

33 MARSHELLEN INTERIOR UPFIT FOR WARM LIT SHELL SPACES

33 MARSHELLEN DRIVE BEAUFORT, SOUTH CAROLINA 29902

SCOPE OF WORK:

- THE PROJECT CONSISTS OF INTERIOR UPFIT OF EXISTING 4,162 SQ FT SINGLE STORY TENANT SPACES AT 33 MARSHELLEN DRIVE BEAUFORT SOUTH CAROLINA 29902. AS A WARM LIT SHELL SPACE
- THE EXISTING BUILDING IS NOT TO BE PROVIDED WITH A FIRE SPRINKLER SYSTEM
- THE PROJECT INCLUDES CONSTRUCTION OF FOUR (4) RESTROOMS AND 2X6 WOOD STUD WALL
- INTERIOR WORK INCLUDE INSTALLATION OF SUSPENDED ACOUSTICAL TILE CEILINGS, PAINTED GYPSUM BOARD
- MECHANICAL WORK INCLUDES TWO (2) SPILT SYSTEM HEAT PUMP SYSTEMS AND ASSOCIATED GRILLES, LOUVERS, DUCTWORK, STRAPS, HANGERS, ETC. WORK ALSO INCLUDES EXHAUST FANS IN EACH OF THE RESTROOMS
- PLUMBING WORK INCLUDES RESTROOM PLUMBING FIXTURES, THREE (3) HOSE BIBS AND ONE (1) NEW WATER METER AND ASSOCIATED BACKFLOW PREVENTER
- THIS PROJECT ALSO INCLUDES INSULATION OF THE BUILDINGS ENVELOPE

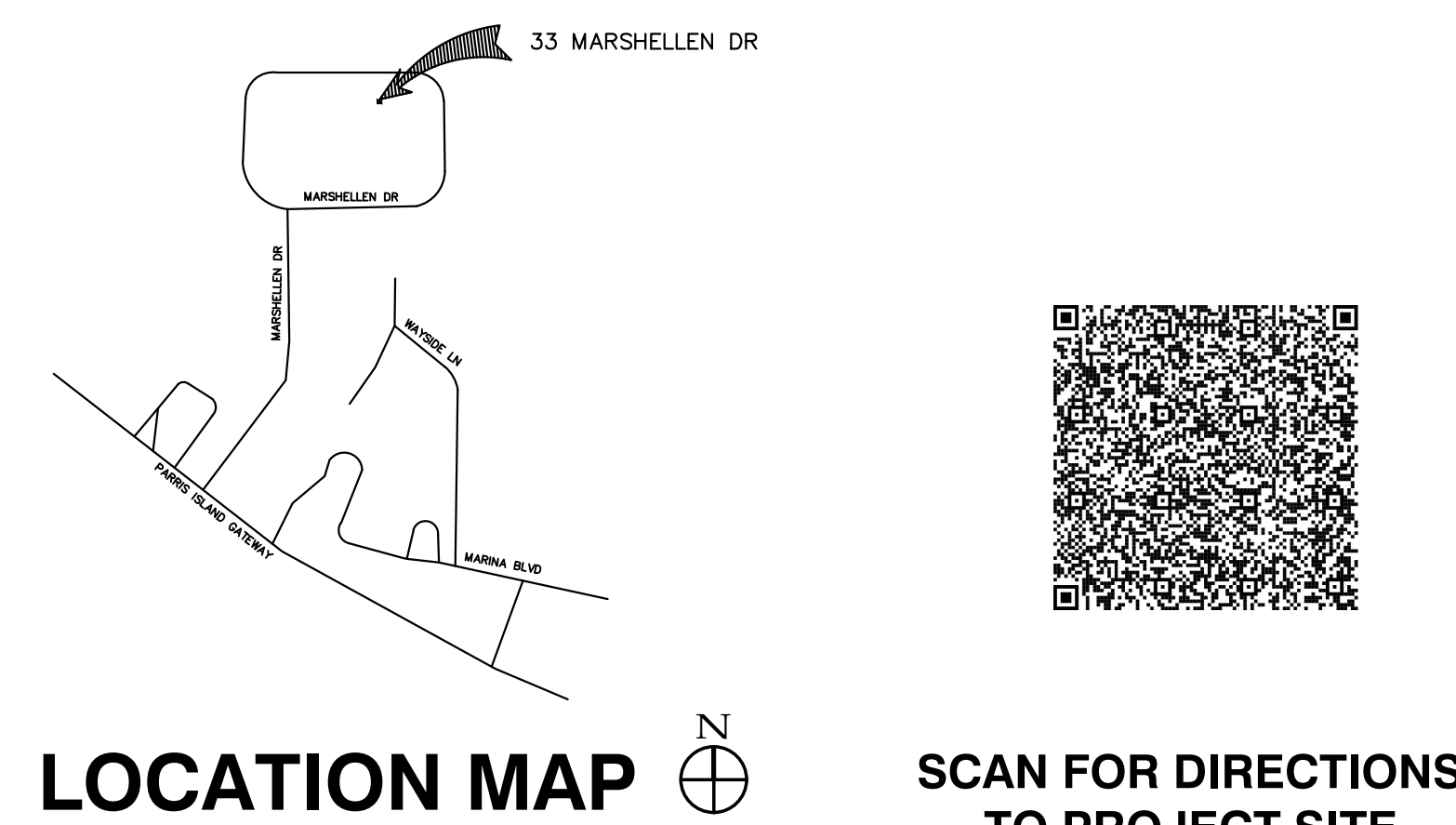
GENERAL CONSTRUCTION NOTES:

- ALL WORK SHALL BE CARRIED OUT ACCORDING TO GOOD CONSTRUCTION PRACTICES
- ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE FOLLOWING CODES AND STANDARDS
 - BUILDING: 2021 INTERNATIONAL BUILDING CODE *
 - MECHANICAL: 2021 INTERNATIONAL MECHANICAL CODE *
 - ELECTRICAL: 2020 NATIONAL ELECTRICAL CODE *
 - FIRE CODE: 2021 INTERNATIONAL FIRE CODE *
 - ENERGY CODE: 2009 INTERNATIONAL ENERGY CONSERVATION CODE
 - NFPA 101 LIFE SAFETY CODE
 - ICC A11.7-2017 AND THE AMERICAN WITH DISABILITIES ACT (ADA)
- ALL WORK SHALL BE UNDERTAKEN AND MANAGED IN ACCORDANCE WITH OSHA STANDARDS FOR THE CONSTRUCTION INDUSTRY.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL LIFE SAFETY ELEMENTS INCLUDING BUT NOT LIMITED TO EXIT SIGNAGE, FIRE EXTINGUISHERS AND FIRE SPRINKLER SYSTEMS NECESSARY TO SATISFY LOCAL, STATE AND FEDERAL STANDARDS, CODES AND GUIDELINES.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS AND FEES.
- GENERAL CONTRACTOR SHALL REPORT, TO THE ARCHITECT, ANY AND ALL DISCREPANCIES REGARDING EXISTING CONDITIONS OR WITHIN THE DRAWINGS AND THE SPECIFICATIONS. FAILURE TO DO SO WILL RELIEVE THE ARCHITECT OF ANY RESPONSIBILITY REGARDING ANY CONSEQUENCES THAT MIGHT RESULT FROM SUCH DISCREPANCIES.
- GENERAL CONTRACTOR SHALL SUBMIT, FOR OWNER AND ARCHITECT APPROVAL, SAMPLES AND PRODUCT DATA FOR ANY SUBSTITUTED PRODUCTS AND / OR SYSTEMS.
- GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATION OF ALL DISCIPLINES AND TRADES AND THEIR POTENTIAL IMPACT ON THE PROJECT.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING , BETWEEN TRADES, ALL CUTTING AND PATCHING RESPONSIBILITIES.
- DUE TO MANUFACTURER VARIATIONS ON TYPE AND SIZES OF EQUIPMENT, CASEWORK, FIXTURES, ETC., ALL DIMENSIONS AND CONDITIONS SHALL BE FIELD VERIFIED BY THE GENERAL CONTRACTOR AND APPROPRIATE COORDINATE WITH THE SUBCONTRACTORS AND SUPPLIERS.
- UNLESS NOTED OTHERWISE, INSTALL CONTINUOUS TREATED, NON-COMBUSTIBLE 2X6 WOOD BLOCKING FOR ALL CASEWORK, COUNTERS, GRAB BARS, WALL MOUNTED EQUIPMENT, ACCESSORIES , FIXTURES, TELEVISIONS, ETC.
- CONSTRUCTION DRAWINGS TAKE PRECEDENCE OVER SPECIFICATIONS, LARGE SCALE DETAILS TAKE PRECEDENCE OVER PLANS AND ELEVATIONS AND ENGINEERING DRAWINGS TAKE PRECEDENCE OVER ARCHITECTURAL GRAPHIC REPRESENTATIONS.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL CONSTRUCTION DEBRIS AND FINAL CLEANING.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH MULTI TENANT FACILITIES FOR LOCATION OF TEMPORARY RESTROOM, DUMPSTER OTHER TEMPORARY FACILITIES AND EQUIPMENT.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR KNOWING AND COMPLYING WITH ALL LOCAL ORDINANCES REGARDING NOISE, WORK HOURS, ETC.
 - * WITH SOUTH CAROLINA AMENDMENTS AND ADDITIONS

DESIGN TEAM

ARCHITECT
BEAUFORT DESIGN BUILD, LLC.
2 FIRE STATION LANE,
SEABROOK, SC, 29940
P. 843.466.3664

MECHANICAL AND PLUMBING ENGINEER
LANDONO ENGINEERING
1011 BAY ST.
BEAUFORT, SC 29902
P. 843.263.1792



A3 PROJECT LOCATION
NOT TO SCALE

GENERAL

- G-101 COVER SHEET, SHEET INDEX AND SCOPE OF WORK
- G-102 SYMBOLS, ABBREV AND MATERIAL DESIGNATIONS
- G-103 2021 IBC BUILDING CODE SUMMARY
- G-104 LIFE SAFETY PLAN
- G-105 TYPICAL ACCESSIBILITY DETAILS
- G-106 SUPPORTING DOCUMENTS

ARCHITECTURAL

- EC-101 EXISTING CONDITIONS AND DEMO FLOOR PLAN
- A-101 PROPOSED FLOOR PLAN
- A-102 PROPOSED REFLECTED CEILING PLAN
- A-401 ENLARGED PLANS AND INTERIOR ELEVATIONS

MECHANICAL

- M-001 HVAC DETAIL
- M-002 HVAC SCHEDULES
- M-101 HVAC PLAN

ELECTRICAL

- E-001 ELECTRICAL DETAILS
- E-002 ELECTRICAL SCHEDULES
- E101 POWER PLAN
- E-201 LIGHTING PLAN

PLUMBING

- P-001 PLUMBING DETAILS
- P-002 SCHEDULES PLUMBING
- P-101 SANITARY SEWER PLAN
- P201 WATER DISTRIBUTION PLAN

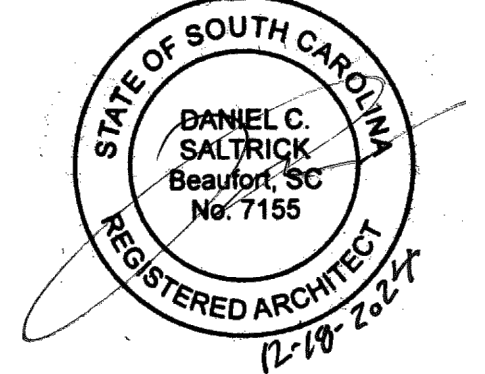
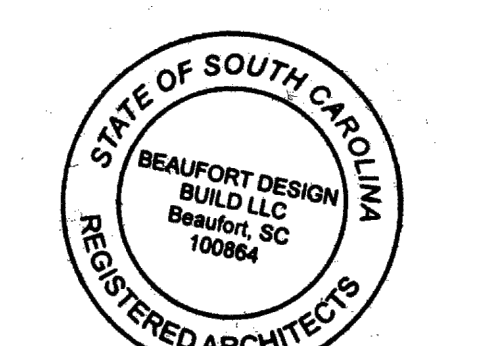
EXISTING BUILDING IS NOT FULLY FIRE SPRINKLERED

BEAUFORT
2 Fire Station Lane
Seabrook, SC 29940

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ARCHITECT / ENGINEER'S SEAL

33 MARSHELLEN INTERIOR UPFIT FOR WARM LIT SHELL SPACES

**33 MARSHELLEN DRIVE
BEAUFORT, SC 29902**

FOR CONSTRUCTION

NO.	DESCRIPTION	DATE
S1	SUBMITTED FOR BUILDING PERMIT	12/18/2024

SHEET INFORMATION	
DATE	NOVEMBER 07, 2024
JOB NUMBER	24021.00
DRAWN	RAC
CHECKED	DCS
APPROVED	DCS

COVER SHEET,
SHEET INDEX AND
SCOPE OF WORK

G-101

ABBREVIATIONS

#	POUND OR NUMBER	FL	FLOOR
@	AT	FP	FIRE PROTECTION
&	AND	GA	GAUGE
AFF	ABOVE FINISHED FLOOR	GALV	GALVANIZED
ALUM	ALUMINUM	GWB	GYPSTUM WALL BOARD
ANOD	ANODIZED	GYP	GYPSTUM WALL BOARD
ASTM	AMERICAN SOCIETY OF TESTING AND MATERIALS	HCW	HOLLOW CORE WOOD (DOOR)
ATC	ACOUSTICAL TILE CEILING	HP	HIGH POINT
BFRT	BEAUFORT	HR	HOUR
BOCR	BACK OF CURB RADIUS	HVAC	HEATING, VENTILATION AND AIR CONDITIONING
BOT	BOTTOM	IBC	INTERNATIONAL BUILDING CODE
BTM	BOTTOM	ICC	INTERNATIONAL CODE COUNCIL
BYND	BEYOND	LAM	LAMINATE
CJ	CONTROL JOINT	LF	LINEAR FOOT OR LINEAR FEET
CLG	CEILING	MFR	MANUFACTURER
CMU	CONCRETE MASONRY UNIT	MIN	MINIMUM
COL	COLUMN	N/A	NOT APPLICABLE
COMP	COMPRESSIBLE	NFPA	NATIONAL FIRE PROTECTION ASSOCIATION
CONC	CONCRETE	NTS	NOT TO SCALE
CONT	CONTINUOUS	OC	ON CENTER
CPT	CARPET	OSB	ORIENTED STRAND BOARD
CT	CERAMIC TILE	OSHA	OCCUPATIONAL SAFETY ND HEALTH ADMINISTRATION
DEMO	DEMOLISH	PSF	POUND(S) PER SQUARE FOOT
DIM	DIMENSION	RBR	RUBBER
DN	DOWN	SATC	SUSPENDED ACOUSTICAL TILE CEILING
DP	DESIGN PRESSURE	SMACNA	SHEET METAL and AIR CONDITIONING CONTRACTORS' NATIONAL ASSOCIATION
DR	DOOR	SCDHEC	SOUTH CAROLINA DEPARTMENT OF HEALTH AND ENVIRONMENTAL CONTROL
DWG	DRAWING	SCOSE	SOUTH CAROLINA OFFICE OF STATE ENGINEER
EA	EACH	SF	SQUARE FOOT OR SQUARE FEET
EIFS	EXTERIOR INSULATION AND FINISH SYSTEM	UL	UNDERWRITERS LABORATORIES
EJ	EXPANSION JOINT	VIF	VERIFY IN FIELD
ELEC	ELECTRICAL	FFE	FINISH(ED) FLOOR ELEVATION
ELEV	ELEVATION		
EQ	EQUAL		
EQUIP	EQUIPMENT		
EX	EXISTING OR EXTERIOR		
EXT	EXTERIOR		
FIN	FINISH OR FINISHED		

DRAWING TAGS AND REFERENCES

XX	COLUMN TAG		EXTERIOR / INTERIOR / CASEWORK / MILLWORK ELEVATION
X###	ROOM NUMBER		
(108)	DOOR NUMBER		ENLARGED DETAIL OR ENLARGED FLOOR PLAN
#	EQUIPMENT NUMBER		
	RESTROOM ACCESSORY NUMBER		WALL / BUILDING SECTION
000.00	FINISHED FLOOR ELEVATION		EXISTING CONDITIONS PHOTOGRAPH STATION POINT
	SPOT ELEVATION		DRAWING KEYNOTE
A#	PARTITION TYPE NUMBER		WINDOW NUMBER
	INTERIOR / CASEWORK / MILLWORK ELEVATION		

MATERIAL DESIGNATIONS

	CONTINUOUS DIMENSIONAL WOOD LUMBER
	WOOD BLOCKING AND NAILERS
	RIGID INSULATION
	RIGID INSULATION
	RIGID INSULATION
	BATT INSULATION
	EARTH
	GRAVEL / STONE
	CONCRETE
	FIBERGLASS OR REINFORCED PLASTIC
	STEEL, ALUMINUM AND OTHER METALS
	GLASS AND MIRROR (ELEVATION)
	BRICK AND BRICK PAVERS (ELEVATION)
	PLYWOOD SHEATHING / BACKER BOARD
	GRASS / LAWN
	ASPHALT SHINGLES (ELEVATION)
	STANDING SEAM METAL ROOF (ELEVATION)

LINE TYPES

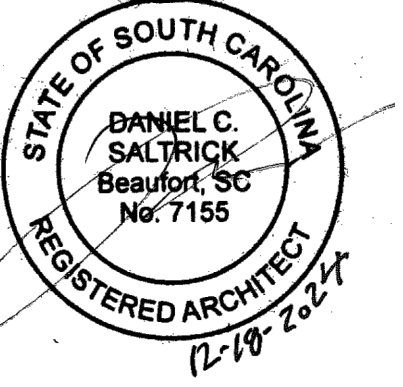
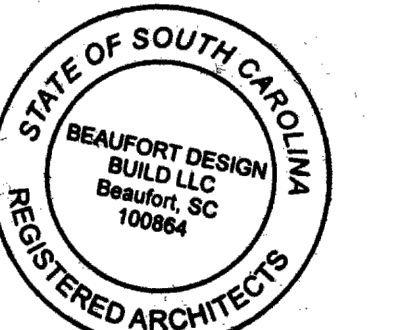
	DOMESTIC WATER LINE
	SANITARY SEWER LINE
	GAS LINE
	HOT WATER SUPPLY LINE
	COLD WATER SUPPLY LINE
	PERMANENT OR TEMPORARY FENCE, AS NOTED
	PROPERTY LINE
	OVERHEAD ELECTRICAL LINE
	UNDERGROUND ELECTRICAL LINE
	DATA LINE, AS NOTED (CABLE TV, INTERNET, ETC.)
	TELEPHONE LINE (BURIED OR OVERHEAD, AS NOTED)
	1-HOUR FIRE RATED WALL
	2-HOUR FIRE RATED WALL
	SUPPLY AIR
	RETURN / MAKUP / FRESH AIR

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ARCHITECT / ENGINEER'S SEAL

**33 MARSHELLEN
INTERIOR UPFIT FOR
WARM LIT SHELL
SPACES**

33 MARSHELLEN DRIVE
BEAUFORT, SC 29902

**FOR
CONSTRUCTION**

NO.	REVISIONS / SUBMISSIONS	DESCRIPTION	DATE
01	SUBMITTED FOR BUILDING PERMIT		12/19/2024

SHEET INFORMATION

DATE	NOVEMBER 07, 2024
JOB NUMBER	24021.00
DRAWN	CRM
CHECKED	DCS
APPROVED	DCS

SYMBOLS, ABBREV
AND MATERIAL
DESIGNATIONS

G-102

2021 APPENDIX B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS (EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)

Name of Project: **33 MARSHELLEN INTERIOR UPFIT**
 Address: **33 MARSHELLEN DRIVE, BEAUFORT, SOUTH CAROLINA** Zip Code: **29902**
 Owner or Authorized Agent: **DANIEL C. SALTROCK, AIA** Phone #: **(843) 466-3664** E-Mail: **DANIEL@BEAUFORTDESIGNBUILD.COM**
 Owned By: **ORANGE STREET PROPERTIES LLC**
 Code Enforcement Jurisdiction: **CITY OF BEAUFORT**

CONTACT: **DANIEL C. SALTROCK, AIA - BEAUFORT DESIGN BUILD LLC**

DESIGNER FIRM NAME LICENSE # TELEPHONE # EMAIL
 Architectural: **BEAUFORT DESIGN BUILD DANIEL C. SALTROCK 7155 (704) 616-1302 DANIEL@BEAUFORTDESIGNBUILD.COM**
 Civil: **N/A N/A N/A N/A N/A**
 Electrical: **N/A N/A N/A N/A N/A**
 Fire Alarm: **N/A N/A N/A N/A N/A**
 Plumbing: **N/A N/A N/A N/A N/A**
 Mechanical: **LONDON ENGINEERING RAFAEL LONDONO 23530 (843) 263-1792 RLONDONO@LONDONENGINEERING.COM**
 Sprinkler Standpipe: **N/A N/A N/A N/A N/A**
 Structural: **N/A N/A N/A N/A N/A**
 Retaining Walls - 5' High: **N/A N/A N/A N/A N/A**
 Other: **N/A N/A N/A N/A N/A**
 (*Other* should include firms and individuals such as truss, precast, pre-engineered, interior designers, etc.)

2021 BUILDING CODE: **2021 INTERNATIONAL BUILDING CODE**
 2021 EXISTING BUILDING CODE: **N/A**
 CONSTRUCTED: (date) **N/A** CURRENT OCCUPANCY(S) (Ch.3) **N/A**
 RENOVATED: (date) **N/A** PROPOSED OCCUPANCY(S) (Ch.3) **(B) BUSINESS**
 OCCUPANCY CATEGORY (Table 1604.5): Current: **N/A** Proposed: **II**

BASIC BUILDING DATA
 Construction Type: **VB** Special Inspections Required: **NO**
 Sprinklers: **NO** Floor Hazard Area: **NO**
 Standpipes: **NO**
 Primary Fire District: **NO**

FLOOR	EXISTING (SQ FT)	NEW (SQ FT)	RENOVATED	COMMENTS
6th Floor	N/A	N/A	N/A	
5th Floor	N/A	N/A	N/A	
4th Floor	N/A	N/A	N/A	
3rd Floor	N/A	N/A	N/A	
2nd Floor	N/A	N/A	N/A	
Mezzanine	N/A	N/A	N/A	
1st Floor	4162	N/A	4162	
Basement	N/A	N/A	N/A	
TOTAL	4162	N/A	4162	

ALLOWABLE AREA
 Primary Occupancy Classification(s): **(B) BUSINESS**
 Accessory Occupancy Classification(s): **N/A**
 Incidental Uses (Table 509): **N/A**
 Special Uses (Chapter 4 - List Code Sections): **N/A**
 Special Provisions: (Chapter 5 - List Code Sections): **N/A**
 Mixed Occupancy: **N/A** Separation: **N/A** Exception: **N/A**

Actual Area of Occupancy A + Actual Area of Occupancy B ≤ 1.00
 Allowable Area of Occupancy B

N/A + N/A = N/A ≤ 1.00

STORY NO.	DESCRIPTION AND USE	(A) BLDG AREA PER STORY (ACTUAL)	(B) ALLOWABLE AREA TABLE 506.2	(C) AREA FOR FRONTAGE INCREASE ^{1,2}	(D) ALLOWABLE AREA PER STORY OR UNLIMITED ³
1	(B) BUSINESS	3,418 SF	9,000 SF	N/A	9,000 SF
TOTAL BUILDING AREA		3,418 SF	9,000 SF	N/A	9,000 SF

¹ Frontage area increases from Section 506.2 are computed thus:
 a. Perimeter which fronts a public way or open space having 20 feet minimum width = 207' (F)
 b. Total Building Perimeter (P) = 207' (F)
 c. Ratio (P/P) = 1 (F/P)
 d. Minimum width of public way (W) = 20' (W)
 e. Percent of frontage increase: $I_p = 100[(P - 0.25) / W] - 45$ (%)

² Unlimited area applicable under conditions of Section 507.
³ Maximum Building Area = total number of stories in the building x D (maximum) stories (506.2).
⁴ The maximum area of open parking garages must comply with Table 406.5.4. The maximum area of air traffic control towers must comply with Table 412.3.1.
⁵ Frontage increase is based on the unspinklered area value in Table 506.2.

	ALLOWABLE	SHOWN ON PLANS	CODE REFERENCE
Building Height in Feet (Table 504.3)	Feet: 40'	Feet: 23'	TABLE 504.3
Building Height in Stories (Table 504.4)	Stories: 1	Stories: 1	TABLE 504.4

¹ Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4.

BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	RATING TABLE 601 REQUIRED	PROVIDED (w/ REDUCTIONS)	DETAIL # AND SHEET #	DESIGN # FOR RATED ASSEMBLY	SHEET # FOR RATED PENETRATION	SHEET # FOR RATED JOINTS
Structural Frame including columns, girders, trusses	0	0	0	-	-	-	-
Exterior							
North	>30	0	0	-	-	-	-
East	>30	0	0	-	-	-	-
West	<10	0	0	-	-	-	-
South	>30	0	0	-	-	-	-
Interior	>30	0	0	-	-	-	-
Nonbearing Walls and Partitions							
Exterior							
North	>30	0	0	-	-	-	-
East	>30	0	0	-	-	-	-
West	>30	0	0	-	-	-	-
South	>30	0	0	-	-	-	-
Interior	>30	0	0	-	-	-	-
Floor Construction including supporting beams and joists	-	0-HR	0-HR	-	-	-	-
Floor Ceiling Assembly	-	0-HR	0-HR	-	-	-	-
Columns Supporting Floors	-	0-HR	0-HR	-	-	-	-
Roof Construction including supporting beams and joists	-	0-HR	0-HR	-	-	-	-
Roof Ceiling Assembly	-	0-HR	0-HR	-	-	-	-
Columns Supporting Roof	-	0-HR	0-HR	-	-	-	-
Shaft Enclosures - Exit	-	N/A	N/A	-	-	-	-
Shaft Enclosures - Other	-	N/A	N/A	-	-	-	-

BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	RATING REQUIRED	PROVIDED (w/ REDUCTIONS)	DETAIL # AND SHEET #	DESIGN # FOR RATED ASSEMBLY	SHEET # FOR RATED PENETRATION	SHEET # FOR RATED JOINTS
Corridor Separation	N/A	N/A	N/A	-	-	-	-
Occupancy Fire Barrier Separation	N/A	N/A	N/A	-	-	-	-
Party/Fire Wall Separation	N/A	N/A	N/A	-	-	-	-
Smoke Barrier Separation	N/A	N/A	N/A	-	-	-	-
Tenant Separation	N/A	N/A	N/A	-	-	-	-
Incidental Separation	N/A	N/A	N/A	-	-	-	-

* Indicate section number permitting reduction

FIRE SEPARATION DISTANCE (FEET) FROM PROPERTY LINES	DEGREE OF OPENING PROTECTION (TABLE 705.8)	ALLOWABLE AREA (%)	ACTUAL SHOWN ON PLANS (%)
NORTH > 30'	UP, NS	NO LIMIT	N/A
EAST > 30'	UP, NS	NO LIMIT	N/A
WEST < 10'	UP, NS	10%	8%
SOUTH > 30'	UP, NS	NO LIMIT	N/A

LIFE SAFETY SYSTEMS REQUIREMENTS
 Emergency Lighting: **YES**
 Exit Signs: **YES**
 Fire Alarm: **NO**
 Smoke Detection Systems: **NO**
 Carbon Monoxide Detection: **NO**

LIFE SAFETY PLAN REQUIREMENTS
 Life Safety Plan Sheet #: **G-104**

Fire and/or smoke rated wall locations (Chapter 7)
 Assumed and real property line locations (if not on the site plan)
 Exterior wall opening area with respect to distance to assumed property lines (705.8)
 Occupancy Use for each area as it relates to occupant load calculation (Table 1004.1.2)
 Occupant load for each area
 Exit access travel distances (1017)
 Common path of travel distances (Tables 1006.2.1 & 1006.3.2(1))
 Dead end lengths (1020.4)
 Clear exit widths for each exit door
 Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.3)
 Actual occupant load for each exit door
 A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purpose of occupancy separation
 Location of doors with panic hardware (1010.1.10)
 Location of doors with delayed egress locks and the amount of delay (1010.1.9.7)
 Location of doors with electromagnetic egress locks (1010.1.9.9)
 Location of doors equipped with hold-open devices
 Location of emergency escape windows (1030)
 The square footage of each fire area (202)
 The square footage of each smoke compartment for Occupancy Classification I-2 (407.5)
 Note any code exceptions or table notes that may have been utilized regarding the items above

TOTAL UNITS	ACCESSIBLE UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE A UNITS REQUIRED	TYPE B UNITS REQUIRED	TYPE A UNITS PROVIDED	TYPE B UNITS PROVIDED	TOTAL ACCESSIBLE UNITS PROVIDED
N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A

LOT OR PARKING AREA	TOTAL # OF PARKING SPACES REQUIRED	PROVIDED	# OF ACCESSIBLE SPACES PROVIDED REGULAR WITH 5' ACCESS AISLE	# OF ACCESSIBLE SPACES PROVIDED 12' ACCESS AISLE	TOTAL # ACCESSIBLE SPACES PROVIDED
TOTAL	NO CHANGE TO THE PARKING COUNT AND ACCESSIBLE PARKING ASSOCIATED WITH THE EXISTING BUILDING				

USE	WATERCLOSETS MALE/FEMALE/UNISEX	URINALS	LAVATORIES MALE/FEMALE/UNISEX	SERVICE SINK	DRINKING FOUNTAINS REGULAR/ACCESSIBLE
BUSINESS (B)	1/25 FIRST 50 1/50 REM 50	N/A	1/40 FIRST 80 1/80 REM 80	1	1/100
TOTAL REQUIRED	0 0 1	0	0 0 1	*	1 1
TOTAL PROVIDED	0 0 2	0	0 0 2	0	1 1

* PER IBC SECTION 2902.1.1, FOR BUSINESS AND MERCANTILE CLASSIFICATIONS WITH AN OCCUPANT LOAD OF 15 OR FEWER, A SERVICE SINK SHALL NOT BE REQUIRED

SPECIAL APPROVALS
 Special approval: (Local Jurisdiction, Department of Insurance, OSC, DPI, DHHS, ICC, etc., describe below)
NO SPECIAL APPROVALS REQUIRED

ENERGY SUMMARY
 ENERGY REQUIREMENTS:
 The following data shall be considered minimum and any special attribute required to meet the South Carolina Energy Conservation Code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs. annual energy cost for the proposed design.

Existing building envelope complies with code: **N/A**
 Exempt Building: **N/A**
 Climate Zone: **N/A**
 Method of Compliance: **N/A**
 (If "Other" specify source here)

THERMAL ENVELOPE: (Prescriptive method only)
 Roof/Ceiling Assembly (each assembly)
 Description of assembly: **N/A**
 U-Value of total assembly: **N/A**
 R-Value of insulation: **N/A**
 Skylights in each assembly: **N/A**
 U-Value of skylight: **N/A**
 Total square footage of skylight in each assembly: **N/A**

Exterior Walls (each assembly)
 Description of assembly: **N/A**
 U-Value of total assembly: **N/A**
 R-Value of insulation: **N/A**
 Openings (windows or doors with glazing): **N/A**
 U-Value of assembly: **N/A**
 Solar heat gain coefficient: **N/A**
 Projection factor: **N/A**
 Door E-Values: **N/A**

Walls below grade (each assembly)
 Description of assembly: **N/A**
 U-Value of total assembly: **N/A**
 R-Value of insulation: **N/A**

Floors over unconditioned space (each assembly)
 Description of assembly: **N/A**
 U-Value of total assembly: **N/A**
 R-Value of insulation: **N/A**

Floors slab on grade
 Description of assembly: **N/A**
 U-Value of total assembly: **N/A**
 R-Value of insulation: **N/A**
 Horizontal/vertical equipment:
 Slab heated: **N/A**

STRUCTURAL DESIGN
 (PROVIDE ON THE STRUCTURAL SHEETS IF APPLICABLE)

DESIGN LOADS:
 Importance Factors: Wind (hr) **N/A**
 Snow (S) **N/A**
 Seismic (Ic) **N/A**
 Live Loads: Roof: **N/A** psf
 Floor: **N/A** psf
 Ground Snow Load: **N/A** psf
 Wind Load: Basic Wind Speed: **N/A** mph (ASCE-7)
 Exposure Category: **N/A**

SEISMIC DESIGN CATEGORY: **N/A**
 Provide the following Seismic Design Parameters:
 Occupancy Category (Table 1604.5) **N/A**
 Spectral Response Acceleration: S_s **N/A**, S₁ **N/A**, S_{0.1} **N/A**
 Site Classification (ASCE 7) **N/A**
 Data Source: **N/A**
 Basic Structural System (Check one) **N/A**
 Analysis Procedure: **N/A**
 Architectural, Mechanical, Components anchored? **N/A**

LATERAL BEARING CONTROL: **N/A**
 SOIL BEARING CAPACITIES: **N/A** psf
 File sizes, type, and capacity: **N/A**

MECHANICAL DESIGN
 (PROVIDE ON THE MECHANICAL SHEETS IF APPLICABLE)

MECHANICAL SUMMARY
 MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT
 Thermal Zone: **3A**
 Winter dry bulb: **49.9**
 Summer dry bulb: **92.7**
 Interior design conditions
 Winter dry bulb: **68**
 Summer dry bulb: **85**
 Relative humidity: **75**
 Building heating load: **N/A**
 Building cooling load: **N/A**
 Mechanical Spacing Conditioning System
 Unitary
 Description of unit: **EXISTING**
 Heating efficiency: **EXISTING**
 Cooling efficiency: **EXISTING**
 Size category of unit: **EXISTING**
 Boiler
 Size category, if oversized, state reason: **N/A**
 Chiller
 Size category, if oversized, state reason: **N/A**
 List equipment efficiencies: **EXISTING**

ELECTRICAL DESIGN
 (PROVIDE ON THE ELECTRICAL SHEETS IF APPLICABLE)

ELECTRICAL SUMMARY
 Method of compliance: **N/A**
 Lighting Schedule (each fixture type)
 Lamp type required in fixture: **N/A**
 Number of lamps in fixture: **N/A**
 Ballast type used in the fixture: **N/A**
 Number of ballasts in fixture: **N/A**
 Total wattage per fixture: **N/A**
 Total interior wattage specified vs. allowed (whole building or space by space): **N/A**
 Total exterior wattage specified vs. allowed: **N/A**
 Additional Efficiency Package Options
 (When using the 2009 NEC, not required for ASHRAE 90.1)
 C406.2 More Efficient HVAC Equipment Performance
 C406.3 Reduced Lighting Power Density
 C406.4 Enhanced Digital Lighting Controls
 C406.5 On-Site Renewable Energy
 C406.6 Dedicated Outdoor Air System
 C406.7 Reduced Energy Use in Service Water Heating

PER IBC SECTION 2902.1 E; FOR BUSINESS AND MERCANTILE CLASSIFICATIONS WITH AN OCCUPANT LOAD OF 15 OR FEWER, A SERVICE SINK SHALL NOT BE REQUIRED

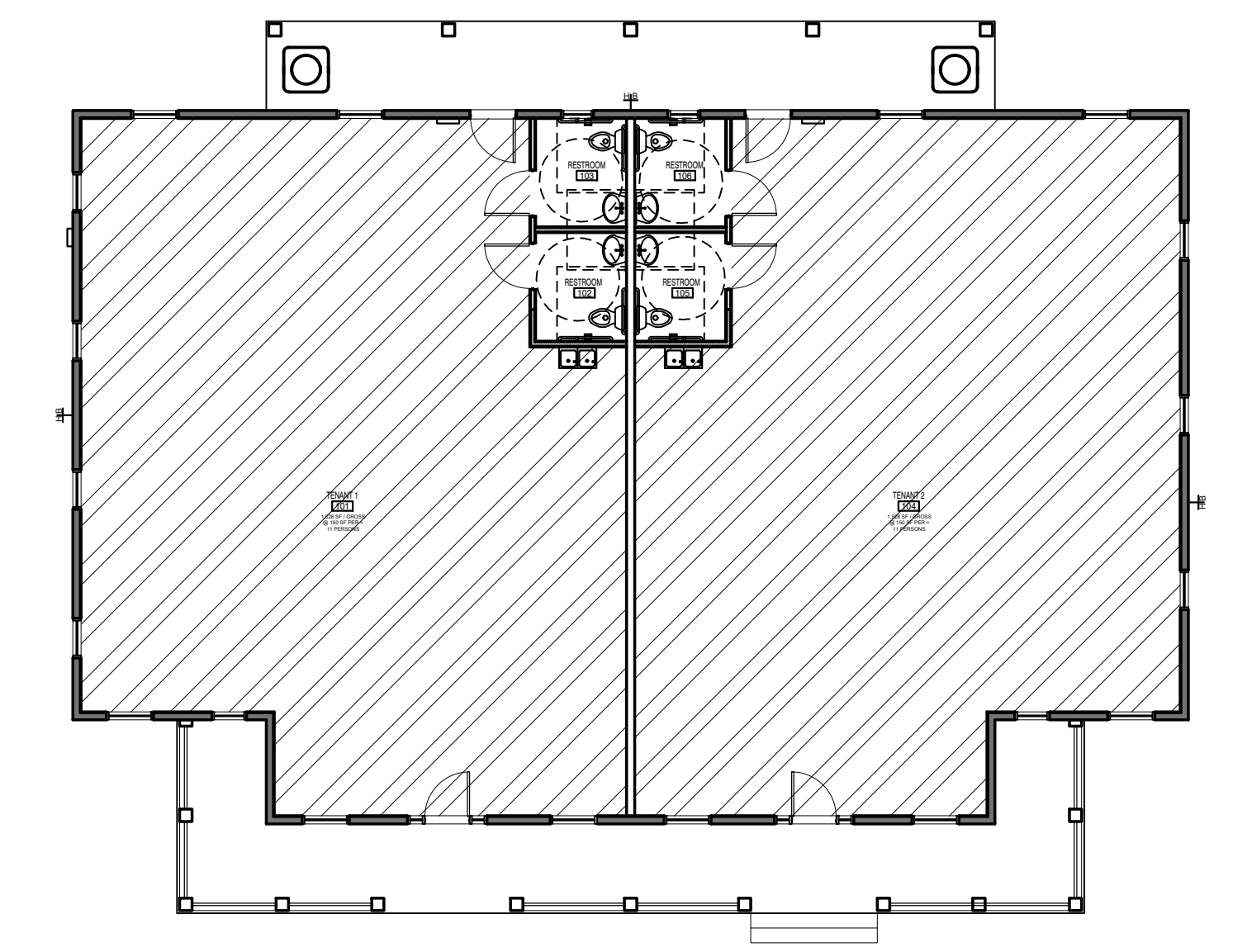
**TENANT 1 OCCUPANT LOAD SUMMARY
2021 IBC SECTION 1004, TABLE 1004.1.2**

USE GROUP OR SPACE DESCRIPTION	AREA SQ FT	AREA PER OCCUPANT (TABLE 1004.1.2)	CALCULATED OCCUPANT LOAD (a/b)
BUSINESS	1,528	150 GROSS	11
CIRCULATION / UNOCCUPIED	-	N/A	NOTE 1
TOTAL			11

**TENANT 2 OCCUPANT LOAD SUMMARY
2021 IBC SECTION 1004, TABLE 1004.1.2**

USE GROUP OR SPACE DESCRIPTION	AREA SQ FT	AREA PER OCCUPANT (TABLE 1004.1.2)	CALCULATED OCCUPANT LOAD (a/b)
BUSINESS	1,528	150 GROSS	11
CIRCULATION / UNOCCUPIED	-	N/A	NOTE 1
TOTAL			11

NOTES:
 1. CORRIDORS, RESTROOMS AND OTHER SIMILAR SPACES ARE CONSIDERED UNOCCUPIED. WHEN OCCUPIED, THE OCCUPANTS ARE TRANSIENT AND HAVE VACATED ANOTHER OCCUPIED SPACE THEREFORE, THE BUILDING OCCUPANT LOAD DOES NOT CHANGE



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STATE OF SOUTH CAROLINA
 BEAUFORT DESIGN BUILD LLC
 REGISTERED ARCHITECTS

STATE OF SOUTH CAROLINA
 DANIEL C. SALTROCK
 Beaufort, SC
 No. 7155
 REGISTERED ARCHITECT
 12-19-2024

ARCHITECT / ENGINEER'S SEAL

33 MARSHELLEN INTERIOR UPFIT FOR WARM LIT SHELL SPACES

**33 MARSHELLEN DRIVE
BEAUFORT, SC 29902**

FOR CONSTRUCTION

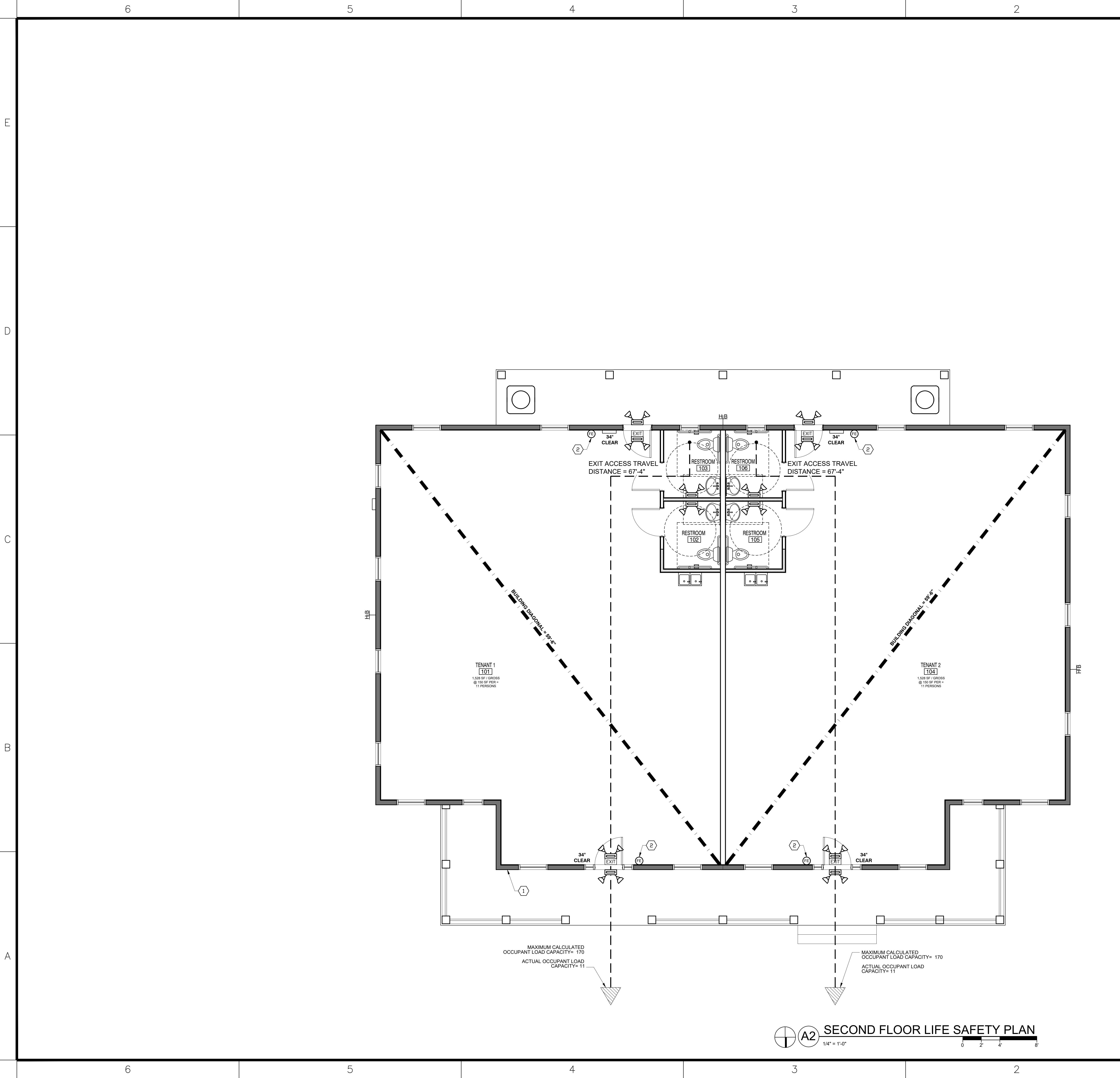
NO.	DESCRIPTION	DATE
S1	SUBMITTED FOR BUILDING PERMIT	12/19/2024

SHEET INFORMATION
 DATE: **NOVEMBER 07, 2024**
 JOB NUMBER: **24021.00**
 DRAWN: **RAC**
 CHECKED: **DCS**
 APPROVED: **DCS**

2021 IBC BUILDING CODE SUMMARY

G-103

EXISTING BUILDING IS NOT FULLY FIRE SPRINKLERED



GENERAL NOTES:

- A. ALL EXIT DOORS SHALL BE EQUIPPED WITH EXIT SIGNS AND EMERGENCY EGRESS LIGHT.
- B. COORDINATE FIRE EXTINGUISHER TYPES AND LOCATIONS WITH FIRE MARSHAL PRIOR TO INSTALLING.

SHEET KEY NOTES:

- 1. KNOX BOX - COORDINATE REQUIREMENT AND INSTALLATION LOCATION WITH FIRE MARSHAL
- 2. COORDINATE WITH FIRE MARSHAL FOR LOCATION OF FIRE EXTINGUISHERS

**2021 IBC EGRESS REQUIREMENTS
TENANT 1:**

OCCUPANT LOAD: 11 PEOPLE
 BUILDING IS FIRE SPRINKLERED: NO
 OCCUPANCY TYPE: B (BUSINESS)
 PROJECT AREA: 1,627 SQUARE FEET
 EXIT ACCESS TRAVEL DISTANCE: 300'-0" (ACTUAL = 67'-4")
 MAXIMUM DEAD END CORRIDOR: 50'-0" (ACTUAL = 0'-0")
 MINIMUM NUMBER OF EXITS: 2 (ACTUAL = 2)
 MINIMUM CORRIDOR WIDTH: 36"

- EGRESS NOTES:
- 1. BUILDING DIAGONAL IS = 59'-6"
 - 2. REQUIRED DISTANCE BETWEEN EXIT DOORS IS: 19'-8" (1/3 OF DIAGONAL). ACTUAL DISTANCE IS 48'-11"
 - 3. ALL EGRESS DOORS ARE 36" WIDE AND PROVIDE A MINIMUM 34" CLEAR OPENING
 - 4. PRIMARY OCCUPANCY IS: B (BUSINESS)

**2021 IBC EGRESS REQUIREMENTS
TENANT 2:**

OCCUPANT LOAD: 11 PEOPLE
 BUILDING IS FIRE SPRINKLERED: NO
 OCCUPANCY TYPE: B (BUSINESS)
 PROJECT AREA: 1,627 SQUARE FEET
 EXIT ACCESS TRAVEL DISTANCE: 300'-0" (ACTUAL = 67'-4")
 MAXIMUM DEAD END CORRIDOR: 50'-0" (ACTUAL = 0'-0")
 MINIMUM NUMBER OF EXITS: 2 (ACTUAL = 2)
 MINIMUM CORRIDOR WIDTH: 36"

- EGRESS NOTES:
- 1. BUILDING DIAGONAL IS = 59'-6"
 - 2. REQUIRED DISTANCE BETWEEN EXIT DOORS IS: 19'-8" (1/3 OF DIAGONAL). ACTUAL DISTANCE IS 48'-11"
 - 3. ALL EGRESS DOORS ARE 36" WIDE AND PROVIDE A MINIMUM 34" CLEAR OPENING
 - 4. PRIMARY OCCUPANCY IS: B (BUSINESS)

LEGEND:

- BUILDING DIAGONAL
- COMMON PATH OF EGRESS ACCESS TRAVEL
- EXIT DISCHARGE
 - SINGLE OR DOUBLE DOOR WITH A MINIMUM 34" CLEAR OPENING
 - CEILING MOUNTED ILLUMINATED EXIT SIGN
 - ILLUMINATED EXIT SIGN AND EMERGENCY EXIT LIGHT COMBO ON INSIDE AND EMERGENCY LIGHT ON OUTSIDE. 90 MINUTE BATTERY BACKUP ON ALL
- ROOM TAG
 - ROOM NAME
 - ROOM NUMBER
 - ROOM SQ FT / GROSS OR NET PER NUMBER OF OCCUPANTS
- INTERIOR EMERGENCY EGRESS LIGHT AND EXIT SIGN WITH 90 MIN. EMERGENCY BATTERY BACKUP.
- NEW INTERIOR EMERGENCY EGRESS LIGHT WITH 90 MIN EMERGENCY BATTERY BACKUP
- PORTABLE HAND HELD TYPE K FIRE EXTINGUISHER MOUNTED TO WALL IN MANUFACTURER PROVIDED BRACKET. NOTE: PROVIDE BLOCKING IN WALL AND MOUNT IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS/ MOUNTED WITH TOP NO MORE THAN 5'-0" AFF. REVIEW EXTINGUISHER TYPES AND LOCATIONS WITH LOCAL FIRE MARSHAL PRIOR TO INSTALLING BLOCKING. EXTINGUISHER AND INSTALLATION PER NFPA 10

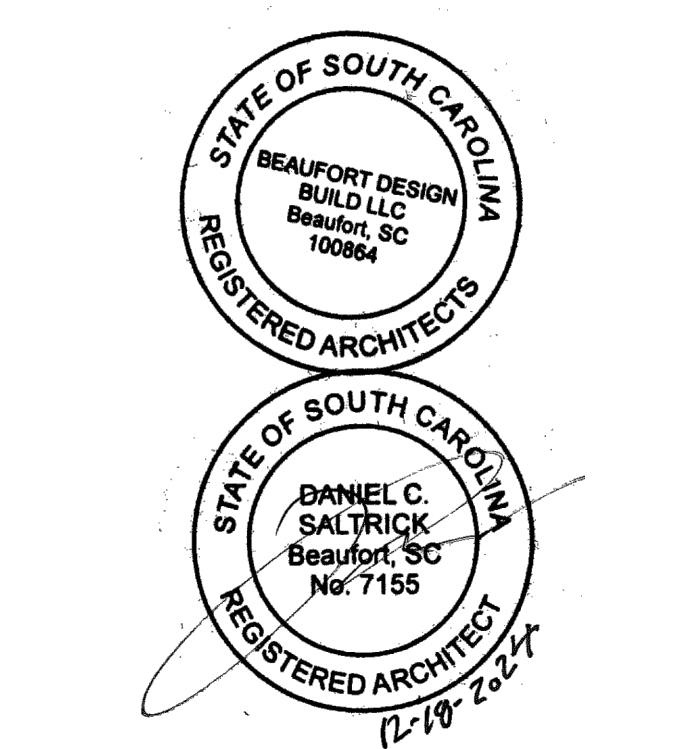
A2 SECOND FLOOR LIFE SAFETY PLAN
 1/4" = 1'-0"
 0 2 4 8

EXISTING BUILDING IS NOT FULLY FIRE SPRINKLERED

BEAUFORT
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ARCHITECT / ENGINEER'S SEAL

33 MARSHELLEN INTERIOR UPFIT FOR WARM LIT SHELL SPACES
 33 MARSHELLEN DRIVE
 BEAUFORT, SC 29902

FOR CONSTRUCTION

REVISIONS / SUBMISSIONS		DATE
NO.	DESCRIPTION	DATE
S1	SUBMITTED FOR BUILDING PERMIT	12/18/2024

SHEET INFORMATION	
DATE	NOVEMBER 07, 2024
JOB NUMBER	24021.00
DRAWN	RAC
CHECKED	DCS
APPROVED	DCS

SECOND FLOOR LIFE SAFETY PLAN

G-104

E

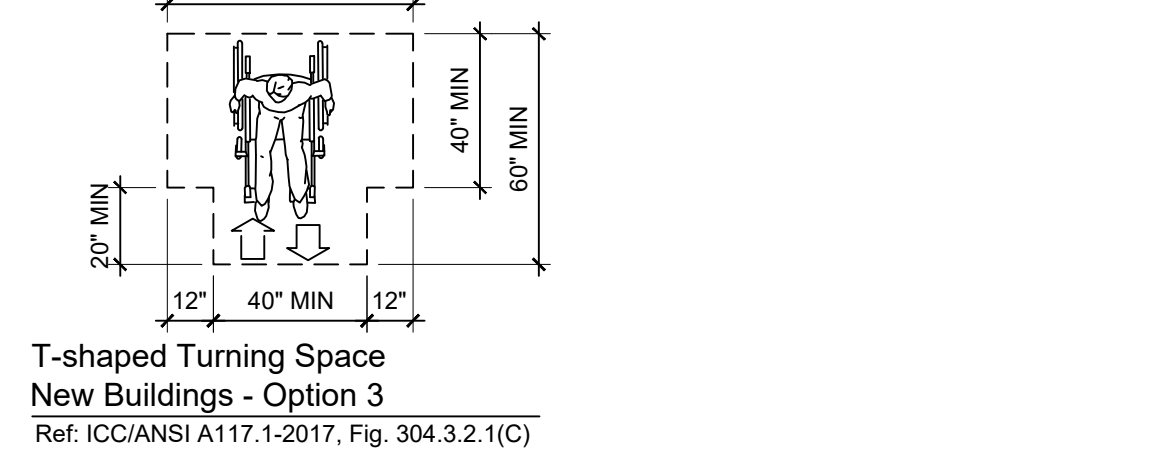
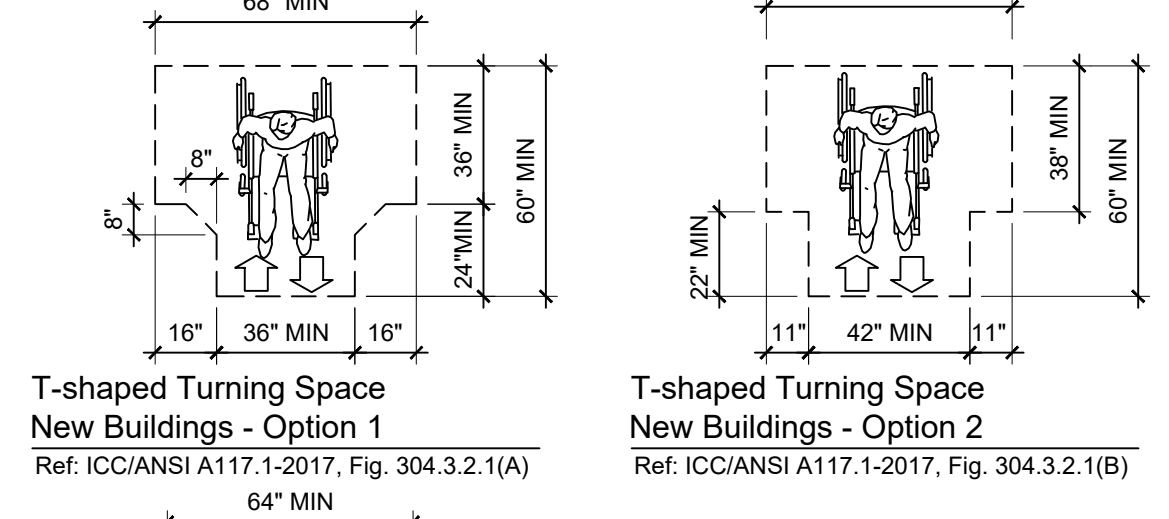
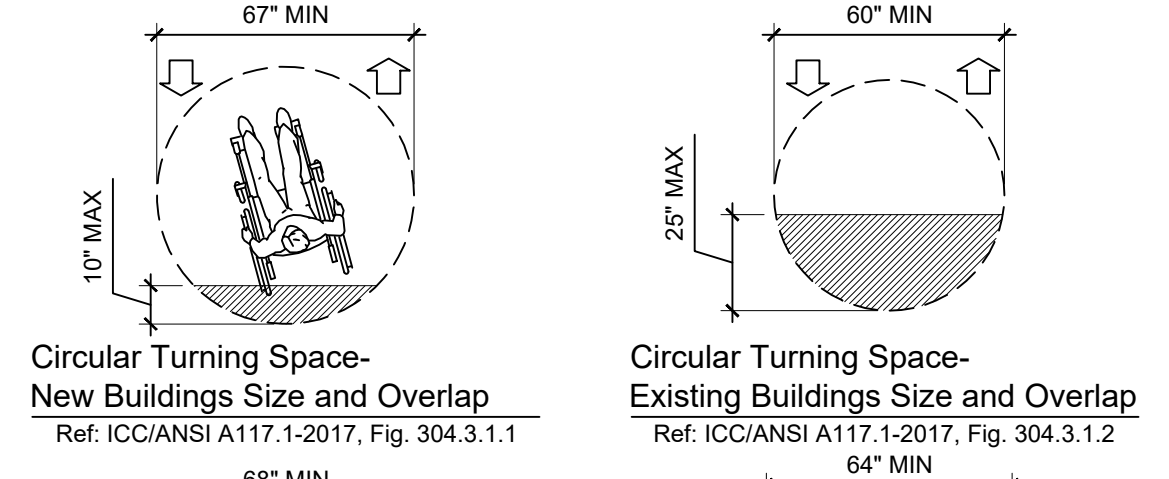
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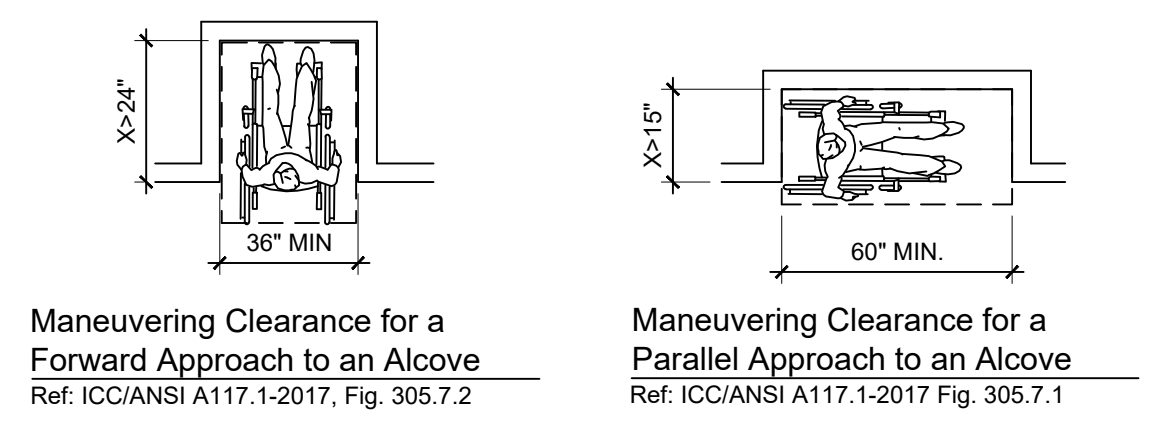
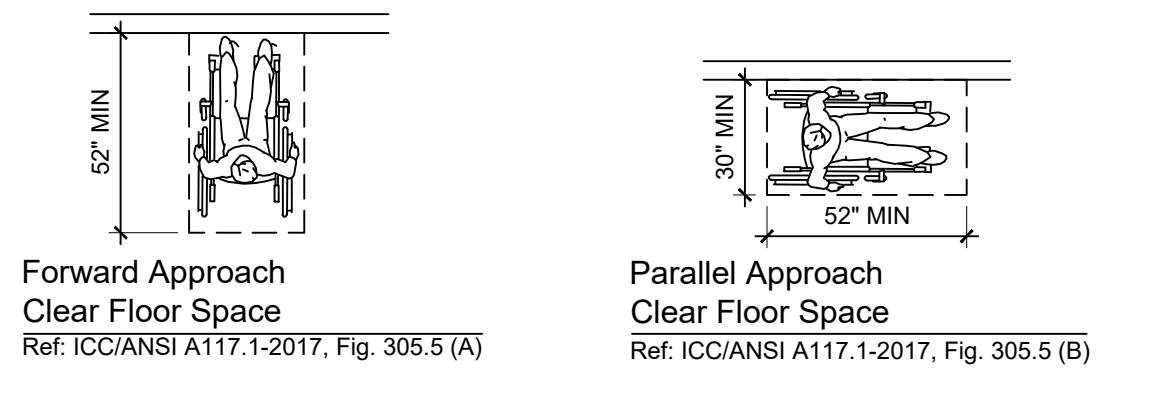
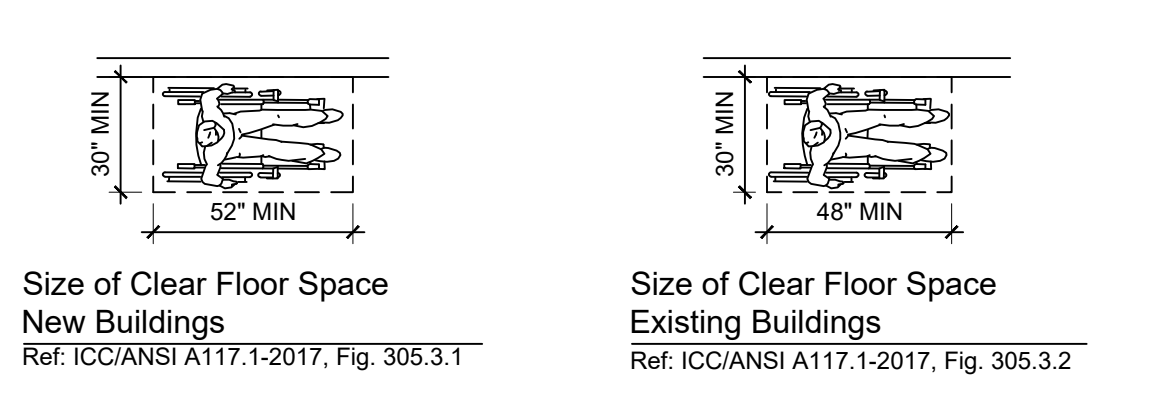
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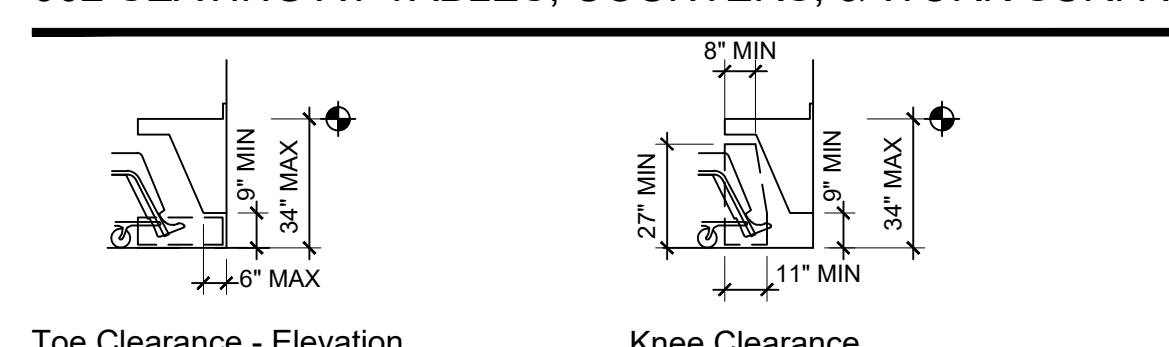
304 WHEELCHAIR TURNING SPACE



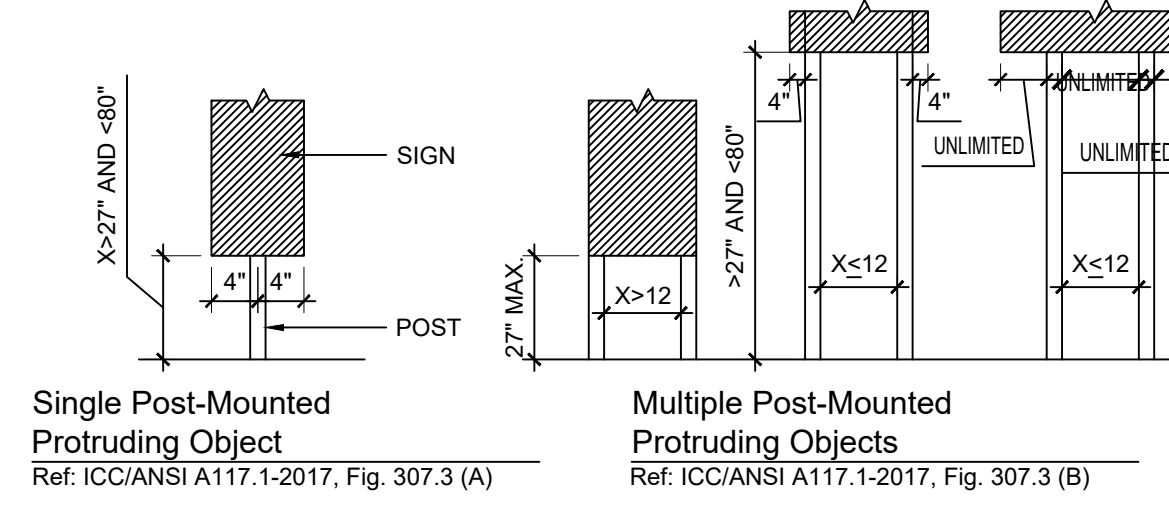
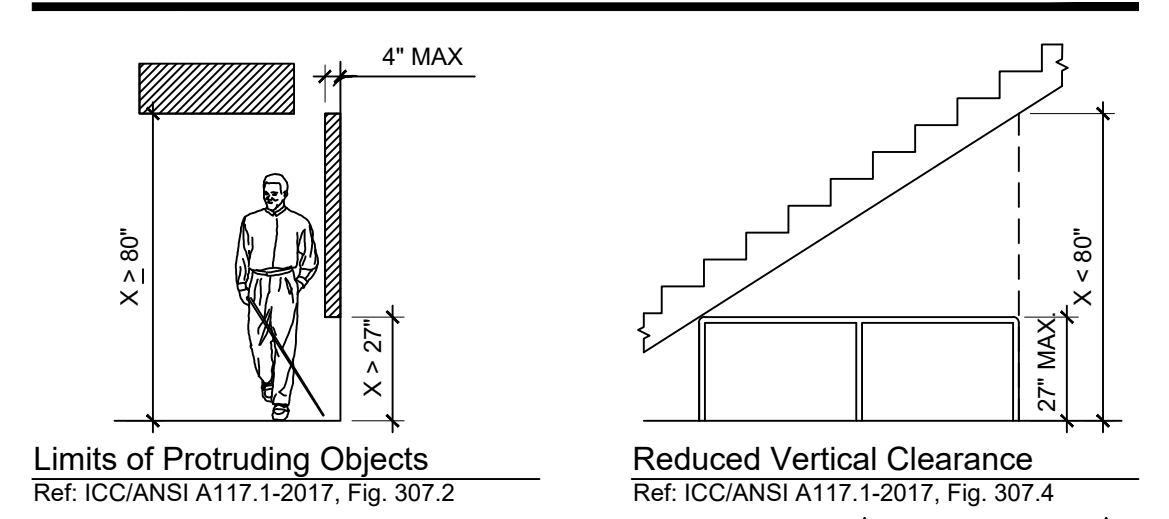
305 CLEAR FLOOR SPACE



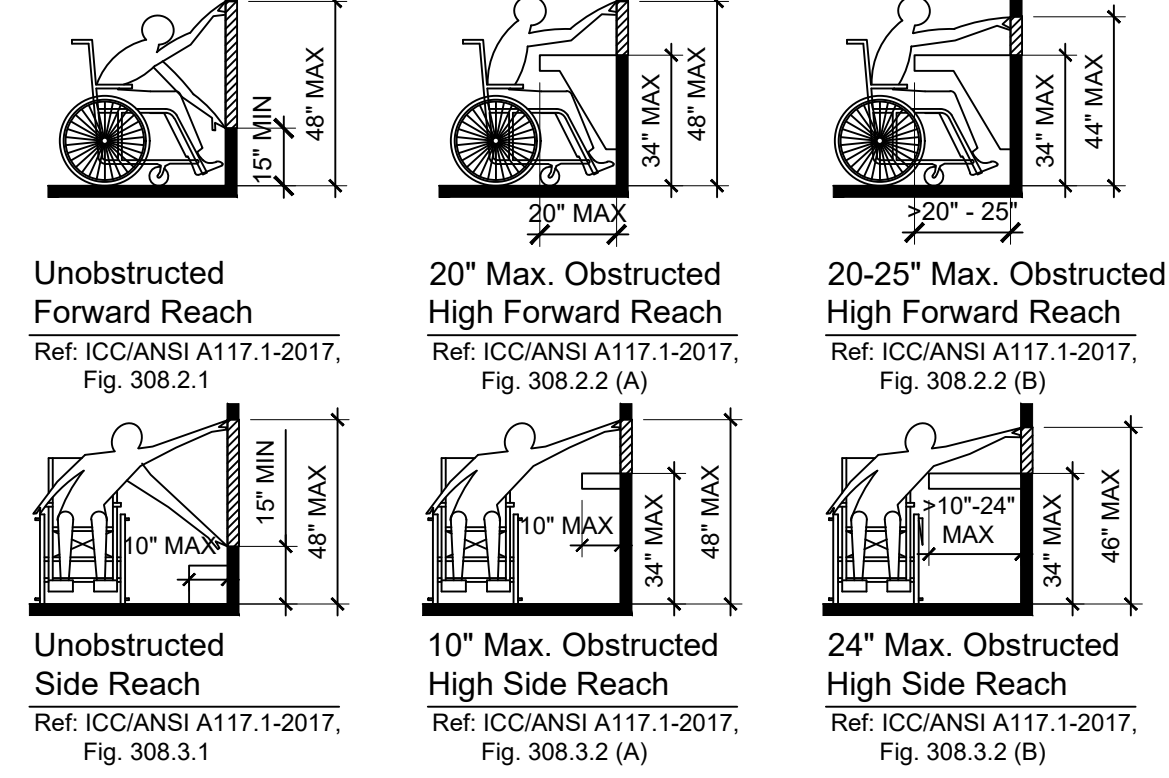
306 KNEE & TOE CLEARANCE; 606 LAVATORIES & SINKS; 902 SEATING AT TABLES, COUNTERS, & WORK SURFACES



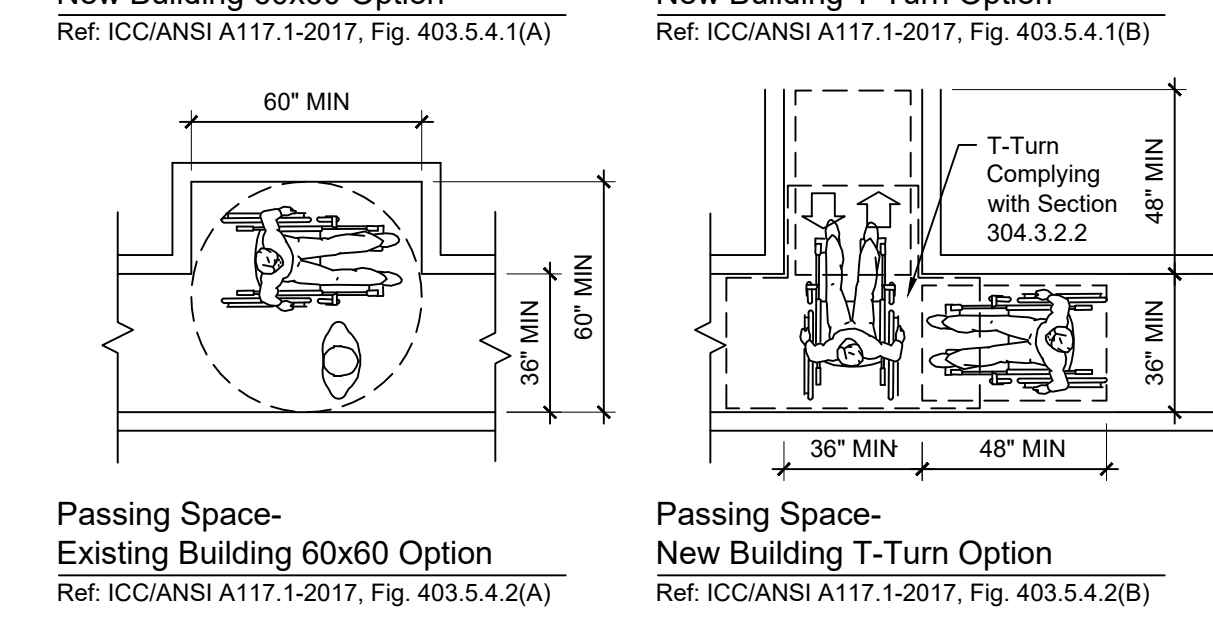
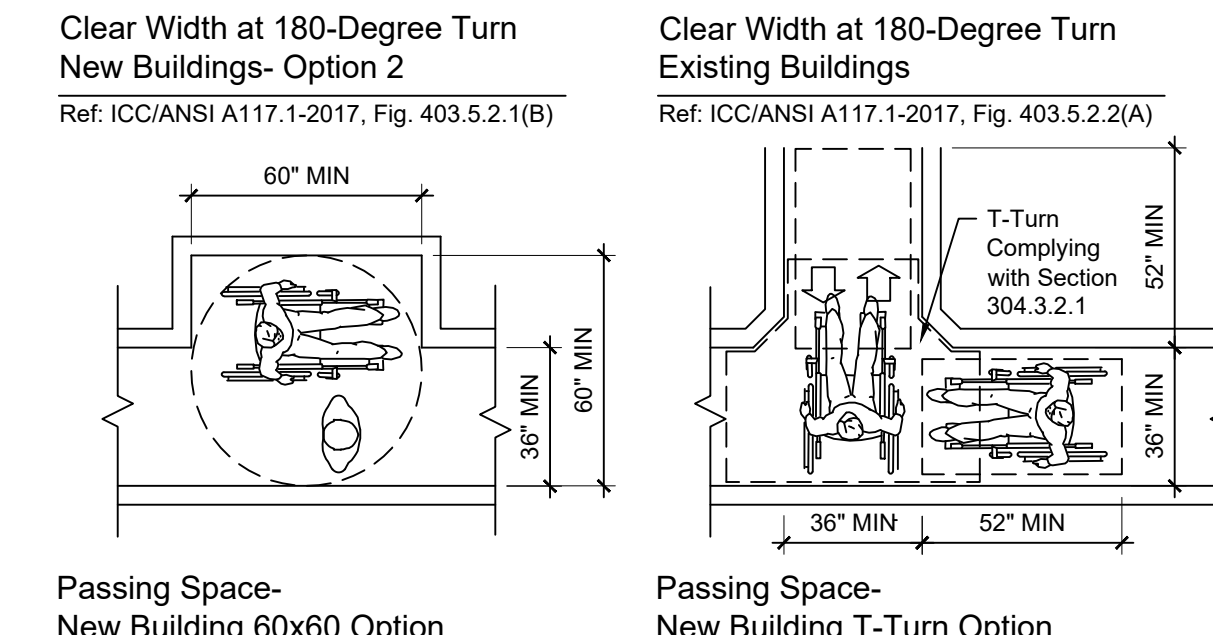
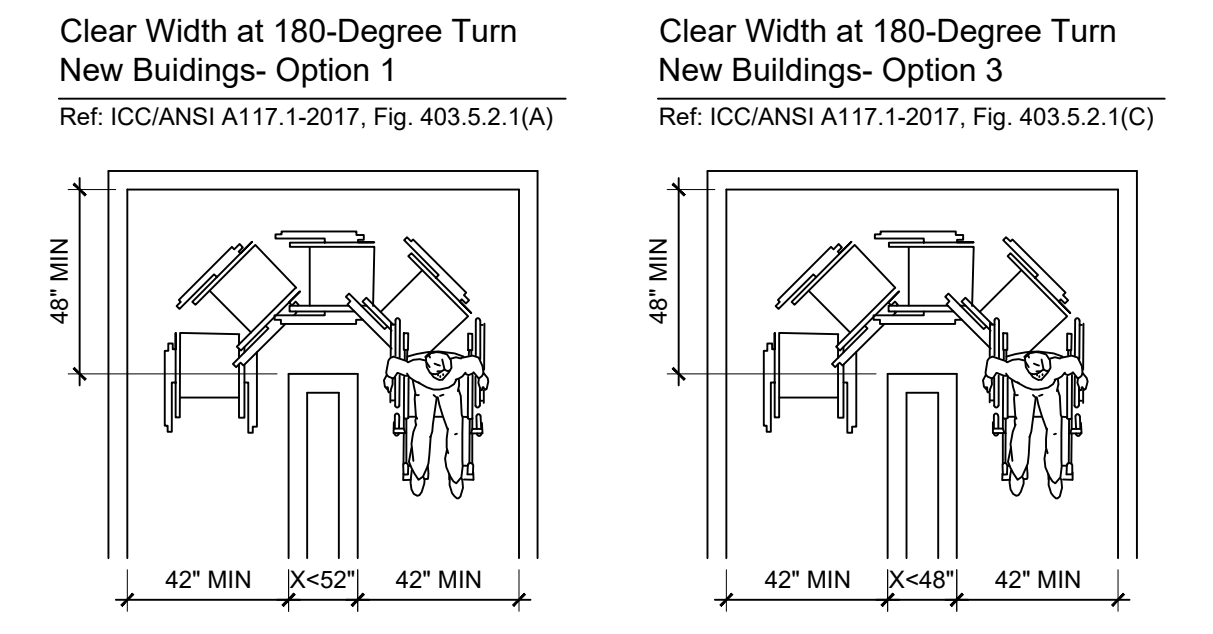
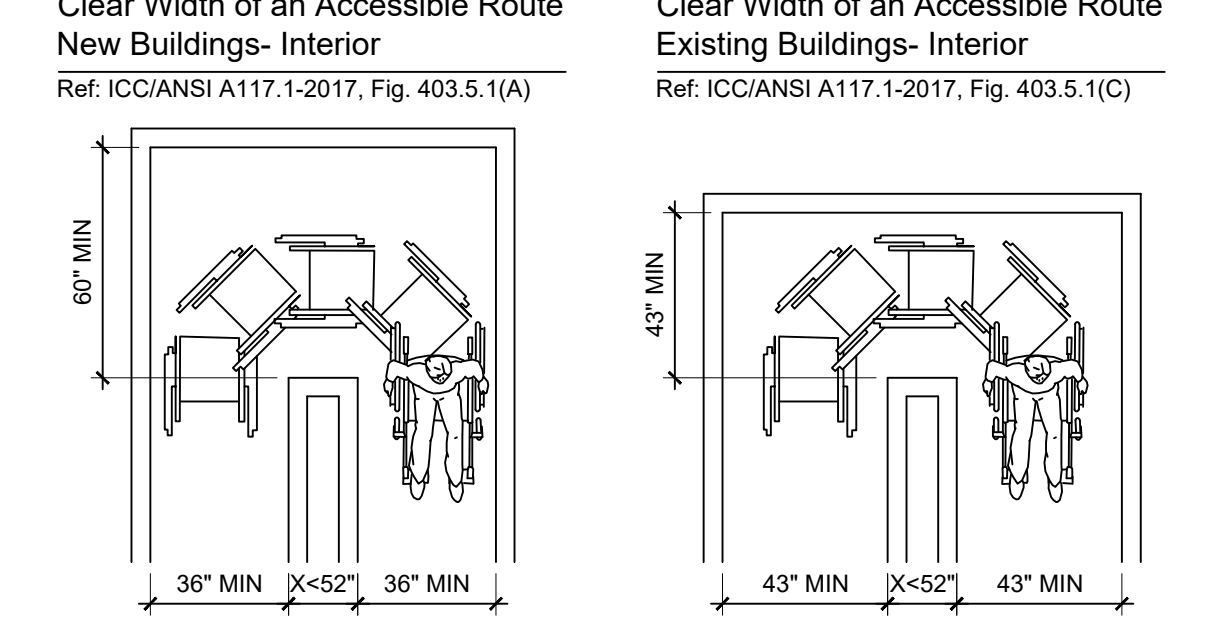
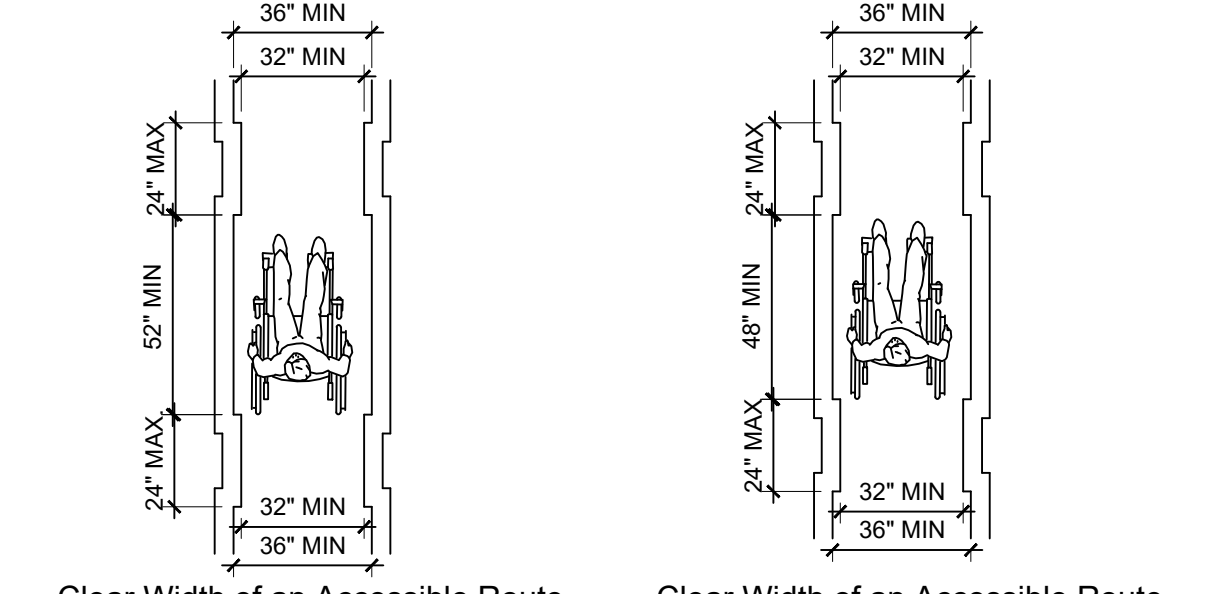
307 PROTRUDING OBJECTS



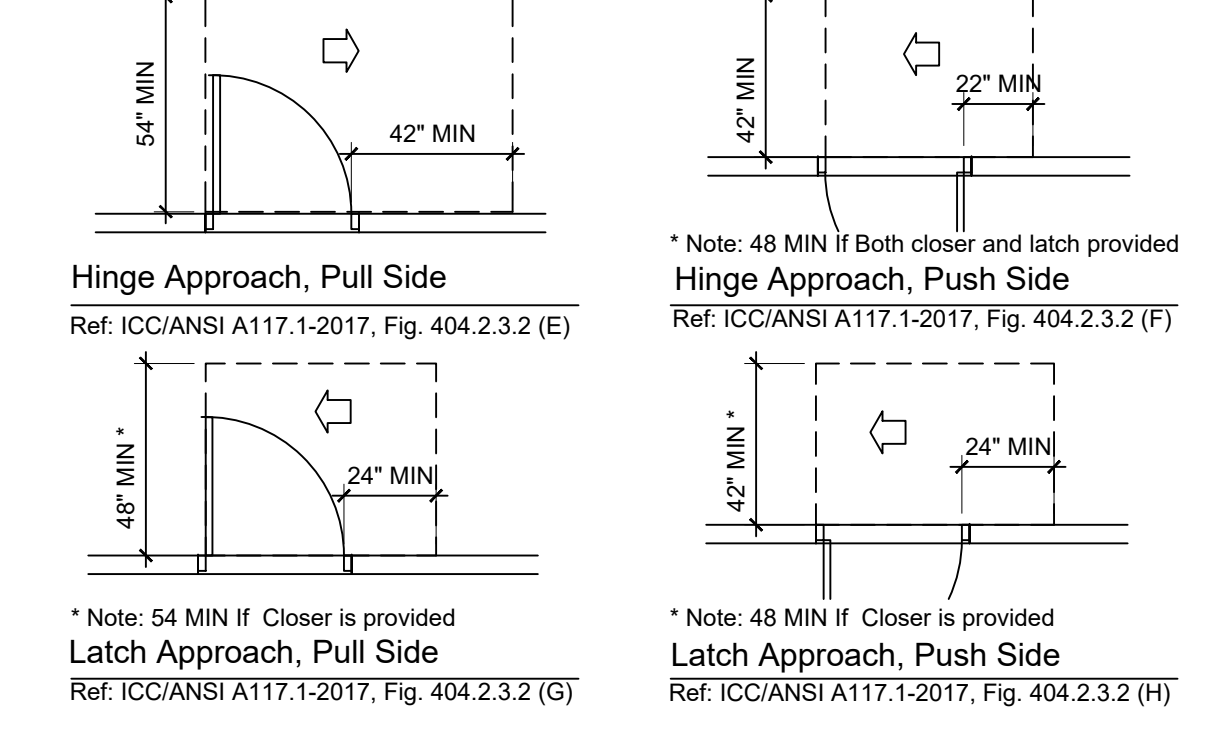
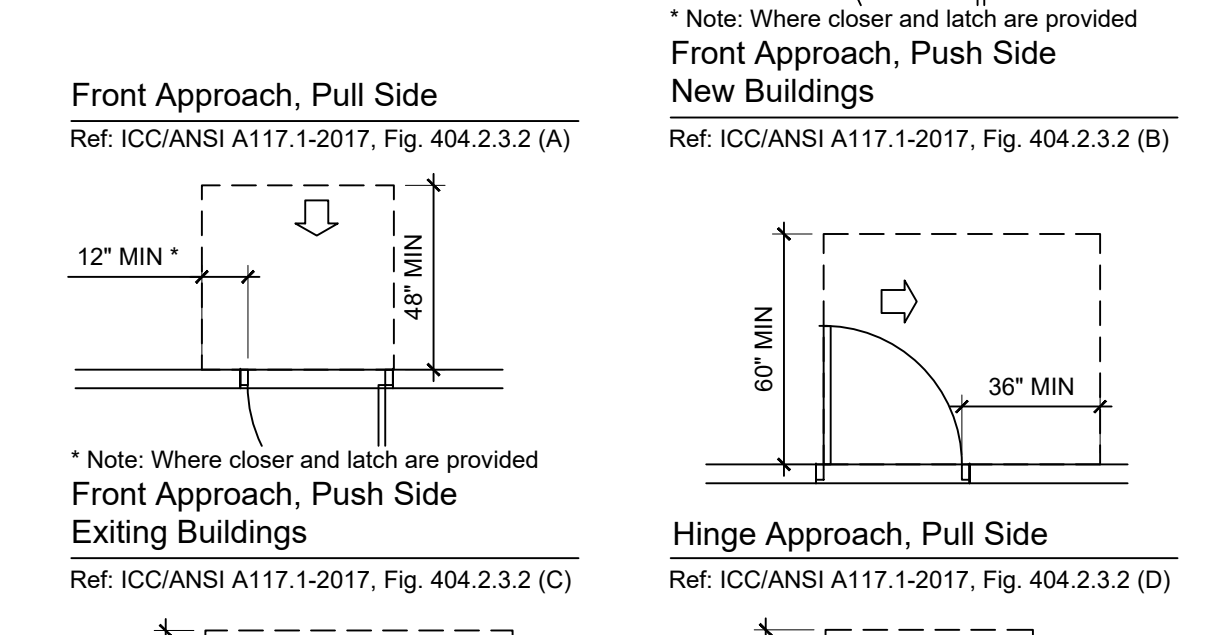
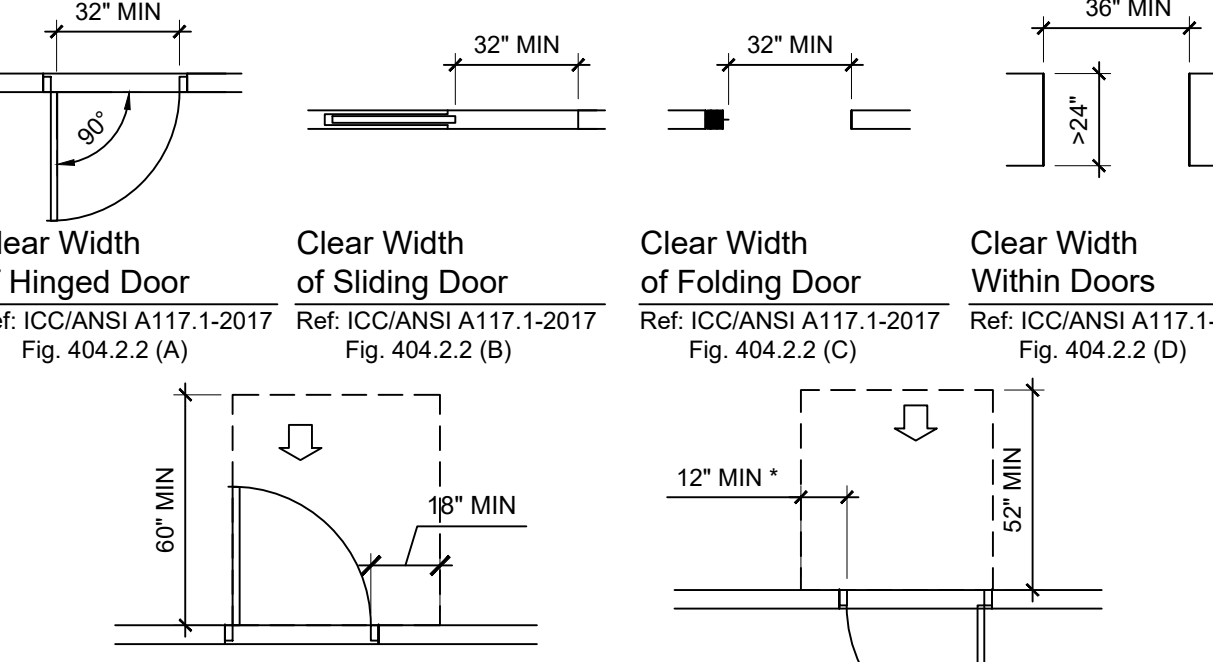
308 REACHING RANGES



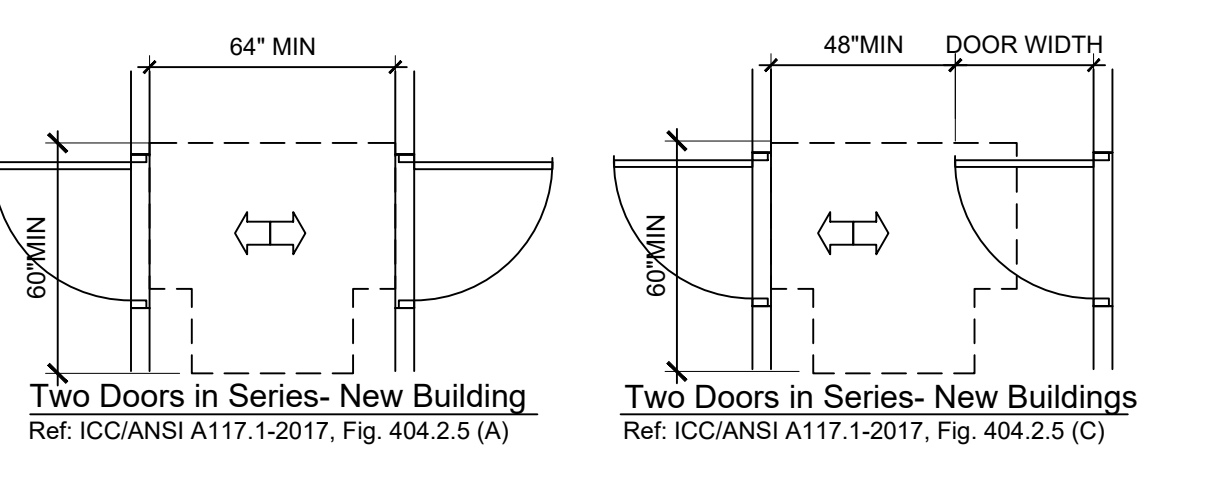
403 ACCESSIBLE ROUTES



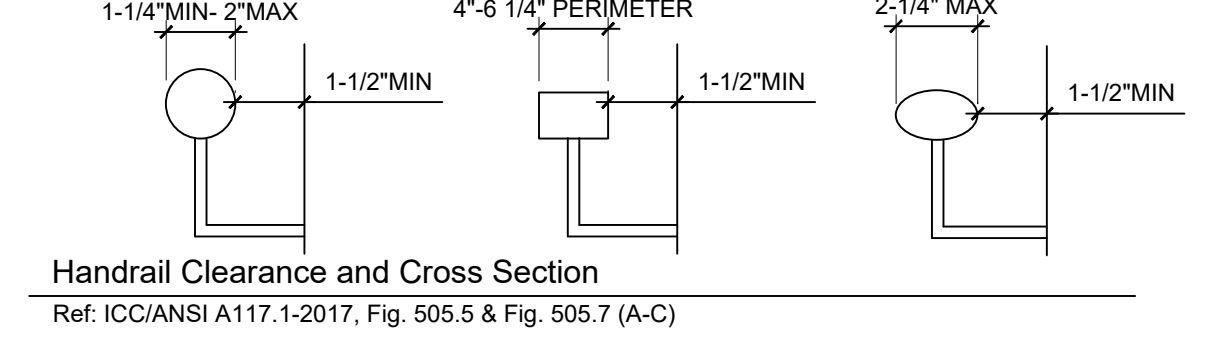
404 DOORS AND DOORWAYS



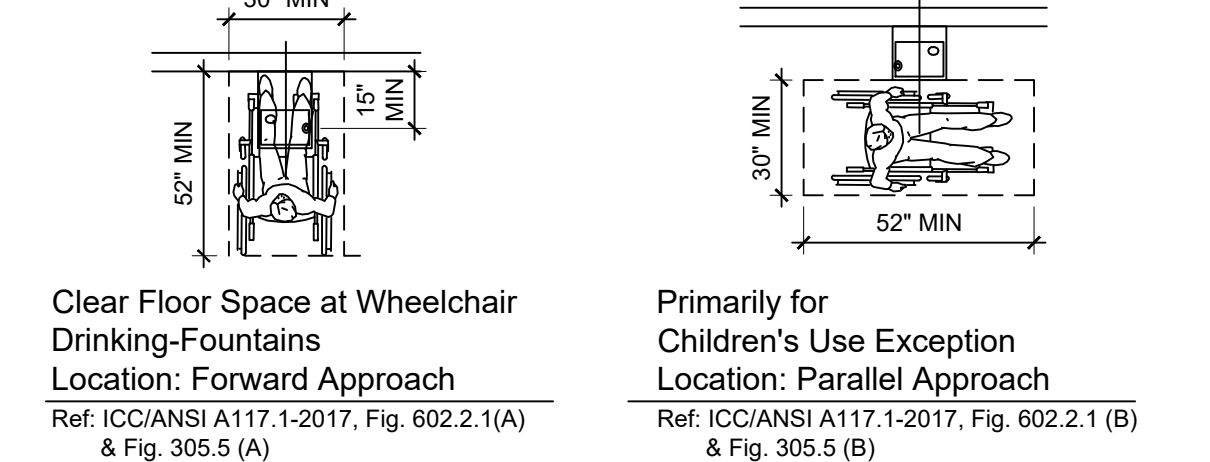
404 DOORS AND DOORWAYS (CONTINUED)



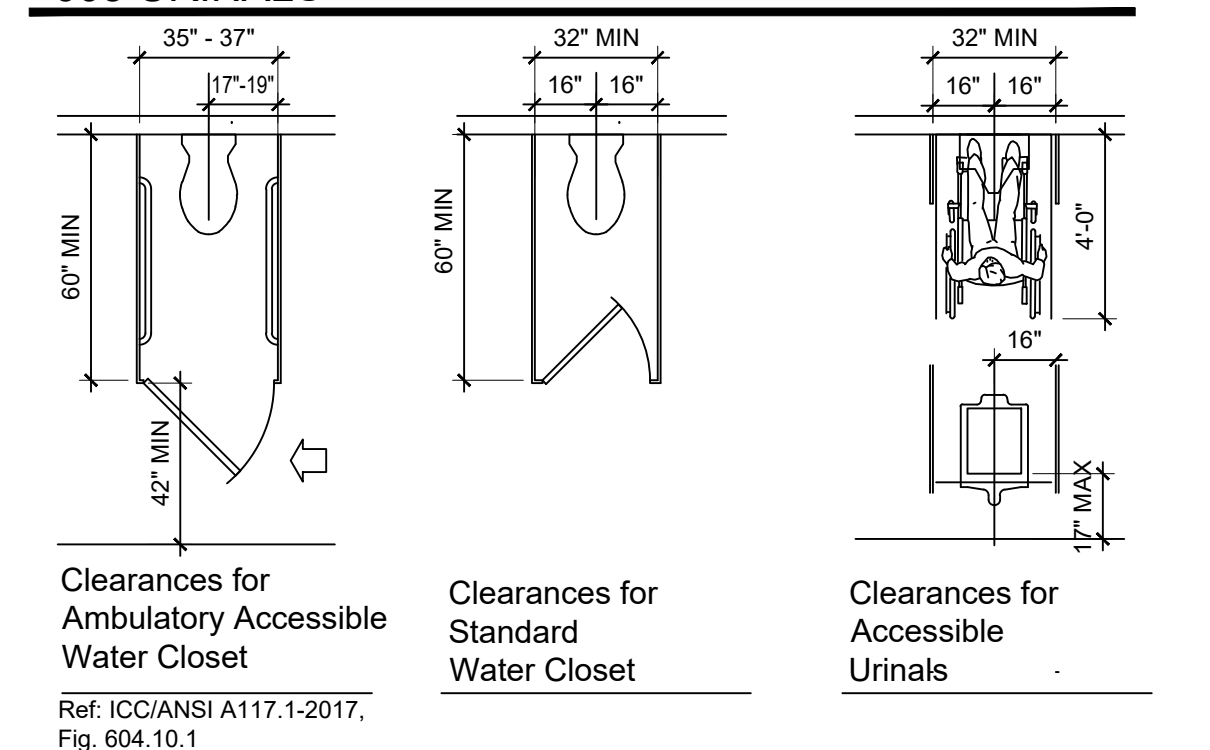
505 HANDRAILS (CONTINUED)



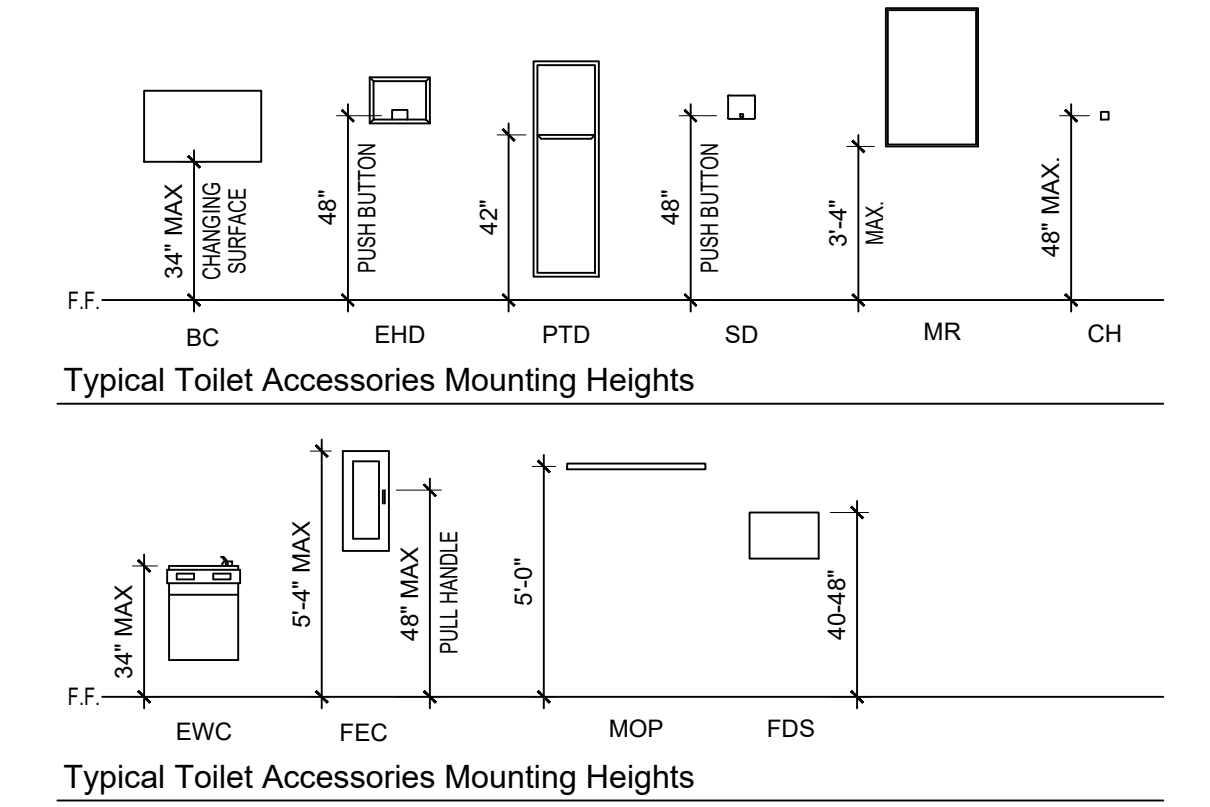
602 DRINKING FOUNTAINS AND WATER COOLERS



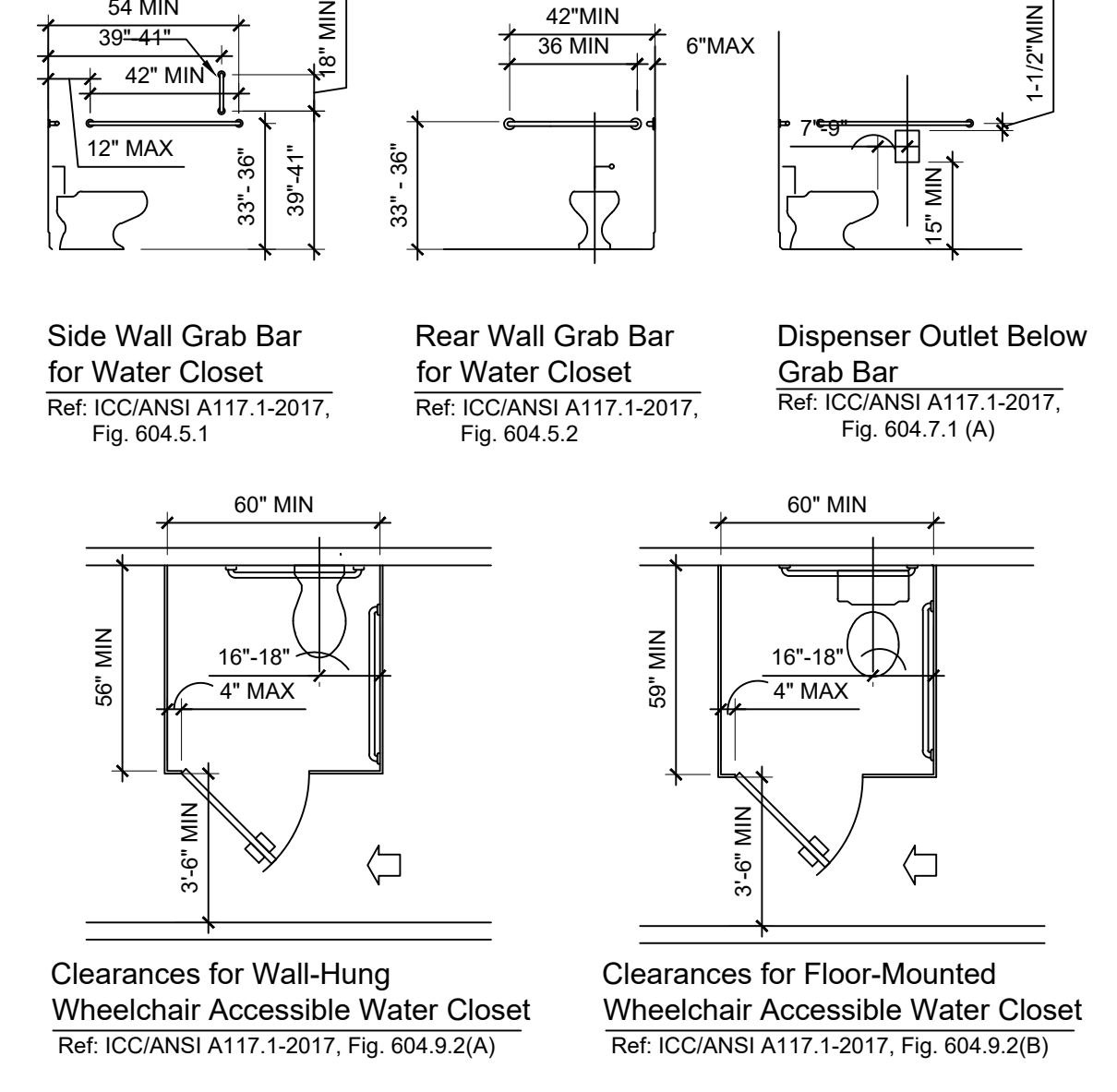
604 WATER CLOSETS, TOILET COMPARTMENTS, & 605 URINALS



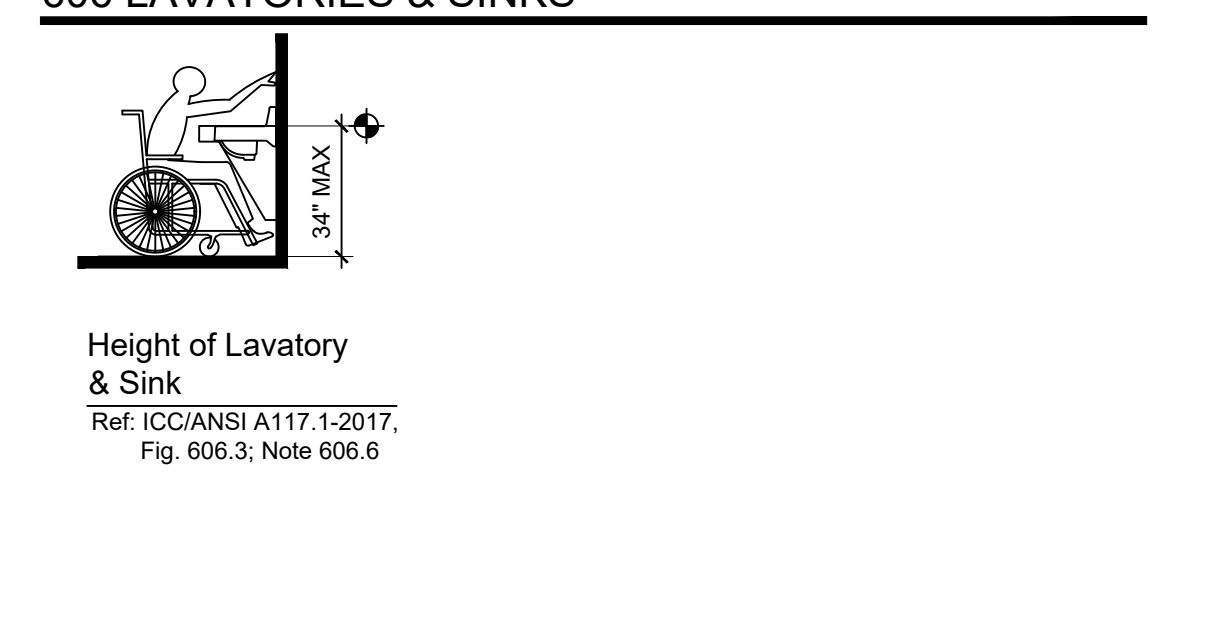
ACCESSORIES



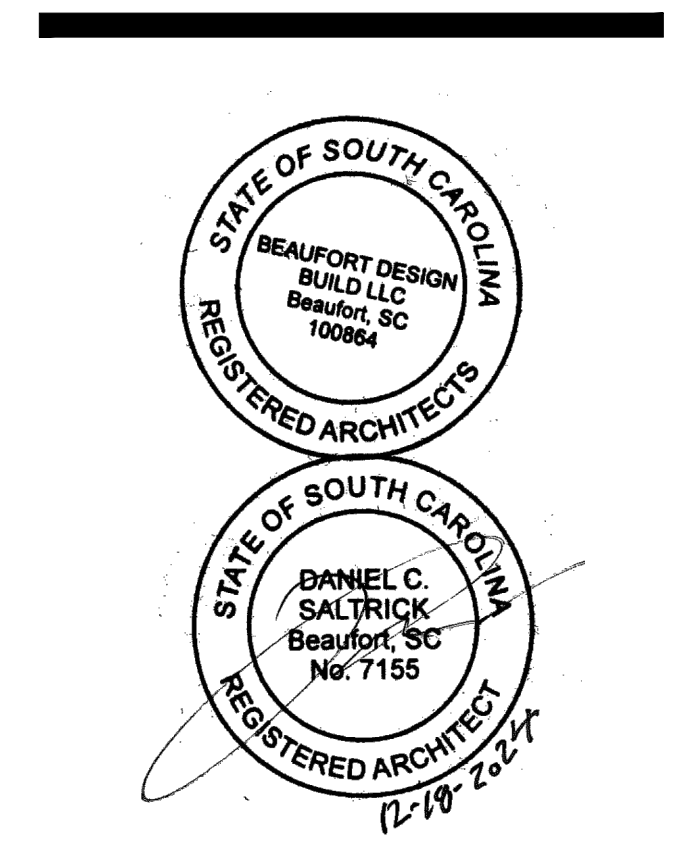
604 WATER CLOSETS, TOILET COMPARTMENTS, & 605 URINALS (CONTINUED)



606 LAVATORIES & SINKS



BEAUFORT 2 Fire Station Lane Seabrook, SC 29940 CHARLOTTE 7315 Swansea Lane Cornelius, NC 28031 (843) 466-3664 info@beaufortdesignbuild.com www.beaufortdesignbuild.com Copyright © 2023 Beaufort Design Build, LLC



ARCHITECT / ENGINEER'S SEAL

33 MARSHELLEN INTERIOR UPFIT FOR WARM LIT SHELL SPACES 33 MARSHELLEN DRIVE BEAUFORT, SC 29902

FOR CONSTRUCTION

Table with columns: NO., DESCRIPTION, DATE, SUBMITTED FOR BUILDING PERMIT, 12/18/2024

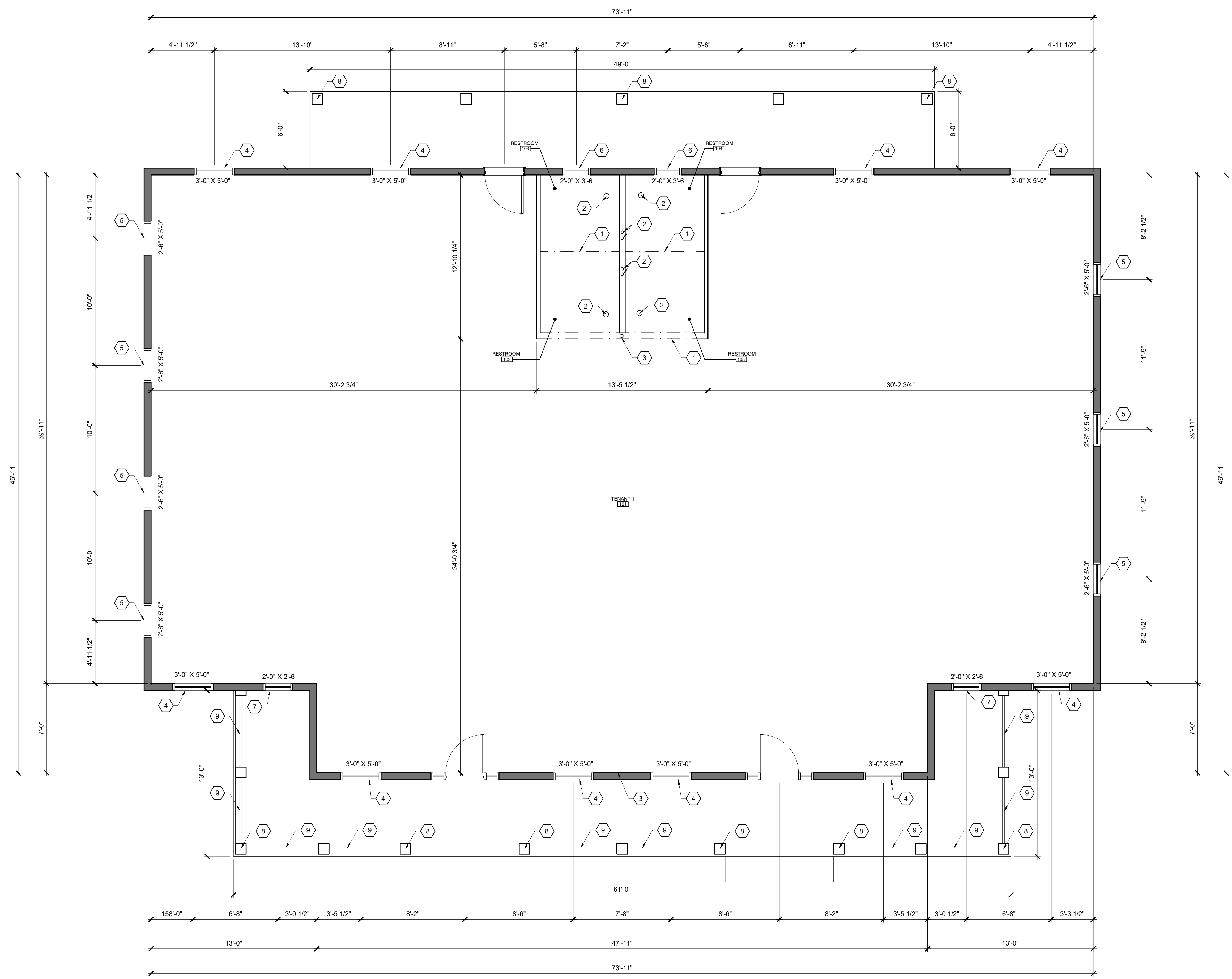
Table with columns: SHEET INFORMATION, DATE, NOVEMBER 07, 2024, JOB NUMBER, 24021.00, DRAWN, RAC, CHECKED, DCS, APPROVED, DCS

TYPICAL ACCESSIBILITY DETAILS

G-105

6 5 4 3 2 1

E
D
C
B
A



A2 EXISTING FLOOR PLAN
1/4" = 1'-0"
0 2 4 8

GENERAL NOTES:

- A. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO FIELD VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS
- B. ALL DIMENSIONS ARE FROM FINISH FACE TO FINISH FACE

SHEET KEY NOTES: (X)

- 1. EXISTING WOOD STUD WALLS TO BE REMOVED
- 2. EXISTING PLUMBING LOCATIONS
- 3. EXISTING WATER SUPPLY LINE
- 4. EXISTING 3'-0" X 5'-0" DOUBLE HUNG WINDOW
- 5. EXISTING 2'-6" X 5'-0" DOUBLE HUNG WINDOW
- 6. EXISTING 2'-0" X 3'-6" DOUBLE HUNG WINDOW
- 7. EXISTING 2'-0" X 2'-6" CASEMENT WINDOW
- 8. EXISTING 10" LAMINATED COLUMN (TYPICAL OF 18)
- 9. EXISTING WOOD RAILING

LEGEND:

- EXISTING 2X6 WOOD EXTERIOR WALLS
- EXISTING WOOD STUD WALL @ 16" OC
- EXISTING STUD WALL TO BE REMOVED

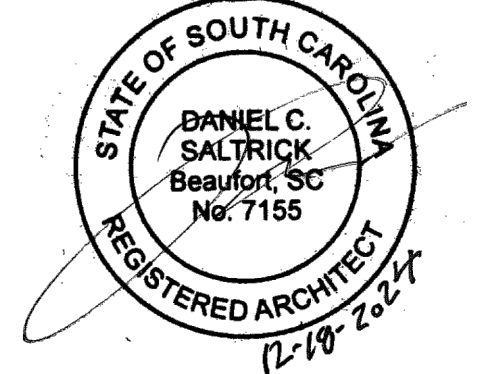
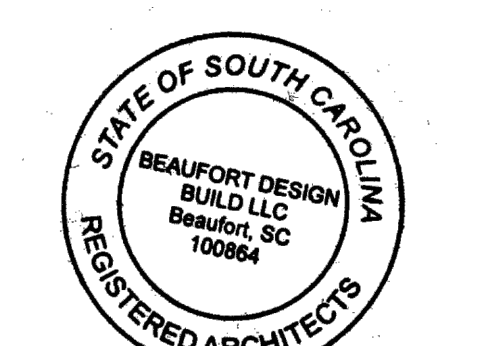
EXISTING BUILDING IS NOT FULLY FIRE SPRINKLERED

BEAUFORT
2 Fire Station Lane
Seabrook, SC 29940

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Cornellus, NC 28031

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FOR CONSTRUCTION

REVISIONS / SUBMISSIONS		DATE
NO.	DESCRIPTION	DATE
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SHEET INFORMATION	
DATE	NOVEMBER 07, 2024
JOB NUMBER	24021.00
DRAWN	RAC
CHECKED	ADB
APPROVED	DCS

EXISTING CONDITIONS AND DEMO FLOOR PLAN

EC-101

6 5 4 3 2 1

6 5 4 3 2 1

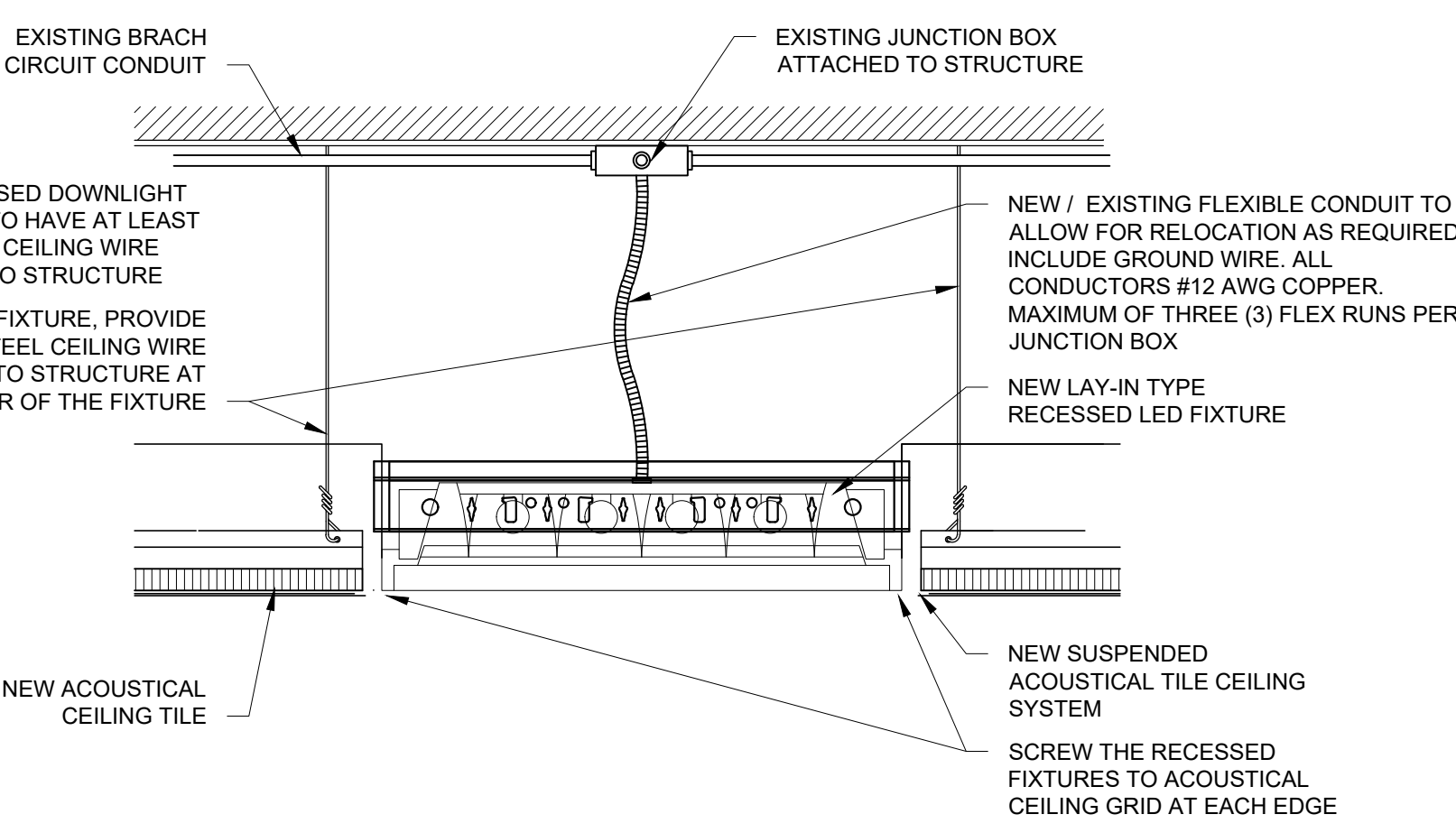
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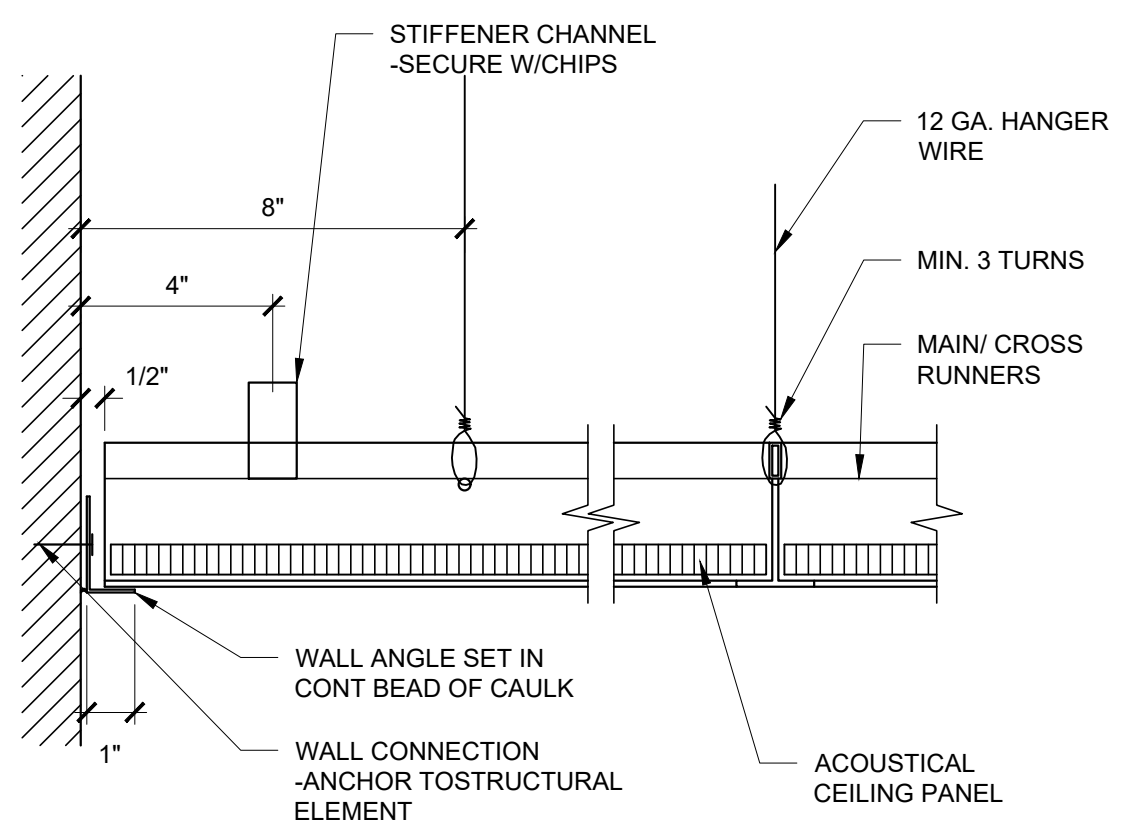
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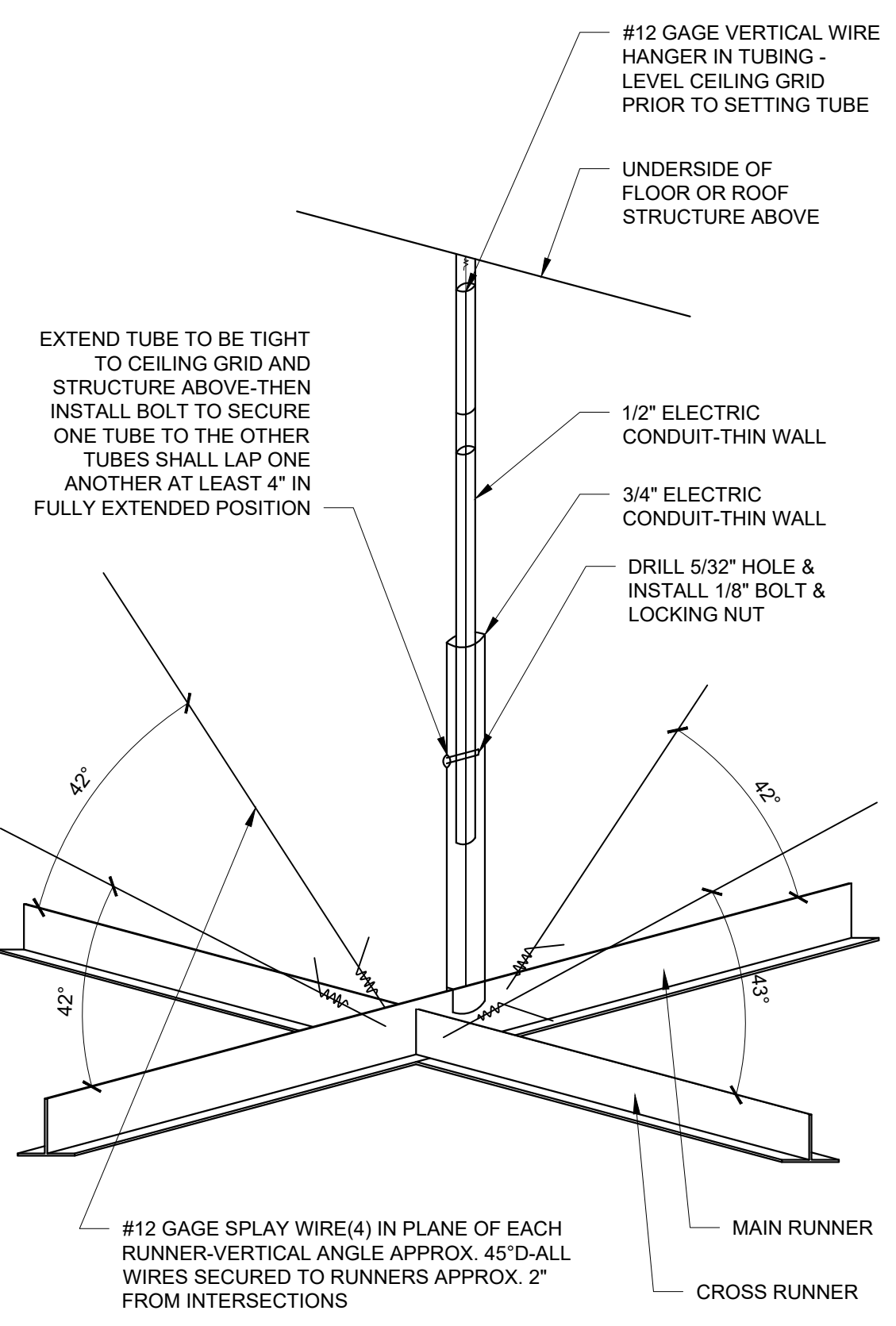
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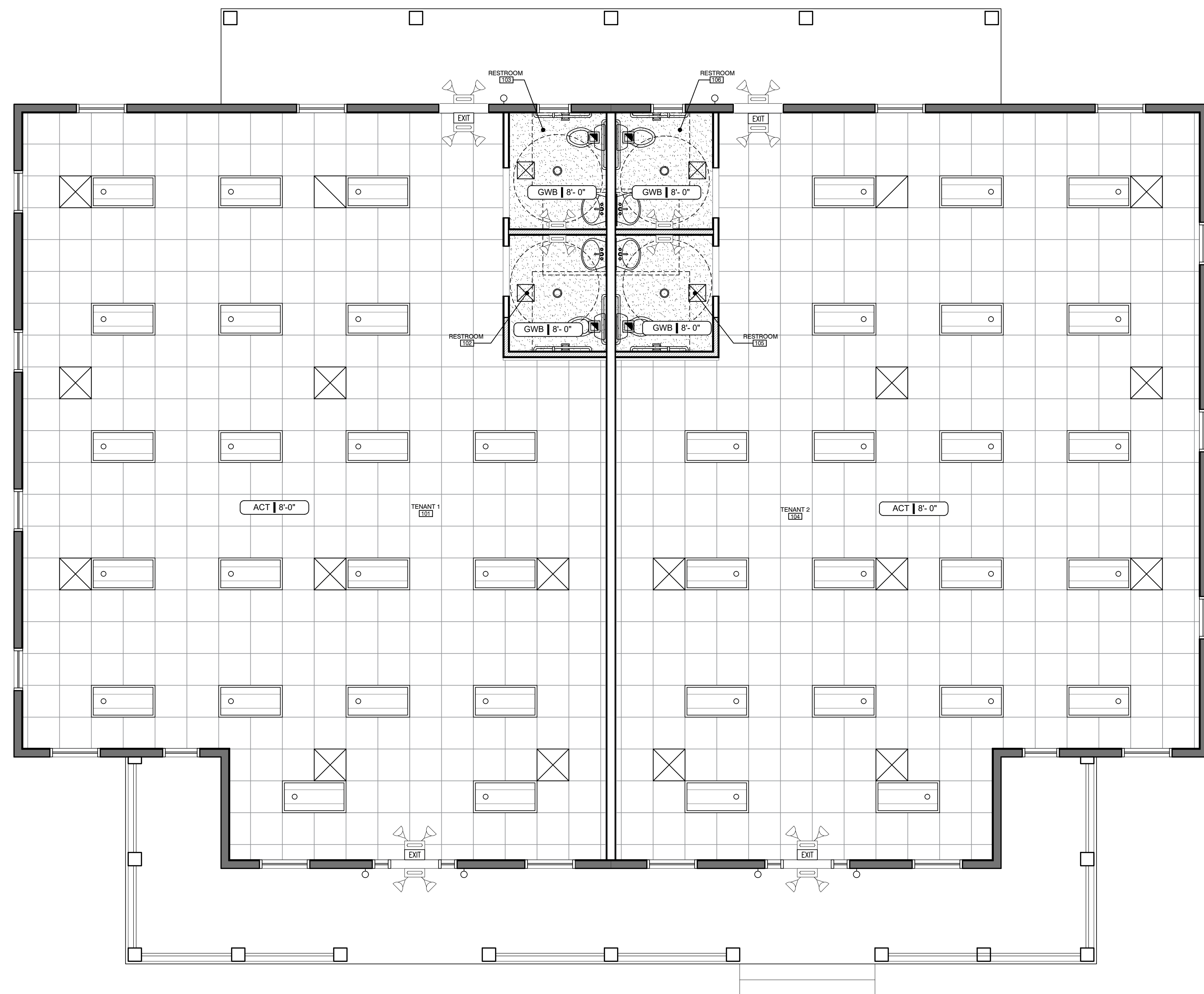
D2 FIXTURE MOUNTING DETAIL
NOT TO SCALE



C2 DETAIL @ WALL AND TYP HANGER
3/8" = 1'-0"



A6 METHOD FOR BRACING AGAINST UPLIFT
3/8" = 1'-0"



A2 PROPOSED REFLECTED CEILING PLAN
1/4" = 1'-0"

GENERAL NOTES:

- A. ALL SUSPENDED CEILINGS, LIGHT FIXTURES, DUCTWORK, HVAC DEVICES, ETC SHALL COMPLY WITH SEISMIC REQUIREMENTS OUTLINED IN CHAPTER 16 OF THE 2021 INTERNATIONAL BUILDING CODE
- B. UNDERSIDE OF EXISTING ROOF DECK TO RECEIVE R-30 OR EQUAL OPEN CELL INSULATION AND CONTINUOUS 1" MINIMUM OVER ROOF RAFTERS.

CEILING DESIGNATIONS

ATC-1 #'-#"	HEIGHT ABOVE FINISH FLOOR	FINISHED CEILING TYPE
ATC	24" x 24" SUSPENDED ACOUSTICAL TILE CEILING WITH SQUARE EDGE TILES	
GWB	5/8" MOISTURE RESISTANT GYPSUM BOARD, PRIMED AND PAINTED (2 COATS, EPOXY)	

LEGEND:

- 24" x 24" SUSPENDED ACOUSTICAL TILE CEILING
- PAINTED, SUSPENDED OR FRAMED (AS DETAILED) GYPSUM BOARD CEILING
- INTERIOR EMERGENCY EGRESS LIGHT WITH EXIT SIGN WITH 90 MIN EMERGENCY BATTERY BACKUP
- EMERGENCY EGRESS LIGHT WITH WITH 90 MIN EMERGENCY BATTERY BACKUP
- NEW 24" x 24" DIRECT / INDIRECT LED RECESSED LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION
- NEW 6" RECESSED LED RECESSED LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION
- EXISTING EXTERIOR WALL SCONCE
- EXHAUST FAN / LED LIGHT FIXTURE COMBO, RATED FOR WET LOCATION, SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION
- HVAC RETURN AIR GRILLE, SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION
- HVAC SUPPLY DIFFUSER, SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION

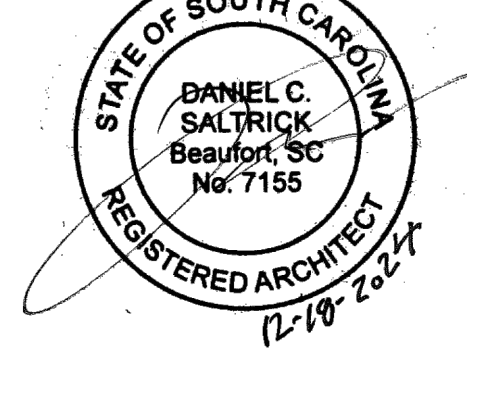
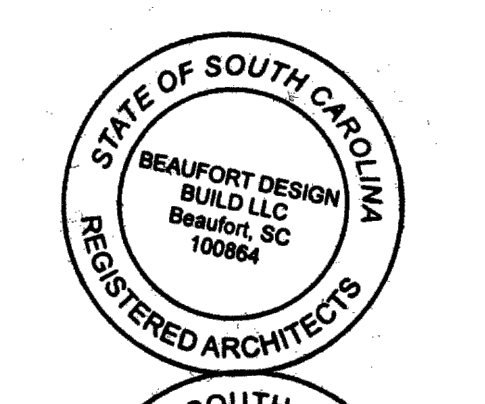
UNDERSIDE OF EXISTING ROOF DECK TO RECEIVE R-30 OR EQUAL OPEN CELL INSULATION AND CONTINUOUS 1" MINIMUM OVER ROOF RAFTERS.

EXISTING BUILDING IS NOT FULLY FIRE SPRINKLERED

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Seabrook, SC 29940

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ARCHITECT / ENGINEER'S SEAL

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33 MARSHELLEN DRIVE
BEAUFORT, SC 29902

FOR CONSTRUCTION

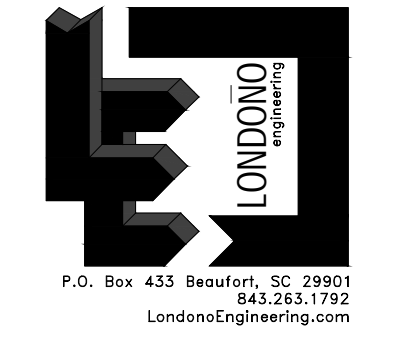
NO.	REVISIONS / SUBMISSIONS	DESCRIPTION	DATE
S1	SUBMITTED FOR BUILDING PERMIT		12/18/2024

SHEET INFORMATION	
DATE	NOVEMBER 07, 2024
JOB NUMBER	24021.00
DRAWN	RAC
CHECKED	ADB
APPROVED	DCS

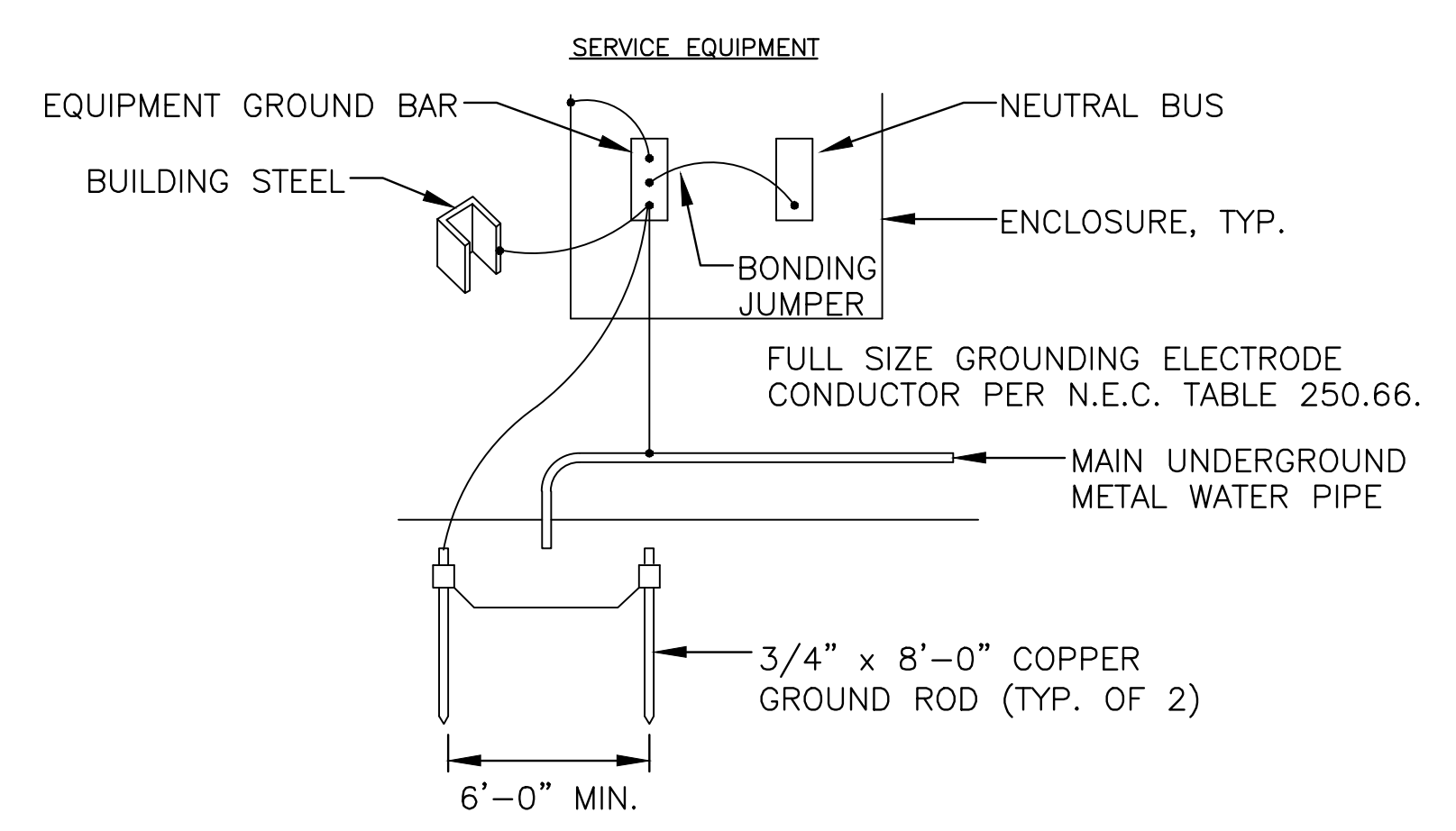
PROPOSED REFLECTED CEILING PLAN

A-102

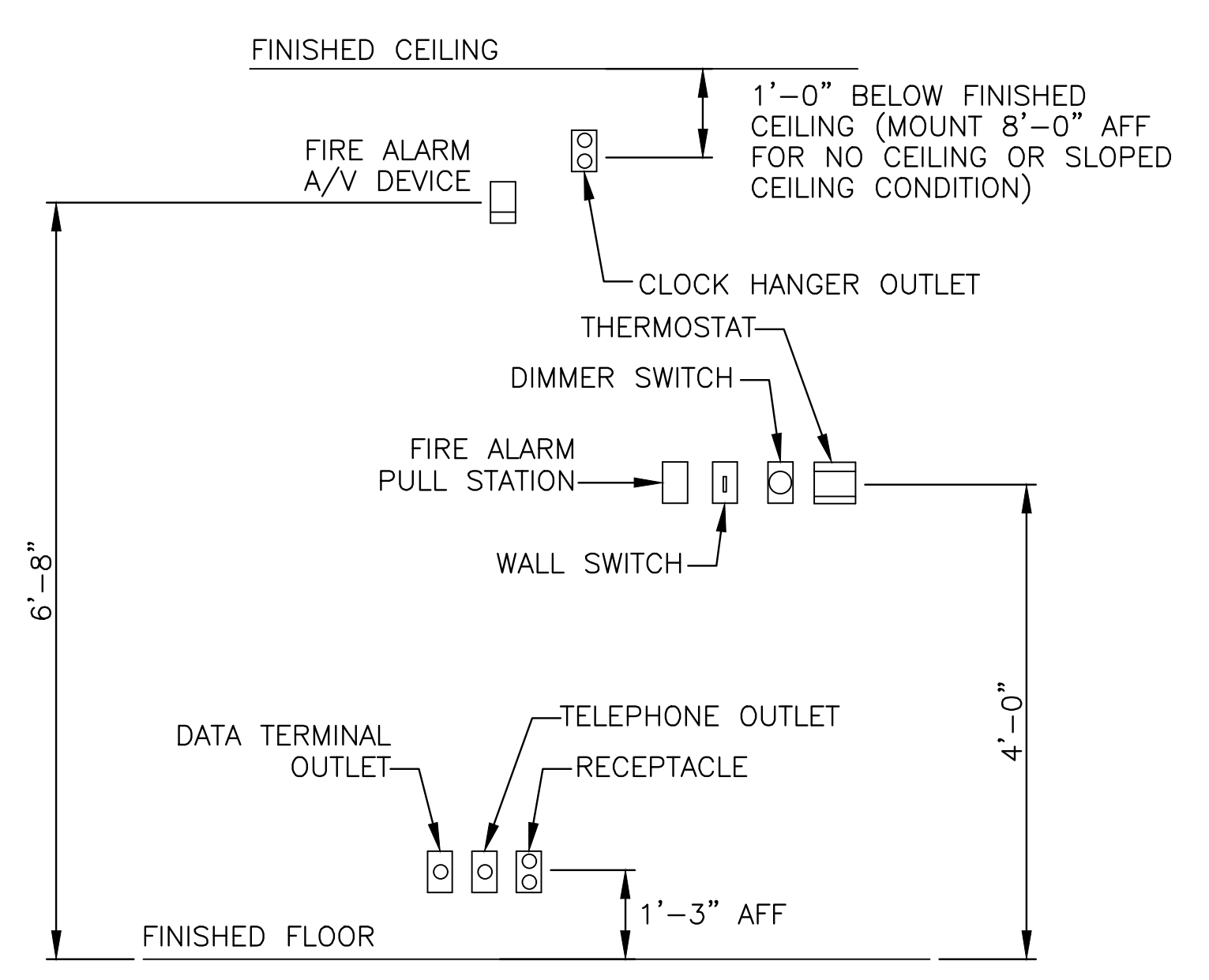
GENERAL ELECTRICAL NOTES



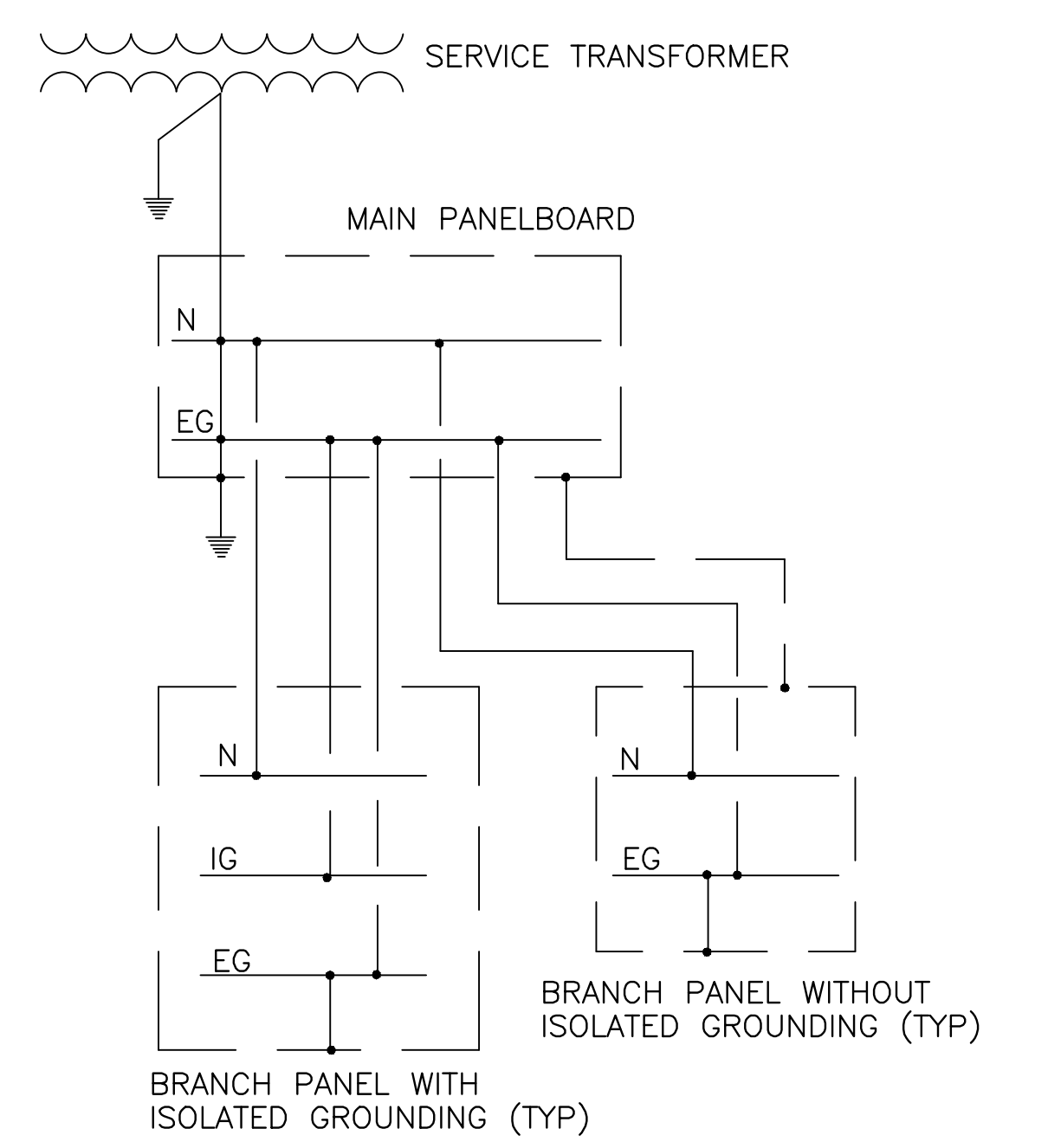
- ALL WORK SHALL BE IN STRICT ACCORDANCE WITH THE LATEST EDITION OF N.E.C. AND ALL LOCAL CODES AND ORDINANCES.
- ALL MATERIALS SHALL BE NEW AND OF DOMESTIC ORIGIN AND SHALL BEAR UNDERWRITERS' LABEL WHERE APPLICABLE.
- ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR IN A FIRST-CLASS MANNER. THE COMPLETED SYSTEM IS TO BE FULLY OPERABLE AND ACCEPTANCE OF THIS SYSTEM BY THE ENGINEER/ARCHITECT MUST BE A CONDITION OF THE SUB CONTRACT.
- ALL WORK TO BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION.
- CONTRACTOR TO GUARANTEE ALL MATERIALS AND WORKMANSHIP FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM DATE OF ACCEPTANCE.
- CORRECTION OF ANY DEFECTS TO BE COMPLETED WITHOUT ADDITIONAL CHARGE AND TO INCLUDE REPLACEMENT OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED THEREBY.
- EMERGENCY & EXIT LIGHTS TO BE POWERED FROM UNSWITCHED LOCAL LIGHTING CIRCUIT PER NEC 700-12 (e)
- EXTEND 3/4" C ABOVE CEILING TO JUNCTION BOX FOR ALL TELEVISION, TELEPHONE AND SOUND SYSTEM OUTLETS, WITH PULLWIRE UNLESS OTHERWISE NOTED.
- ELECTRICAL INSTALLATION TO MEET ALL STANDARD REQUIREMENTS OF LOCAL POWER AND TELEPHONE COMPANIES.
- MINIMUM WIRE SIZE SHALL BE #12 AWG, EXCLUDING CONTROL WIRING. UNLESS OTHERWISE NOTED, ALL CONDUCTORS SHALL BE COPPER WITH THWN/THHN INSULATION. CONDUCTORS #10 AND SMALLER MAY BE SOLID. ALL THOSE #8 AND LARGER TO BE STRANDED.
- ALL UNDERGROUND RACEWAYS SHALL BE GALVANIZED RIGID STEEL CONDUIT OR SCHEDULE 40 PVC. UNLESS OTHERWISE INDICATED. ALL OTHER RACEWAYS TO COMPLY WITH GOVERNING AUTHORITIES.
- OUTLET BOXES SHALL BE PRESSED STEEL IN DRY LOCATIONS, CAST ALLOY WITH THREADED HUBS IN WET OR DAMP LOCATIONS, AND BE OF SPECIAL CONSTRUCTION FOR OTHER CLASSIFIED AREAS. ALL BOXES SHALL BE RECESSED (FLUSH) IN WALLS OR CEILINGS WHENEVER POSSIBLE.
- DISCONNECT SWITCHES SHALL BE H.P. RATED, GENERAL DUTY, QUICK-MAKE, QUICK-BREAK TYPE. ENCLOSURES SHALL BE AS REQUIRED BY N.E.C. AND LOCATION (WEATHERPROOF, EXPLOSION PROOF, ETC.).
- ALL GENERAL PURPOSE SWITCHES AND RECEPTACLES SHALL BE THE PRODUCT OF A SINGLE MANUFACTURER. CATALOG NUMBERS LISTED ARE LEVITON. HOWEVER, COMPARABLE DEVICES BY PASS & SEYMOUR, BRYANT, OR ARROW HART WILL BE ACCEPTED. COLOR OF DEVICES AND PLATES SHALL BE DICTATED BY ARCHITECT/OWNER.
 A. SWITCHES: SINGLE POLE-LEVITON #5621-2 / THREE WAY-LEVITON #5623-2
 B. RECEPTACLES: DUPLEX OUTLET-LEVITON #16362 OR 16362-1G.
 C. DIMMERS: LUTRON NOVA SERIES
 NOTE: ALL REQUIRED DEVICES SHALL MATCH IN COLOR AND STYLE.
- ALL RACEWAYS AND PIPES, SPACED IN OR THROUGH ANY CONCRETE SLAB, SHALL BE SPACED A MINIMUM OF THREE TIMES THE DIAMETER OF THE LARGEST RACEWAY.
- IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MINOR DETAIL OF CONSTRUCTION. THE CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS FOR A COMPLETE ELECTRICAL SYSTEM, AND PROVIDE ALL NECESSARY DEVICES AND COMPONENTS FOR EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER.
- FURNISH AND INSTALL DISCONNECT SWITCHES, WIRING, AND CONNECTIONS ON AIR CONDITIONING SYSTEM AS SHOWN ON PLANS. ELECTRICAL CONTRACTOR SHALL VERIFY AND COORDINATE WITH MECHANICAL CONTRACTOR REGARDING SUPPLY AND INSTALLATION OF ALL REQUIRED CONTROLS.
- ALL SWITCH GEAR SHALL BE THE PRODUCT OF A SINGLE MANUFACTURER. SYSTEM DESIGN IS BASED ON THE "SQUARE D" CO.; HOWEVER, COMPARABLE DEVICES BY WESTINGHOUSE/CHALLENGER, G.E. AND ITE WILL BE ACCEPTABLE. TANDEM AND HALF-SPACE CIRCUIT BREAKERS SHALL NOT BE USED.
- ALL UNDERGROUND PVC CONDUIT RUNS SHALL HAVE RIGID STEEL ELBOWS AND RIGID STEEL SECTIONS AT SLAB PENETRATIONS WHERE SUBJECT TO POSSIBLE DAMAGE. WHERE RIGID STEEL IS USED, IT SHALL BE COMPLETELY COATED WITH AN ALKALI AND RUST-RESISTANT BITUMASTIC PAINT, KOPPER NO. 50 AND THREADS SHALL BE COATED WITH ZINC CHROMATE.
- THE ELECTRICAL CONTRACTOR SHALL MEET AND COORDINATE WITH THE LOCAL POWER COMPANY AT THE SITE PRIOR TO CONSTRUCTION. AT THAT TIME, THE CONTRACTOR SHALL COORDINATE ALL RELATED WORK WITH THE UTILITY COMPANY'S RESPONSIBILITIES TO MEET THE OWNER'S SCHEDULE.
- ALL ELECTRICAL CONDUCTORS SHALL BE INSTALLED IN AN APPROVED RACEWAY. MAXIMUM NUMBER OF 120 VOLT CIRCUITS ALLOWED IN A COMMON CONDUIT SHALL BE SIX (6). CONTRACTOR SHALL STRICTLY CONFORM TO THE N.E.C. REQUIREMENTS OF DERATING FOR CONDUCTOR AMPACITY AND CONDUIT FILL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SEALING ALL CONDUIT PENETRATIONS MADE THROUGH FIRE RATED WALLS, CEILINGS, SLABS, ETC. PENETRATION SEALS SHALL BE PER U.L. ASSEMBLY STANDARDS.
- ELECTRICAL POWER SUPPLY FOR REQUIRED SMOKE DETECTORS AND OTHER FIRE ALARM REQUIREMENTS SHALL BE FROM A DEDICATED CIRCUIT BREAKER.
- ELECTRICAL CONTRACTOR TO PROVIDE PERMANENT TYPED CIRCUIT USE LIST IN EACH PANEL.
- EXTEND TWO 1" C FROM EACH PANEL, W/PULLWIRE, TO ATTIC JUNCTION BOX (FOR FUTURE CIRCUITS)
- LOAD DATA IS BASED ON INFORMATION GIVEN ENGINEER AT THE TIME OF DESIGN. VERIFY ALL EQUIPMENT NAMEPLATE RATINGS BEFORE ORDERING.
- CIRCUITS SHOWN ON PLANS ARE TO DETERMINE LOAD DATA AND PANEL SIZES. THE CONTRACTOR IS TO PROVIDE CIRCUITS AND ROUTING OF CONDUITS TO SUIT JOB CONDITIONS.
- ALL SERVICE ENTRANCE DISCONNECTS SHALL BE PERMANENTLY LABELED FOR THE SPACE THEY SERVE.
- SIGNAGE SHALL BE PROVIDED FOR ALL ELECTRICAL PANELS STATING THERE WILL BE NO STORAGE WITHIN 36" OF PANELS.
- ELECTRICAL WIRING SHALL BE IN A CONDUIT SYSTEM, PER APPLICABLE SECTIONS OF THE NEC MUNICIPAL AND COUNTY ORDINANCES.



GROUNDING ELECTRODE DETAIL SCHEMATIC ONLY



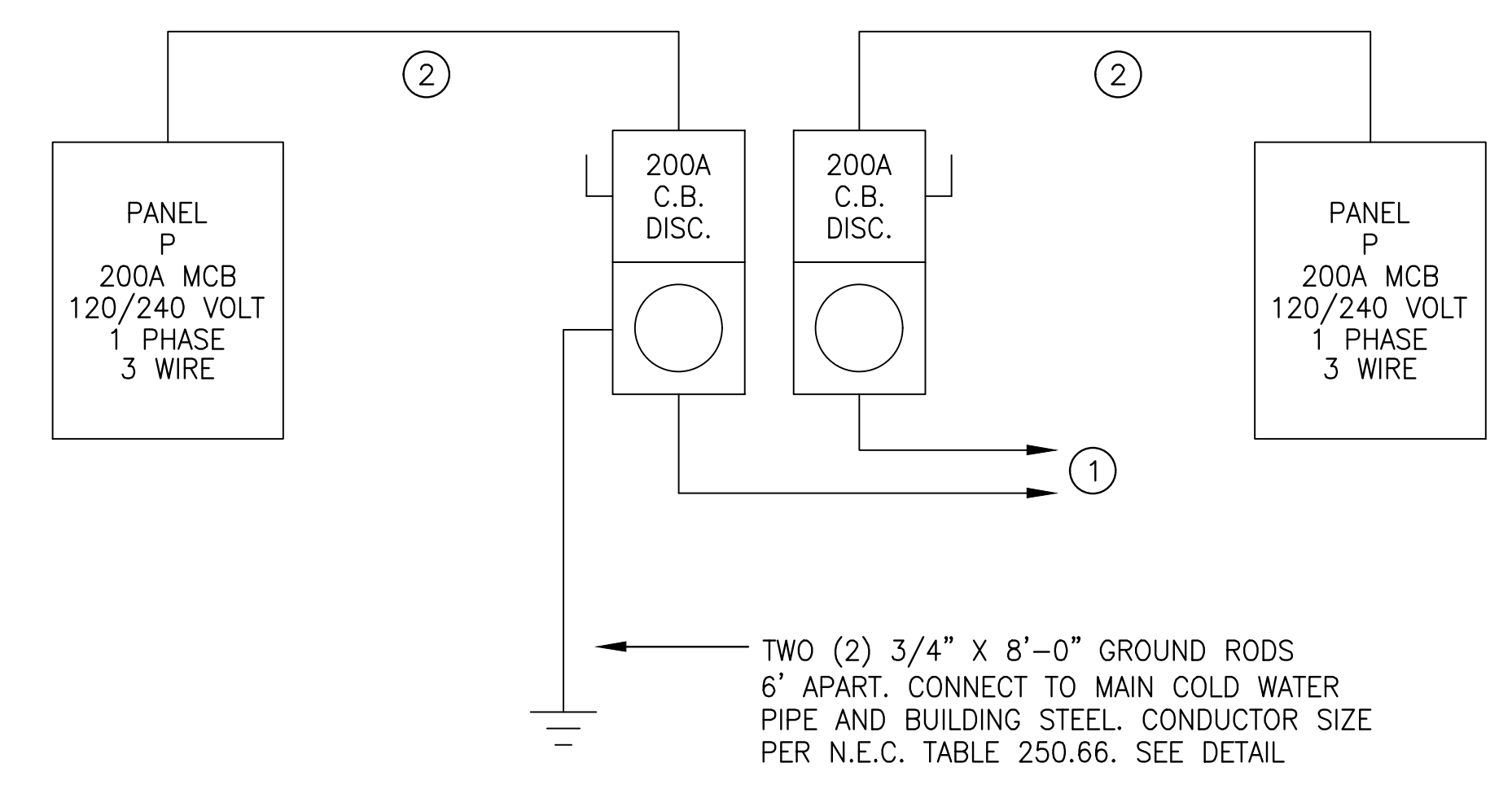
MOUNTING HEIGHTS SCHEMATIC ONLY



GROUNDING DIAGRAM SCHEMATIC ONLY

ELECTRICAL FEEDER SCHEDULE			
MARK	FEEDER *	GROUND	CONDUIT **
①	1 SET OF 3 3/0 COPPER ALTERNATE: 1 SET OF 3 250KCM ALUMINUM	-	1 2" SCH 80 PVC CONDUITS 1 2-1/2" SCH 80 PVC CONDUIT
②	1 SET OF 3 3/0 COPPER ALTERNATE: 1 SET OF 3 250KCM ALUMINUM	#4 COPPER #2 ALUMINUM	1 2" SCH 80 PVC CONDUITS 1 2-1/2" SCH 80 PVC CONDUIT

* WIRE SIZED BASED ON THHW 75°C INSULATION
 ** SCH 40 PVC IS AN ACCEPTABLE SUBSTITUTE



RISER DIAGRAM SCHEMATIC ONLY

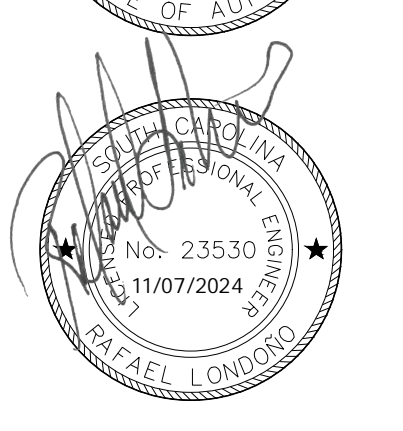
ELECTRICAL DETAILS

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ARCHITECT / ENGINEER'S SEAL

33 MARSHELLEN INTERIOR UPFIT

33 MARSHELLEN DRIVE
 BEAUFORT, SC 29902

FOR CONSTRUCTION

NO.	DESCRIPTION	DATE	
		REVISIONS / SUBMISSIONS	DATE

SHEET INFORMATION	
DATE	OCTOBER 07, 2024
JOB NUMBER	24021.00
DRAWN	RL
CHECKED	RL
APPROVED	RL

ELECTRICAL DETAILS

E-001

