

LOT 2, HERITAGE AT PRAIRIE TRAIL PLAT 2

1510 & 1520 S ANKENY BLVD, ANKENY, IOWA

SITE PLAN

NAI #21202



EXISTING UTILITY NOTE

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

SPECIFICATION REFERENCE

THE 2021 IOWA SUDAS STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND THE CITY OF ANKENY STANDARD SPECIFICATIONS SHALL APPLY TO ALL ASPECTS OF CONSTRUCTION.

LEGEND

Existing / Proposed	Existing / Proposed	Existing / Proposed	Existing / Proposed
● ▲	Found monument 5/8" IR with red cap #18530 unless otherwise noted	1234	Address
○ △	Set monument 5/8" IR with red cap #18530 unless otherwise noted	1234	Spot elevation
IR	Round iron rebar	1234	Sanitary sewer manhole
IP	Round iron pipe	1234	Cleanout
PCC	Portland cement concrete	1234	Storm sewer manhole
ACC	Asphaltic cement concrete	1234	Storm sewer intake
FL	Pipe flowline elevation	1234	Storm sewer beehive
RCP	Reinforced concrete pipe	1234	Flared end section
CMP	Corrugated metal pipe	1234	Water hydrant
CPP	Corrugated plastic pipe	1234	Water valve
PVC	Polyvinyl chloride pipe	1234	Water service shut-off
CIP	Cast iron pipe	1234	Water main manhole
P.U.E.	Public utility easement	1234	Monitoring well
S.W.F.E.	Surface water flowage easement	1234	Yard hydrant
B/B	Back of curb to back of curb	1234	Well
---	Subject boundary line	1234	Gas meter
---	Section line	1234	Gas valve
---	Proposed boundary line	1234	Air conditioning unit
---	Existing boundary line	1234	Electric manhole
---	Future boundary line	1234	Electric meter
---	Underlying boundary line	1234	Electric pedestal
---	Proposed easement line	1234	Electric transformer
---	Existing easement line	1234	Utility hand hole
---	Setback line	1234	Utility pole
---	Barbed wire fence line	1234	Utility pole with light
---	Chain-link fence line	1234	Light pole
---	Silt fence	1234	Ground up light
---	Sanitary sewer & size	1234	Traffic signal
---	Storm sewer and size	1234	Traffic signal with light
---	Water main and size	1234	Traffic manhole
---	Gas main & size	1234	Communication pedestal
---	Overhead electric & wires	1234	Telephone booth
---	Overhead communication	1234	TV pedestal
---	Underground electric	1234	Billboard sign
---	Underground television	1234	Street sign
---	Underground communication	1234	Down spout
---	Contour elevation	1234	Tree shrub
---	Swale flowline	1234	Deciduous tree and trunk diameter
---	Edge of water	1234	Coniferous tree and trunk diameter
---	Edge of tree drip-line	1234	
---	Construction limits	1234	
---	Construction fence	1234	

BENCHMARKS

- CUT "X" IN CENTERLINE OF SW 16TH STREET ON SE SIDE OF SITE. 15' +/- WEST OF SANITARY MANHOLE IN CENTERLINE OF STREET. ELEV.=959.12'
- CUT "X" ON BACK OF CURB IN NW QUADRANT OF INTERSECTION OF SW 16TH STREET AND SW SCHOOL STREET. ELEV.=961.98'

GENERAL NOTES

- ONE WEEK PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY PROJECT ENGINEER AND:
 - CITY OF ANKENY
 - ACCURATE DEVELOPMENT

- ALL MATERIALS AND CONSTRUCTION RELATED TO WORK CONDUCTED AS PART OF THESE PLANS SHALL BE IN ACCORDANCE WITH THE 2021 STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS). THE CITY OF ANKENY SUPPLEMENTAL SPECIFICATIONS, AND DETAILS SHOWN ON THIS PLAN UNLESS SPECIFICALLY NOTED OTHERWISE. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR, REMOVAL, REPLACEMENT, OR REINSTALLATION OF ANY ITEM, BOTH ON- AND OFF-SITE, ADVERSELY AFFECTED BY FAILURE TO FOLLOW SAID SPECIFICATIONS, REPORTS, AND PLANS.

- CONTRACTOR IS RESPONSIBLE TO UNDERSTAND THE INTENT OF THE WORK TO BE COMPLETED AND TO ADDRESS ANY QUESTIONS, CONCERNS, CONFLICTS, DISCREPANCY OR OTHER ISSUES THAT MAY AFFECT CONSTRUCTION WITH OWNER AND ENGINEER AT LEAST ONE WEEK PRIOR TO COMMENCING CONSTRUCTION. OWNER AND ENGINEER SHALL RESPOND IN A TIMELY MANNER TO ALLOW CONSTRUCTION TO PROCEED.

- CONTRACTOR SHALL NOTIFY OWNER AND ENGINEER IMMEDIATELY OF ANY ISSUE ENCOUNTERED DURING CONSTRUCTION THAT MAY AFFECT PROPOSED DESIGN. OWNER AND ENGINEER SHALL RESPOND IN A TIMELY MANNER TO ALLOW CONSTRUCTION TO PROCEED.

- ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.

- THE CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION AND ELEVATION OF, AND PROTECT ALL UTILITIES AND STRUCTURES. DAMAGE TO UTILITIES AND STRUCTURES SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER.

- THE CONTRACTOR SHALL RECONNECT ALL FIELD TILE AND STORM DRAINS DISTURBED DURING CONSTRUCTION. RECONNECTIONS SHALL BE CONSIDERED INCIDENTAL TO PROJECT COST. NOTIFY CITY OF ANKENY AND NILLES ASSOCIATES PRIOR TO RECONNECTION SO THAT LOCATION OF RECONNECTION CAN BE DOCUMENTED AND INCLUDED ON RECORD DRAWINGS. REPAIRS TO TILE LINES ARE TO BE VERIFIED BY CITY OF ANKENY PERSONNEL.

- SIGNS SHALL CONFORM TO THE CITY OF ANKENY SIGN ORDINANCE.

- DETAILS AND NOTES INCLUDED WITHIN THESE PLANS SHALL BE USED FOR CONSTRUCTION. FOR ITEMS WITH NO DETAILS OR NOTES INCLUDED WITHIN THIS PLANS SET, FOLLOW SUDAS DETAILS AND SPECIFICATIONS FOR MATERIALS AND CONSTRUCTION.

- CONTRACTOR SHALL VERIFY ALL MEASUREMENTS SHOWN ON THE PLANS PRIOR TO CONSTRUCTION. IF ANY DISCREPANCY IS FOUND, NOTIFY ENGINEER IMMEDIATELY BEFORE PROCEEDING.

- COORDINATE ALL WORK ACTIVITIES WITH ANY OTHER CONSTRUCTION PROJECTS IN THE AREA.

- ANY DAMAGE TO PROPERTY THAT OCCURS AS A RESULT OF THE CONTRACTOR'S ACTIVITIES OR ACTIONS SHALL BE REPAIRED AND RESTORED IN KIND.

- THE CONTRACTOR SHALL PROTECT UTILITY POLES NEAR CONSTRUCTION ACTIVITIES AS REQUIRED.

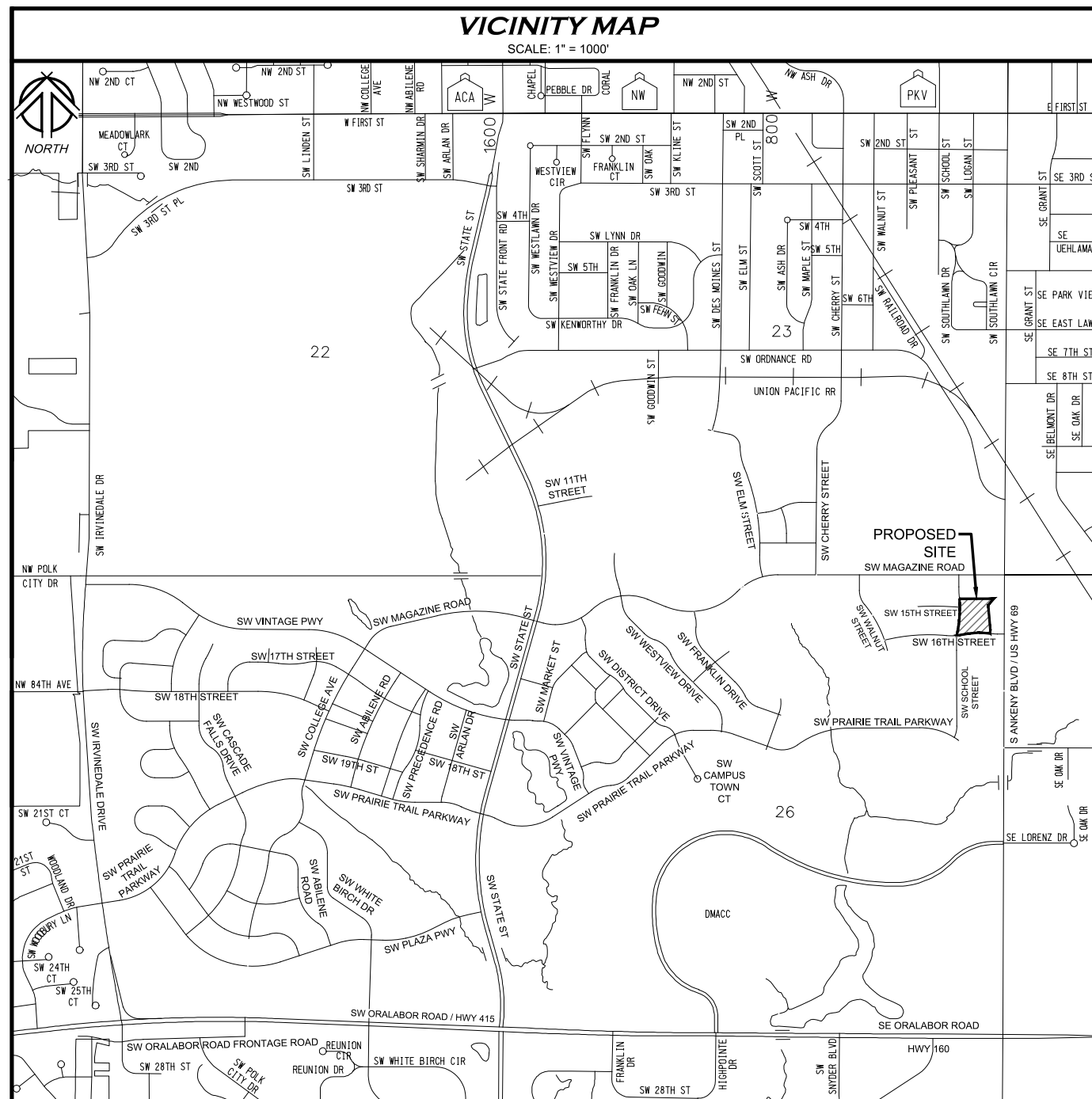
- FOR ALL WORK, THE CONTRACTOR SHALL PROVIDE ALL FIELD QUALITY CONTROL AND TESTING AS PER SUDAS. PROVIDE ENGINEER TESTING RESULTS.

- PROVIDE TO THE OWNER, ALL SHOP DRAWINGS FOR MATERIALS INCORPORATED IN THE WORK SUPPLIED BY THE CONTRACTOR.

- THE CONTRACTOR SHALL FOLLOW THE STORM WATER POLLUTION PREVENTION PLAN PREPARED FOR THIS SITE.

- CONTRACTORS ON-SITE SHALL BE RESPONSIBLE FOR DAILY CLEAN-UP OF SEDIMENT AND DEBRIS TRACKED OR WASHED ONTO PUBLIC RIGHTS-OF-WAY AND AREAS OUTSIDE PROJECT LIMITS.

- DURING THE PROGRESS OF THE WORK, IF SUBSURFACE OR LATENT PHYSICAL CONDITIONS ARE ENCOUNTERED AT THE SITE DIFFERING MATERIALLY FROM THOSE INDICATED ON THE PLANS OR IF UNKNOWN PHYSICAL, CULTURAL, AND/OR ENVIRONMENTAL CONDITIONS OF AN UNUSUAL NATURE ARE ENCOUNTERED AT THE SITE, THE PARTY DISCOVERING SUCH CONDITIONS SHALL PROMPTLY NOTIFY THE CITY OF ANKENY, DRA PROPERTIES, AND NILLES ASSOCIATES BEFORE THE SITE IS FURTHER DISTURBED.



PROJECT SUMMARY

PROPERTY ADDRESS:	1510 & 1520 S ANKENY BOULEVARD
TOTAL SITE AREA:	94,586 SF, 2.17 ACRES
PROPOSED USE:	COMMERCIAL
BUILDING INFORMATION:	TWO 1-STORY COMMERCIAL BUILDINGS
TOTAL BUILDING COVERAGE:	16,226 SF COMMERCIAL
INTERIOR FOOT PRINT:	15,472 SF
PARKING REQUIREMENTS:	COMMERCIAL - 8,609 / 200 SF = 43 SPACES RESTAURANT - 6,863 / 100 SF = 69 SPACES + 8 PATIO SPACES 120 TOTAL SPACES REQUIRED REQUESTED 5% REDUCTION IN REQUIRED AMOUNT = 114
TOTAL PARKING PROVIDED	114 SPACES (92 SPACES ON LOT & 22 ON STREET SPACES)
PRIVATE DRIVES & PARKING:	48,399 SF (INCLUDES R.O.W.) 43,014 SF (ON LOT)
PROPOSED SIDEWALKS & PATIO:	9,659 SF (INCLUDES PROPOSED WITHIN R.O.W.) 7,677 SF (ON LOT)
COMBINED HARD SURFACE:	66,917 SF (70.7%) - 17 ERU'S (66,917 / 4000)
OPEN SPACE INFORMATION:	35,346 SF (37.4%)
GREENSPACE:	27,669 SF (29.3%)
PROPERTY ZONING:	PRAIRIE TRAIL P.U.D.

OWNER

DRA PROPERTIES, LC
TARA MEREDITH
1525 NE 36TH STREET
ANKENY, IOWA 50021
515-965-5251

DEVELOPER

ACCURATE DEVELOPMENT
JARED JOHNSON
9500 UNIVERSITY, STE 2112
WEST DES MOINES, IOWA 50266
515-556-0124

SHEET LIST TABLE

SHEET NO.	SHEET TITLE	DESCRIPTION
1	CV-1	COVER SHEET
2	DP-1	DIMENSION PLAN
3	GP-1	GRADING PLAN
4	GP-2	GRADING PLAN
5	UP-1	UTILITY PLAN
6	LP-1	LANDSCAPE PLAN
7	DT-1	DETAIL SHEET
8	DT-2	DETAIL SHEET 2

LEGAL DESCRIPTION

LOT 2, HERTIAGE AT PRAIRIE TRAIL PLAT 2, AN OFFICIAL PLAT, LOCATED IN THE CITY OF ANKENY, POLK COUNTY, IOWA.

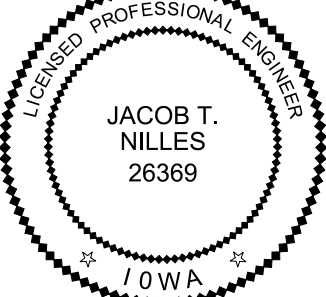
CONTAINING 2.17 ACRES, MORE OR LESS

SAID PARCEL IS SUBJECT TO ANY AND ALL RESTRICTIONS, COVENANTS AND EASEMENTS OF RECORD.

CONSTRUCTION SCHEDULE

SITE GRADING	FALL 2021
UTILITY INSTALLATION	FALL 2021-SPRING 2022
BUILDING	SPRING 2022-FALL 2022
PAVING INSTALLATION	SPRING 2022
LANDSCAPING	FALL 2022

CERTIFICATIONS

	I HEREBY CERTIFY THAT THE PORTION OF THIS TECHNICAL SUBMISSION DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND RESPONSIBLE CHARGE. I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF IOWA. ROGER J. SILVER
	I hereby certify that this engineering document was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Iowa.
LICENSE EXPIRES: 6-30-2023	SIGNATURE _____ DATE _____ PAGES OR SHEETS COVERED BY THIS SEAL: CV-1, DP-1, GP-1, GP-2, UP-1, DT-1
Name: Jacob T. Nilles, P.E. No. 26369	Date _____
My license renewal date is December 31, 2021	Pages or sheets covered by this seal: CV-1, DP-1, GP-1, GP-2, UP-1, DT-1

PRELIMINARY - NOT FOR CONSTRUCTION

1250 SW STATE STREET, SUITE A
ANKENY, IOWA 50025-2555
(515) 965-0123 phone - (515) 965-3322 fax
Civil Engineering - Land Surveying
Landscape Architecture

REVISIONS:

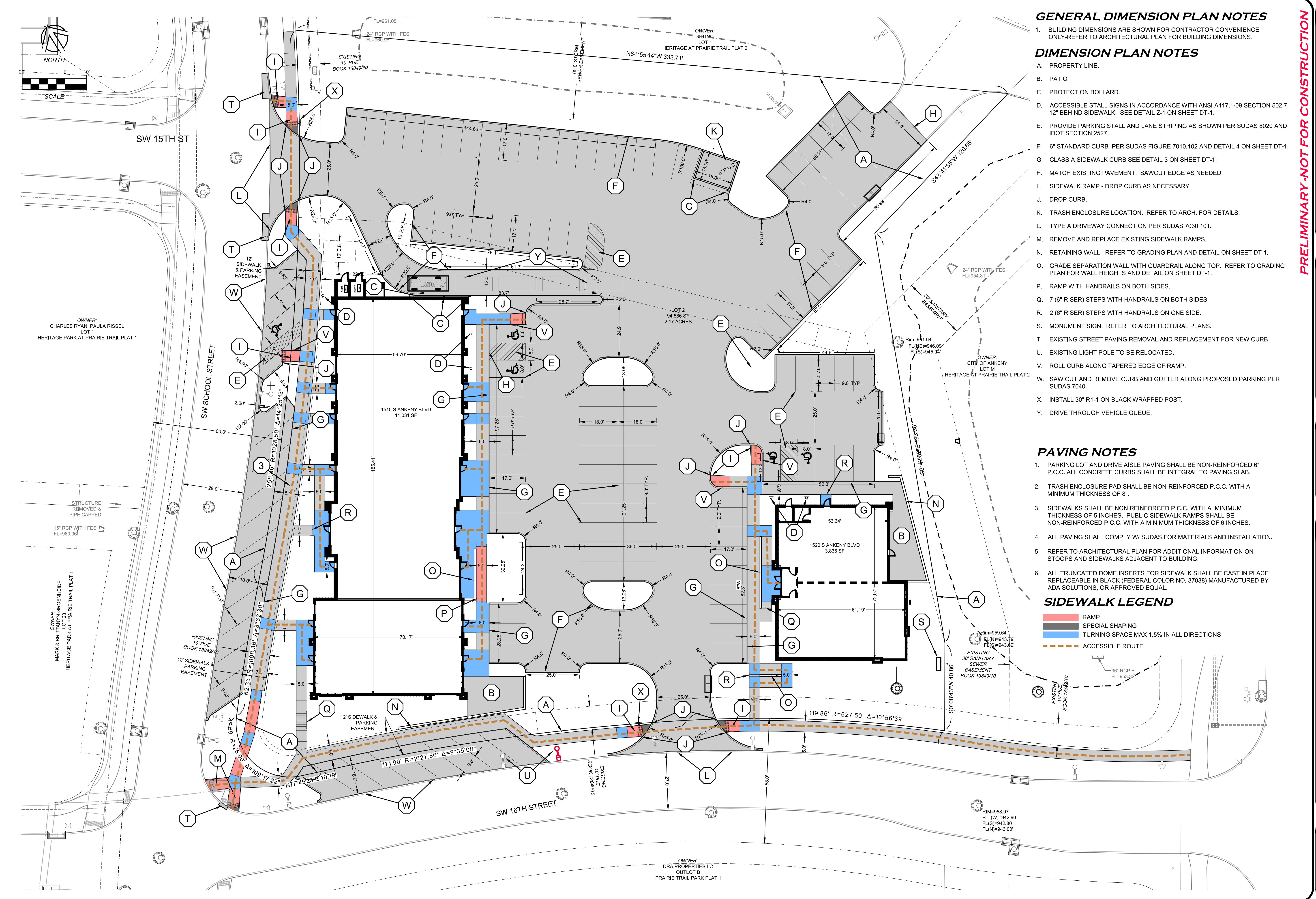
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LOT 2 HERITAGE AT PRAIRIE TRAIL PLAT 2
1510 & 1520 S ANKENY BLVD, ANKENY, IOWA

PROJECT NAME

NAI NO.: 21202
DATE: 09/03/21
DRAWN BY: WW
CHECKED BY: JPN
SHEET SIZE: 22" X 34"
SHEET TITLE: CV-1
SHEET NO.: 1/8

COVER SHEET



GENERAL DIMENSION PLAN NOTES

- 1. BUILDING DIMENSIONS ARE SHOWN FOR CONTRACTOR CONVENIENCE ONLY-REFER TO ARCHITECTURAL PLAN FOR BUILDING DIMENSIONS.
- A. PROPERTY LINE.
- B. PATIO
- C. PROTECTION BOLLARD .
- D. ACCESSIBLE STALL SIGNS IN ACCORDANCE WITH ANSI A117.1-09 SECTION 502.7, 12" BEHIND SIDEWALK. SEE DETAIL Z-1 ON SHEET DT-1.
- E. PROVIDE PARKING STALL AND LANE STRIPING AS SHOWN PER SUDAS 8020 AND IDOT SECTION 2527.
- F. 6" STANDARD CURB PER SUDAS FIGURE 7010.102 AND DETAIL 4 ON SHEET DT-1.
- G. CLASS A SIDEWALK CURB SEE DETAIL 3 ON SHEET DT-1.
- H. MATCH EXISTING PAVEMENT. SAWCUT EDGE AS NEEDED.
- I. SIDEWALK RAMP - DROP CURB AS NECESSARY.
- J. DROP CURB.
- K. TRASH ENCLOSURE LOCATION. REFER TO ARCH. FOR DETAILS.
- L. TYPE A DRIVEWAY CONNECTION PER SUDAS 7030.101.
- M. REMOVE AND REPLACE EXISTING SIDEWALK RAMPS.
- N. RETAINING WALL. REFER TO GRADING PLAN AND DETAIL ON SHEET DT-1.
- O. GRADE SEPARATION WALL WITH GUARDRAIL ALONG TOP. REFER TO GRADING PLAN FOR WALL HEIGHTS AND DETAIL ON SHEET DT-1.
- P. RAMP WITH HANDRAILS ON BOTH SIDES.
- Q. 7 (6" RISER) STEPS WITH HANDRAILS ON BOTH SIDES
- R. 2 (6" RISER) STEPS WITH HANDRAILS ON ONE SIDE.
- S. MONUMENT SIGN. REFER TO ARCHITECTURAL PLANS.
- T. EXISTING STREET PAVING REMOVAL AND REPLACEMENT FOR NEW CURB.
- U. EXISTING LIGHT POLE TO BE RELOCATED.
- V. ROLL CURB ALONG TAPERED EDGE OF RAMP.
- W. SAW CUT AND REMOVE CURB AND GUTTER ALONG PROPOSED PARKING PER SUDAS 7040.
- X. INSTALL 30" R1-1 ON BLACK WRAPPED POST.
- Y. DRIVE THROUGH VEHICLE QUEUE.

PAVING NOTES

- 1. PARKING LOT AND DRIVE AISLE PAVING SHALL BE NON-REINFORCED 6" P.C.C. ALL CONCRETE CURBS SHALL BE INTEGRAL TO PAVING SLAB.
- 2. TRASH ENCLOSURE PAD SHALL BE NON-REINFORCED P.C.C. WITH A MINIMUM THICKNESS OF 8".
- 3. SIDEWALKS SHALL BE NON REINFORCED P.C.C. WITH A MINIMUM THICKNESS OF 5 INCHES. PUBLIC SIDEWALK RAMPS SHALL BE NON-REINFORCED P.C.C. WITH A MINIMUM THICKNESS OF 6 INCHES.
- 4. ALL PAVING SHALL COMPLY W/ SUDAS FOR MATERIALS AND INSTALLATION.
- 5. REFER TO ARCHITECTURAL PLAN FOR ADDITIONAL INFORMATION ON STOOPS AND SIDEWALKS ADJACENT TO BUILDING.
- 6. ALL TRUNCATED DOME INSERTS FOR SIDEWALK SHALL BE CAST IN PLACE REPLACEABLE IN BLACK (FEDERAL COLOR NO. 37038) MANUFACTURED BY ADA SOLUTIONS, OR APPROVED EQUAL.

SIDEWALK LEGEND

- RAMP
- SPECIAL SHAPING
- TURNING SPACE MAX 1.5% IN ALL DIRECTIONS
- ACCESSIBLE ROUTE

PRELIMINARY-NOT FOR CONSTRUCTION

1250 SW STATE STREET, SUITE A
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Landscape Architecture

NILLES ASSOCIATES

REVISIONS:

1)	09/24/2021	REVISIONS PER CITY OF ANKENY COMMENTS
2)		
3)		
4)		
5)		
6)		
7)		

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LOT 2, HERITAGE AT PRAIRIE TRAIL PLAT 2
1510 & 1520 S ANKENY BLVD, ANKENY, IOWA

PROJECT NAME: LOT 2, HERITAGE AT PRAIRIE TRAIL PLAT 2

DESCRIPTION: 1510 & 1520 S ANKENY BLVD, ANKENY, IOWA

DATE: 09/03/21

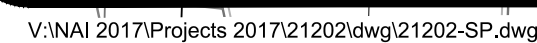
DRAWN BY: WW

CHECKED BY: JPN

SHEET SIZE: 22" X 34"

SHEET TITLE: DP-1

SHEET NO.: 2/8



1. ALL EXTERIOR PAVING AREAS SHALL HAVE 12" DEPTH SUBGRADE PREPARATION. SCARIFY AND COMPACT PER GEOTECHNICAL REPORT EXTENDING 2' BEYOND PAVING LIMITS.

- A. PROVIDE SILT FENCE AND 9" STRAW WATTLES WHERE SHOWN FOR EROSION CONTROL MEASURES. LINES MARKED ---SF--- AND ---WT--- RESPECTIVELY. 595 LF OF SILT FENCE SHOWN. 726 LF OF WATTLE SHOWN. INSTALL PER SUDAS 9040.
- B. CONSTRUCTION ENTRANCE - 16' WIDE X 60' LONG X 12" DEPTH STONE .
- C. CONCRETE WASHOUT AREA.
- D. INSTALL AND MAINTAIN INLET CONTROL DEVICE PRIOR TO AND FOLLOWING PAVEMENT INSTALLATION.
- E. TOPSOIL STOCKPILE LOCATION.
- F. RETAINING WALL. REFER TO SHEET DT-1 FOR DETAILS.
- G. GRADE SEPARATION WALL. REFER TO SHEET DT-1 FOR DETAILS.
- H. REFER TO SHEET GP-2 FOR RAMP DETAILS.
- I. PROTECT EXISTING SANITARY SEWER MANHOLES DURING CONSTRUCTION.
- J. AN3B BASIN NORMAL POOL = 954.0
- K. AN3B BASIN 100-YEAR ELEVATION = 959.90

TC - TOP OF CURB ELEVATION
S - TOP OF SLAB ELEVATION
TW - TOP OF WALL
BW - BOTTOM OF WALL

-  RAMP
 SPECIAL SHAPING
 TURNING SPACE
 MAX 1.5% IN ALL DIRECTIONS
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 CONSTRUCTION ENTRANCE

PRELIMINARY-NOT FOR CONSTRUCTION



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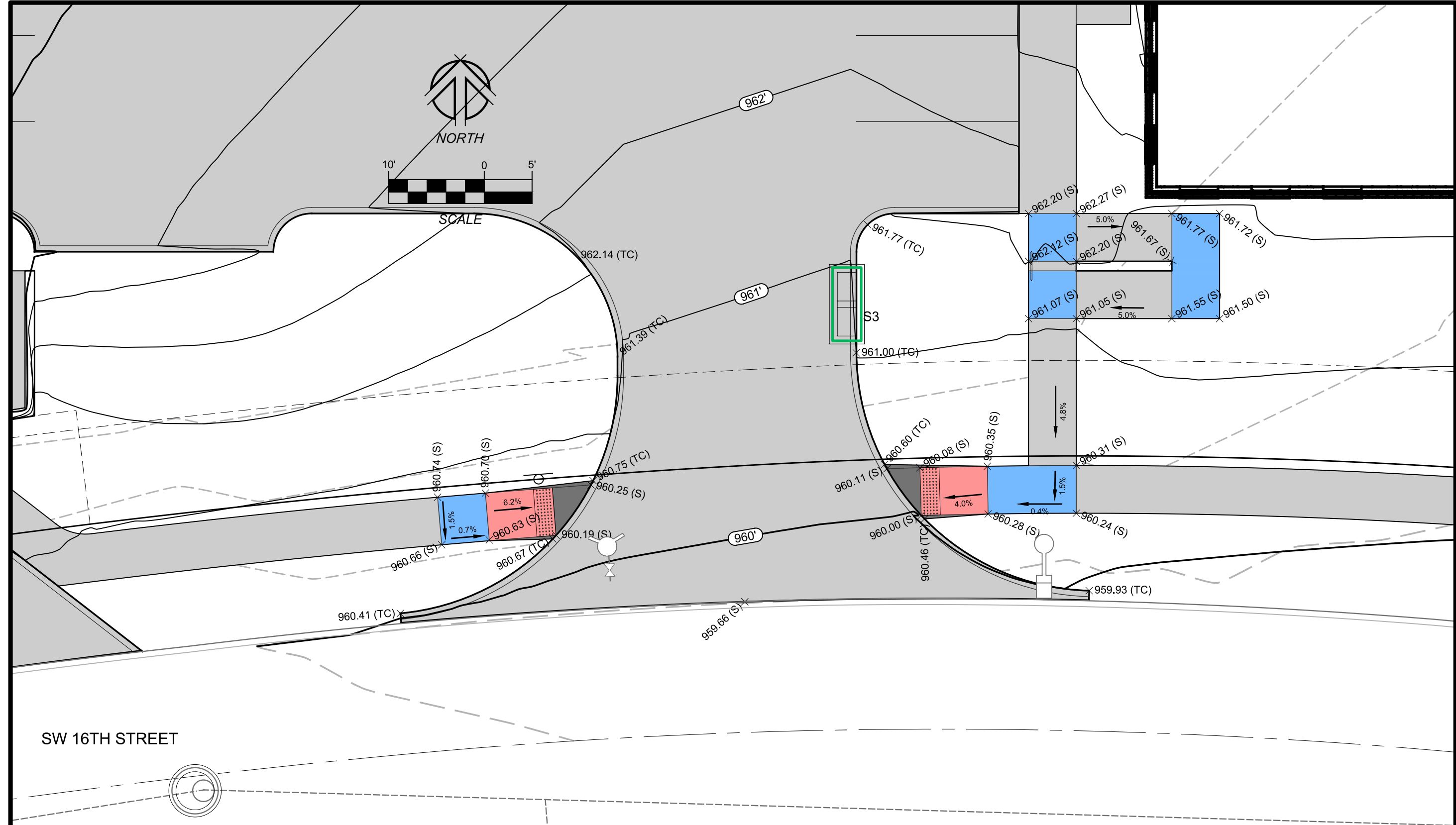
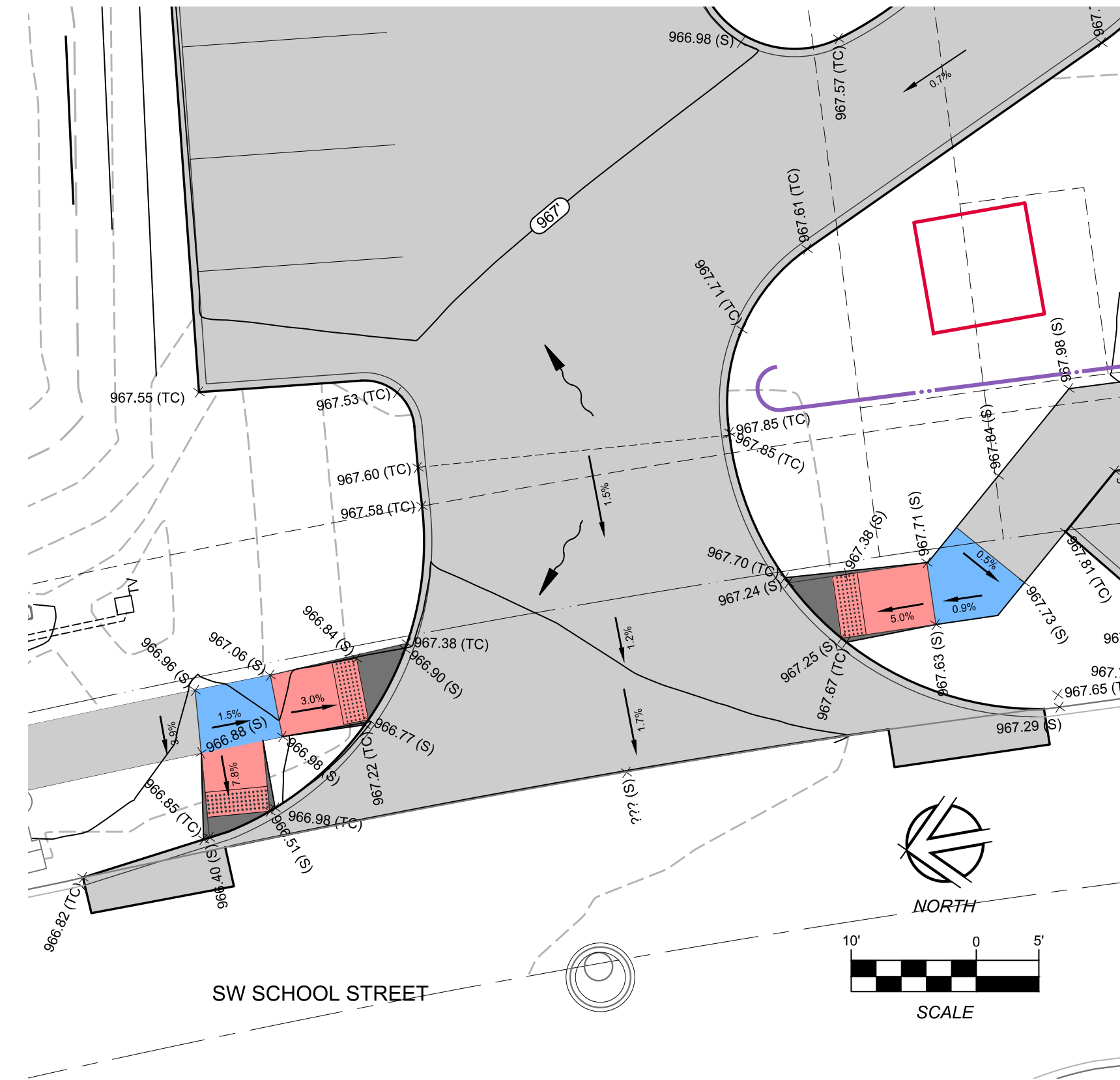
2.)	11/09/24/2021	1-REVISIONS PER CITY OF ANKENY COMMENTS
3.)		
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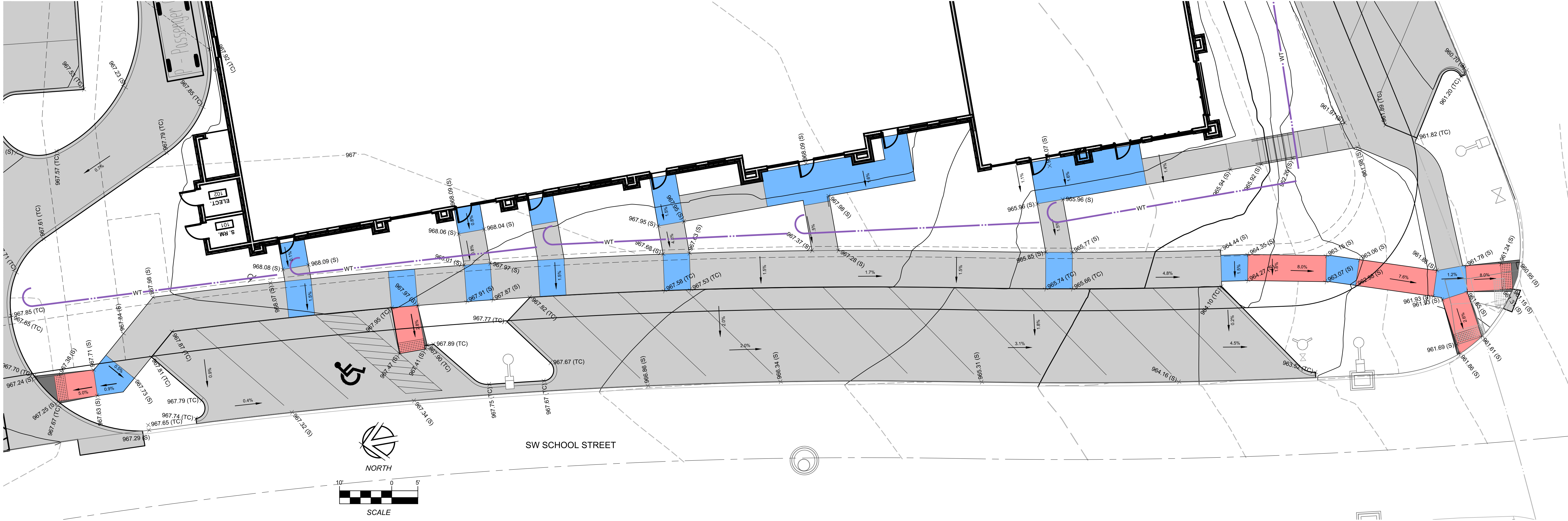
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GRADING PLAN LEGEND

TC - TOP OF CURB ELEVATION
S - TOP OF SLAB ELEVATION
TW - TOP OF WALL
BW - BOTTOM OF WALL

RAMP
SPECIAL SHAPING
TURNING SPACE
MAX 1.5% IN ALL DIRECTIONS



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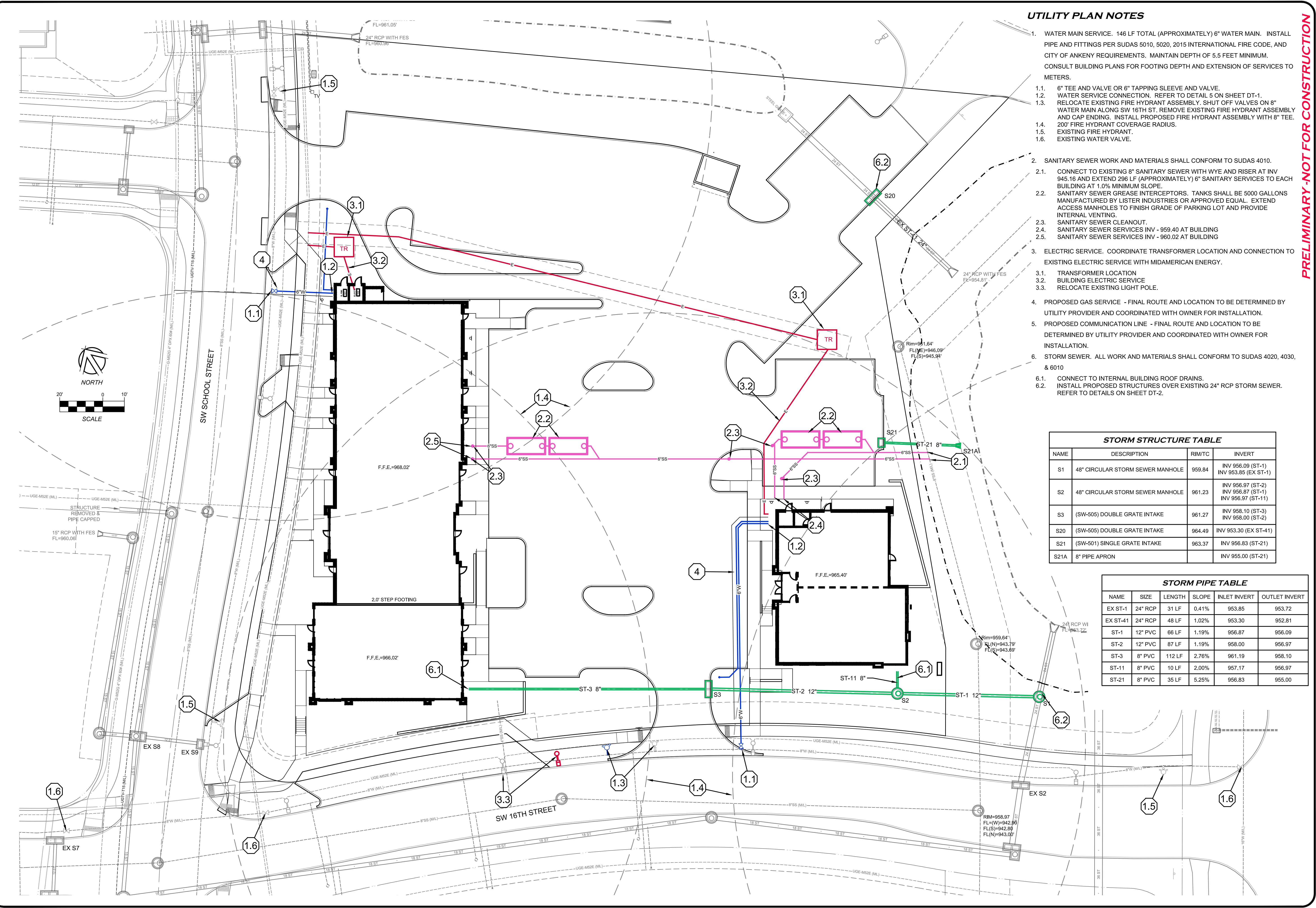
SHEET NO.:
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1) 09/24/2021 REVISIONS PER CITY OF ANKENY COMMENTS
2) 10/15/2021 REVISIONS PER CITY OF ANKENY COMMENTS
3) 11/15/2021 REVISIONS PER CITY OF ANKENY COMMENTS
4) 12/15/2021 REVISIONS PER CITY OF ANKENY COMMENTS
5) 01/15/2022 REVISIONS PER CITY OF ANKENY COMMENTS
6) 02/15/2022 REVISIONS PER CITY OF ANKENY COMMENTS
7) 03/15/2022 REVISIONS PER CITY OF ANKENY COMMENTS

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NILES ASSOCIATES

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UTILITY PLAN NOTES

1. WATER MAIN SERVICE. 146 LF TOTAL (APPROXIMATELY) 6" WATER MAIN. INSTALL PIPE AND FITTINGS PER SUDAS 5010, 5020, 2015 INTERNATIONAL FIRE CODE, AND CITY OF ANKENY REQUIREMENTS. MAINTAIN DEPTH OF 5.5 FEET MINIMUM. CONSULT BUILDING PLANS FOR FOOTING DEPTH AND EXTENSION OF SERVICES TO METERS.
 - 1.1. 6" TEE AND VALVE OR 6" TAPPING SLEEVE AND VALVE.
 - 1.2. WATER SERVICE CONNECTION. REFER TO DETAIL 5 ON SHEET DT-1.
 - 1.3. RELOCATE EXISTING FIRE HYDRANT ASSEMBLY. SHUT OFF VALVES ON 8" WATER MAIN ALONG SW 16TH ST. REMOVE EXISTING FIRE HYDRANT ASSEMBLY AND CAP ENDING. INSTALL PROPOSED FIRE HYDRANT ASSEMBLY WITH 8" TEE.
 - 1.4. 200' FIRE HYDRANT COVERAGE RADIUS.
 - 1.5. EXISTING FIRE HYDRANT.
 - 1.6. EXISTING WATER VALVE.
2. SANITARY SEWER WORK AND MATERIALS SHALL CONFORM TO SUDAS 4010.
 - 2.1. CONNECT TO EXISTING 8" SANITARY SEWER WITH WYE AND RISER AT INV 945.16 AND EXTEND 296 LF (APPROXIMATELY) 6" SANITARY SERVICES TO EACH BUILDING AT 1.0% MINIMUM SLOPE.
 - 2.2. SANITARY SEWER GREASE INTERCEPTORS. TANKS SHALL BE 5000 GALLONS MANUFACTURED BY LISTER INDUSTRIES OR APPROVED EQUAL. EXTEND ACCESS MANHOLES TO FINISH GRADE OF PARKING LOT AND PROVIDE INTERNAL VENTING.
 - 2.3. SANITARY SEWER CLEANOUT.
 - 2.4. SANITARY SEWER SERVICES INV - 959.40 AT BUILDING
 - 2.5. SANITARY SEWER SERVICES INV - 960.02 AT BUILDING
3. ELECTRIC SERVICE. COORDINATE TRANSFORMER LOCATION AND CONNECTION TO EXISTING ELECTRIC SERVICE WITH MIDAMERICAN ENERGY.
 - 3.1. TRANSFORMER LOCATION
 - 3.2. BUILDING ELECTRIC SERVICE
 - 3.3. RELOCATE EXISTING LIGHT POLE.
4. PROPOSED GAS SERVICE - FINAL ROUTE AND LOCATION TO BE DETERMINED BY UTILITY PROVIDER AND COORDINATED WITH OWNER FOR INSTALLATION.
5. PROPOSED COMMUNICATION LINE - FINAL ROUTE AND LOCATION TO BE DETERMINED BY UTILITY PROVIDER AND COORDINATED WITH OWNER FOR INSTALLATION.
6. STORM SEWER. ALL WORK AND MATERIALS SHALL CONFORM TO SUDAS 4020, 4030, & 6010.
 - 6.1. CONNECT TO INTERNAL BUILDING ROOF DRAINS.
 - 6.2. INSTALL PROPOSED STRUCTURES OVER EXISTING 24" RCP STORM SEWER. REFER TO DETAILS ON SHEET DT-2.

STORM STRUCTURE TABLE			
NAME	DESCRIPTION	RIM/TC	INVERT
S1	48" CIRCULAR STORM SEWER MANHOLE	959.84	INV 956.09 (ST-1) INV 953.85 (EX ST-1)
S2	48" CIRCULAR STORM SEWER MANHOLE	961.23	INV 956.97 (ST-2) INV 956.87 (ST-1) INV 956.97 (ST-11)
S3	(SW-505) DOUBLE GRATE INTAKE	961.27	INV 958.10 (ST-3) INV 958.00 (ST-2)
S20	(SW-505) DOUBLE GRATE INTAKE	964.49	INV 953.30 (EX ST-41)
S21	(SW-501) SINGLE GRATE INTAKE	963.37	INV 956.83 (ST-21)
S21A	8" PIPE APRON		INV 955.00 (ST-21)

STORM PIPE TABLE					
NAME	SIZE	LENGTH	SLOPE	INLET INVERT	OUTLET INVERT
EX ST-1	24" RCP	31 LF	0.41%	953.85	953.72
EX ST-41	24" RCP	48 LF	1.02%	953.30	952.81
ST-1	12" PVC	66 LF	1.19%	956.87	956.09
ST-2	12" PVC	87 LF	1.19%	958.00	956.97
ST-3	8" PVC	112 LF	2.76%	961.19	958.10
ST-11	8" PVC	10 LF	2.00%	957.17	956.97
ST-21	8" PVC	35 LF	5.25%	956.83	955.00

PRELIMINARY-NOT FOR CONSTRUCTION

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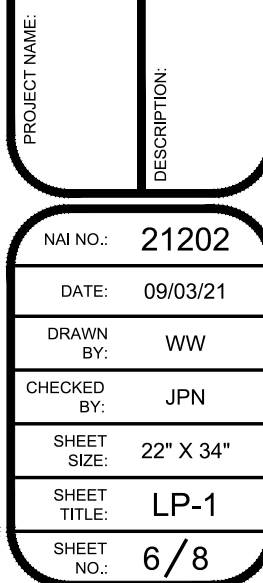
REVISIONS:
1) 09/24/2021 REVISIONS PER CITY OF ANKENY COMMENTS
2) 10/01/2021 REVISIONS PER CITY OF ANKENY COMMENTS
3) 10/01/2021 REVISIONS PER CITY OF ANKENY COMMENTS
4) 10/01/2021 REVISIONS PER CITY OF ANKENY COMMENTS
5) 10/01/2021 REVISIONS PER CITY OF ANKENY COMMENTS
6) 10/01/2021 REVISIONS PER CITY OF ANKENY COMMENTS
7) 10/01/2021 REVISIONS PER CITY OF ANKENY COMMENTS

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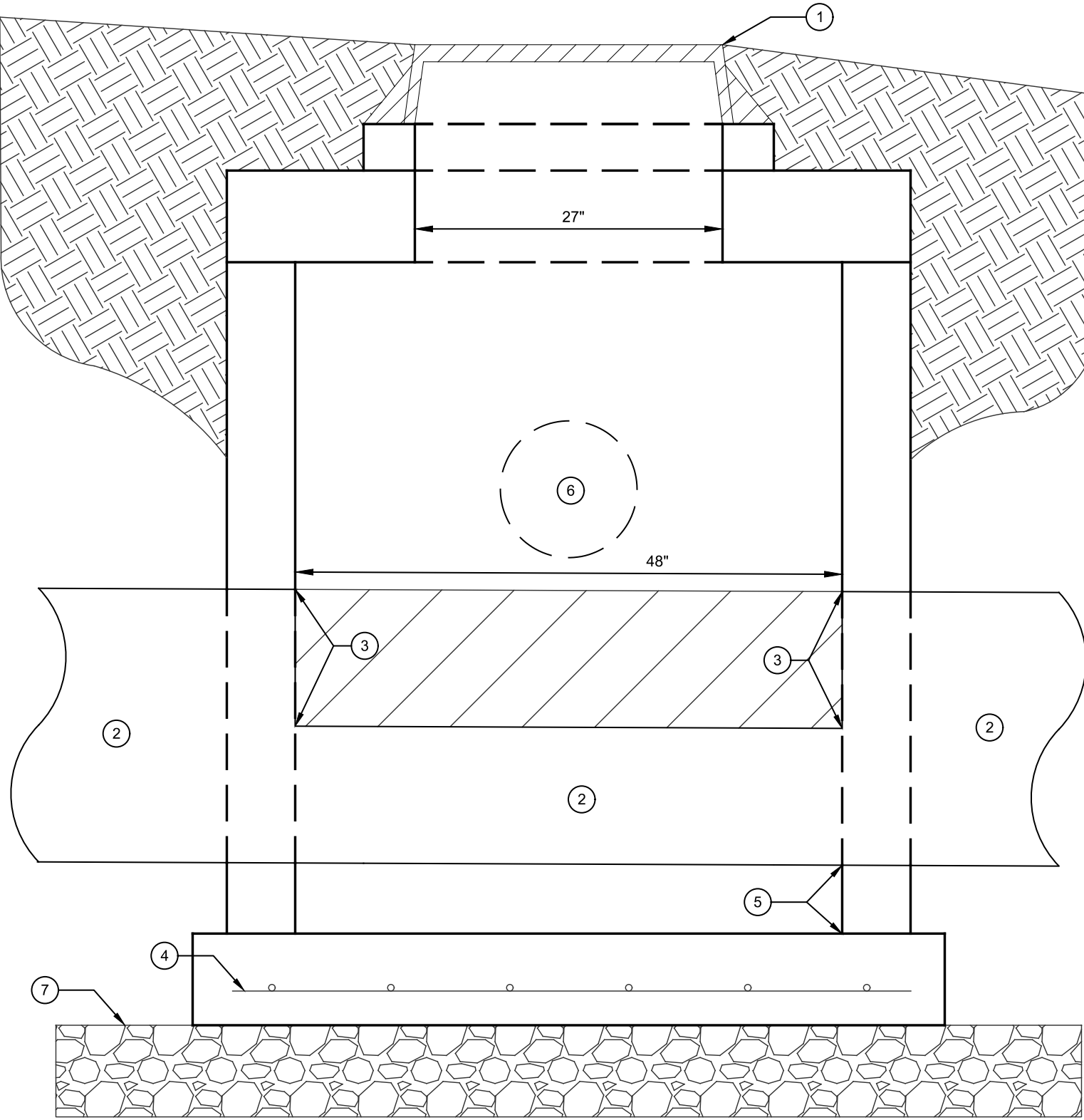
PROJECT NAME:
LOT 2 HERITAGE AT PRAIRIE TRAIL PLAT 2
1510 & 1520 S ANKENY BLVD. ANKENY, IOWA

DESCRIPTION:
UTILITY PLAN

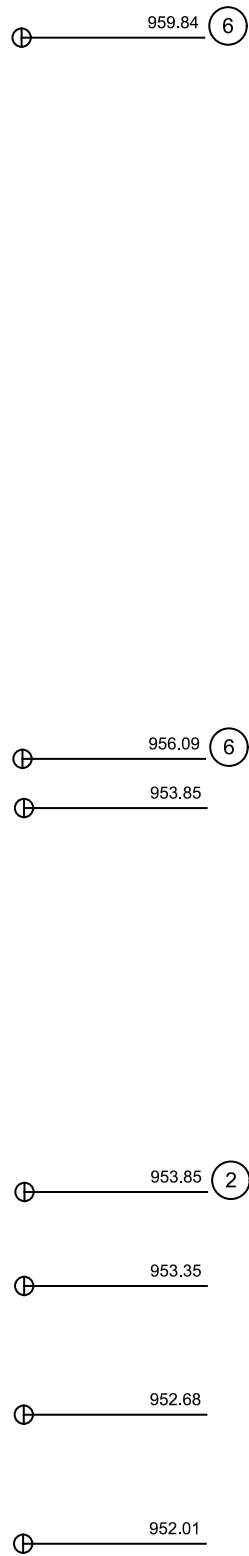
NW NO.: 21202
DATE: 09/03/21
DRAWN BY: WW
CHECKED BY: JPN
SHEET SIZE: 22" X 34"
SHEET TITLE: UP-1
SHEET NO.: 5/8



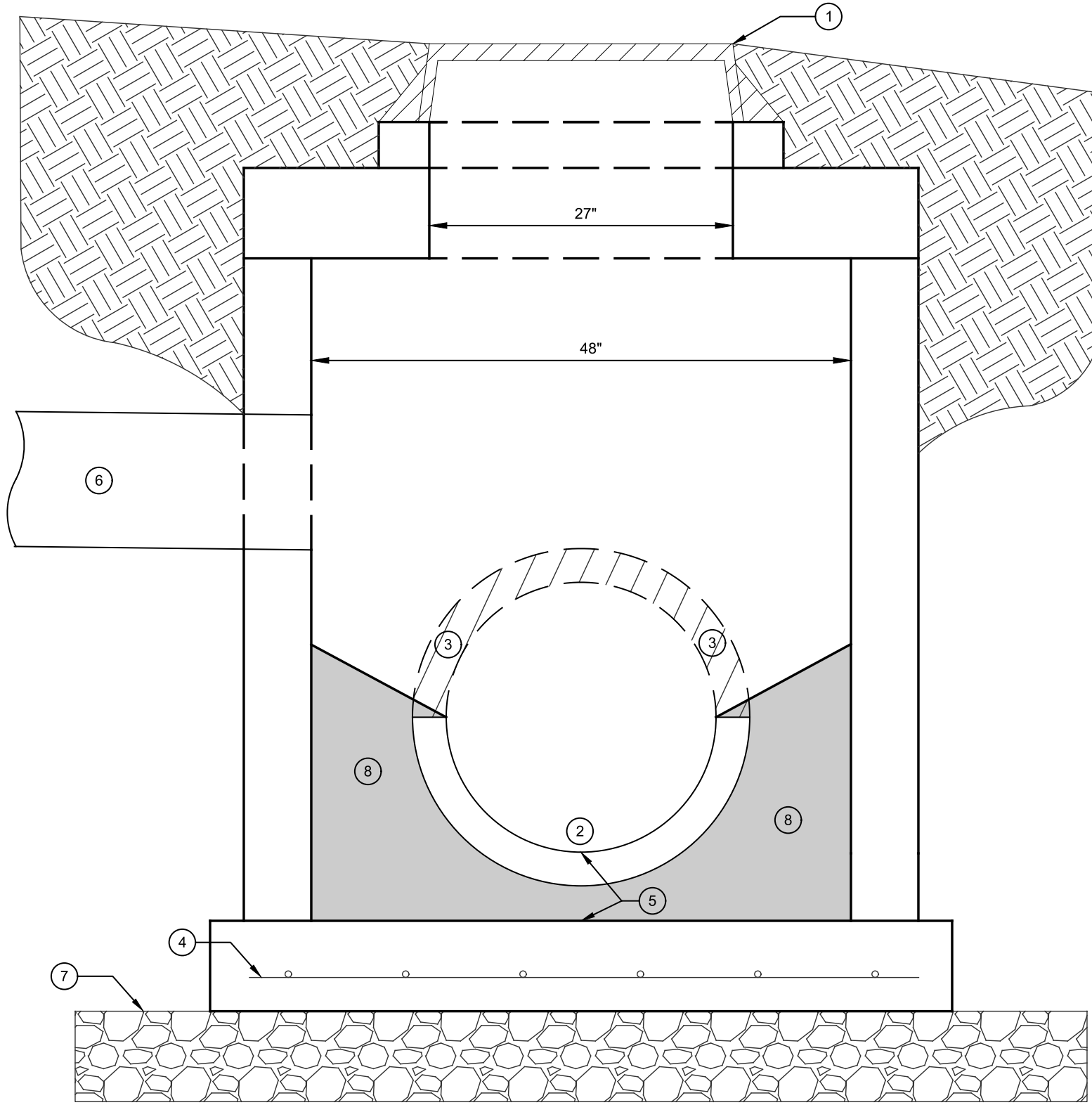
- 1 SW-602 TYPE E MANHOLE CASTING.
CASTING RIM ELEVATION = 959.84
- 2 24" EXISTING CONCRETE PIPE, INTERIOR
PIPE WALLS SHOWN.
INVERT ELEVATION = 953.85
PIPE SLOPE = 0.41%
- 3 REMOVE TOP HALF OF EXISTING PIPE
WITHIN INTERIOR WALLS OF PROPOSED
MANHOLE.
- 4 POUR 8" THICK CONCRETE MANHOLE
BASE, ENCASE REBAR MAT W/ 4" BARS AT
12" SPACING IN EACH DIRECTION.
- 5 PROVIDE 6" SPACING BETWEEN INVERT
OF EXISTING PIPE AND TOP OF MANHOLE
BASE.
- 6 PROPOSED 12" PVC INLET PIPE.
INVERT ELEVATION = 956.09
PIPE SLOPE = 1.19%
- 7 PLACE 8" MINIMUM OF CLASS I ROCK
BEDDING MATERIAL.



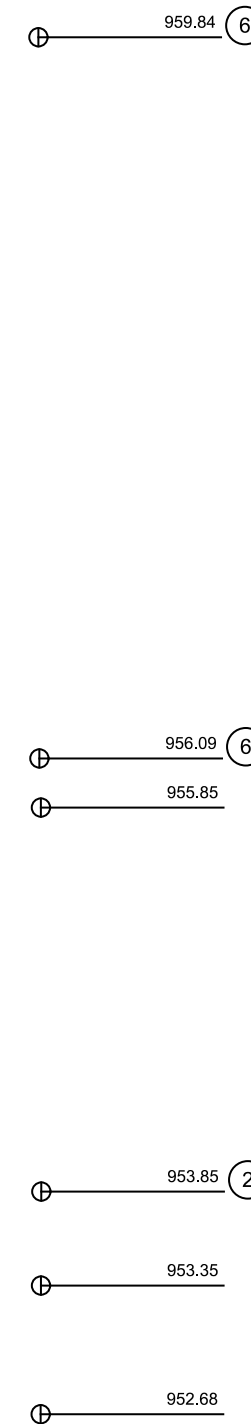
SIDE VIEW



- 1 SW-602 TYPE E MANHOLE CASTING.
CASTING RIM ELEVATION = 959.84
- 2 24" EXISTING CONCRETE PIPE, INTERIOR
PIPE WALLS SHOWN.
INVERT ELEVATION = 953.85
PIPE SLOPE = 0.41%
- 3 REMOVE TOP HALF OF EXISTING PIPE
WITHIN INTERIOR WALLS OF PROPOSED
MANHOLE.
- 4 POUR 8" THICK CONCRETE MANHOLE
BASE, ENCASE REBAR MAT W/ 4" BARS AT
12" SPACING IN EACH DIRECTION.
- 5 PROVIDE 6" SPACING BETWEEN PIPE
INVERT OF EXISTING PIPE AND TOP OF
MANHOLE BASE.
- 6 PROPOSED 12" PVC INLET PIPE.
INVERT ELEVATION = 956.09
PIPE SLOPE = 1.19%
- 7 PLACE 8" MINIMUM OF CLASS I ROCK
BEDDING MATERIAL.
- 8 CONCRETE FILLET.



FRONT VIEW

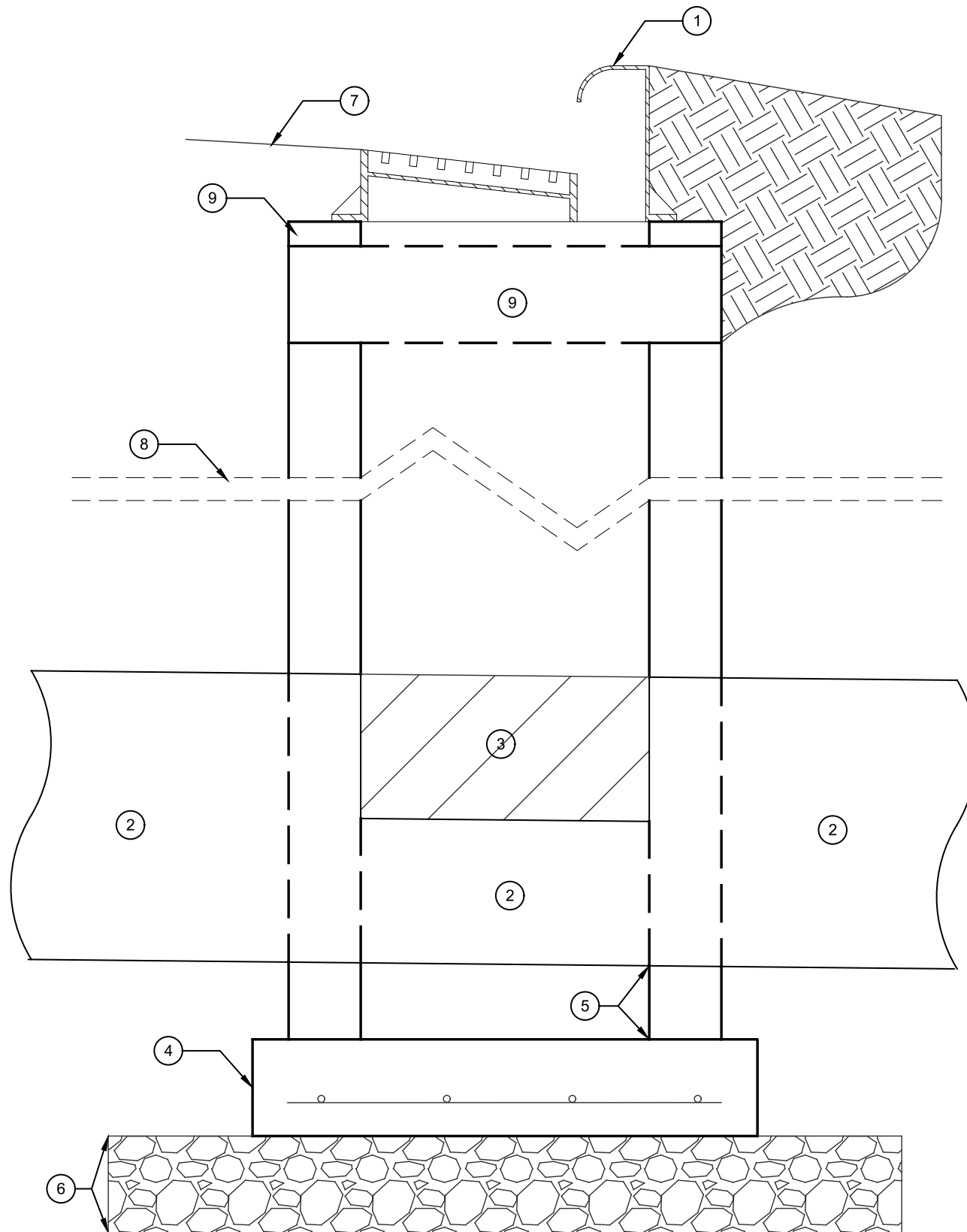


10
DT-2

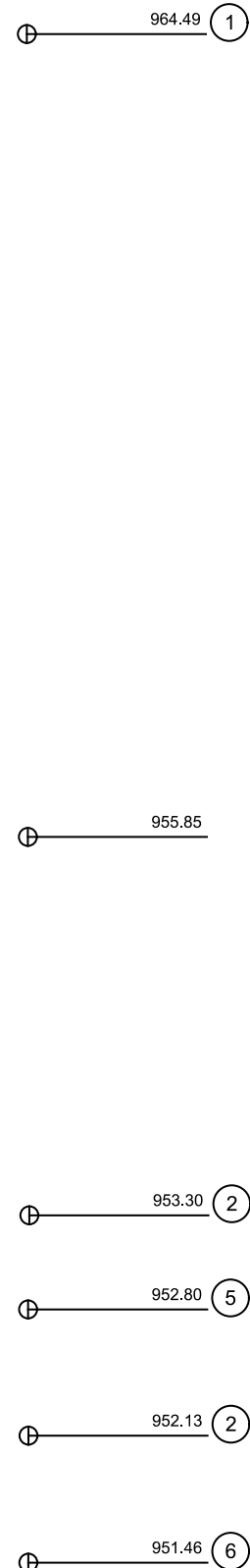
STRUCTURE S1 DOGHOUSE OVER EXISTING 24" RCP

NO SCALE

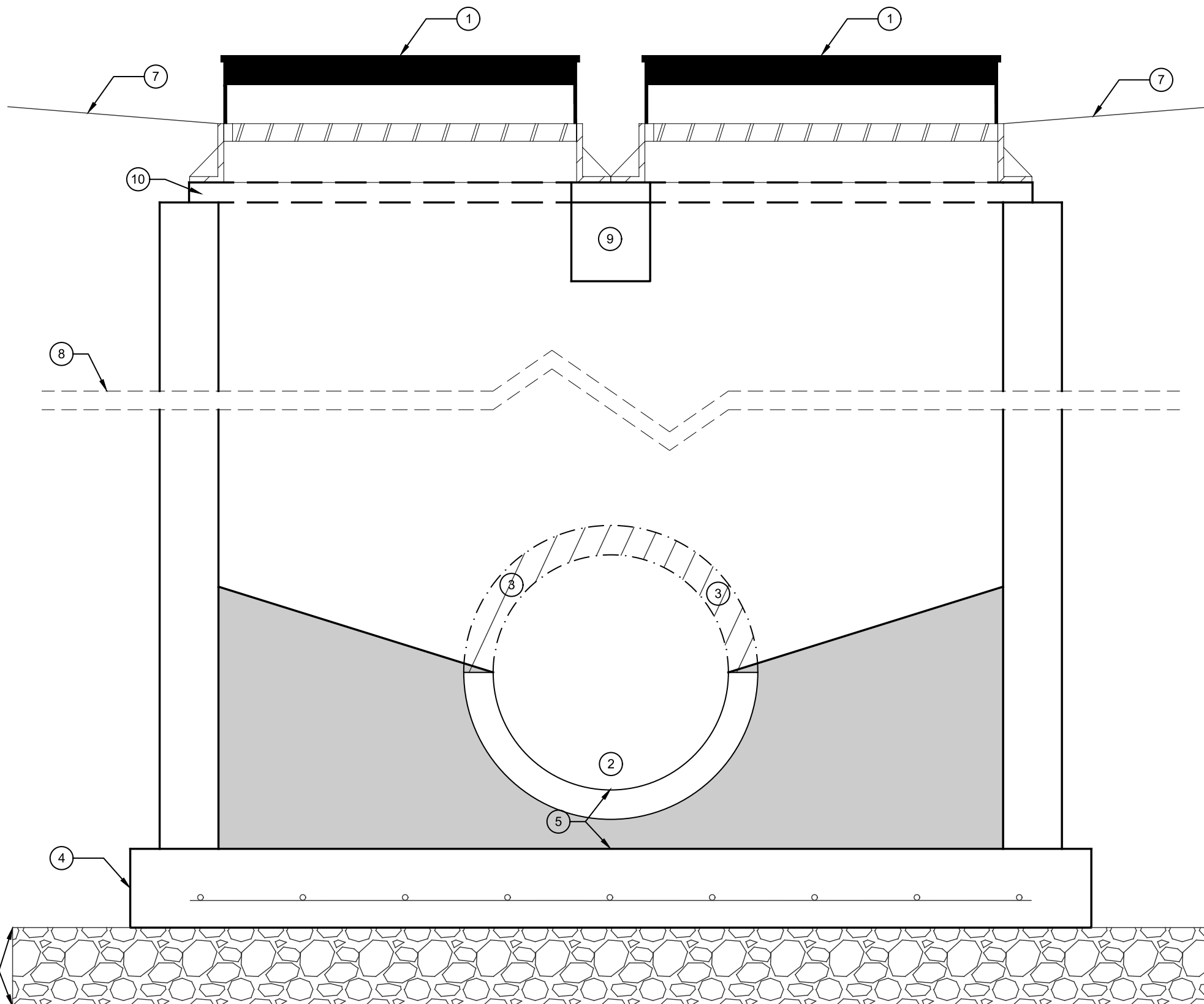
- 1 SW-603 TYPE 4 DOUBLE GRATE INTAKE
CASTING.
CASTING TC ELEVATION = 964.49
- 2 24" EXISTING CONCRETE PIPE, INTERIOR
PIPE WALLS SHOWN.
INVERT ELEVATION = 953.30
PIPE SLOPE = 1.02%
FIELD VERIFY PIPE INFORMATION PRIOR
TO CONSTRUCTION.
- 3 REMOVE TOP HALF OF EXISTING PIPE
WITHIN INTERIOR WALLS OF PROPOSED
MANHOLE.
- 4 POUR 8" THICK CONCRETE MANHOLE
BASE, REFER TO SUDAS 6010 FOR REBAR
INSTALLATION DETAILS.
- 5 PROVIDE 6" SPACING BETWEEN INVERT
OF EXISTING PIPE AND TOP OF MANHOLE
BASE.
- 6 PLACE 8" MINIMUM OF CLASS I ROCK
BEDDING MATERIAL.
- 7 PROPOSED STREET SURFACE, REFER TO
GRADING PLAN FOR MORE DETAILS.
- 8 BREAKLINE, ENTIRE STRUCTURE HEIGHT
NOT SHOWN.
- 9 CONCRETE INTAKE LID, 8" MINIMUM
THICKNESS.
- 10 MINIMUM OF 2" ADJUSTMENT RINGS PER
CITY OF ANKENY SUPPLEMENTAL
SPECIFICATIONS.



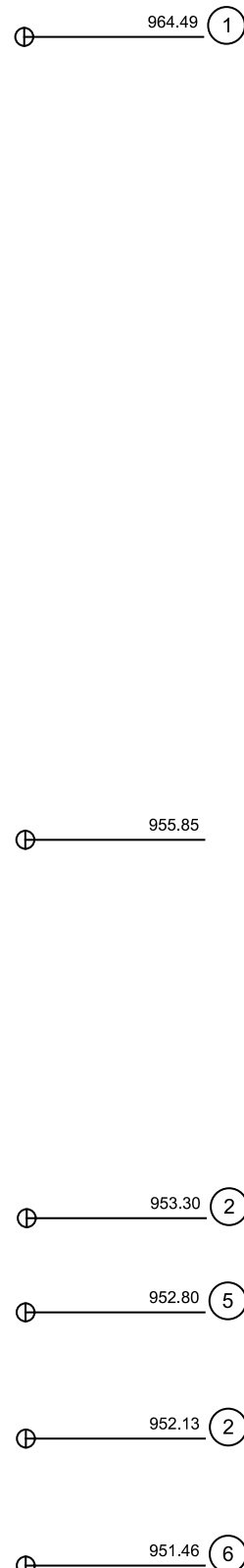
SIDE VIEW



- 1 SW-603 TYPE R DOUBLE GRATE INTAKE
CASTING.
CASTING TC ELEVATION = 964.49
- 2 24" EXISTING CONCRETE PIPE, INTERIOR
PIPE WALLS SHOWN.
INVERT ELEVATION = 953.30
PIPE SLOPE = 1.02%
FIELD VERIFY PIPE INFORMATION PRIOR
TO CONSTRUCTION.
- 3 REMOVE TOP HALF OF EXISTING PIPE
WITHIN INTERIOR WALLS OF PROPOSED
MANHOLE.
- 4 POUR 8" THICK CONCRETE MANHOLE
BASE, REFER TO SUDAS 6010 FOR REBAR
INSTALLATION DETAILS.
- 5 PROVIDE 6" SPACING BETWEEN INVERT
OF EXISTING PIPE AND TOP OF MANHOLE
BASE.
- 6 PLACE 8" MINIMUM OF CLASS I ROCK
BEDDING MATERIAL.
- 7 PROPOSED STREET SURFACE, REFER TO
GRADING PLAN FOR MORE DETAILS.
- 8 BREAKLINE, ENTIRE STRUCTURE HEIGHT
NOT SHOWN.
- 9 CONCRETE INTAKE LID, 8" MINIMUM
THICKNESS.
- 10 MINIMUM OF 2" ADJUSTMENT RINGS PER
CITY OF ANKENY SUPPLEMENTAL
SPECIFICATIONS.



FRONT VIEW



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DT-2

STRUCTURE S20 DOGHOUSE OVER EXISTING 24" RCP

NO SCALE

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2)		
3)		
4)		
5)		
6)		
7)		

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AND ASSUMES ALL LIABILITY FOR ANY
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TO FOLLOW THESE PLANS. THE USER
RELEASES NILLES ASSOCIATES, INC. FROM
ALL CLAIMS, DAMAGES, LOSSES AND
EXPENSES, INCLUDING ATTORNEY'S FEES,
WHICH MAY BE ASSERTED AGAINST
NILLES ASSOCIATES, INC. BY ANY THIRD
PARTY.

PROJECT NAME:
LOT 2 HERITAGE AT PRAIRIE TRAIL PLAT 2
1510 & 1520 S ANKENY BLVD, ANKENY, IOWA

DESCRIPTION:
DETAIL SHEET 2

NAI NO.: **21202**

DATE: 09/03/21

DRAWN BY: WW

CHECKED BY: JPN

SHEET SIZE: 22" X 34"

SHEET TITLE: DT-2

SHEET NO.: 8/8