL DETAIL

SCALE: 6" = 1'-0"

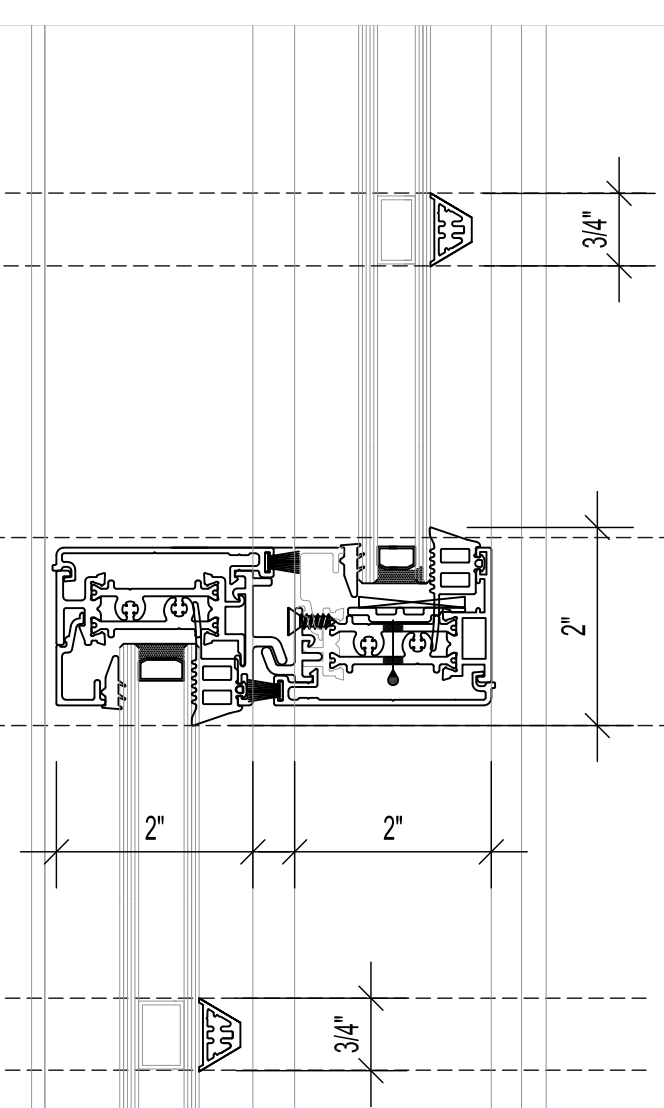


1 HISTORIC WINDOW - PROPOSED WINDOW HEAD DETAIL

SCALE: 6" = 1'-0"

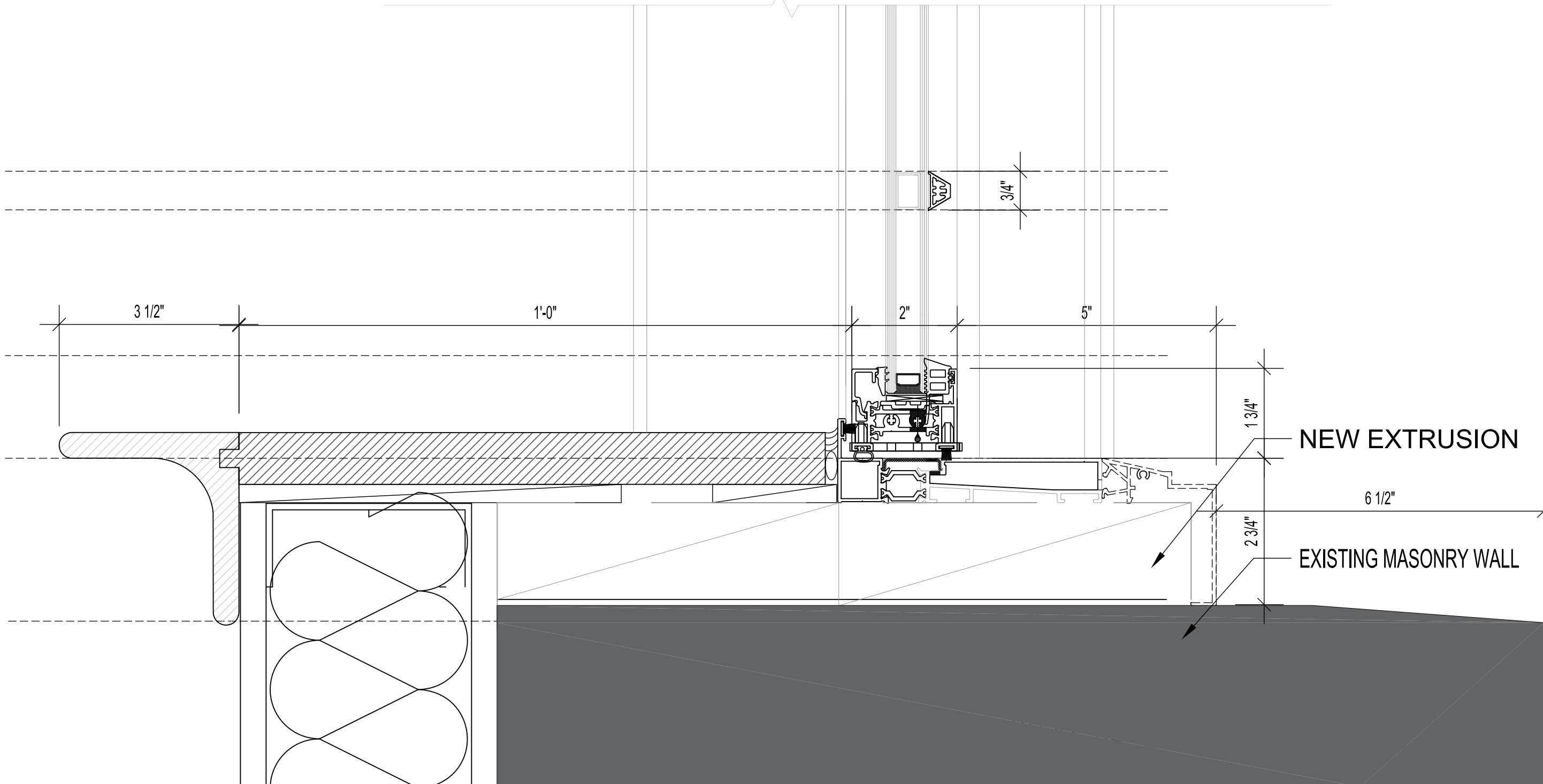
INTERIOR

EXTERIOR



2 HISTORIC WINDOW - PROPOSED WINDOW CONNECTION DETAIL

SCALE: 6" = 1'-0"



ASSOCIATE ARCHITECTS



N.J. AC. 669

241 HUDSON STREET
HACKENSACK, NJ 07601
PHONE: (201) 925 5888
FAX: (201) 488-1020
MIJAARCH@OPTONLINE.NET

ARCHITECT

NABIL N. MIJALLI, R.A.
NJ LIC. #AJO 1665500
NY LIC. # 032031
PA LIC. # RA405317
CT LIC. # 1 3827
SC LIC. # 8469

PROJECT NAME:

PONEMAH MILL LANDING
555 NORWICH AVENUE
TAFTVILLE, CT

OWNER:

555 SOUTH MILL, LLC

RELEASE STATUS OF DRAWING DATE:

1	FOR REVIEW	09/04/2024
2	FOR REVIEW	10/24/2024

THESE PLANS ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE COPIED, RE-USED, OR ALTERED WITHOUT HIS APPROVAL.

DRAWING TITLE:

WINDOWS DETAILS

REVISIONS

NO	DATE	DWN	CHK	REMARKS
----	------	-----	-----	---------

DO NOT SCALE DRAWINGS

DATE:	05/20/24
-------	----------

DRAWN / CHECKED:	NM.
------------------	-----

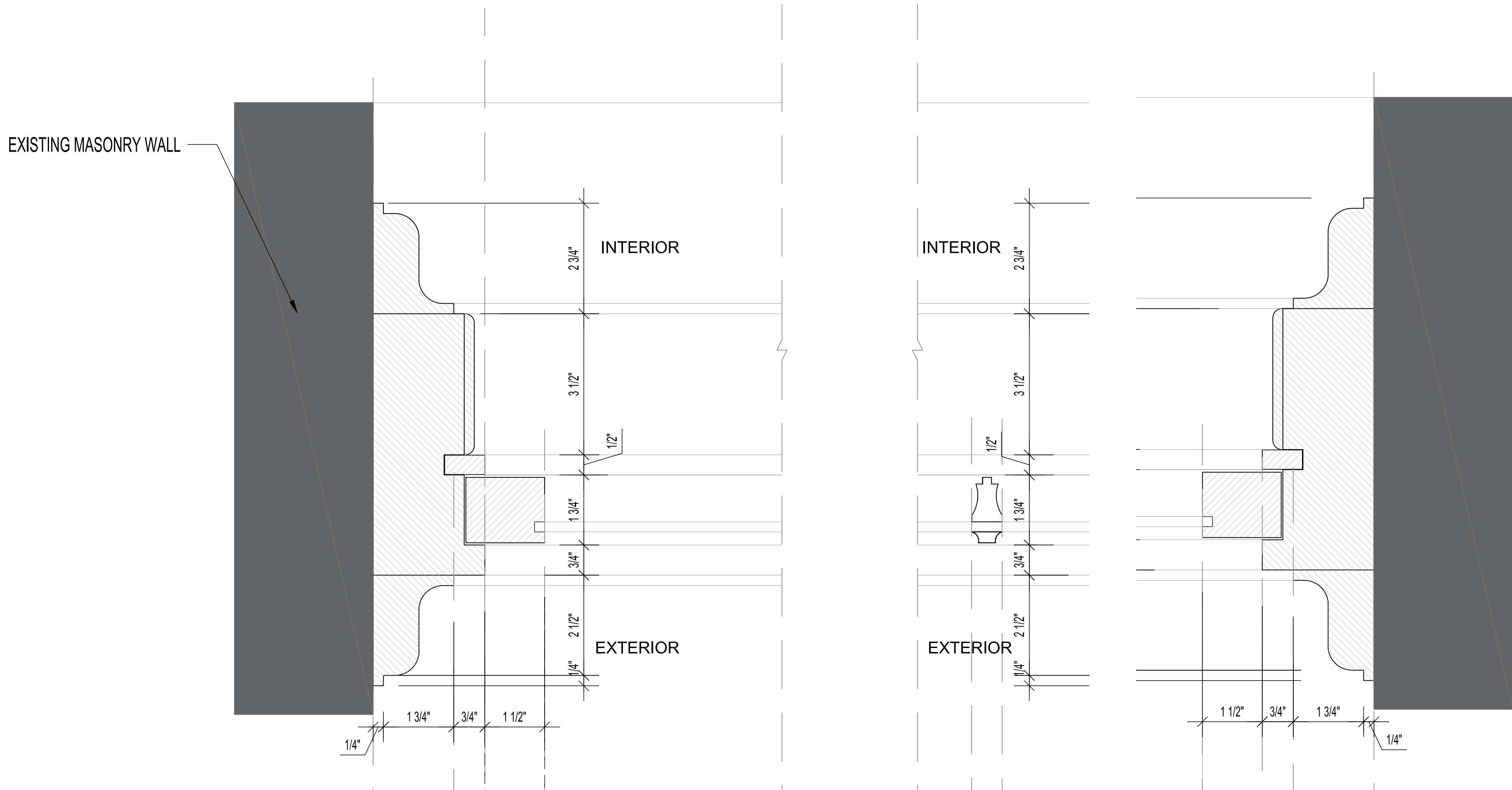
SCALE:	AS NOTED
--------	----------

PROJECT NUMBER:	062919
-----------------	--------

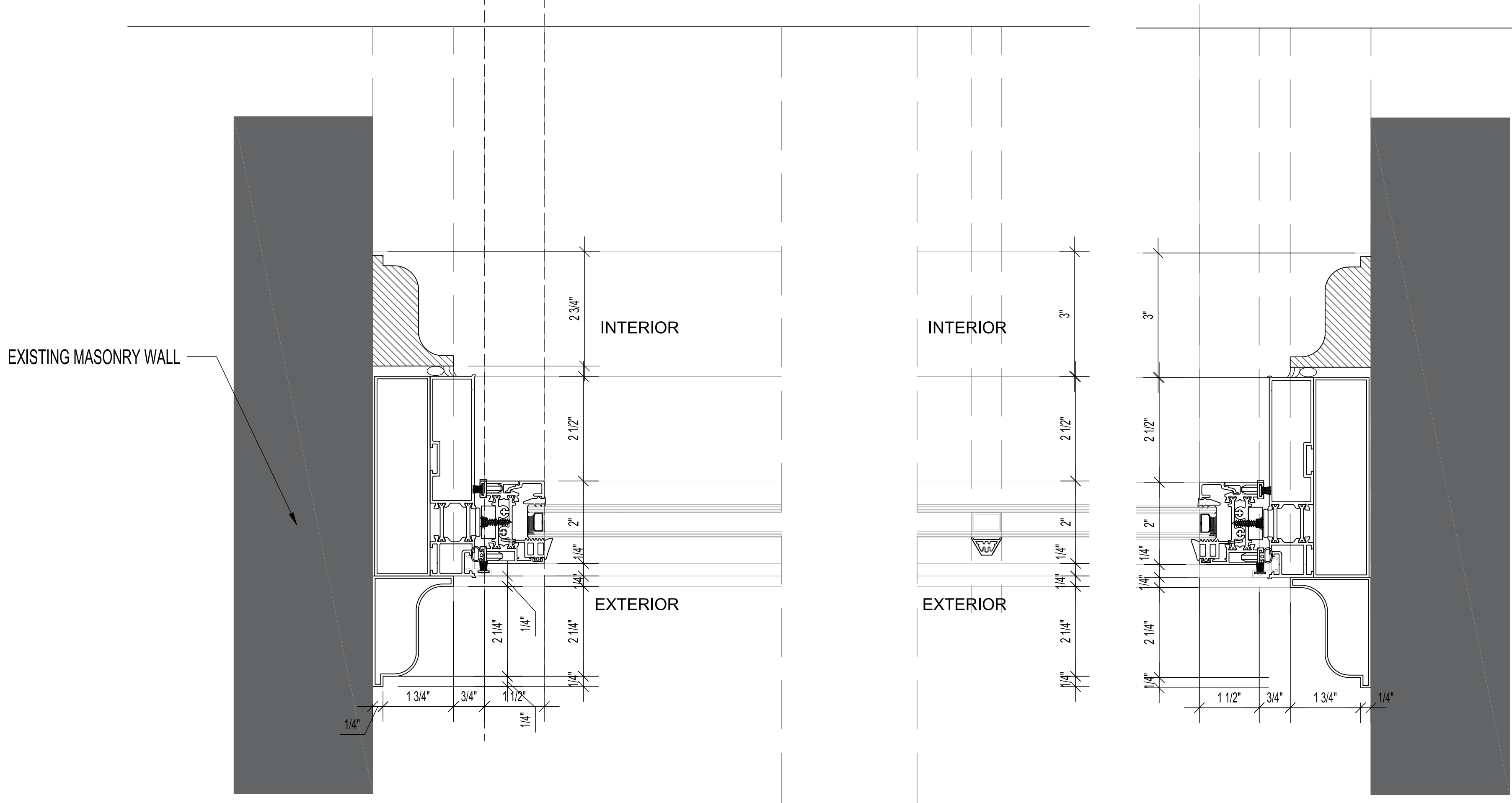
DRAWING NUMBER:

A-403.2

FOR REVIEW



1 HISTORIC WINDOW - EXISTING WINDOW JAMB
SCALE: 6"=1'-0"



1 HISTORIC WINDOW - PROPOSED WINDOW JAMB
SCALE: 6"=1'-0"

ASSOCIATE ARCHITECTS



N.J. AC. 669

241 HUDSON STREET
HACKENSACK, NJ 07601
PHONE: (201) 925 5888
FAX: (201) 488-1020
MIJAARCH@OPTONLINE.NET

ARCHITECT

NABIL N. MIJALLI, R.A.
NJ LIC. #A10 1665500
NY LIC. # 032031
PA LIC. # RA405317
CT LIC. # 1 3827
SC LIC. # 8469

PROJECT NAME:

PONEMAH MILL LANDING
555 NORWICH AVENUE
TAFTVILLE, CT

OWNER:

555 SOUTH MILL, LLC

RELEASE STATUS OF DRAWING		DATE:
1	FOR REVIEW	09/04/2024
2	FOR REVIEW	10/24/2024

THESE PLANS ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE COPIED, RE-USED, OR ALTERED WITHOUT HIS APPROVAL.

DRAWING TITLE:

WINDOWS DETAILS

REVISIONS			
NO	DATE	DWN/CHK	REMARKS

DO NOT SCALE DRAWINGS

DATE:	05/20/24
DRAWN / CHECKED:	NM.
SCALE:	AS NOTED
PROJECT NUMBER:	062919

DRAWING NUMBER:

A-403.3

FOR REVIEW



ARCHITECT

NABIL N. MIJALLI, R.A.
NJ LIC. #A10 1665500
NY LIC. # 032031
PA LIC. # RA405317
CT LIC. # 1 3827
SC LIC. # 8469

PROJECT NAME:

PONEMAH MILL LANDING
555 NORWICH AVENUE
TAFTVILLE, CT

OWNER:

555 SOUTH MILL, LLC

RELEASE STATUS OF DRAWING		DATE:
1	FOR REVIEW	09/04/2024
2	FOR REVIEW	10/24/2024

THESE PLANS ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE COPIED, RE-USED, OR ALTERED WITHOUT HIS APPROVAL.

DRAWING TITLE:

WINDOWS DETAILS

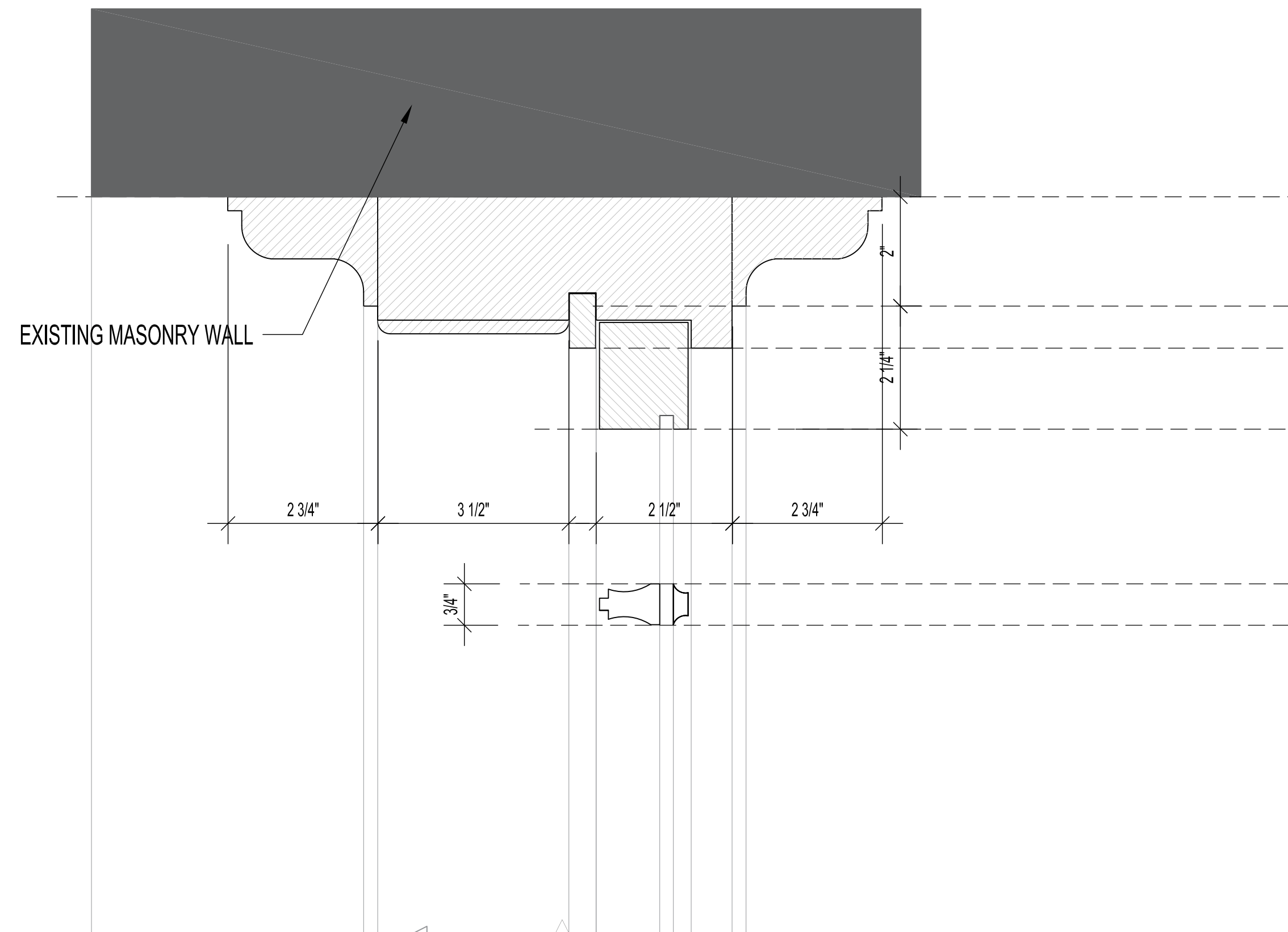
REVISIONS			
NO	DATE	DWN/CHK	REMARKS

DO NOT SCALE DRAWINGS

DATE:	05/20/24
DRAWN / CHECKED:	NM.
SCALE:	AS NOTED
PROJECT NUMBER:	062919

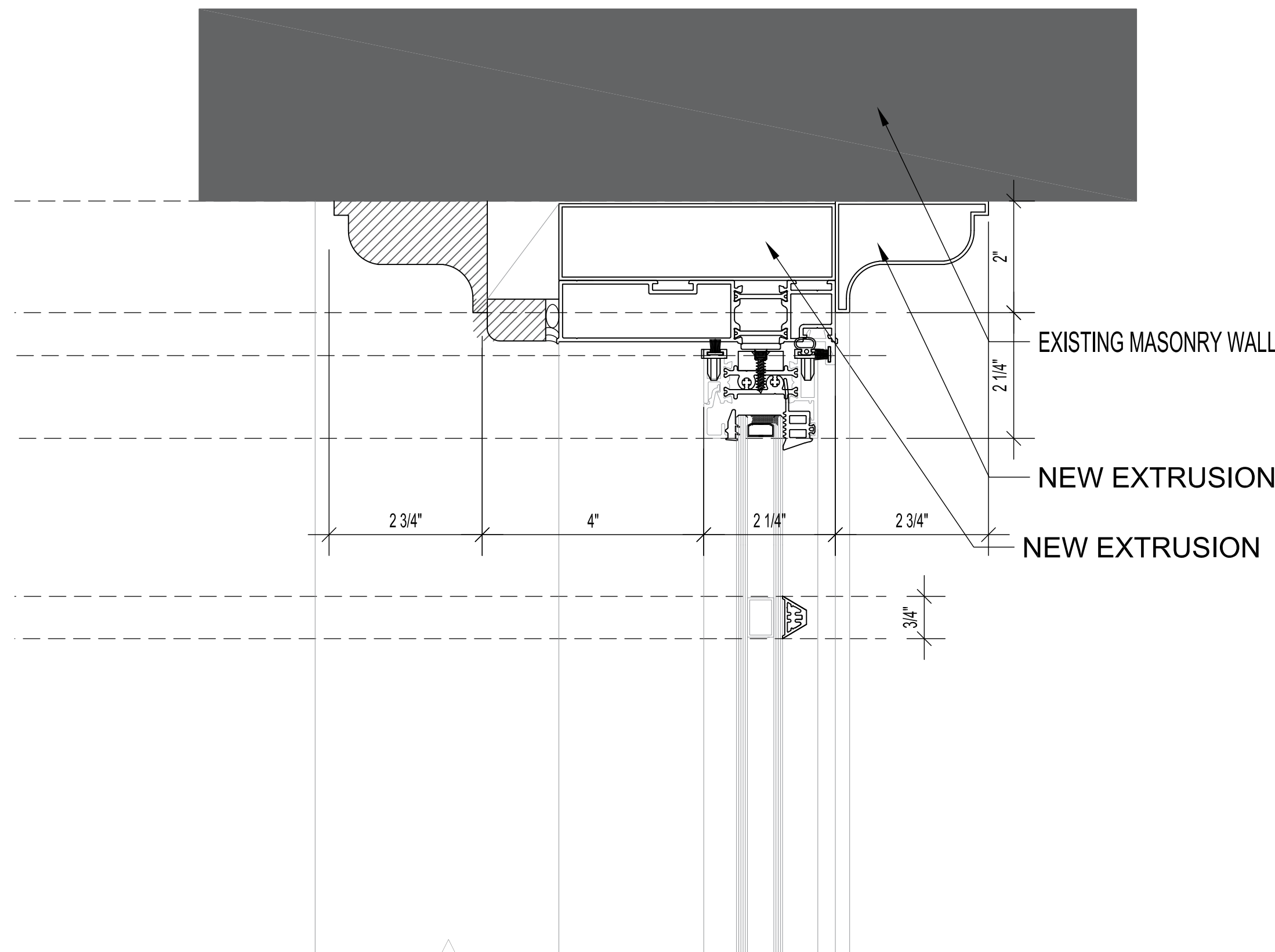
DRAWING NUMBER:

A-403.4



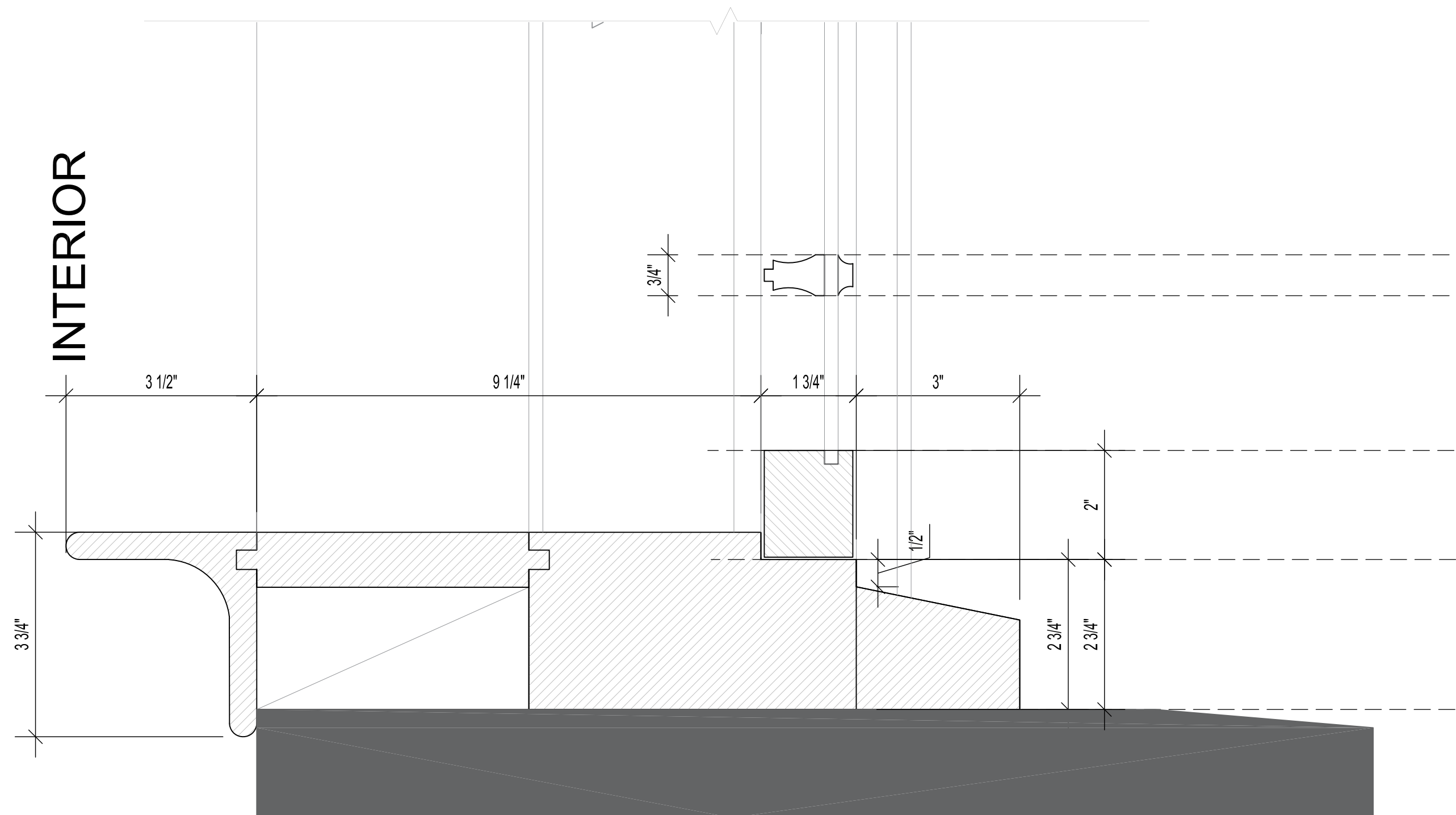
1 HISTORIC WINDOW - EXISTING WINDOW HEAD DETAIL

SCALE: 6"=1'-0"



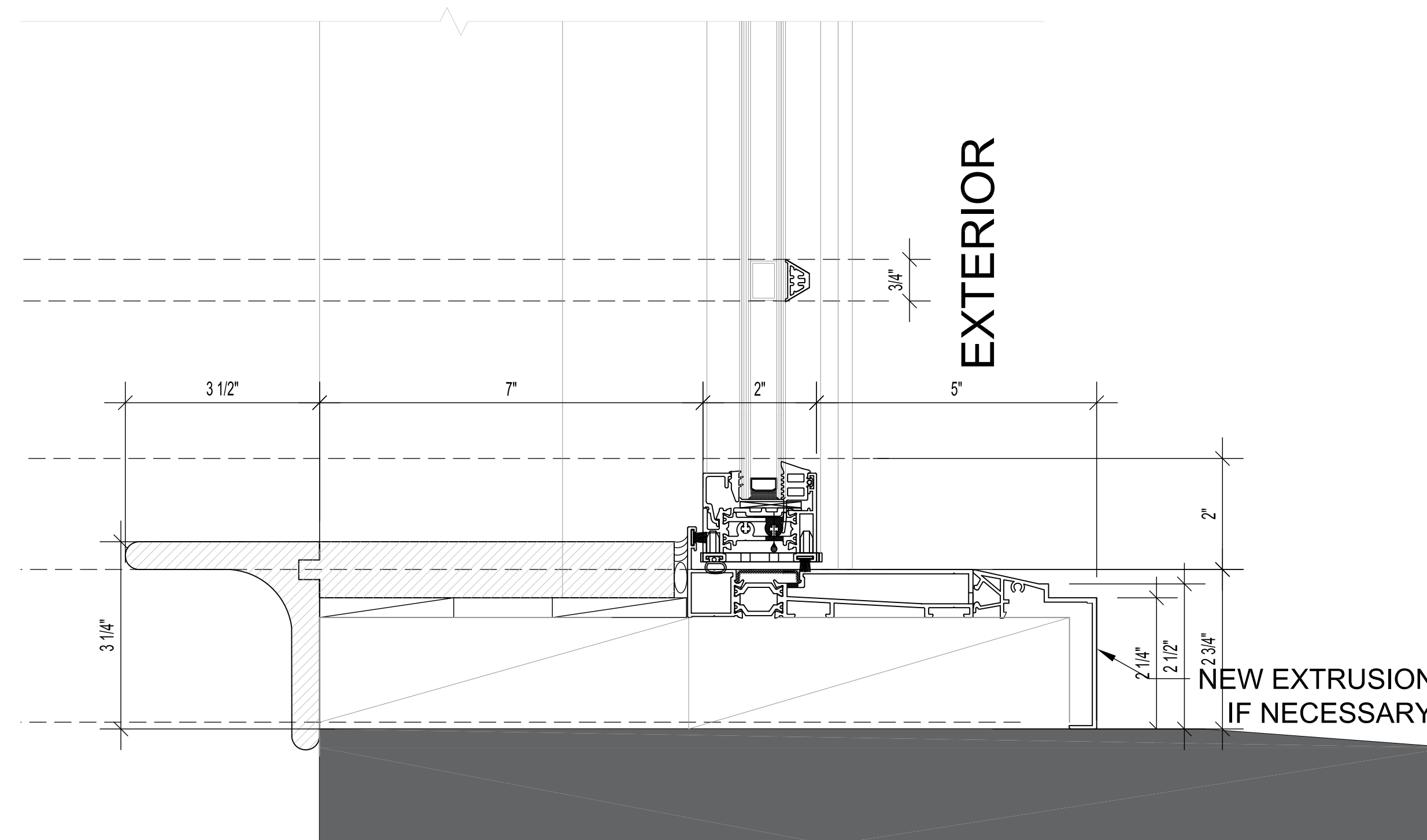
1 HISTORIC WINDOW - PROPOSED WINDOW HEAD DETAIL

SCALE: 6"=1'-0"



1 HISTORIC WINDOW - EXISTING WINDOW SILL DETAIL

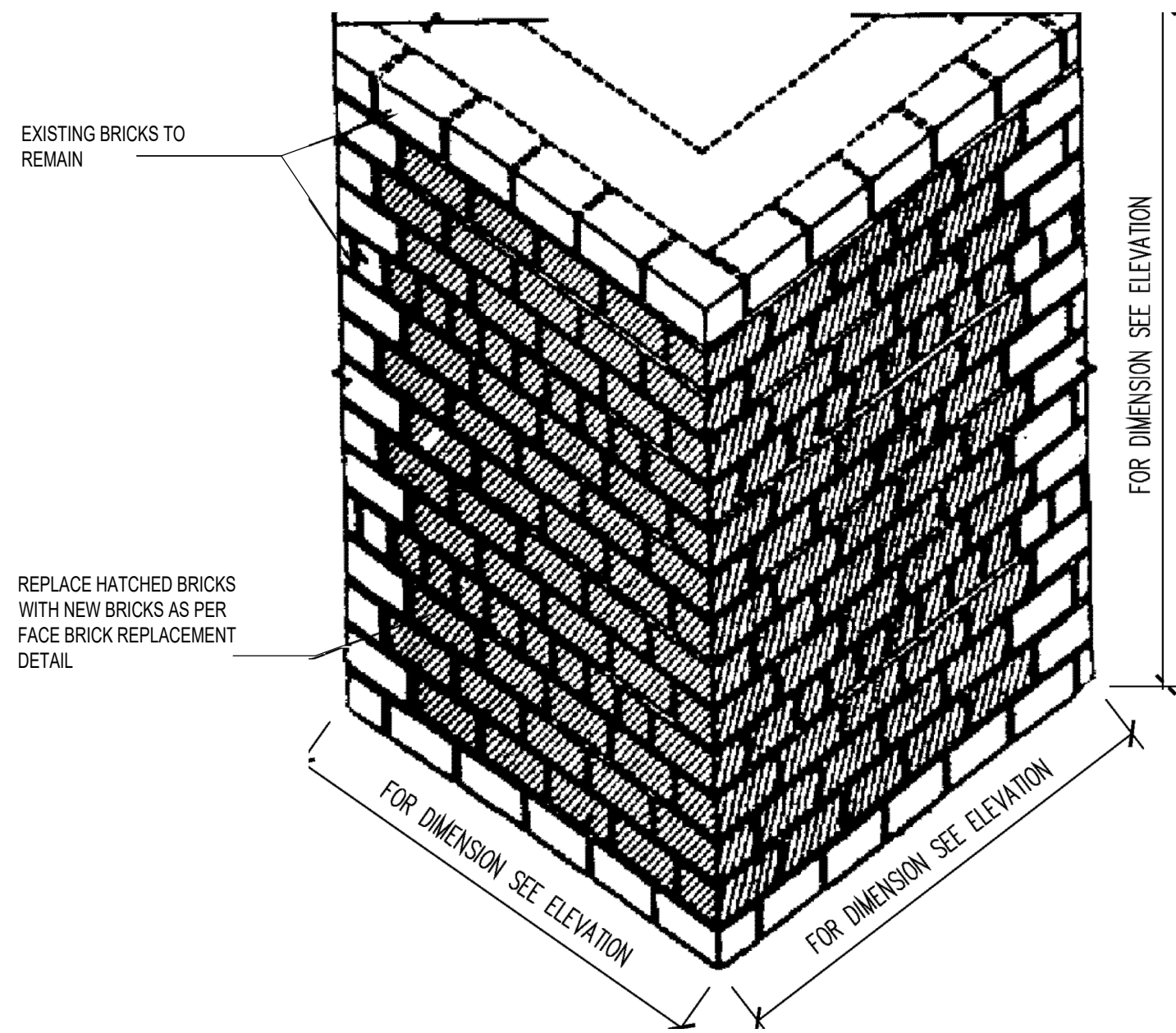
SCALE: 6"=1'-0"



1 HISTORIC WINDOW - PROPOSED WINDOW SILL DETAIL

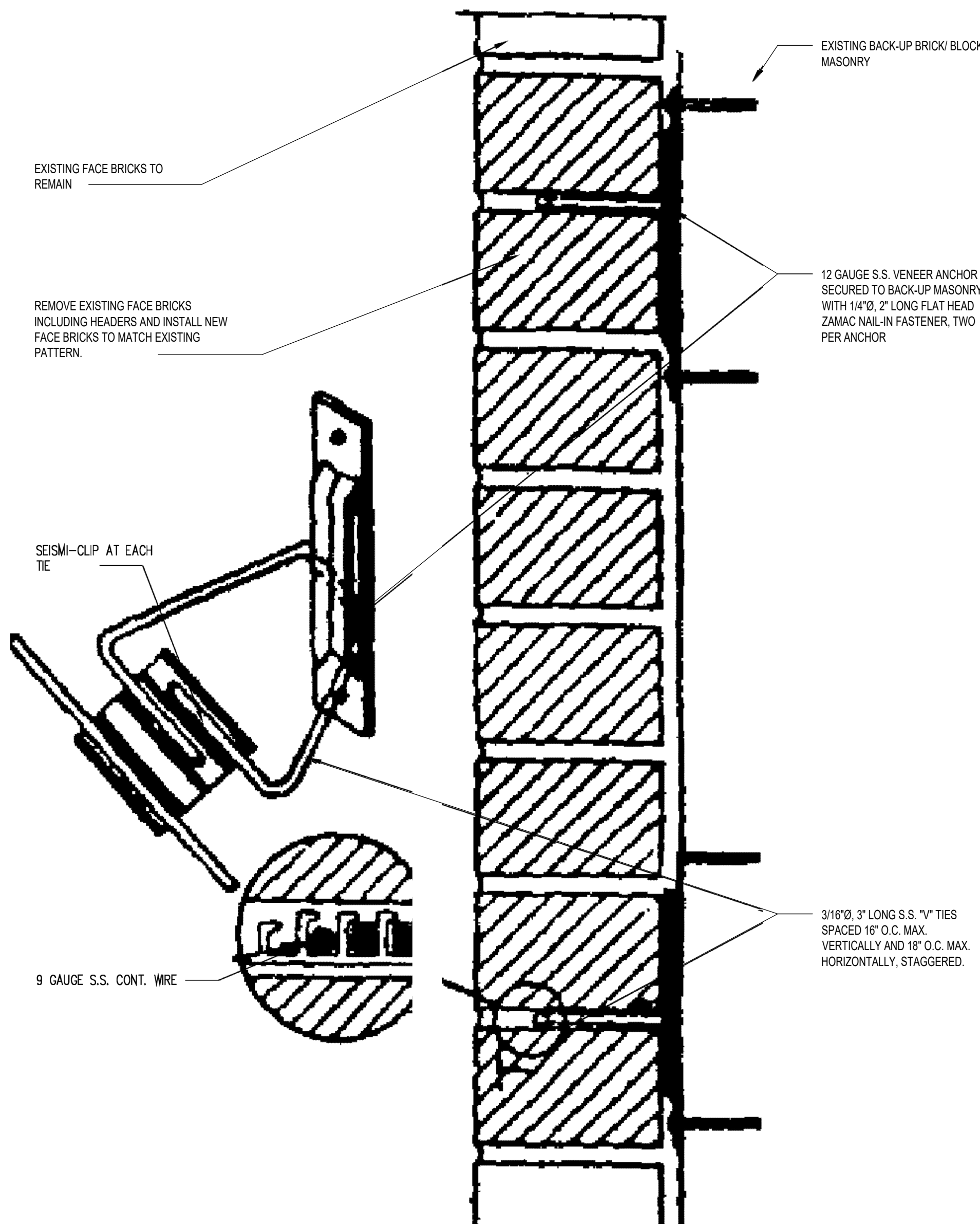
SCALE: 6"=1'-0"

FOR REVIEW



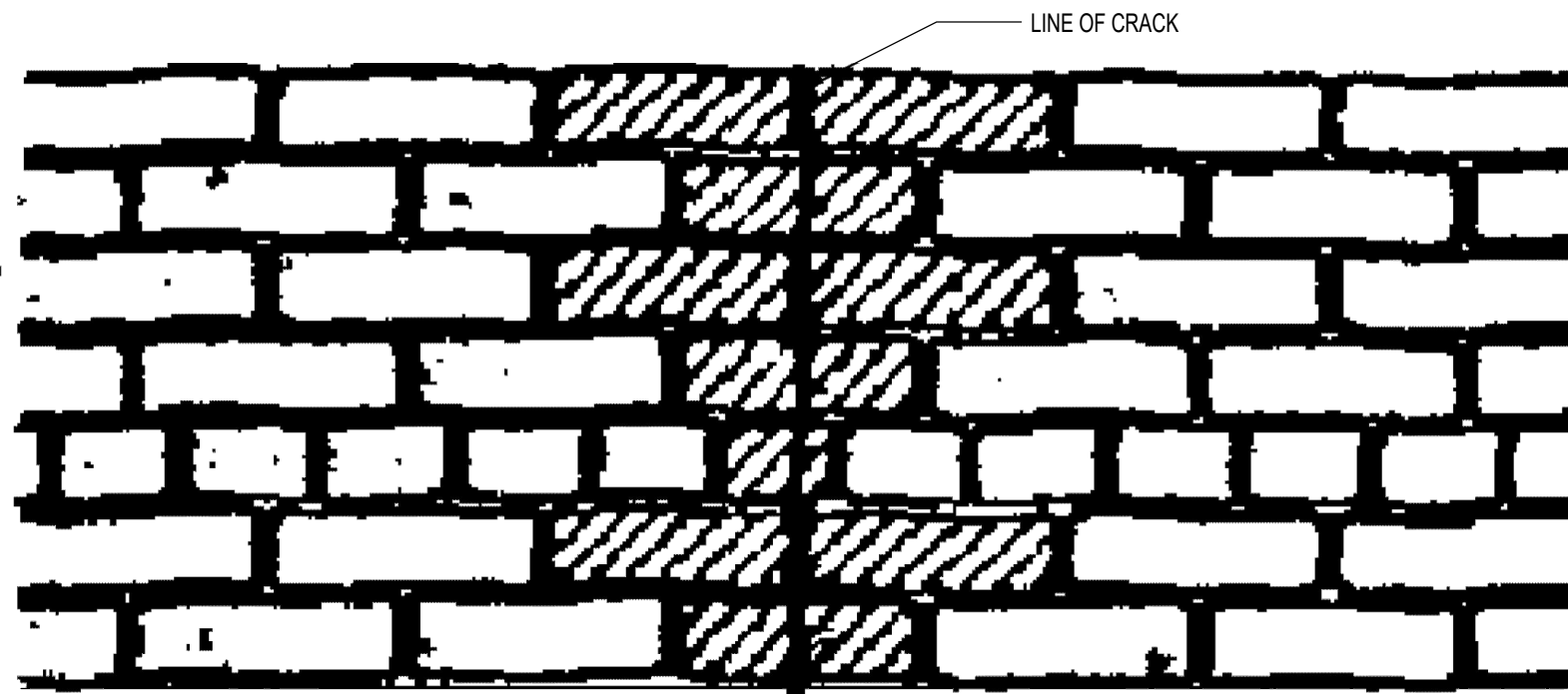
1 CORNER BRICK FACE (ONLY) REPLACEMENT (PARTIAL REPLACEMENT)

SCALE: N.T.S.



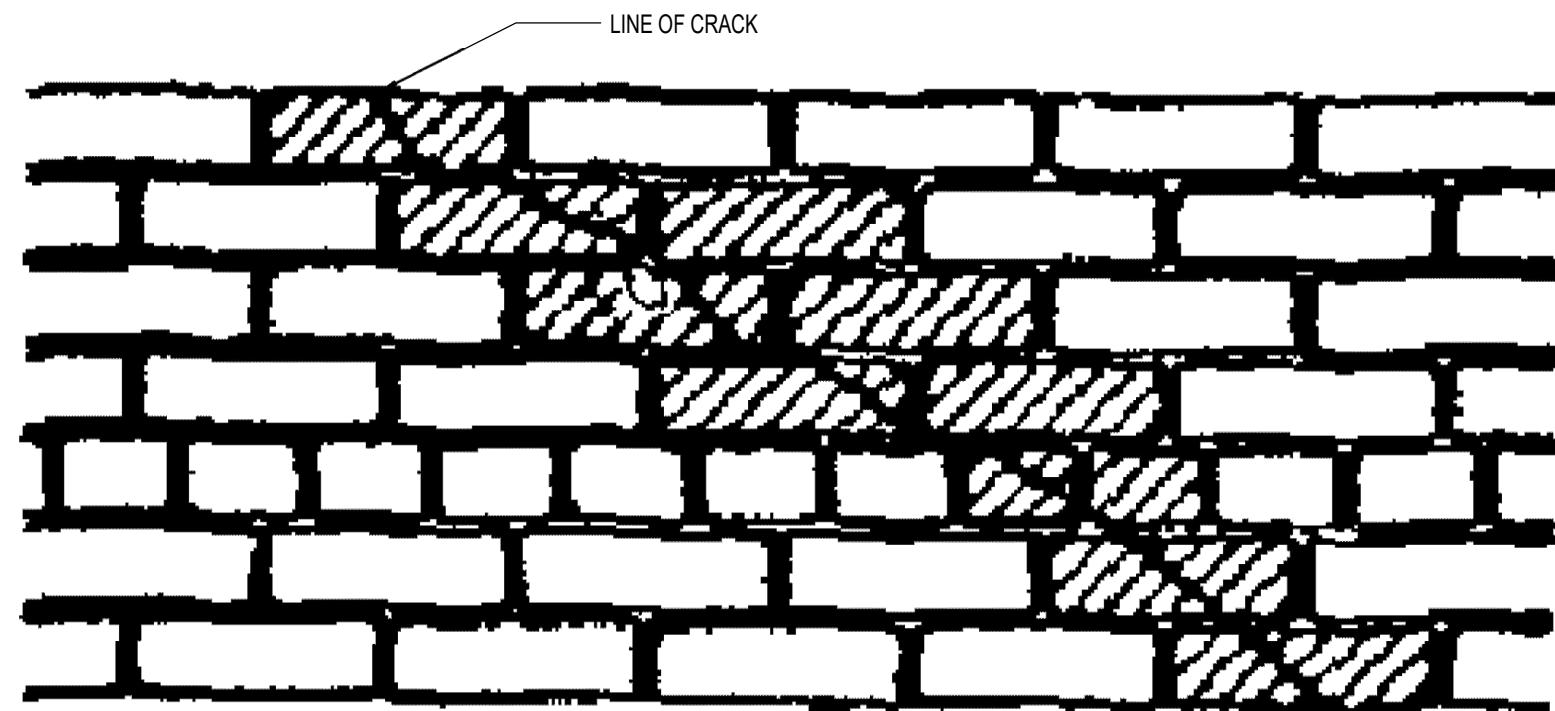
NOTE: AT HORIZONTAL CRACK, THE REPLACEMENT OF BRICKS SHALL BE PERFORMED IN SECTIONS OF 3'-0\"/>

HORIZONTAL CRACK



VERTICAL CRACK

NOTES:
1. REPLACE HATCHED BRICKS WITH NEW BRICKS.
2. DO NOT REPLACE HEADER BRICKS IF NOT CRACKED.



ZIG-ZIG CRACK

2 BRICKFACE (ONLY) CRACK RESTORATION DETAILS

SCALE: N.T.S.

MASONRY RESTORATION NOTES

GENERAL NOTES:

SEQUENCING AND SCHEDULING:

- ORDER REPLACEMENT MATERIALS AT EARLIEST POSSIBLE DATE TO AVOID DELAYING COMPLETION OF THE WORK.
- PERFORM MASONRY RESTORATION WORK IN THE FOLLOWING SEQUENCE:

- REMOVE PLANT GROWTH IN ITS ENTIRETY.
- INSPECT FOR OPEN MORTAR JOINTS AND REPAIR BEFORE CLEANING TO PREVENT THE INTRUSION OF WATER AND OTHER CLEANING MATERIALS INTO THE WALL.
- REMOVE PAINT.
- CLEAN MASONRY SURFACES.
- RAKE OUT MORTAR FROM JOINTS SURROUNDING MASONRY TO BE REPLACED AND FROM JOINTS ADJACENT TO MASONRY REPAIRS ALONG JOINTS.
- REPAIR MASONRY, INCLUDING REPLACING EXISTING MASONRY WITH NEW MASONRY MATERIALS.
- RAKE OUT MORTAR FROM JOINTS TO BE REPOINTED.
- POINT MORTAR JOINTS.
- AFTER REPAIRS AND REPOINTING HAVE BEEN COMPLETED AND CURED, PERFORM A FINAL CLEANING TO REMOVE RESIDUES FROM THIS WORK.

A. RAKE OUT AND REPOINT JOINTS TO THE FOLLOWING EXTENT:

- JOINTS WHERE MORTAR IS MISSING OR WHERE THEY CONTAIN HOLES.
- CRACKED JOINTS WHERE CRACKS CAN BE PENETRATED AT LEAST 1/4 INCH BY A KNIFE BLADE 0.027 INCH THICK.
- CRACKED JOINTS WHERE CRACKS ARE 1/16 INCH OR MORE IN WIDTH AND OF ANY DEPTH.
- JOINTS THAT SOUND HOLLOW WHEN TAPPED BY METAL OBJECT.
- JOINTS THAT ARE WORN BACK 1/4 INCH OR MORE FROM SURFACE.
- JOINTS THAT ARE DETERIORATED TO POINT THAT MORTAR CAN BE EASILY REMOVED BY HAND, WITHOUT TOOLS.
- JOINTS THAT HAVE BEEN FILLED WITH SUBSTANCES OTHER THAN MORTAR.
- DO NOT REPAIR JOINTS UNLESS REQUIRED.

- NEW MORTAR SHALL MATCH EXISTING IN CONTENT AND APPEARANCE. NEW MORTAR SHALL CONFORM TO THE FOLLOWING CRITERIA:
 - NEW MORTAR SHALL MATCH THE HISTORIC MORTAR IN COLOR, TEXTURE AND TOOLING. MATCH BINDER COMPONENTS AND THEIR PROPORTIONS WITH HISTORIC MORTAR IF MATERIALS ARE AVAILABLE.
 - SAND SHALL MATCH THE SAND IN HISTORIC MORTAR.
 - NEW MORTAR SHALL HAVE GREATER VAPOR PERMEABILITY AND BE SOFTER (IN COMPRESSIVE STRENGTH) THAN THE MASONRY UNITS.
 - NEW MORTAR SHALL BE AS VAPOR PERMEABLE AND AS SOFT OR SOFTER (IN COMPRESSIVE STRENGTH) THAN THE HISTORIC MORTAR.ALL LABORATORY ANALYSIS USED IN ACHIEVING THE ABOVE CRITERIA SHALL BE RESPONSIBILITY OF THE MASONRY CONTRACTOR.
- NEW MORTAR SHALL MATCH THE UNWEATHERED INTERIOR PORTIONS OF THE HISTORIC MORTAR. CONTRACTOR SHALL MAKE SAMPLE OF PROPOSED MIX AND ALLOW TO CURE AT SEVENTY DEGREES FAHRENHEIT (70° F.) FOR SEVEN (7) DAYS. BAKING SAMPLE IN OVEN TO SPEED UP CURING IS ACCEPTABLE. SAMPLE SHALL BE BROKEN OPEN AND COMPARED WITH SURFACE OF LARGEST "SAVED" SAMPLE OF HISTORIC MORTAR.
- MODERN MORTAR PIGMENT MAY BE USED AS AN ALTERNATIVE IF PROPER COLOR MATCH CANNOT BE ACHIEVED THROUGH THE USE OF NATURAL SAND OR COLORED AGGREGATES.
- IF LIME PUTTY IS USED, IT SHALL CONFORM TO ASTM C 5. MORTAR CAN BE MIXED USING LIME PUTTY ACCORDING TO ASTM C 270 PROPERTY OR PROPORTION SPECIFICATION.
- REPOINTING SHALL BE PERFORMED WITH A WALL TEMPERATURE RANGE BETWEEN FORTY AND NINETY-FIVE DEGREES FAHRENHEIT (40-95° F.). REPOINTING SHALL NOT BE PERFORMED IN DIRECT SUNLIGHT. MASONRY CONTRACTOR SHALL PROVIDE APPROPRIATE SHADING OVER WORK AREAS.
- MASONRY CONTRACTOR SHALL PREPARE A TEST PANEL FOR APPROVAL BY ARCHITECT AND NATIONAL PARKS SERVICE APPROVAL. TEST PANEL SHALL BE IN AN INCONSPICUOUS PLACE LOCATED AT THE REAR OF THE STRUCTURE. TEST PANEL SHALL ADDRESS MASONRY TYPE, JOINT STYLES, MORTAR COLORS, ETC.
- CLEANING TESTS SHALL BE CARRIED OUT IN SAME LOCATION AS TEST PANEL. CLEANING TEST SHALL BE PERFORMED OVER A THREE FOOT BY THREE FOOT (3'-0" X 3'-0") AREA.
- TEST PANELS AND CLEANING PANELS, UPON APPROVALS, SHALL SERVE AS BENCHMARK FOR EVALUATING AND ACCEPTING SUBSEQUENT WORK. PANELS SHALL BE PRESERVED BY CONTRACTOR FOR DURATION OF PROJECT.
- OLD MORTAR SHALL BE REMOVED TO A MINIMUM OF TWO TO TWO AND ONE HALF TIMES THE WIDTH OF THE JOINT (1/2" - 1") TO ENSURE AN ADEQUATE BOND AND TO PREVENT MORTAR POP-OUTS. REMOVE ANY DISINTEGRATED MORTAR BEYOND THE MINIMUM DEPTHS.

- TO MINIMIZE DAMAGE TO BRICKWORK, CONTRACTOR SHALL REMOVE OLD MORTAR WITH HAMMER AND CHISEL. THE USE OF POWER SAWS AND GRINDERS MAY ONLY BE USED BY SKILLED MASONS AND UNDER CLOSE SUPERVISION BY THE G.C.
- ALL MORTAR COMPONENTS SHALL BE MEASURED AND MIXED CAREFULLY TO ENSURE THE UNIFORMITY OF VISUAL AND PHYSICAL CHARACTERISTICS. MASON SHALL BE RESPONSIBLE FOR MORTAR MIXING METHODS. WATER SHALL BE KEPT TO A MINIMUM TO MINIMIZE SHRINKAGE CRACKS. MORTAR SHALL BE USED WITHIN THIRTY (30) MINUTES OF FINAL MIXING AND RE-TEMPERING SHALL NOT BE PERMITTED.
- WHERE EXISTING MORTAR HAS BEEN REMOVED TO A DEPTH GREATER THAN ONE INCH (1"), THESE DEEPER AREAS SHALL BE FILLED FIRST. NEW MORTAR SHALL BE COMPACTED IN SEVERAL LAYERS, ONE QUARTER INCH (1/4") AT A TIME. THE BACK OF THE ENTIRE JOINT SHALL BE FILLED, PACKING IT WELL INTO THE BACK CORNERS. AS SOON AS THE MORTAR HAS REACHED THUMB-PRINT HARDNESS, ANOTHER 1/4 INCH LAYER - APPROXIMATELY THE SAME THICKNESS - SHALL BE APPLIED. LAYERS SHALL BE ADDED UNTIL THE JOINT IS FLUSH WITH THE OUTER SURFACE OF THE MASONRY. EACH LAYER MUST BE ALLOWED TO HARDEN BEFORE THE NEXT LAYER IS APPLIED TO MINIMIZE THE OVERALL SHRINKAGE.
- THE MASONRY CONTRACTOR SHALL PERIODICALLY WET THE REPOINTED AREAS AFTER THE MORTAR IS THUMB-PRINT HARD AND FINISH TOOLED. LOCAL CONDITIONS SHALL DICTATE THE FREQUENCY OF WETTING. INITIAL WETTING SHALL BE EVERY HOUR AND GRADUALLY REDUCED TO EVERY THREE TO FOUR HOURS. WALLS SHALL BE COVERED WITH BURLAP FOR THE FIRST THREE (3) DAYS AFTER REPOINTING. PLASTIC MAY BE USED, BUT SHALL BE TENTED OUT AND NOT PLACED DIRECTLY AGAINST THE WALL.
- INITIAL CLEANING OF MASONRY WALL AFTER REPOINTING SHALL BE DONE WITH STIFF NATURAL BRISTLE OR NYLON BRUSH. CLEANING SHALL BE DONE AFTER MORTAR HAS DRIED, BUT BEFORE IT HAS INITIALLY SET (ONE TO TWO HOURS).
- FURTHER CLEANING SHALL BE ACCOMPLISHED WITH PLAIN WATER AND NATURAL BRISTLE OR NYLON BRUSHES. IF CHEMICALS OR MILD DETERGENTS ARE USED, THEY SHALL MEET NATIONAL PARKS SERVICE APPROVAL. ALL MANUFACTURER'S INSTRUCTIONS AND DIRECTIONS SHALL BE FOLLOWED. AFTER CLEANING, WALLS SHALL BE FLUSHED WITH PLAIN WATER TO REMOVE ALL TRACES OF CHEMICALS OR DETERGENTS.
- CLEANING OF MASONRY WALLS SHALL NOT OCCUR UNTIL A MINIMUM OF THIRTY (30) DAYS AFTER MORTAR IS APPLIED. TEST PANELS SHALL BE PREPARED TO EVALUATE DIFFERENT CLEANING METHODS. CLEANING METHODS SHALL BE APPROVED BY ARCHITECT AND NATIONAL PARKS SERVICE. WATER PRESSURE USED FOR ANY CLEANING SHALL NOT EXCEED ONE HUNDRED (100) P.S.I.
- IF EFFLORESCENCE APPEARS, EITHER NATURAL PROCESSES OR STIFF NATURAL OR NYLON BRISTLE BRUSHES ARE ONLY PERMITTED TO REMOVE IT.

ASSOCIATE ARCHITECTS



N.J. AC. 669

241 HUDSON STREET
HACKENSACK, NJ 07601
PHONE: (201) 925 5888
F A X : (201) 488-1020
MIJAARCH@OPTONLINE.NET

ARCHITECT

NABIL N. MIJALLI, R.A.
NJ LIC. #A10 1665500
NY LIC. # 032031
PA LIC. # RA405317
CT LIC. # 1 3827
SC LIC. # 8469

PROJECT NAME:

SOUTH MILL
FORMER PONEMAH MILLS
NORWICH AVENUE
TAFTVILLE, CT

OWNER:

555 SOUTH MILL - LLC

RELEASE STATUS OF DRAWING	DATE:
1	

THESE PLANS ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE COPIED, RE-USED, OR ALTERED WITHOUT HIS APPROVAL.

DRAWING TITLE:

TYPICAL MASONRY RESTORATION
DETAILS

REVISIONS			
NO	DATE	DWN/CHK	REMARKS

DO NOT SCALE DRAWINGS

DATE:	05/20/24
DRAWN / CHECKED:	NM.
SCALE:	AS NOTED
PROJECT NUMBER:	062919

DRAWING NUMBER:

A-818.00