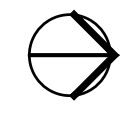
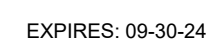
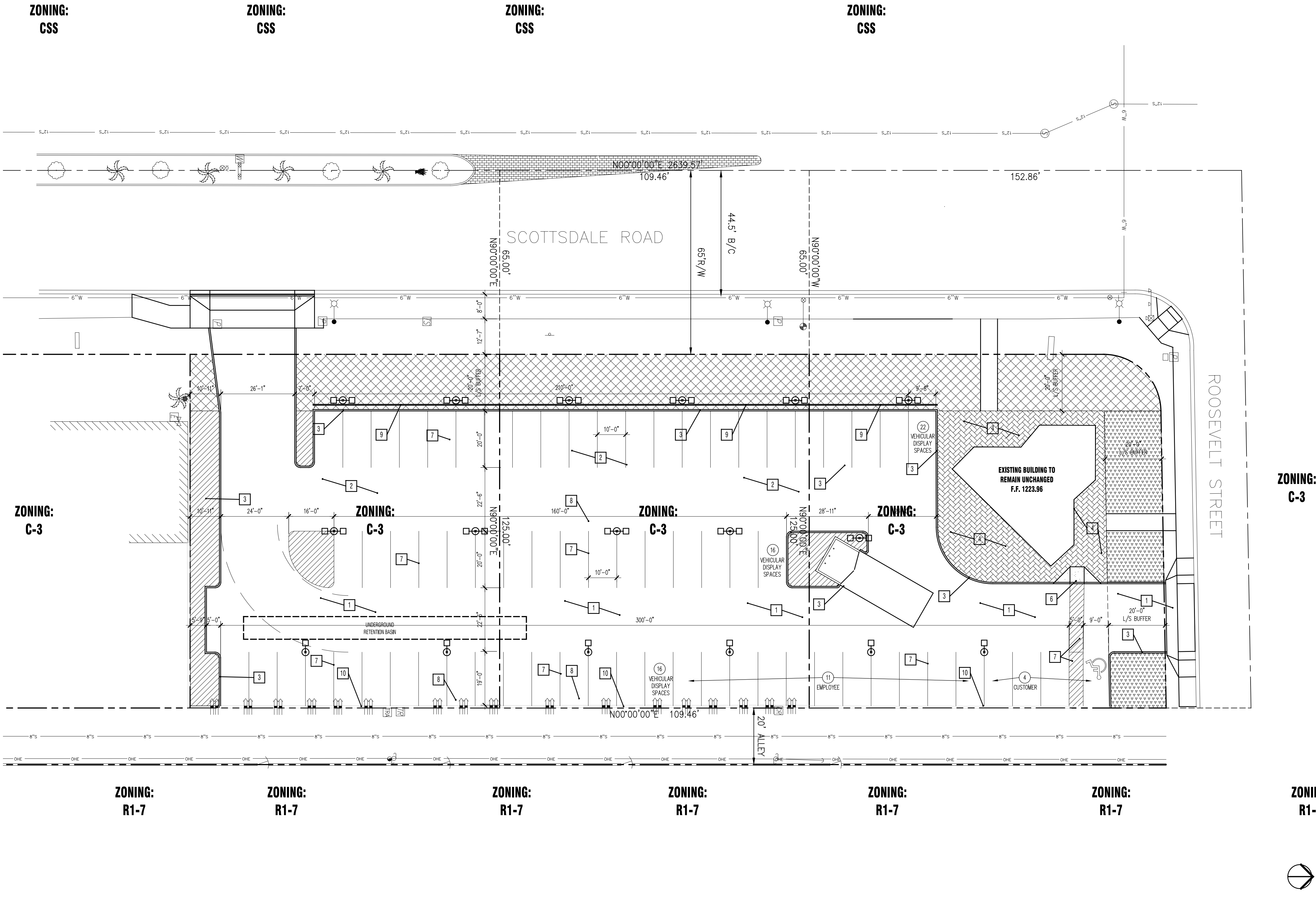


1. DEMO PAVERS AND RAMP
2. DEMO CANOPY
3. DEMO EXISTING CURB
4. DEMO RETAINING WALL
5. DEMO MISCELLANEOUS HARDSCAPING (CONCRETE / PAVERS) THIS AREA
6. DEMO EXISTING ASPHALT PAVING
7. DEMO POWER / LIGHT POLES
8. EXISTING PROPERTY WALL TO REMAIN
9. DEMO DRIVEWAY PER CITY OF SCOTTSDALE REQUEST
10. DEMO EXISTING CURB AND SIDEWALK FOR NEW DRIVE



TRUCK MAX
911/925 NORTH SCOTTSDALE ROAD
SCOTTSDALE, ARIZONA 85257

[illegible]



PROJECT INFORMATION

PROJECT NAME:	TRUCK MAX INVENTORY LOT
PROJECT ADDRESS:	911/925 NORTH SCOTTSDALE ROAD SCOTTSDALE, AZ 85257
APN:	131-47-001 / 131-47-002E / 131-47-002F
LOT SIZE:	15,618 S.F. / 13,681 S.F. / 13,682 S.F.
ZONING:	C-3
OCCUPANCY:	AUTO DEALER
EXISTING GROSS FLOOR AREA:	1,395 SF
CONSTRUCTION TYPE:	V-B
STORIES:	1
BUILDING HEIGHT:	12'
PARKING CALCULATIONS:	
	1,395 BUILDING S.F. / 200 = 7 EMPLOYEE
	60 VEHICULAR DISPLAY / 20 = 3 EMPLOYEE
	60 VEHICULAR DISPLAY / 20 = 3 CUSTOMER
	TOTAL PARKING REQUIRED 13 SPACES
	TOTAL PARKING PROVIDED 15 SPACES

PROJECT DESCRIPTION

TRUCKMAX, A TRUCK SALES DEALERSHIP IS REQUESTING A "CONDITIONAL USE PERMIT" FOR THE PURPOSE OF EXPANDING THEIR VEHICULAR DISPLAY AREA. TRUCKMAX IS LOCATED AT 925 N. SCOTTSDALE ROAD WHICH IS THE SOUTHEAST CORNER OF NORTH SCOTTSDALE ROAD AND EAST ROOSEVELT STREET. THE CURRENT USE IS VEHICULAR DISPLAY AND SALES ONLY. THE TRUCKMAX PROJECT PROPOSES TO EXPAND THEIR CURRENT VEHICULAR DISPLAY TO THE TWO C-3 ZONED PARCELS ADJACENT TO THEIR SOUTH PROPERTY LINE - PARCELS 131-47-002E AND 131-47-002F. THE TWO PARCELS WHICH ARE EACH APPROXIMATELY 13,682 SQUARE FEET IN SIZE, WILL BE DEVELOPED AS A CONTIGUOUS VEHICULAR DISPLAY LOT ONLY, ADJOINING THE CURRENT TRUCKMAX SALES SITE. THE EXPANSION PROJECT WILL INCLUDE PAVED VEHICULAR DISPLAY SPACE AND CIRCULATION, LOT LIGHTING, LANDSCAPE BUFFERS, AND ON-SITE RETENTION. THE PROJECT WILL BE IN COMPLIANT WITH THE APPROPRIATE CITY OF SCOTTSDALE ZONING REGULATIONS AND WILL INCLUDE BOTH THE EXPANSION PARCELS AND THE CURRENT TRUCKMAX SALES SITE.

OPEN SPACE CALCULATIONS

ZONING:	C-3
NET LOT AREA:	42,981 S.F.
EXISTING BUILDING HEIGHT:	12'

REQUIRED OPEN SPACE:
MAXIMUM BUILDING HEIGHT = 12' EXISTING (36' ALLOWED)
FIRST 12" OF HEIGHT = 10% X NET LOT AREA
= 10 X 42,981 = 4,298 S.F.

OPEN SPACE PROVIDED: 7,355 S.F.

FRONT OPEN SPACE REQUIRED:
50% OF REQUIRED OPEN SPACE
.5 X 5,349 S.F. = 2,674 S.F.

FRONT OPEN SPACE PROVIDED: 5,890 S.F.

PARKING LOT LANDSCAPING REQUIRED:
PARKING LOT AREA X 15%
6,156 X .15 = 923 S.F.

PARKING LOT LANDSCAPING PROVIDED: 1,360 S.F.

CODE INFORMATION

JURISDICTION:
CITY OF SCOTTSDALE
PLANNING AND DEVELOPMENT SERVICES 7447 E. INDIAN SCHOOL RD,
SCOTTSDALE, ARIZONA 85251
480.312.7800

APPLICABLE CODES

2015 CITY AMENDMENTS
2015 INTERNATIONAL FIRE CODE - ORD. 4283
2015 INTERNATIONAL BUILDING CODE - ORD. 4284
2015 INTERNATIONAL RESIDENTIAL CODE
2015 INTERNATIONAL MECHANICAL CODE
2015 INTERNATIONAL PLUMBING CODE
2015 INTERNATIONAL FUEL GAS CODE
2015 INTERNATIONAL ENERGY CONSERVATION CODE
2015 INTERNATIONAL EXISTING BUILDING CODE
2015 INTERNATIONAL GREEN CONSTRUCTION CODE
2014 NATIONAL ELECTRIC CODE
2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

SPECIAL INSPECTIONS:

PROJECT DIRECTORY

OWNER

TRUCK MAX
925 NORTH SCOTTSDALE ROAD
SCOTTSDALE, ARIZONA 85257
CONTACT: CRAIG DIAMOND
T: 480.307.0753
EMAIL: craig@mytruckmax.com

CIVIL ENGINEER

HELIX ENGINEERING
3240 EAST UNION HILLS DRIVE
SUITE 113
PHOENIX, ARIZONA 85050
CONTACT: STEVE BOWSER
T: 602.788.2616
EMAIL: sb@hxeng.com

LANDSCAPE ARCHITECT

T.J. McQUEEN & ASSOCIATES
10450 NORTH 74TH STREET
SUITE 120
SCOTTSDALE, ARIZONA 85258
CONTACT: TIM McQUEEN
T: 602.256.0320
EMAIL: timmcqueen@tjmla.com

ARCHITECT

URBAN REBUILD INC
2935 W. 16TH AVENUE
PHOENIX, ARIZONA 85015
CONTACT: RICK MCGEE
T: 602.796.7799
EMAIL: rick@urbanrebuild.com

ELECTRICAL ENGINEER

MAVIN ENGINEERING
8011 S. AVENIDA DEL YAQUI
GUADALUPE, ARIZONA 85283
CONTACT: KIRK HOFFMAN, P.E.
T: 480.303.0180
EMAIL: kirkh.maven@gmail.com

SITE KEYNOTES

1. NEW CIRCULATION DRIVE AND CUSTOMER PARKING / PAVING
2. NEW INVENTORY DISPLAY PARKING / PAVING
3. NEW CONCRETE CURBING
4. NEW PAVERS
5. NEW 20'-0" DIA. CONCRETE DISPLAY PAD
6. NEW ACCESSIBLE RAMP
7. NEW 4" PAINT STRIPING
8. NEW LIGHT POLE
9. NEW PIPE RAIL AT SALES LOT - SEE DETAIL 9/AS1.10
10. EXISTING PROPERTY WALL TO REMAIN

TRUCK MAX

911/925 NORTH SCOTTSDALE ROAD
SCOTTSDALE, ARIZONA 85257

AS1.01

SITE PLAN
02/17/23

PROJECT NO. 20-54-100

REVISIONS:



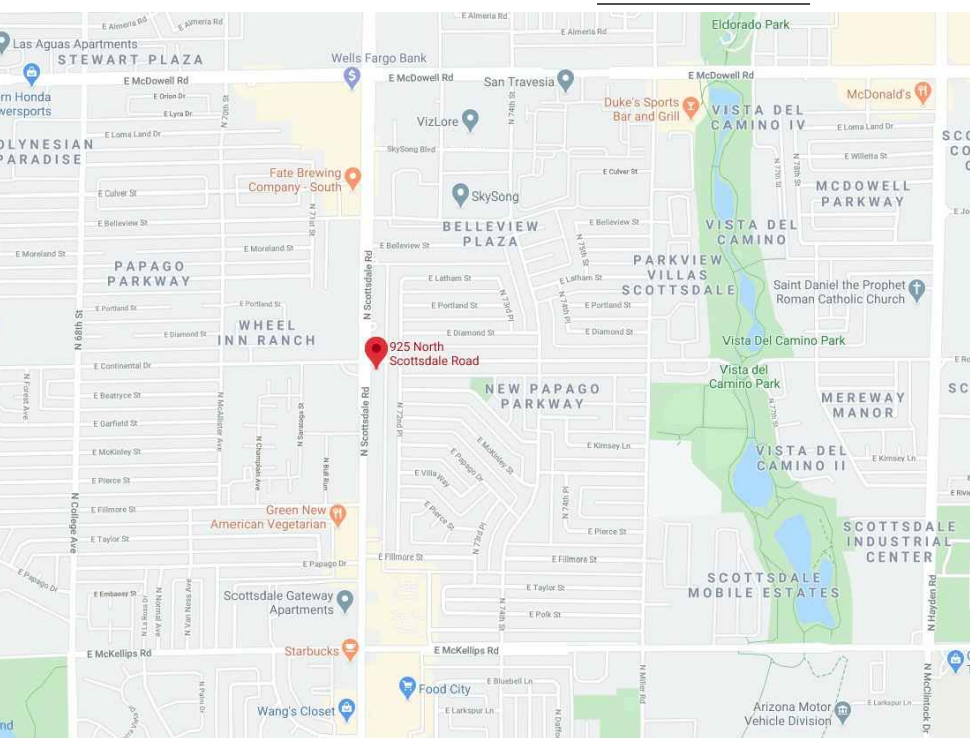
EXPIRES: 09-30-24



2935 W 16th Ave
Phoenix, Arizona 85015

VICINITY MAP

SCALE: N.T.S.

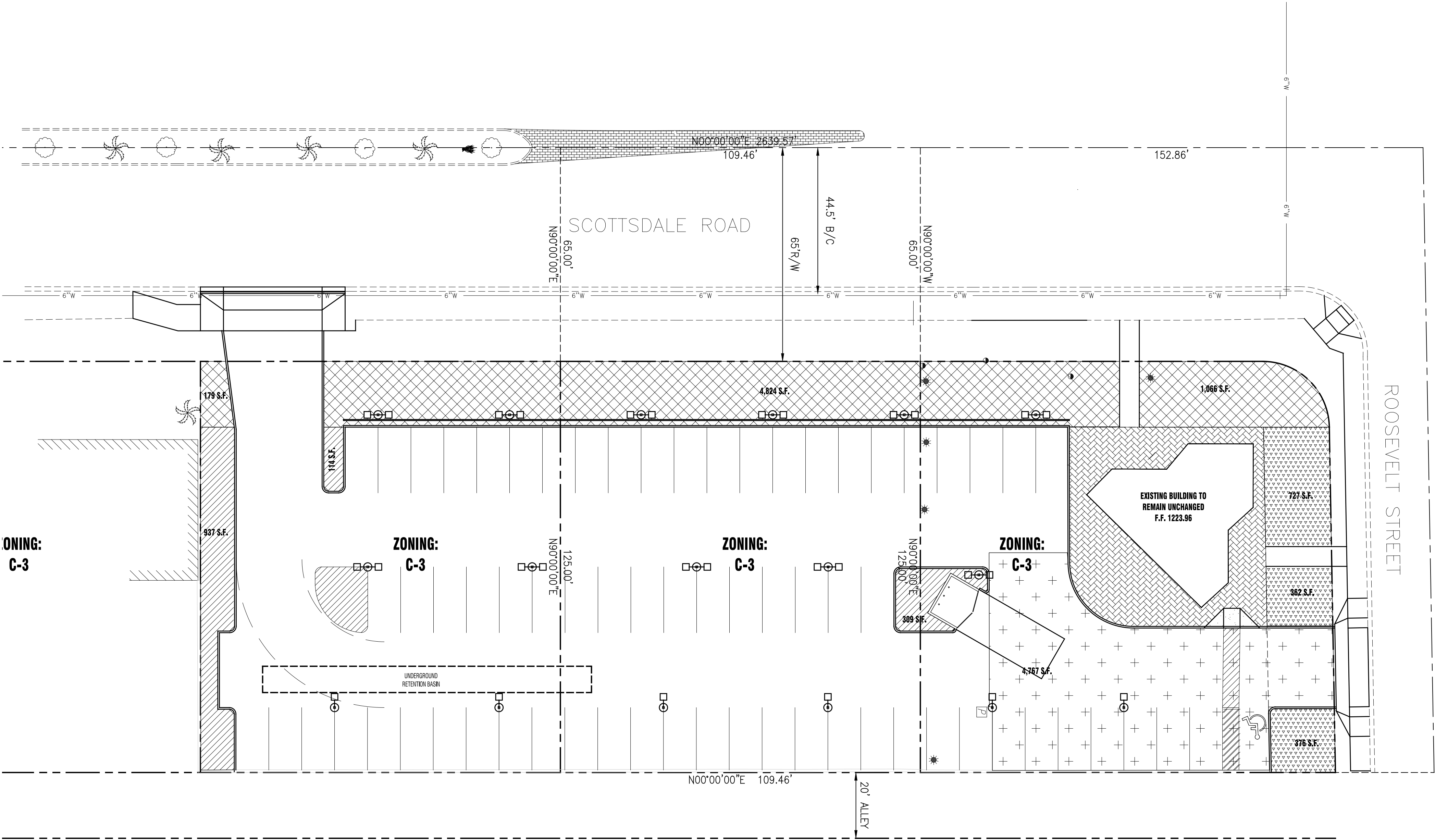


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OPEN SPACE CALCULATIONS

ZONING: C-3
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EXISTING BUILDING HEIGHT: 12'

REQUIRED OPEN SPACE:
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= .10 X 42,981 = 4,298 S.F.

OPEN SPACE PROVIDED: 7,355 S.F.

FRONT OPEN SPACE REQUIRED:
50% OF REQUIRED OPEN SPACE
.5 X 5,349 S.F. = 2,674 S.F.

FRONT OPEN SPACE PROVIDED: 5,890 S.F.

PARKING LOT LANDSCAPING REQUIRED:
PARKING LOT AREA X 15%
6,156 X .15 = 923 S.F.

PARKING LOT LANDSCAPING PROVIDED: 1,360 S.F.

	FRONT OPEN SPACE 5,890 S.F.
	OPEN SPACE OTHER THAN FRONT OPEN SPACE 1,465 S.F.
	PARKING LOT LANDSCAPING 1,360 S.F.
	PARKING LOT AREA 4,767 S.F.

TRUCK MAX

911/925 NORTH SCOTTSDALE ROAD
SCOTTSDALE, ARIZONA 85257

OS1.00

OPEN SPACE PLAN
02/17/23

PROJECT NO. 20-54-100

REVISIONS:

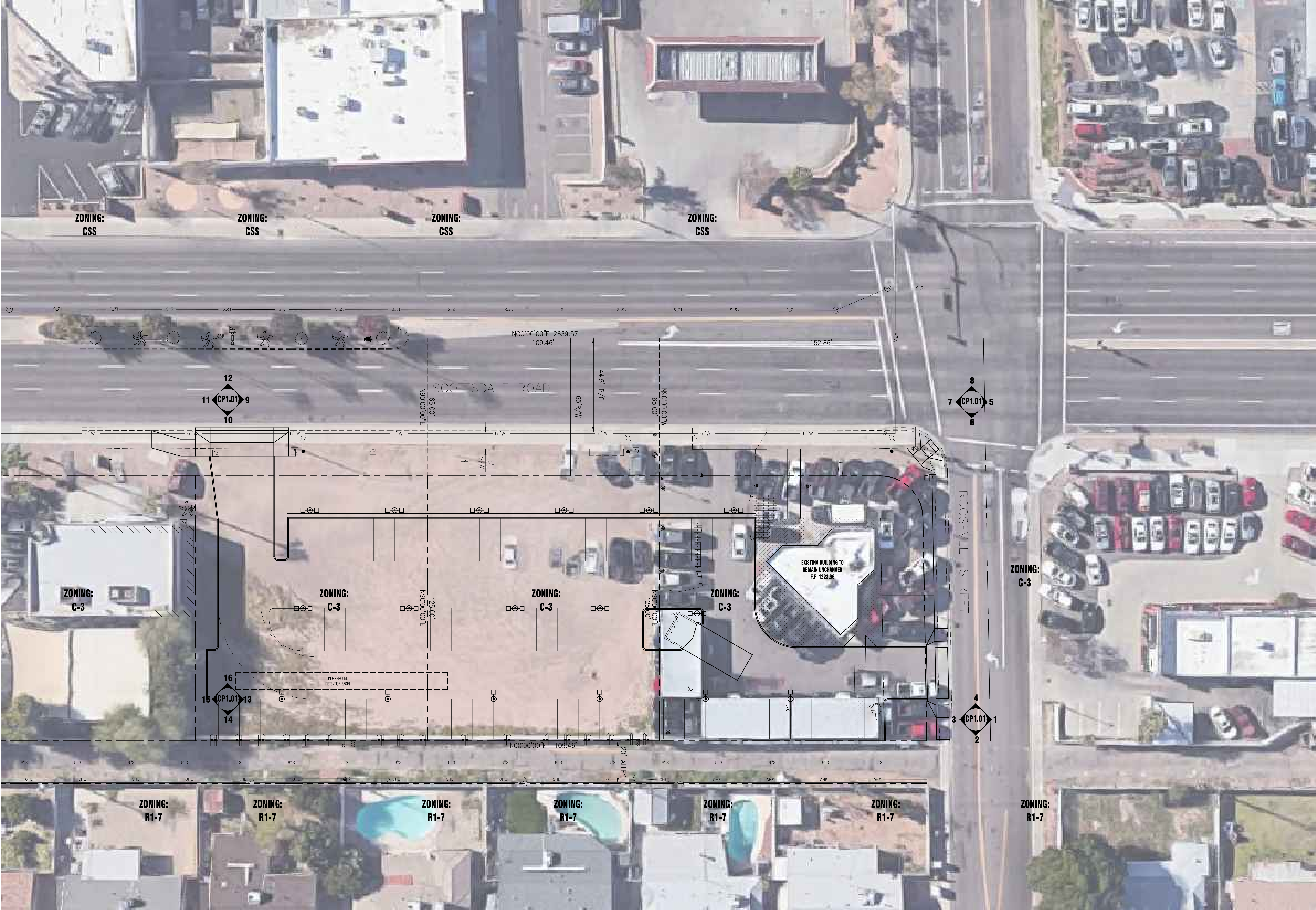


EXPIRES: 09-30-24

01 OPEN SPACE PLAN
SCALE: 1" = 20'-0"



2935 W 16th Ave
Phoenix, Arizona 85015



TRUCK MAX

911/925 NORTH SCOTTSDALE ROAD
SCOTTSDALE, ARIZONA 85257

CP1.00

CONTEXTUAL SITE PLAN
02/17/23

PROJECT NO. 20-54-100

REVISIONS:



EXPIRES: 09-30-24



2935 W 16th Ave
Phoenix, Arizona 85015



01 CONTEXTUAL SITE PLAN PHOTO



02 CONTEXTUAL SITE PLAN PHOTO



03 CONTEXTUAL SITE PLAN PHOTO



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16 CONTEXTUAL SITE PLAN PHOTO

TRUCK MAX

911/925 NORTH SCOTTSDALE ROAD
SCOTTSDALE, ARIZONA 85257

CP1.01

CONTEXTUAL SITE PLAN
02/17/23

PROJECT NO. 20-54-100

REVISIONS:



EXPIRES: 09-30-24



2935 W 16th Ave
Phoenix, Arizona 85015

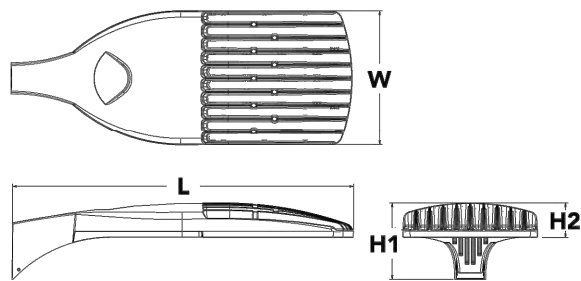


D-Series Size 1 LED Area Luminaire



Specifications

EPA: 1.01 ft²
(0.09 m²)
Length: 33"
(83.8 cm)
Width: 13"
(33.0 cm)
Height H1: 7'-1/2"
(18.8 cm)
Height H2: 3'-1/2"
Weight (max): 27 lbs
(12.2 kg)



Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 750W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSX1 LED P7 40K T3M MVOLT SPA NLTAR2 PIRHN DDBXD

DSX1 LED	LEDs	Color Temperature	Distribution	Voltage	Mounting
DSX1 LED	Forward optics P1 P4 P7 P2 P5 P8 P3 P6 P9 Rotated optics P10 P12 P11 P13	30K 3000 K 40K 4000 K 50K 5000 K	T1S Type I short (Automotive) T2S Type II short T2M Type II medium T2S Type II short T3M Type III medium T4M Type IV medium TFTM Forward throw medium	TSVS Type V very short ¹ TSS Type V short ¹ TSM Type V medium ¹ TSW Type V wide ¹ BLC Backlight control ¹ LCCO Left corner cutoff ¹ RCCO Right corner cutoff ¹	MVOLT ¹ XVOLT (277V-480V) ^{1,2,3} 120 ¹ 208 ¹ 240 ¹ 277 ¹ 347 ¹ 480 ¹ Shipped included SPA Square pole mounting RPA Round pole mounting ¹ WBA Wall bracket ¹ SPUMBA Square pole universal mounting adaptor ¹¹ RPUMBA Round pole universal mounting adaptor ¹¹ Shipped separately KMA8 DDBXD U Most arm mounting bracket adaptor (specify finish) ¹²

Control options	Other options	Finish
Shipped installed NLTAR2 Night A/R generation 2 enabled ¹³ PIRHN Network, high/low motion/ambient sensor ¹⁴ PER NEMA twist-lock receptacle only (controls ordered separately) ¹⁵ PERS Five-pin receptacle only (controls ordered separately) ^{15,16} PER7 Seven-pin receptacle only (controls ordered separately) ^{15,16} DMG 0-10v dimming wires pulled outside fixture (for use with external control, ordered separately) ¹⁷ DS Dual switching ^{18,19}	PIR High/low, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 5K ²⁰ HS High/low, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 5K ²⁰ PIRHFCSV High/low, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1K ²⁰ PIRHFCSV Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1K ²⁰ FAO Field adjustable output ²¹	DDBXD Dark bronze DBXD Black DNAXD Natural aluminum DWNXD White DDBXD Textured dark bronze DBXD Textured black DNAXD Textured natural aluminum DWNXD Textured white



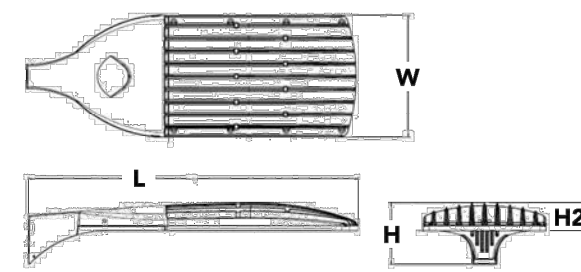
D-Series Size 2 LED Area Luminaire



Buy American

Specifications

EPA: 1.1 ft²
(0.10 m²)
Length: 40"
(101.6 cm)
Width: 15"
(38.1 cm)
Height 1: 7'-1/4"
(18.8 cm)
Height 2: 3.5"
Weight: 36 lbs



Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment.

The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. The Size 2 is ideal for replacing 400-1000W metal halide in area lighting applications with energy savings of up to 80% and expected service life of over 100,000 hours.

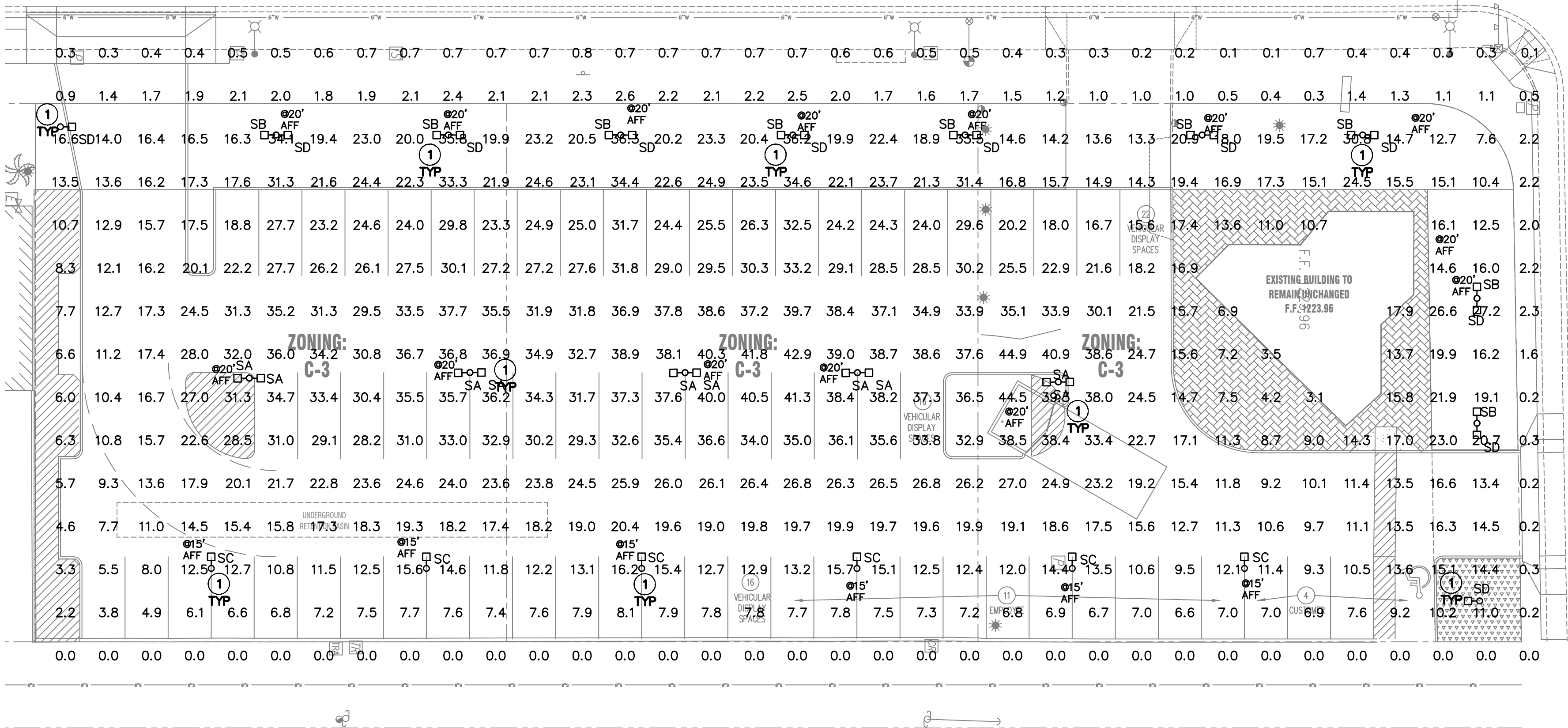
Ordering Information

EXAMPLE: DSX2 LED P7 40K T3M MVOLT SPA NLTAR2 PIRHN DDBXD

DSX2 LED	LEDs	Color Temperature	Distribution	Voltage	Mounting
DSX2 LED	Forward optics P1 P5 P2 P6 P3 P7 P4 P8 Rotated optics P10 P13 P11 P14 P12 P14 ¹	30K 3000 K 40K 4000 K 50K 5000 K	T1S Type I Short (Automotive) T2S Type II Short T2M Type II Medium T3S Type III Short T3M Type III Medium T4M Type IV Medium TFTM Forward Throw Medium	TSVS Type V Very Short ¹ TSS Type V Short ¹ TSM Type V Medium ¹ TSW Type V Wide ¹ BLC Backlight control ¹ LCCO Left corner cutoff ¹ RCCO Right corner cutoff ¹	MVOLT ¹ XVOLT (277V-480V) ^{1,2,3} 120 ¹ 208 ¹ 240 ¹ 277 ¹ 347 ¹ 480 ¹ Shipped included SPA Square pole mounting RPA Round pole mounting ¹ WBA Wall bracket ¹ SPUMBA Square pole universal mounting adaptor ¹¹ RPUMBA Round pole universal mounting adaptor ¹¹ Shipped separately KMA8 DDBXD U Most arm mounting bracket adaptor (specify finish) ¹²

Control options	Other options	Finish
Shipped installed NLTAR2 Night A/R generation 2 enabled ¹³ PIRHN Network, Bi-Level motion/ambient sensor ¹⁴ PER NEMA twist-lock receptacle only (no controls) ¹⁵ PERS Five-wire receptacle only (no controls) ^{15,16} PER7 Seven-wire receptacle only (no controls) ^{15,16} DMG 0-10v dimming extend out back of housing for external control (no controls) ¹⁷ DS Dual switching ^{18,19}	PIR Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 5K ²⁰ PIRHFCSV High/low, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1K ²⁰ FAO Field Adjustable Output ²¹	DDBXD Dark bronze DBXD Black DNAXD Natural aluminum DWNXD White DDBXD Textured dark bronze DBXD Textured black DNAXD Textured natural aluminum DWNXD Textured white

SCOTTSDALE ROAD



ZONING:
R1-7

ZONING:
R1-7

ZONING:
R1-7

ZONING:
R1-7

ZONING:
R1-7

NOTES: EVERY PROJECT IN ALL LIGHTING ZONES SHALL BE ENCOURAGED TO REDUCE AS MUCH AS POSSIBLE THE AMOUNT OF OUTDOOR LIGHTING THAT OPERATES AFTER 11:00 P.M., EXCEPT AS PERMITTED IN PCDSC 2.195.040. ALL NON-SECURITY LIGHTING (EXCEPT FOR THE ILLUMINATION OF ROADWAYS AND STATE AND FEDERAL FLAGS) SHALL BE TURNED OFF BY 11:00 P.M. OR WITHIN ONE HOUR AFTER CLOSE-OF-BUSINESS, WHICHEVER IS LATER. A NIGHTTIME REDUCTION OF AT LEAST 50 PERCENT IN OVERALL LD OR LPD IS REQUIRED. ALL NON-FULL CUTOFF LUMINAIRES IN LIGHTING ZONES C-3 AND R1-7 SHALL BE INCLUDED IN THE FIXTURES BEING TURNED OFF.

- * ALL LIGHT POLES SHALL BE DARK AND NON-REFLECTIVE IN COLOR SUCH AS BLACK OR DARK BRONZE
- * IN LIGHTING ZONE R1-7, THE MAXIMUM INITIAL VERTICAL ILLUMINANCE AT ANY CALCULATION POINT SHALL NOT EXCEED 0.80 FOOT CANDLES DURING NORMAL BUSINESS EVENING HOURS, AND 0.30 FOOT CANDLES AFTER THE FACILITY ENTERS SECURITY-LIGHTING-ONLY OPERATING MOD

GENERAL NOTES:

A. ALL EXTERIOR LIGHT FIXTURES TO COMPLY WITH LOCAL NIGHT SKY ORDINANCE.

B. ALL EXTERIOR ELECTRICAL EQUIPMENT TO BE NEMA-3R RATED.

C. ALL FIXTURES INSTALLED OUTDOORS SHALL BE RATED FOR DAMP/WET LOCATIONS AS REQUIRED. THE CONTRACTOR SHALL COORDINATE DAMP/WET LOCATION RATING PER NEC ARTICLE 410.10(A). ALL INSTALLATIONS SHALL CONFORM TO NEC ARTICLE 410.10, ALL SUB ARTICLES.

D. ALL EXTERIOR LIGHTING SHALL BE LOCATED AND DESIGNED TO PREVENT RAYS FROM BEING DIRECTED OFF OF THE PROPERTY UPON WITH THE LIGHTING IS LOCATED.

E. CONTRACTOR TO COORDINATE EXACT SITE LIGHTING FIXTURE LOCATIONS WITH LANDSCAPE DRAWINGS.

KEYED NOTES:

1. RUN POLE LIGHTS CIRCUIT THRU ASTRONOMICAL TIMECLOCK INTERMATIC T100 SERIES OR EQUAL. TYP.

LUMEN DENSITY CALCULATION PRE-CURFEW

FIXTURE	LUMEN	QUANTITY	TOTAL LUMENS
SA	51155	10	511,550
SB	14983	9	134,847
SC	19855	6	119,130
SD	14983	11	164,813

SITE AREA: 55,250 S.F.
930,340/55,250 S.F. = 16.838 LM/S.F.

NOTE: 50% LUMEN DENSITY (LPD) REDUCTION REQUIRED FROM PRE TO POST-CURFEW.

TRUCK MAX

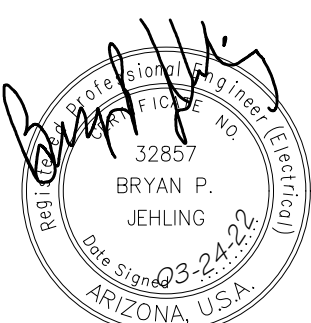
911/925 NORTH SCOTTSDALE ROAD
SCOTTSDALE, ARIZONA 85257

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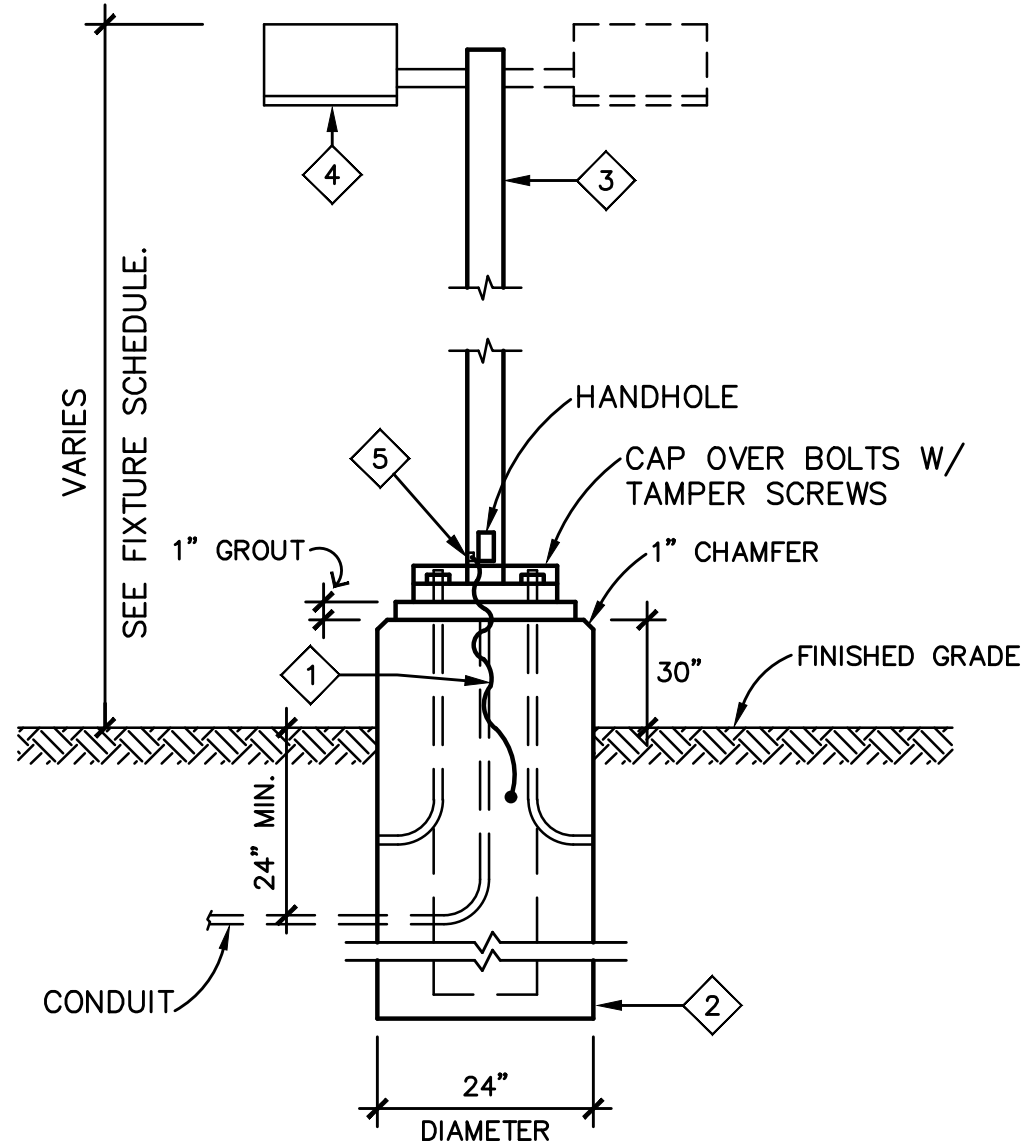
PHOTOMETRIC PLAN PRE CURFEW
08/11/20

PROJECT NO. 20-54-100

REVISIONS:



EXPIRES 09/30/22

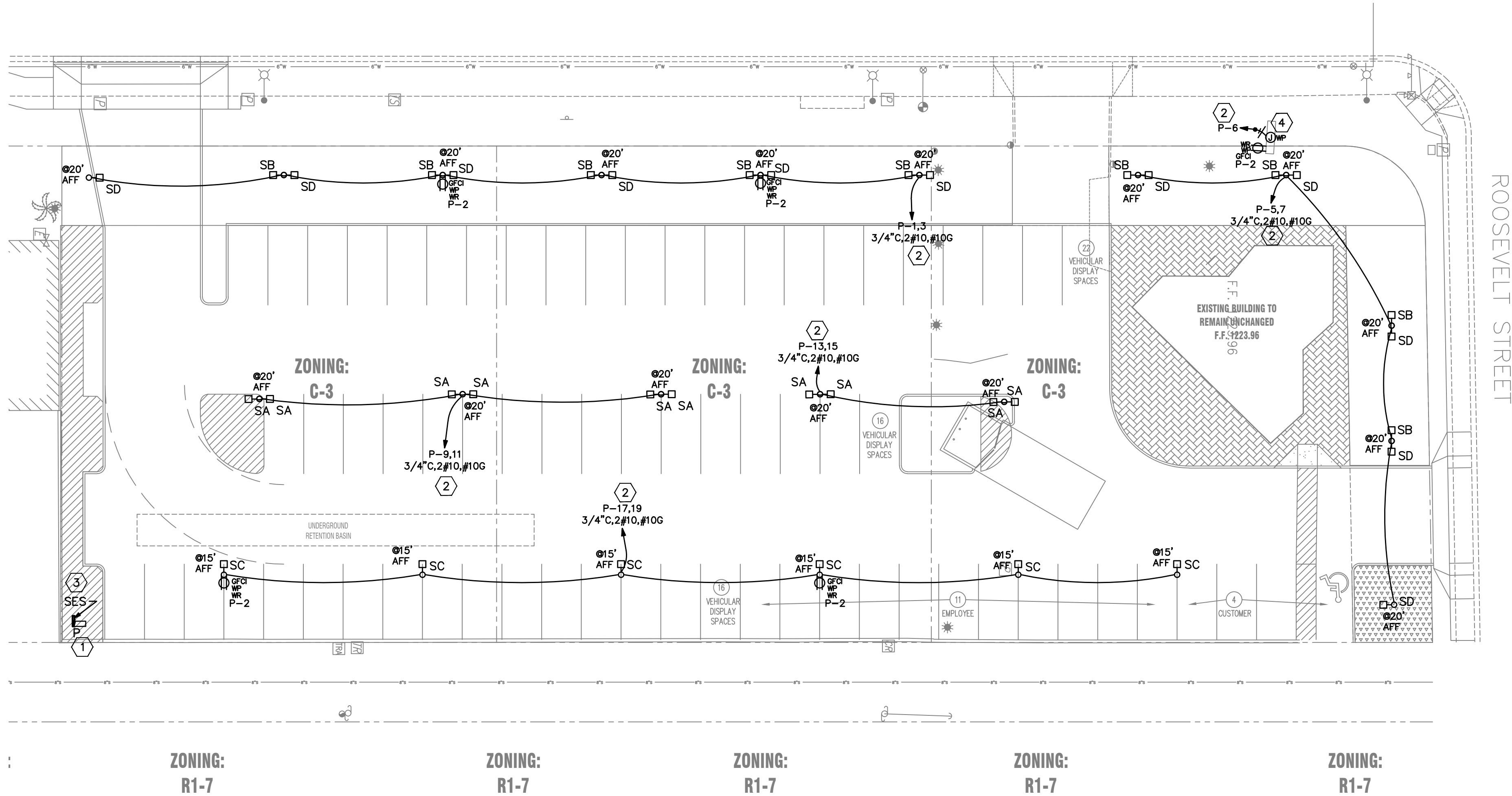


LIGHT POLE AND FIXTURE

NOTE:
CONTRACTOR SHALL PROVIDE NEW POLE BASES WHERE INDICATED ON PLANS. LIGHTING FIXTURE POLE DETAILS AND DESCRIPTIONS ARE FOR ELECTRICAL REFERENCES ONLY. THE POLE AND BASE SHALL BE DESIGNED BY A STRUCTURAL ENGINEER REGISTERED IN THE STATE OF ARIZONA AND BE STAMPED AND SEALED ACCORDINGLY AS A DEFERRED SUBMITTAL.

KEYED NOTES :#

- #4 BARE CU. CONDUCTOR, 20'-0" LONG, COILED CONTINUOUS WITHIN THE LIGHT POLE BASE AND BONDED TO REBAR. NOTE: WIRE MAY BE COILED AT THE BASE OF HOLE.
- CONCRETE BASE SEE STRUCTURAL DRAWINGS.
- 4" SQUARE TO MATCH FIXTURE (100mph RATED)
- SEE FIXTURE SCHEDULE FOR TYPE
- PROVIDE (2) LUG TERMINAL ATTACHED TO GROUND STUD.



GENERAL NOTES:

- ALL EXTERIOR LIGHT FIXTURES TO COMPLY WITH LOCAL NIGHT SKY ORDINANCE.
- ALL EXTERIOR LIGHTING AND SIGNAGE TO BE FED WITH #10 CU. U.N.O.
- ALL EXTERIOR ELECTRICAL EQUIPMENT TO BE NEMA-3R RATED.
- CONTRACTOR TO COORDINATE EXACT SITE LIGHTING FIXTURE LOCATIONS WITH LANDSCAPE DRAWINGS.
- ALL FIXTURES INSTALLED OUTDOORS SHALL BE RATED FOR DAMP/WET LOCATIONS AS REQUIRED. THE CONTRACTOR SHALL COORDINATE DAMP/WET LOCATION RATING PER NEC ARTICLE 410.10(A). ALL INSTALLATIONS SHALL CONFORM TO NEC ARTICLE 410.10, ALL SUB ARTICLES.
- ALL PVC CONDUIT MUST HAVE A MINIMUM OF #12 CU. GROUND CONDUCTOR.
- ALL EXTERIOR LIGHTING SHALL BE LOCATED AND DESIGNED TO PREVENT RAYS FROM BEING DIRECTED OFF OF THE PROPERTY UPON WITH THE LIGHTING IS LOCATED.
- FIRE ALARM EQUIPMENT SHALL BE COORDINATED FOR EXACT LOCATION AND REQUIREMENTS WITH FIRE MARSHALL.

POWER

KEYED NOTES:

- PROVIDE NEW PANEL BOARD MAINTAIN 3'-0" INFRONT WORKING CLEARANCE REFER TO ONE-LINE FOR DETAILS.
- RUN CIRCUIT THRU TIMECLOCK.
- SERVICE ENTRANCE SECTION IN NEMA-3R ENCLOSURE. REFER TO ONE-LINE DIAGRAM AND LOAD CALCULATIONS.
- PROVIDE W.P. J-BOX FOR MONUMENT SITE SIGN. COORDINATE EXACT LOCATION WITH ARCHITECT AND OR OWNER AND ELECTRICAL REQUIREMENTS WITH VENDOR.

ELECTRICAL SYMBOLS

NOT ALL SYMBOLS MAY APPLY.	
	INDICATES CIRCUIT IN CONDUIT CONCEALED IN WALL OR CEILING SPACE.
	INDICATES HOMERUN TO PANELBOARD OR AS NOTED. HASH MARKS INDICATES NUMBER OF CONDUCTORS. IF NO HASH MARKS PROVIDE 2 CONDUCTORS #12 AWG. MINIMUM CONDUIT 3/4" MINIMUM.
	SIMPLEX RECEPTACLE, NEMA 5-20R, 18" A.F.F., UNLESS NOTED OTHERWISE.
	DUPLEX RECEPTACLE, NEMA 5-20R, 18" A.F.F., UNLESS NOTED OTHERWISE.
	DUPLEX RECEPTACLE, NEMA 5-20R, MTD. 6" ABOVE COUNTER BACK SPLASH OR PER ADA AND ARCHITECT, OR U.N.O.
	1/2 SWITCHED DUPLEX RECEPTACLE.
	FOURPLEX RECEPTACLE, NEMA 5-20R, 18" A.F.F., U.N.O.
	WALL MOUNTED DUPLEX RECEPTACLE IN DEDICATED CIRCUIT; 20R, 120V, 3 WIRE GROUNDING, 5-20R, MTD. 6" A.F.F., (U.N.O.), "HUBBEL" #5362-1, OR EQUAL.
	WALL MOUNTED DUPLEX RECEPTACLE WITH GROUNDED FAULT CIRCUIT INTERRUPTER; 20A, 120V, 3 WIRE, GROUNDING, NEMA 5-20R, MTD. 6" A.F.F. (U.N.O.), "HUBBEL" #5362-1, OR EQUAL, & SHALL BE ON ALL RECEPT. WITHIN 6' OF SINKS. READILY ACCESSIBLE PER NEC.
	EXISTING RECEPTACLE OUTLET TO REMAIN-NO CHANGES MADE OR REWIRE AS INDICATED ON PLAN.
	ALL ISOLATED GROUND RECEPTACLE TO HAVE ORANGE COVER OR ISOLATED GROUND SYMBOL. PROVIDE (1) NEUTRAL, (1) GROUND, & (1) ISOLATED GROUND. PROVIDE LG RECEPTACLE WHEN PANEL SCHEDULE(S) INDICATE ISOLATED GROUND WIRES ON CIRCUIT(S).
	FLOOR BOX FLUSH MOUNTED IN FLOOR WITH DUPLEX RECEPTACLE (20A, 120V, 3W, GROUNDING) NEMA 5-20R WITH CORRECT FLANGE IN CARPETED AREAS. STEEL-CITY #664-SG/664-CST OR EQUAL.
	FLOOR BOX FLUSH MOUNTED IN FLOOR WITH QUAD-PLEX RECEPTACLE (20A, 120V, 3W, GROUNDING) NEMA 5-20R WITH CORRECT FLANGE IN CARPETED AREAS. STEEL-CITY #642-SG/P64 OR EQUAL.
	MOTOR (SIZE AS INDICATED IN DRAWINGS)
	SPECIAL OUTLET, VERIFY NEMA CONFIGURATION WITH EQUIP.
	JUNCTION BOX, SIZE PER N.E.C.
	JUNCTION BOX IN ACCESSIBLE LOCATION WITH FLEXIBLE CONDUIT CONNECTION TO LIGHTING FIXTURE OR EQUIPMENT AS NOTED.
	HARDWIRED CONNECTION
	DISCONNECT SWITCH, SIZE AND POLES AS SHOWN (EX. 30/3) FUSED WITH BUSSMAN, LPKRW TYPE, U.N.O.
	VOICE OUTLET, MOUNTED AT +18" A.F.F. U.N.O. PROVIDE 3/4" CONDUIT STUBBED UP TO ACCESSIBLE CEILING SPACE.
	DATA OUTLET, MOUNTED AT +18" A.F.F. U.N.O. PROVIDE 3/4" CONDUIT STUBBED UP TO ACCESSIBLE CEILING SPACE U.N.O.
	VOICE AND DATA OUTLET, MOUNTED AT +18" A.F.F. U.N.O. PROVIDE (2)-3/4" CONDUIT STUBBED UP TO ACCESSIBLE CEILING SPACE U.N.O. PROVIDE (1) 3/4" ONLY WHEN VENDOR IS SIMILAR FOR TELEPHONE AND DATA SYSTEMS.
ABBREVIATIONS	
C	CONDUIT
OCV	CLOSED CIRCUIT TELEVISION
ED	EMPTY CIRCUIT WITH PULLWIRE
EDF	ELECTRIC DRINKING FOUNTAIN
S.E.S.	SERVICE ENTRANCE SECTION
TIB	TELEPHONE TERMINAL BOARD
TMC	TELEPHONE MOUNTING CABINET
VP	VANDAL-PROOF
WG	WIRE GUARD
GD	GROUND
M.L.O.	MAIN LUGS ONLY
M.C.B.	MAIN CIRCUIT BREAKER
N.E.C.	NATIONAL ELECTRICAL CODE
N.L.	NIGHT LIGHT
WP	WEATHERPROOF
U.N.O.	UNLESS NOTED OTHERWISE
I.G.	ISOLATED GROUND
E.P.	EXPLOSION PROOF
WR	WEATHER RATED WHILE IN-USE COVER

LUMINAIRE SCHEDULE

CALLOUT	SYMBOL	LAMP	MODEL	DESCRIPTION	BALLAST	MOUNTING	INPUT WATTS	VOLTS
SA		(1) 431W LED,	Lithonia Lighting, DSX2 LED P8 50K T5M MVOLT DSX2 LED P8 50K T5M MVOLT	DSX2 LED P8 50K T5M MVOLT	STANDARD	POLE	431	208V 2P 2W
SB		(1) 207W LED,	Lithonia Lighting, DSX1 LED P8 50K RCCO MVOLT	DSX1 LED P8 50K RCCO MVOLT	STANDARD	POLE	207	208V 2P 2W
SC		(1) 163W LED,	Lithonia Lighting, DSX1 LED P6 50K T5W MVOLT HS	DSX1 LED P6 50K T5W MVOLT with houseside shield	STANDARD	POLE	163	208V 2P 2W
SD		(1) 207W LED,	Lithonia Lighting, DSX1 LED P8 50K LCCO MVOLT	DSX1 LED P8 50K LCCO MVOLT	STANDARD	POLE	207	208V 2P 2W

TRUCK MAX

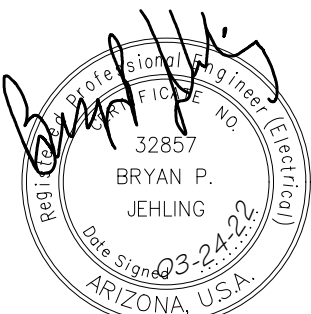
911/925 NORTH SCOTTSDALE ROAD
SCOTTSDALE, ARIZONA 85257

E1.00

ELECTRICAL SITE PLAN
08/11/20

PROJECT NO. 20-54-100

REVISIONS:



EXPIRES 09/30/22

ELECTRICAL SPECIFICATIONS

1. SCOPE THE WORK SHALL INCLUDE LABOR, MATERIAL AND EQUIPMENT NECESSARY FOR A COMPLETE AND PROPER WORKING INSTALLATION OF THE ELECTRICAL SYSTEMS INDICATED ON THE DRAWINGS AND SPECIFICATIONS. THE WORK SHALL INCLUDE BUT IS NOT LIMITED TO:
- A. CONDUIT, SLEEVES, MOUNTING BOARDS, WALL OUTLETS AND UNDERGROUND DUCT FOR TELEPHONE.
- WORK NOT INCLUDED:
FURNISHING AND INSTALLING MOTORS AND AUTOMATIC CONTROLLERS.
2. PERMITS AND FEES: MAKE APPLICATION AND PAY FOR PERMITS AND INSPECTIONS REQUIRED BY MUNICIPAL AND STATE AUTHORITIES.
3. ELECTRICAL DRAWINGS: DRAWINGS ARE DIAGRAMMATIC AND OUTLET LOCATIONS ARE APPROXIMATE. REFER TO MECHANICAL AND STRUCTURAL PLANS REGARDING AVAILABLE SPACE AND CHECK FIELD CONDITIONS BEFORE MAKING ELECTRICAL INSTALLATIONS. CIRCUIT OUTLETS AS INDICATED ON THE DRAWINGS, MAKING REVISIONS ONLY WITH THE EXPRESS CONSENT OF THE ARCHITECT.
4. INSPECTION: THE WORK WILL BE INSPECTED FOR COMPLIANCE WITH DRAWING AND SPECIFICATIONS BY THE OWNER'S REPRESENTATIVE.

5. MATERIAL AND WORKMANSHIP: SHALL COMPLY WITH CURRENT ELECTRICAL AND MECHANICAL ENGINEERING PRACTICES. THE NATIONAL ELECTRICAL CODE AND ALL LOCAL CODES SHALL GOVERN ALL WORK. PROVIDE NEW STANDARD PRODUCTS LISTED BY UL. SIMILAR ITEMS OF MATERIAL SHALL BE OF THE SAME TYPE AND MANUFACTURES. ALL EXPOSED CONDUITS AND DEVICES SHALL BE TRUE TO LINE, PLUMB AND ADEQUATELY SECURED IN PLACE. ALL WIRING DEVICES, FIXTURES AND PANELBOARDS SHALL BE PROTECTED FROM MOISTURE, PLASTER AND DUST DURING STORAGE AND BUILDING CONSTRUCTION.

6. GROUNDING: PROVIDE GROUNDING CONDUCTOR OF SIZE INDICATED ON DRAWINGS IN ACCORDANCE WITH THE NEC AND ALL LOCAL CODES. BOND THE INTERIOR WATER PIPE SYSTEM TO THE MAIN ELECTRICAL GROUNDING SYSTEM.

7. CONDUIT: ALL WIRES (EXCEPT NM CABLE AND LOW VOLTAGE CONTROL) SHALL BE RUN IN CONDUIT. RIGID GALVANIZED STEEL CONDUIT SHALL BE USED IN CONCRETE AND UNDERGROUND LOCATIONS. STEEL CONDUIT INSTALLED UNDERGROUND SHALL BE ENCASED IN TWO INCH MINIMUM, CONCRETE ENVELOPE OR COMPLETELY COVERED WITH HALF-LAPPED #50 SCOTCH-WRAP TOP OF UNDERGROUND. CONDUITS SHALL NOT BE LESS THAN 24". PVC ELECTRICAL CONDUIT, UL LISTED MAY BE USED FOR UNDERGROUND SECTIONS OF LIGHTING CIRCUITS AND FEEDER RACEWAYS. ALL NON-METALLIC CONDUITS SHALL HAVE BOND WIRES, EXCEPT FEEDING SERVICES.

THIN-WALL EMT SHALL BE EQUIPPED WITH WATERTIGHT COUPLING AND T & B INSULINERS CONNECTORS.

CONDUIT AND EMT SHALL BE RIGIDLY SUPPORTED WITH DURABLE STRAPS AND HANGERS AT INTERVALS NOT TO EXCEED SIX FEET. COUPLINGS CONNECTORS AND LOCKNUTS SHALL BE TIGHTLY SECURED TO PROVIDE ELECTRICAL CONTINUITY OF GROUNDING.

RIGID STEEL CONDUIT SHALL BE HEAVY-WALLED, HOT-DIPPED, GALVANIZED OR SHERARIZED. USE RIGID STEEL CONDUIT IN CONCRETE SLABS, IN GRADE, IN EXPOSED LOCATIONS SUCH AS TUNNELS AND EQUIPMENT ROOMS, WHERE EXPOSED TO WEATHER AND WHERE BURIED IN EARTH. SCHEDULE 40 PVC NON-METALLIC CONDUIT MAY BE USED BURIED IN EARTH MINIMUM 24" BELOW GRADE. ALL CONDUIT EXTENDED UNDER DRIVEWAYS OR AREAS OF VEHICULAR USAGE SHALL BE GALVANIZED HEAVY WALL STEEL CONDUIT OR SCHEDULE 80 PVC NON-METALLIC CONDUIT, MINIMUM 30" BELOW GRADE. STEEL CONDUIT INSTALLED UNDERGROUND SHALL BE ENCASED IN TWO INCH MINIMUM, CONCRETE ENVELOPE OR COMPLETELY COVERED WITH HALF-LAPPED #50 SCOTCH-WRAP. TOP OF UNDERGROUND CONDUITS SHALL NOT BE LESS THAN 24". PVC ELECTRICAL CONDUIT, UL LISTED MAY BE USED FOR UNDERGROUND SECTIONS OF LIGHTING CIRCUITS AND FEEDER RACEWAYS. ALL NON-METALLIC CONDUITS SHALL HAVE BOND WIRES, EXCEPT WHEN FEEDING SERVICES.

8. OUTLET BOXES: GALVANIZED STEEL BOXES AT LEAST 1 1/2" DEEP AND 4" SQUARE SHALL BE PROVIDED IN FINISHED AREAS FOR EACH WALL SWITCH, RECEPTACLE, TELEPHONE AND LIGHTING FIXTURE LOCATION. BOXES SURFACE MOUNTED IN DRY LOCATIONS MAY BE 4 X 2 SIZE PROVIDING NOT MORE THAN FIVE WIRES ENTER.

9. WIRING DEVICES: CONVENIENCE RECEPTACLES, HUBBELL OR APPROVED EQUAL, 15 AMPS, 125 VOLT GROUNDING TYPE WITH IVORY, PLASTIC PLATE IN FINISHED AREAS. PROVIDE WEATHER PROOF RECEPTACLE OUTLET FOR EXTERIOR LOCATIONS. CLOCK RECEPTACLES SHALL BE HUBBELL COMPLETE WITH IVORY PLASTIC PLATE. SWITCHES SHALL BE HUBBELL SINGLE-POLE, OR APPROVED EQUAL, WHERE INDICATED WITH PLATE TO MATCH RECEPTACLES. TELEPHONE WALL OUTLETS SHALL BE EQUIPPED WITH ONE-HOLE WALL PLATES TO MATCH RECEPTACLES.

10. WIRE AND CABLE: CONDUCTORS SHALL BE SOFT DRAWN COPPER, WITH THWN-2 INSULATION, NM CABLE SHALL BE #12 AWG MINIMUM EXCEPT LOW-VOLTAGE CONTROL WIRE MAY BE #16 PLASTIC INSULATED.

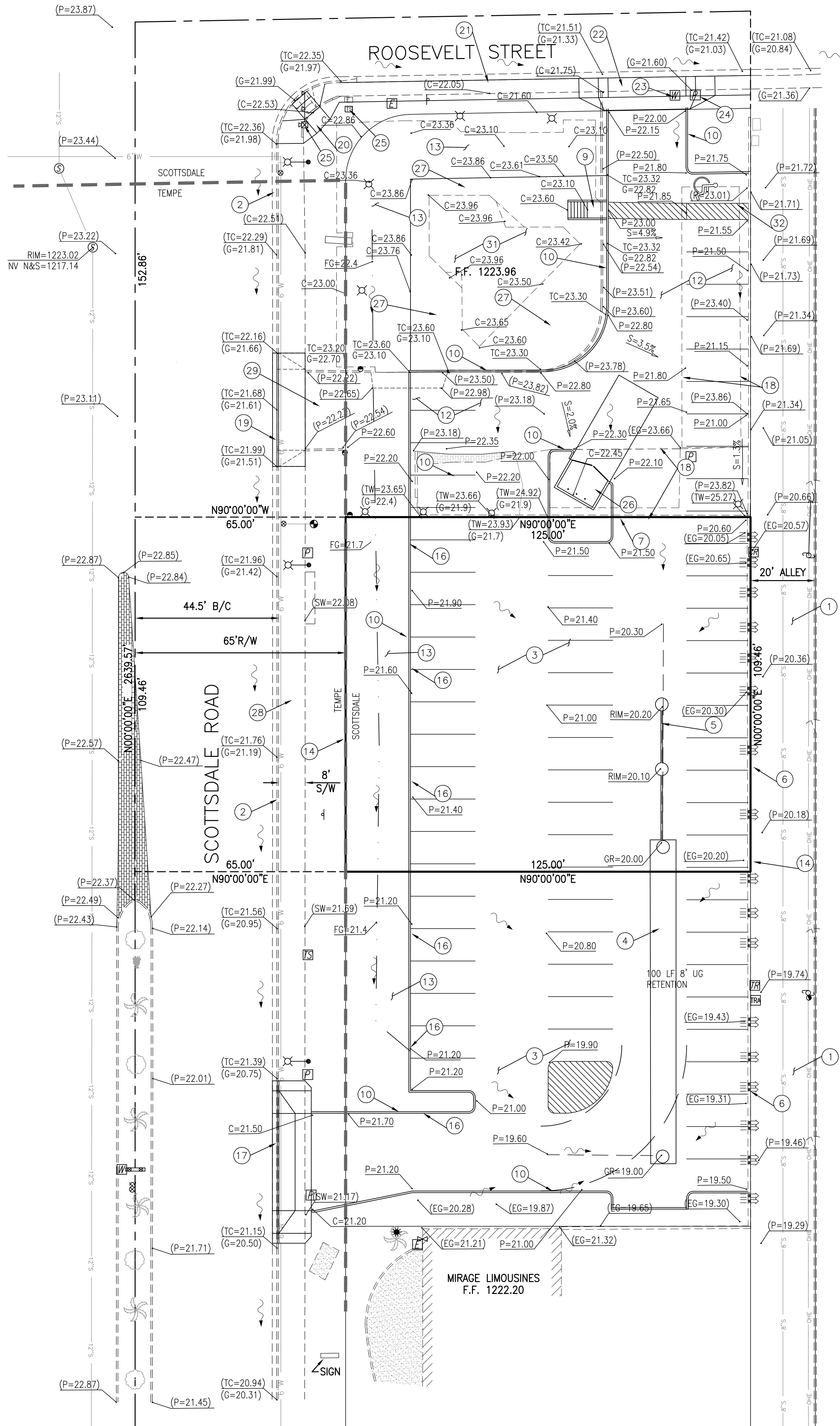
11. MOTOR AND CONTROL WIRING: WIRE TO AND CONNECT MOTORS AND CONTROLS INDICATED ON THE DRAWINGS NOT PRE-WIRED BY THE SUPPLIER OF THE EQUIPMENT.

12. AS BUILT DRAWINGS: MAINTAIN ONE SET OF PRINTS ON THE JOB SHOWING LOCATIONS OF UNDER- GROUND CONDUITS AND DUCTS. PROVIDE THE ARCHITECT WITH ONE SET OF SUCH "AS BUILT" ACCURATE, NEAT AND LEGIBLE DRAWINGS ON COMPLETION OF THE WORK.

13. GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL MATERIAL FURNISHED BY HIM AND ALL WORKMANSHIP UNDER THIS CONTRACT FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE OF WORK UNDER THIS CONTRACT. ANY DEFECTS DEVELOPED WITHIN THIS PERIOD TRACEABLE TO MATERIAL FURNISHED AS A PART OF THIS CONTRACT OR WORKMANSHIP PERFORMED HERE- UNDER, SHALL BE MADE GOOD PROMPTLY AT THIS CONTRACTOR'S EXPENSE. THIS CONTRACTOR SHALL ACCEPT THIS CONDITION AND FULLY UNDERSTAND ITS PROVISIONS PRIOR TO THIS CONTRACT BEING AWARDED AND NO CLAIM FOR EXTRA COMPENSATION WILL BE ALLOWED FOR CORRECTION OF FAULTY WORK OR REPLACING DEFECTIVE MATERIAL.

FAULT CURRENT SCHEDULE																					
DEVICE	AIC RATING	L-N VOLTS	UTILITY			FED FROM				FEEDER						TRANSFORMER	TOTAL MOTOR	DIRECTLY CONNECTED MOTOR LOAD			
			FAULT	X	R	DEVICE	FAULT	X	R	SIZE	X / 1000'	R / 1000'	LENGTH	X	R	KVA	FAULT	KVA	FAULT	X	R
SES	10,000	120V	9,690	0.01214	0.002429					#3/0	0.042	0.077		0	0						
P	10,000	120V	9,533	0.01227	0.002829	SES	9,690	0.01214	0.002429	#1	0.046	0.15	2'-8"	0.0001	0.0004						

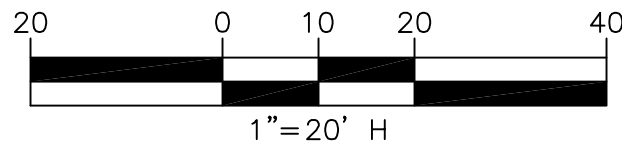
ROOM			VOLTS 208Y/120V 3P 4W			AIC 10,000					
MOUNTING FLUSH			BUS AMPS 100			MAIN BKR MLO					
FED FROM SES			NEUTRAL 100%			LUGS STANDARD					
NOTE											
CKT #	CKT BKR	CIRCUIT DESCRIPTION	KVA LOAD			CKT #	CKT BKR	CIRCUIT DESCRIPTION	KVA LOAD		
			A	B	C				A	B	C
1	20/2	LIGHTING	1.14			2	20/1	EXT.REC.GFCI	0.9		
3				1.14		4	20/1	TIMECLOCK		0.3	
5	20/2	LIGHTING			0.932	6	20/1	MISC. MONUMENT SIGN			1.2
7			0.932			8	-/1	SPACE	0		
9	20/2	LIGHTING		1.29		10	-/1	SPACE		0	
11					1.29	12	-/1	SPACE			0
13	20/2	LIGHTING	0.862			14	-/1	SPACE	0		
15				0.862		16	-/1	SPACE		0	
17	20/2	LIGHTING			0.489	18	-/1	SPACE			0
19			0.489			20	-/1	SPACE	0		
								TOTAL CONNECTED KVA BY PHASE	4.32	3.59	3.91
								TOTAL CONNECTED AMPS BY PHASE	36.1	30.1	32.6



KEYED NOTES

- EXISTING ALLEY TO REMAIN
- EXISTING OFFSITE IMPROVEMENT TO REMAIN
- NEW ONSITE PAVING - 3" AC OVER 6" ABC OVER 8" PREPARED SUBGRADE.
- NEW 8" DIAMETER UG RETENTION. INVERT OF PIPE SHALL BE FLUSH PER COS STD DET 2254. SEE DETAIL ON SHEET C-4.
- INSTALL DUAL CHAMBER DRYWELL PER MAXWELL OR APPROVED EQUAL.
- EXISTING WALL TO REMAIN - PROTECT IN PLACE
- REMOVE RETAINING WALL
- SAWCUT LINE
- NEW 12:1 RAMP
- NEW 6" CURB PER MAG STD DET 222
- NEW 1' FLOW THRU FLUME
- REMOVE/REPLACE PAVEMENT
- LANDSCAPE AREA - SEE LANDSCAPE PLAN
- 100 YR 2 HR CONTRIBUTING AREA
- NEW CONCRETE DISPLAY PAD
- CONSTRUCT 2' CURB OPENING. GRADE LANDSCAPE AREAS TO ALLOW THESE AREAS TO RUNOFF TO PAVEMENT AREAS. SEE DETAIL BELOW.
- NEW DRIVE PER CITY OF TEMPE COT T-320
- REMOVE CANOPY
- REMOVE DRIVEWAY AND CONSTRUCT VERTICAL CURB PER MAG STD DET 220 - MATCH SAME HEIGHT AS ADJOINING CURB. INSTALL 8' SIDEWALK PER MAG STD 230.
- CONSTRUCT RAMP PER COS STD DET 2234. REPLACE CURB AS NECESSARY
- CONSTRUCT 6' SIDEWALK PER MAG STD DET 230
- CONSTRUCT DRIVE PER COS STD DET 2251-1
- RELOCATE WATER METER BOX OUT OF DRIVEWAY. INSTALL NEW TAP TO MAIN IN ROOSEVELT.
- RELOCATE PULLBOX
- RELOCATE OR REPLACE TRAFFIC SIGNAL POLE AND CONTROLLER
- CONSTRUCT REFUSE ENCLOSURE PER COS STD DET 2146-1
- CONSTRUCT PAVERS IN FRONT FLATWORK - SEE ARCH SITE PLAN
- 8' TEMPE SIDEWALK TO REMAIN
- REMOVE PAVEMENT
- GRADE SHALLOW SWALE TO DRAIN SOUTH
- BUILDING TO REMAIN
- PAVE ADA PARKING MAX 2% IN ALL DIRECTIONS - SIGN PER COS AND ADA REGULATIONS

CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH ALL SITEWORK DISCIPLINES, INCLUDING, BUT NOT LIMITED TO, BUILDING, LANDSCAPE, DRY UTILITIES, LIGHTING, LOW VOLTAGE, FUEL SYSTEM, ETC AND COORDINATE ALL WORK APPROPRIATELY.



CLIENT:
Urban Rebuild

2935 N. 16th Ave
Phoenix, AZ 85015
(602) 796-7700



Helix Engineering, LLC
Engineering / Surveying / Consulting

3240 E Union Hills
Suite 113
Phoenix AZ 85050
(PH) 602-788-2616
www.hxeng.com

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TWO WORKING DAYS BEFORE YOU DIG.
CALL FOR THE BLUE STAKES
1-800-782-5348
BLUE STAKE CENTER

RELEASE

DATE	
6-19-20	ADDED TOPO
7-9-20	UPDATED SITE PLAN
2-3-22	REV SP, CITY COMMENTS

REVISIONS

NO.	DATE	
1		
2		
3		

PROJECT NAME

TRUCK MAXX

PROJECT ADDRESS

Roosevelt / Scottsdale
925 N. Scottsdale Rd
Scottsdale, AZ 85257

PROJECT AREA

HELIX JOB NUMBER

466

SHEET TITLE

IN HOUSE

DRAWN BY: MT
CHECKED BY: SB

G / D PLAN

SHEET

PAGE

C-3

3 OF 5

PLOT SCALE: 1:1 @ 24"x36"; 1:2.2 @ 11"x17"

CITY OF SCOTTSDALE
LANDSCAPE NOTES:

AN AUTOMATIC IRRIGATION SYSTEM WILL BE
INSTALLED GUARANTEEING 100% COVERAGE TO ALL
LANDSCAPE AREAS.

ALL LANDSCAPE AREAS WILL BE TOP-DRESSED WITH
A 2" DEPTH OF DECOMPOSED GRANITE,

PROVIDE 8% SLOPE AWAY FROM WALK OR CURB FOR
5' ALONG ALL STREETS.

ALL RIGHT OF WAYS ADJACENT TO THIS PROPERTY
SHALL BE LANDSCAPED AND MAINTAINED BY THE
PROPERTY OWNER

ANY EXISTING LANDSCAPE MATERIALS INCLUDING
TREES DAMAGED OR DESTROYED AS A RESULT OF
THIS CONSTRUCTION SHALL BE REPLACED TO THE
SATISFACTION OF CITY STAFF, WITH LIKE KIND AND
SIZE PRIOR TO RECEIVING A CERTIFICATE OF
OCCUPANCY.

AREAS WITHIN THE SIGHT DISTANCE TRIANGLES IS TO BE
CLEAR OF LANDSCAPING, SIGNS, OR OTHER VISIBILITY
OBSTRUCTIONS WITH A HEIGHT GREATER THAN 1'-6".
TREES WITHIN THE SAFETY TRIANGLE SHALL HAVE A
CANOPY THAT BEGINS AT 8 FEET IN HEIGHT UPON
INSTALLATION. ALL HEIGHTS ARE MEASURED FROM
NEAREST STREET LINE ELEVATION.

ALL RIGHT-OF-WAY ADJACENT TO THIS PROPERTY
SHALL BE LANDSCAPED AND MAINTAINED BY THE
PROPERTY OWNER.

ALL SLOPES ON SITE ARE 4:1 MAX

NO TURF AREAS ARE TO BE PROVIDED.

SEE ARCHITECTURAL SITE PLAN FOR SETBACK DIMENSIONS.

SEE ARCHITECTURAL FOR SITE LIGHTING LOCATIONS. SEE
ELECT. DRAWINGS FOR ALL LIGHTING SPECIFICATIONS.

SEE ARCHITECTURAL FOR SITE WALL ELEVATIONS, COLORS

SEE CIVIL DRAWINGS FOR ALL RETENTION AREAS, SECTIONS,
AND SLOPE RATIOS.

SEE ARCHITECTURAL FOR BIKE RACK DETAILS.

ALL SIGNS REQUIRE SEPARATE APPROVALS & PERMITS.

"SETBACK ALL SPRAY & STREAM TYPE IRRIGATION HEADS 1'-0"
FROM BACK OF CURB OR SIDEWALK TO REDUCE OVER SPRAY".

A MINIMUM 50 PERCENTAGE (UNLESS OTHERWISE STIPULATED BY
THE DEVELOPMENT REVIEW BOARD, and/or THE ZONING ORDINANCE
REQUIREMENTS) OF THE PROVIDED TREES SHALL BE MATURE
TREES, PURSUANT TO THE CITY OF SCOTTSDALE'S ZONING
ORDINANCE ARTICLE X, SECTION 10.301, AS DEFINED IN THE CITY OF
SCOTTSDALE'S ZONING ORDINANCE ARTICLE III, SECTION 3.100.

A SINGLE TRUNK TREE'S CALIPER SIZE, THAT IS TO BE EQUAL TO OR
LESS THAN 4-INCHES, SHALL BE DETERMINED BY UTILIZING THE
SMALLEST DIAMETER OF THE TRUNK 6-INCHES ABOVE FINISHED
GRADE ADJACENT TO THE TRUNK.

A TREE CALIPER SIZE, FOR SINGLE TRUNK TREES WHICH HAVE A DIAMETER
GREATER THAN 4-INCHES, SHALL BE DETERMINED BY UTILIZING THE SMALLEST
SMALLEST DIAMETER OF THE TRUNK 12-INCHES ABOVE FINISHED GRADE
ADJACENT TO THE TRUNK.

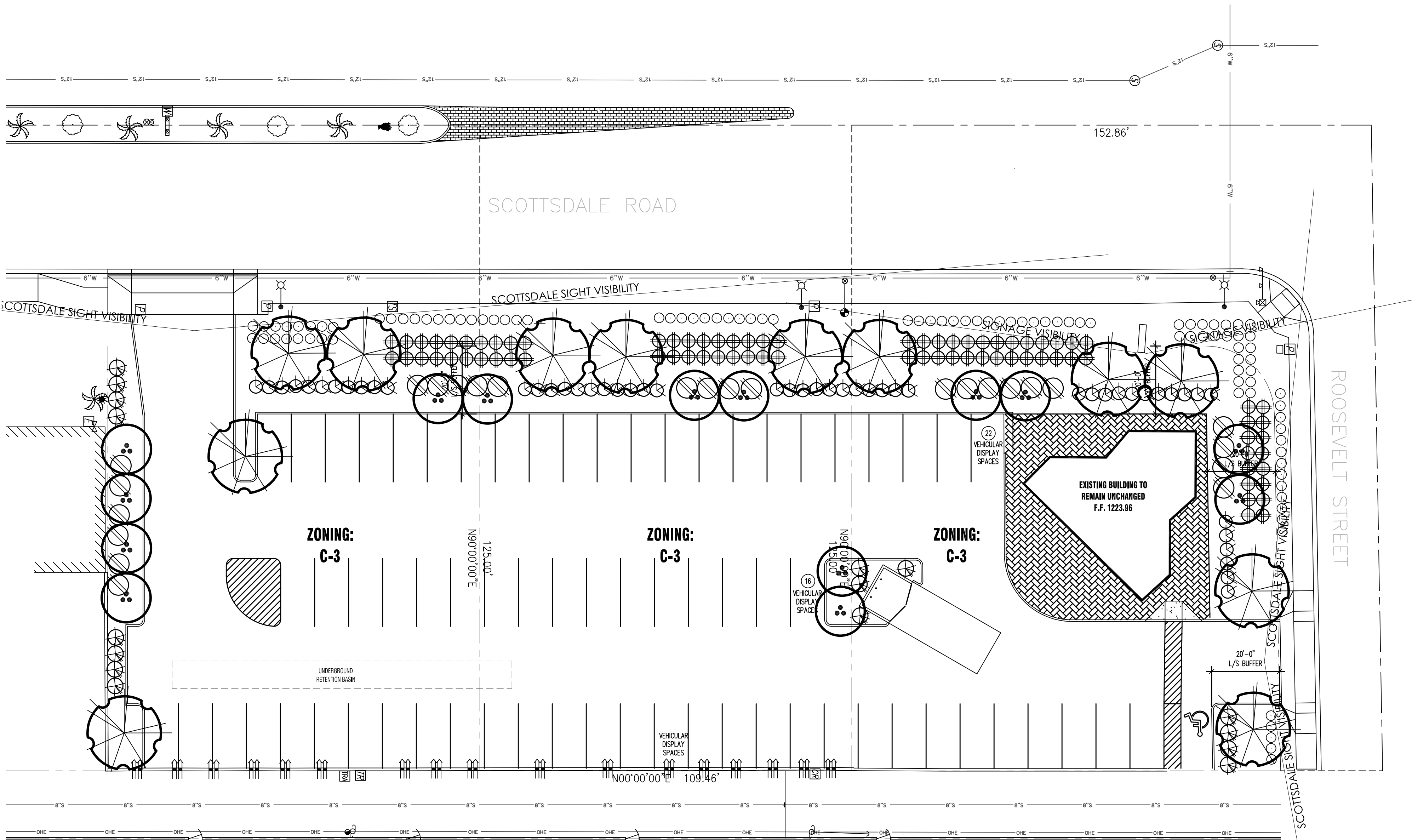
A MULTI TRUNK TREE'S CALIPER SIZE IS MEASURED AT 6-INCHES ABOVE THE
LOCATION THAT THE TRUNK SPLITS ORIGINATES, OR 6-INCHES ABOVE
FINISHED GRADE OF ALL TRUNKS ORIGINATE FROM THE SOIL.

RETENTION/DETENSION BASINS SHALL BE CONSTRUCTED SOLELY
FROM THE APPROVED CIVIL PLANS. ANY ALTERATION OF THE
APPROVED DESIGN (ADDITIONAL FILL, BOULDERS, ECT.) SHALL
REQUIRE ADDITIONAL FINAL PLANS STAFF REVIEW AND APPROVAL.

NO LIGHTING IS APPROVED WITH THE SUBMITTAL

THE LANDSCAPE SPECIFICATION SECTION(S) OF THESE PLANS HAVE
NOT REVIEWED AND SHALL NOT BE A PART OF THE CITY OF
SCOTTSDALE'S APPROVAL.

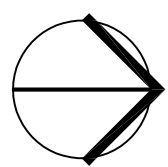
NEW LANDSCAPING, INCLUDING SALVAGED PLANT MATERIAL, AND
LANDSCAPING INDICATED TO REMAIN, WHICH IS DESTROYED, DAMAGED,
OR EXPIRES DURING CONSTRUCTION SHALL BE REPLACED WITH LIKE
SIZE, KIND, AND QUALITY PRIOR TO THE ISSUANCE OF THE CERTIFICATE
OF OCCUPANCY / LETTER OF ACCEPTANCE TO THE SATISFACTION OF
THE INSPECTION SERVICES STAFF.



LANDSCAPE LEGEND

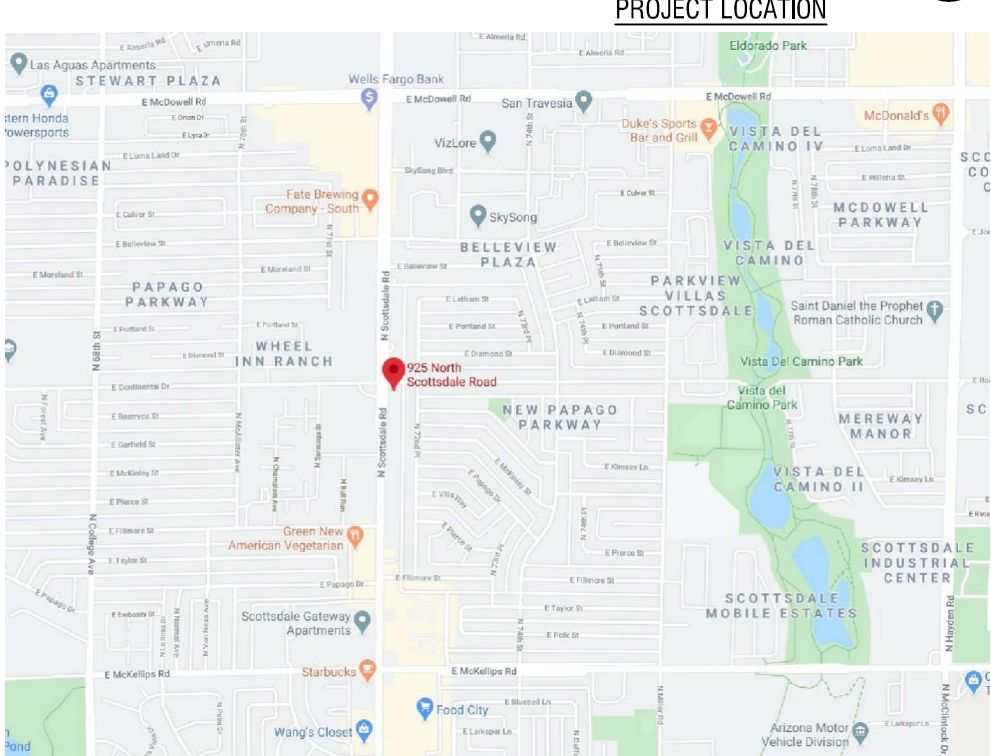
- | | | | | | |
|--|--|--|--|--|---|
| | PISTACHE 'RED-PUSH'
RED PUSH PISTACHE
36" BOX | | DASYLIION WHEELERII
DESERT SPOON
5 GALLON | | LANTANA MONTEVIDENSIS
TRAILING PURPLE
1 GALLON |
| | SOPHORA SECUNDIFLORA
TEXAS MOUNTAIN LAUREL
24" BOX | | LEUCOPHYLLUM FRUTESCENS
'GREEN CLOUD'
5 GALLON | | BOUGAINVILLEA 'TORCH GLOW'
BUSH BOUGAINVILLEA
5 GALLON |
| | MUHLENBERGIA RIGENS
DEER GRASS
5 GALLON | | LANTANA MONTEVIDENSIS
'GOLD MOUND'
1 GALLON | | 1/2" SCREENED APACHE BROWN
DECOMPOSED GRANITE
2" DEPTH IN ALL LANDSCAPE AREAS |

LANDSCAPE PLAN
SCALE: 1" = 20'-0"



VICINITY MAP

SCALE: N.T.S.



LANDSCAPE PLAN
APPROVED
CITY OF SCOTTSDALE

CASE NUMBER APPROVED DATE
CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE
WITH THIS PLAN AND ANY AND ALL DEVIATIONS WILL REQUIRE
REAPPROVAL. LANDSCAPE INSTALLATION TO BE APPROVED BY
CITY OF SCOTTSDALE INSPECTION SERVICES BEFORE
CERT. OF OCCUPANCY IS ISSUED.

Case No: XX - DR - 2022

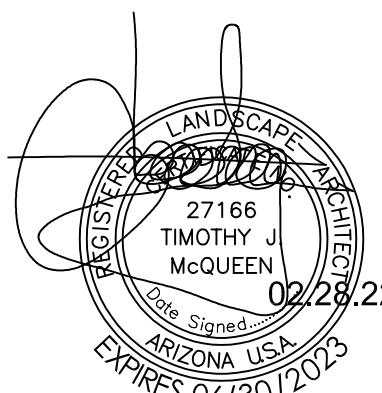
T.J. McQUEEN & ASSOCIATES, INC.

LANDSCAPE ARCHITECTURE
URBAN DESIGN
SITE PLANNING

10450 N. 74th Street , Suite 120
Scottsdale, Arizona 85258
P. (602)265-0320

EMAIL: timmqueen@tjmla.net

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Phoenix, Arizona 85015

TRUCK MAX
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SCOTTSDALE, ARIZONA 85257

AS1.01
LANDSCAPE PLAN
02/28/22

PROJECT NO. 20-54-100		
REVISIONS:		