



Inspection Report

Richard Torres

Property Address:
3620 Elkhorn Blvd
North Highlands CA 95660



Granite Bay Home-Building Inspections

Bo Grebitus - Certified CREIA Inspector
916.803.0756
GBInspections7@gmail.com

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Action Items



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2. Structure

2.5 CRAWL SPACE

Not Present



Issue: It appear there is a space under the units. We are un-able to crawl this (tight) space, and no inspection is possible. Review pest report on this property.

3. Exterior

3.5 DOORS (Exterior)

Inspected



(2) Issue: The right side door jamb is damaged/deteriorated. Unit 3620

Recommend: The damaged elements of the jamb should be repaired, or the entire assembly replaced to restore proper operation.



(3) Issue: The front door jamb is damaged/deteriorated. 3620.

Recommend: The damaged elements of the jamb should be repaired, or the entire assembly replaced to restore proper operation.

3.6 EAVES, SOFFITS and FASCIAS

Inspected



(1) Eaves, soffits, and fascias were inspected for deterioration, gaps, attachments, and potential damage. Unit 3622.

Issue: Water stains found on the undersides of eaves or the roof decking at the left side. Did not observe specific conditions that might suggest a current, active leak.

Recommend: Ask home owner for any history on this subject. Refer to **pest company** report on this property.

Issue: We note evidence of wood rot in the eaves roof sheeting material of the building.

Recommend: A qualified **pest service** may review and advise as to repairs required.

5. Plumbing

5.2 WATER SUPPLY PIPING - FLOW/PRESSURE

Inspected



Issue: System pressure, as measured by a gauge at an exterior hose bibb, was **high side of normal (72 PSI)**. **Average PSI is between 40 and 60. 80+ PSI is considered excessive.** Excessive pressure can result in damage or failure to valves, seats and washers, and fixture supply lines.

Recommend: A qualified plumber could review and further advise.

Review: pressure regulator (if currently installed) or install an approved pressure regulator and adjust home water pressure to standards. **Review** if old galvanized pipe for blocking mineral deposits, need for re-piping the home.

5.5 WATER HEATING SYSTEM

Inspected



(2) Issue: The water heater vent passes through a ceiling or wall with gapped thimble or spacer. This could be a fire hazard. Unit 3622.

Recommend: A qualified technician should install an approved, listed thimble or spacer.

6. Electrical

6.1 MAIN DISTRIBUTION PANEL and CIRCUIT BREAKERS

Inspected



(2) **Note: This complex shows enough electrical issues that a qualified, licensed contractor should review the electrical system and further advise.**

Nearby fence does not allow full view of electrical panel without removing entire panel cover.

Issue: Panel circuits are not labeled. Labels help to identify which breakers control which circuits, and are important for determining which breakers to turn off when working on the system.

Recommend: The client may have an experienced handyman or a licensed electrician identify and label the circuits.

Electrical issues were observed in this building which would cause us to recommend a complete electrical system review by a qualified, licensed electrical contractor. Please refer to additional comments in this section.

Issue: There is rust or moisture inside the main service panel, indicating past or active water entry. This may become a hazard if essential parts corrode and deteriorate.

Recommend: Have a qualified, licensed electrician evaluate the panel and make any required repairs.

6.3 EXTERIOR RECEPTACLES, SWITCHES, and FIXTURES**Inspected**

(1) Issue: A junction is noted is note without a cover plate, exposing the inside wiring. This (may) create a fire hazard. Unit 3620.

Recommend: A qualified handyman or contractor may replace cover as required.

6.4 INTERIOR RECEPTACLES, SWITCHES, and FIXTURES**Inspected**

(1) Issue: A garage junction box was found without a properly installed cover, exposing the inside wiring. This (may) cause a fire hazard.

Recommend: A qualified handyman or contractor may replace cover as required.



(2) Issue: This home shows two prong outlets. The electrical system in this building was installed (before) grounding was required. Properly grounded receptacles provide an increased margin of safety for the occupants and equipment.

Recommend: As a safety precaution, we recommend a qualified, licensed electrician replace the current two-prong ungrounded receptacles with grounded three-prong outlets.

6.5 SERVICE ENTRANCE CONDUCTORS and EQUIPMENT**Inspected**

Service entrance conductors were inspected for proper connections, insulation, and installation where visible and accessible.

Issue: The electrical service conductors are too low over grade (less than 10 feet). Electrical issues are considered a hazard until repaired.

Recommend: Further evaluation by a qualified, licensed electrician who can make repairs as needed.

Issue: Splices between the overhead service drop conductors and the service entrance conductors from the mast are exposed and / or the insulation is gapped. This is contrary to industry standards.

Recommend: Electric utility company should review and properly insulate the exposed splices.

6.6 GFCI CONDITIONS (GROUND FAULT CIRCUIT INTERRUPTERS)**Inspected**

Issue: For purposes of safety, a GFCI receptacle/protection (currently missing), should be present at: Kitchen, bathroom, laundry, garage. Newer construction industry standards call for GFCI receptacle/protection be installed at possible moisture affected locations. These locations would include the kitchen, bathroom, laundry, garage, attic, and building exteriors. If a home has been remodeled (with normal permits), proper building standards would also apply. The room(s) should be updated with GFCI outlets. **(This is a safety issue)**.

Recommend: A qualified, licensed contractor should install GFCI protection at the noted location(s).

GFCI outlets are required at 15 amp / 20 amp / 125 volt receptacles, within a 6 foot arc of sinks, bath tub, showers, and in the laundry area of the home. Additionally, GFCI receptacles must be "readily accessible," (able to be reached and used with ease).

7. Heating and Cooling**7.1 HEATING SYSTEM(S)**

Inspected

Issue: Both units have wall heaters in need of maintenance, repairs. There is dirt, rust and scale on the top of the burners. This can prevent our ability to observe the burners or possible heat exchanger holes or cracks. Rust accumulations that cover burners affect their operation.

Recommend: A qualified technician should thoroughly clean and adjust the burners and their orifices BEFORE escrow closing. Both units.

Issue: The wall heaters are quite dirty.

Recommend: The wall heater should be properly cleaned by a qualified HVAC technician.

Wall heater not operational unit 3622. Wall heaters are operational unit 3620

8. Attic**8.1 ATTIC ACCESS and GENERAL CONDITIONS****Inspected**

Information Note: Asbestos pipe (vent) is found in the attic space. While its current use or presence causes no major concern, it is when re-modeling of a home occurs that the pipe may be broken and cause asbestos dust to become airborne.

Recommend: If the home is to be re-modelled, a qualified, licenced contractor familiar with asbestos product removal should be made available for this work/issue. If concerned, consult further with a qualified, licensed contractor prior to the close of escrow.

10. Interiors**10.3 WINDOWS****Inspected**

Issue: Condensation, staining, dust crystals, or droplets are present between the panes of one or more insulated glass windows in the home. This suggests a failure of the factory seal between the twin pieces of glass. While this does not effect the water tight integrity of the window, it creates a visual defect and lessens the windows energy efficiency.

Recommend: If concerned, we recommend a qualified, licenced window contractor could check any affected windows and further advise you as to repair or replacement of affected windows.

10.8 CARBON MONOXIDE DETECTOR(S)**Inspected**

NOTE: Effective July 1, 2011 carbon monoxide detectors are required to be installed in California dwelling units that have fossil fuel burning appliances, and/or have an attached garage.

DISCLOSURE: We did NOT (observe) an installed carbon monoxide detector at the time of the inspection. We recommend that at least one detector per level be installed and its proper operation verified.

11. Kitchen**11.4 WASTE DISPOSAL(S)****Inspected**

(2) Issue: The garbage disposal did not respond to normal user controls. 3622.

Recommend: A qualified appliance technician should review and repair or replace the disposal as needed.

12. Bathrooms

12.7 BATHROOM VENTILATION

Inspected



Issue: The vent pipe in the attic for the hallway bathroom exhaust fan is loose or has become disconnected from the vent hood to the exterior. This can allow moisture from the bathroom to enter the attic and cause deterioration of the structure. Unit 3620.

Recommend: The vent pipe should be properly connected to the vent hood by a qualified technician.

13. Laundry

13.3 DRYER VENT

Inspected



(2) Issue: The dryer vent back-draft damper is missing/damaged at its termination. Pests could enter the duct.

Recommend: The back draft damper should be repaired/replaced by a qualified technician.

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Consideration Items



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1. Introductory Notes

1.1 INSPECTION SCOPE

Inspected



(3) "**Inspected.**" Please know that the comment "**Inspected**" means that we have visually reviewed that area/item, found it to be without (evidence of) issues or concerns, and we have no further comment.

1.3 WALK THROUGH INFORMATION

Inspected



If the building (is or was) occupied, and after the original owners have moved from the building, you should have the opportunity for a "walk through" to check the now vacant building. At this time you may be able to check the areas that were concealed by furniture, etc at the time of the inspection. You should check to see if anything has changed since the original building inspection (that is typically performed a period of time prior to closing). It is also advisable for the owner to provide any operating manuals for equipment, along with any warranties that are available. If the owner has agreed to any repair work, the documentation (permits, warranties) for this work should be obtained. Any problems that are discovered during the walk-through inspection should be discussed with your agent, prior to closing.

1.4 OVERALL BUILDING CONDITIONS

Inspected



Note: The two units of this duplex building suffer from deferred maintenance. Most of the deficiencies are cosmetic, not structural, and less mechanical. Make note also of the professional pest report on this building.

3. Exterior

3.1 DRIVEWAY(S), PATIO(S), and WALKWAY(S)

Inspected

(1) Issue: Common cracks noted in driveway. Location: Front of home.

Recommend: No professional repairs required at this time.



(2) Note: The patio exhibits normal cracks in the surface but shows no structural issues. The patio is otherwise in adequate condition. Noted at the right side.

3.3 WALL CLADDING and TRIM**Inspected**

(1) Wall cladding was inspected for deterioration, damage, proper sealing, and potential water intrusion areas.

Issue: Caulking around the exterior trim is deteriorated or missing. This appears at the separations between various wood trims and other wall cladding (stucco, brick, rock, etc). Lack of caulk maintenance can allow water into the structure and cause damage.

Recommend: Either a qualified handyman or licensed contractor should review and apply caulking materials as needed.

Issue: Areas of the building's exterior wood trim / paint show evidence of deterioration by way of rot, breakage, weathering, or wear.

Recommend: A licensed, qualified contractor should review and repair or replace as necessary to help maintain wall integrity and water resistance. Regular routine maintenance is recommended. For additional details, refer to pest report.

Both units 3622 - 3620



(2) Issue: There are small (hairline) cracks and/or holes in the stucco on the exterior of the building. This may be caused by (normal) home settling or stucco curing issues during construction.

Recommend: If concerned, a licensed, qualified contractor could review these surfaces and further advise.

3.4 WINDOWS**Inspected**

(1) Windows were inspected for damage and deterioration.

Note: several windows show obvious signs of previous replacement.

Recommend: Check for proper contractor permits/installation.



(2) Issue: Several window screens are removed. Both units 3622-20.

Recommend: All window screens should be repaired or replaced as necessary.

3.6 EAVES, SOFFITS and FASCIAS**Inspected**

(2) Issue: Fascia trim / roof edge is deteriorated at the front, rear and sides of the home.

Recommend: A licensed, qualified **pest company** may examine all exterior trim for deterioration/damage and repair or replace as necessary.



(3) Issue: One or more of the attic vent screen in the eaves/soffit area are torn or gapped. (This may allow for possible entry of insects or rodents). Both units 3622-20.

Recommend: A qualified handyman or licenced contractor review and repair as needed for health purposes.
Refer also to the building pest report.

 (4) Issue: Sections of the exterior barge rafters exhibit deterioration at the front of the home.

Recommend: A qualified, licensed **pest company** should review and advise as to repairs / maintenance required.

 (5) Issue: Nests (bees / wasps / insects) noted under the overhang at the exterior.

Recommend: While not a deficiency in the structure, they should be removed to reduce a potential for personal injury or possible building intrusion.

3.8 FENCES and GATES

Inspected

 Issue: There is minor damage to the fencing at the rear of the property, although it is functioning as designed.

Recommend: Damaged fence elements should be repaired if possible, or replaced as necessary.

3.9 DECK(S), BALCONIES, STEP(S), PATIO COVER(S) and RAILING(S)

Inspected

 Issue: Sections of the support post material for the front deck are deteriorated and/or damaged.

Recommend: To adequately support the structure, all damaged or deteriorated material should be replaced or repaired. A licensed contractor should review and advise as to proper maintenance or repair.

4. Roofing

4.1 ROOF COVERINGS

Inspected

 (2) Issue: Some (shingle / flashing) fasteners are not installed flush with the roof surface. The protruding fasteners have penetrated some of the flashings or overlying shingles.

Recommend: A qualified, licensed roofing contractor should review and make repairs or modifications as necessary.

 (3) Issue: Moss or an organic growth on the roof. This condition may affect the life expectancy of the roofing if allowed to build up.

Recommend: Action be taken to remove this growth buildup.

4.2 FLASHINGS and PENETRATIONS

Inspected

 (1) Issue: The jack flashing on the rear of the roof surface is improperly installed. The flashing is surface mounted or not properly laced into the roofing surface. This may allow leaks.

Recommend: If concerned, a qualified technician could repair as needed.

 (2) Issue: Vent is in poor condition, (rust, damage).

Recommend: Depending on the severity of the issue, a ladder qualified handyman or qualified, licensed contractor may review and advise as to proper repair.



(3) Issue: The antenna mounting bracket is bolted through the roof. This is not considered a proper installation practice.

Recommend: The caulking around the bracket should be maintained and the flashing upgraded when the roof is replaced.

5. Plumbing

5.0 CLIENT INFORMATION

Inspected



Important Notes: While we conduct a thorough review of all plumbing systems of this structure; 1) We cannot identify the pipe material that is buried in the exterior yard. 2) During the inspection, we only operate the valves or faucets that are normally operated by the occupants in their daily use of the plumbing system. 3) This inspection does not include evaluation of public sewage systems. 4) The typical scope of our inspection of the plumbing system in all buildings includes the visible water supply piping, fixtures and drain, waste and vent piping physically located in the confines of the building. 5) When the water utility is active, the exterior water supply piping is inspected for flow and pressure. 6) Single Handle Pull-Out Shower Handle Water Turn-On: These units have a cartridge mechanism that (may) fail (generally speaking, in homes over ten years of age). Recommend: As regular maintenance, have a qualified, licensed plumber replace this cartridge unit. They are known to fail and allow water to leak inside walls, often times unknown to the home owner, and often times with damaging effect, especially if located in an upstairs bathroom. 7) Older homes (can) have failed sewer pipes, root clogs, or old (Orangeburg) manufactured pipes, known to fail after 30 plus years of service. We recommend video camera inspection of sewer lines for older homes. Speak to your agent for further details.

5.4 DRAIN, WASTE and VENT PIPING

Inspected



(2) Note: You should be aware that older structures commonly have old-style sewer pipe and plumbing in general. Determination of the condition of these lines is beyond the scope of this inspection.

Recommend: A plumber equipped with a special camera that displays the condition of the piping is recommended for further evaluation.

6. Electrical

6.1 MAIN DISTRIBUTION PANEL and CIRCUIT BREAKERS

Inspected



(1) Issue: The seal on the electric panel is broken.

Recommend: Notify the electric utility provider. They may want to investigate this situation before replacing the seal.

6.3 EXTERIOR RECEPTACLES, SWITCHES, and FIXTURES

Inspected



(2) Issue; The globe or cover for the light fixture at the (3620, right side)

Recommend: A proper cover should be installed.

8. Attic

8.2 ATTIC MOISTURE and VENTILATION

Inspected



Issue: We note evidence of (past) water staining at roof sheathing/members. Stain(s) may also have occurred around a penetration (plumbing vent, roof vent) through the roof surface. While we see no active leaks, the area(s) should be monitored.

Recommend: If concerned, a qualified roofing contractor could review and further advise.

8.4 ATTIC INSPECTION LIMITATIONS

Inspected



Note: We are not able to completely access areas of the attic nearest to the roof perimeter due to low headroom, or areas that may have been blocked by ducts, roof structural members, or that offer unsafe conditions to the inspector. Further evaluation may be advised if the client has concerns about these areas.

9. Garage

9.3 GARAGE WALLS

Inspected



Issue: There are water stains on the walls. However, we found no sign of active leaks.

Recommend: If additional staining develops, the source of the leak(s) should be identified and repairs performed as necessary. Preparing and refinishing the surface could restore its appearance.

9.7 GARAGE INSPECTION LIMITATIONS

Inspected



Issue: Personal belongings prevented full access to the garage at the time of this inspection.

Recommend: A walk-through is recommended when the area is cleared and accessible.

10. Interiors

10.1 CEILINGS and WALLS

Inspected



Issue: There is a large wall crack(s) in the bathroom wall (unit 3620)..

Recommend: A qualified technician could make repairs or modifications as necessary.

10.4 DOORS AND CLOSETS

Inspected



(1) Issue: Hardware is missing or has been removed from the garage entry door(s). We recommend all loose or missing hardware should be repaired or replaced.

Recommend: A qualified handyman may do this work.



(2) Issue: A doorway in the bathroom is damaged or deteriorated.

Recommend: Doorway should be repaired, refinished as necessary.

10.7 SMOKE DETECTOR(S)**Inspected**

(1) Note: Units 3622-20: The **smoke detector(s)** (when present) are inspected for presence and location only. The latest standards require that hard-wired smoke detectors be installed in all bedrooms at the time of construction, or if any significant remodeling is done, or (in some jurisdictions) when the residence is sold. Smoke detectors should be installed **1)** just inside each bedroom above the door frame, **2)** in each hallway leading to sleeping quarters, and **3)** on each floor if a multi-story home. For future reference, testing with only the built-in test button verifies proper battery and horn function, but does not test the smoke sensor.

Issue: A smoke detector(s) was not installed in all the bedrooms at the time of the inspection. (Safety issue). The latest standards require that smoke detectors be installed in all bedrooms at the time of construction, or if any significant remodeling is done, or (in some jurisdictions) when the residence is sold.

Recommend: Whether or not installation is required, we recommend that smoke detectors be installed per modern standards.



(2) Note: If the smoke detectors appear to be old or "yellowed" in color, replacement should be considered. The age of a detector can often be determined by looking for a date on it's back side. The National Fire Protection Agency recommends replacing smoke detectors every 10 years. When replacing wired smoke alarms it's suggested they be of the same brand or it may be possible that the alarm won't sound.

We advise replacing all smoke alarms at the same time

10.11 INTERIOR INSPECTION LIMITATIONS**Inspected**

Access impaired. Several areas of the house noted to be impaired from inspection due to owners/building possessions. Only readily accessible areas were inspected.

A walk-through is recommended when the area is cleared and accessible.

11. Kitchen**11.3 COUNTERTOP and CABINETRY****Inspected**

(2) Note: Hole noted under sink. This (may) allow pests into home.

Recommend: A qualified handyman should review and seal as needed.

11.10 KITCHEN INSPECTION LIMITATIONS**Not Present**

Issue: Stored personal items blocked our access to the area in and under the sink in the kitchen. units 3622-20.

Recommend: After the stored items have been removed, this area should be inspected.

12. Bathrooms**12.3 SHOWER WALLS and ENCLOSURE****Inspected**

Issue: The window inside the shower area is set low where water from the shower nozzle may collect on the window sill. While we see no evidence of damage at this time, this setting may allow / cause a leak and window / wall damage.

Recommend: Review by a qualified contractor who may further advise.

12.5 BATHTUB(S)

Inspected



(1) The bathtub drain stop and/or related parts are missing. Noted at the hallway bathroom

Recommend: A qualified technician could make repairs or modifications as necessary.



(2) The water diverter valve for tub - shower choice is deteriorated/not working properly. 3622.

Recommend: A qualified handyman review and repair/replace as needed.

13. Laundry

13.3 DRYER VENT

Inspected



(1) Issue: The dryer vent should be kept clear of lint and other debris to ensure proper function. A vent clogged with debris or lint will decrease the efficiency of the dryer, and is a fire hazard.

Warning: The building should never be left unoccupied when the dryer is in use.

13.5 LAUNDRY APPLIANCES

Not Inspected



Note: Due to the time frame required for complete testing, Inspection of the installed laundry appliances are not within in the scope of this inspection.

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Date: 8/11/2026	Time: 09:00:00 AM	Report ID: 081126BG1
Property: 3620 Elkhorn Blvd North Highlands CA 95660	Customer: Richard Torres	Real Estate Professional: Ron Benning

HOW TO REVIEW THIS REPORT:

There are several sections to this report:

Cover: This shows the home, its address, the client name, and the inspector's information.

Table of Contents: You may find any section (subject) of the report, and it's page number.

Intro Page: Basic customer information about this report, what it covers, exclusions, agreements, and definitions.

Numbered Report Items: (Main Home Inspection Report with Photographs). The sections of this building, starting with (1) Introductory Notes, (2) Structure, (3) Exterior, (4) Roofing, etc (see the table of contents).

Action Items and Consideration Items (Agent Summary) . This is a summary report (without photographs) primarily for the real estate agent's use. Your agent may use this for quick reference for home repair needs, or negotiation purposes. The summary section is found in the back, after the main inspection report.

Intro- About this report:

This inspection is a non-invasive examination of readily accessible systems and components as outlined both in the California Real Estate Inspection Association (CREIA) in the Standards of Practice and the American Society of Home Inspectors (ASHI) standards. In compliance, our reports are subject to the Definitions, Scope, Limitations, Exceptions, and Exclusions as outlined in the Standards of Practice. A copy of the Standards of Practice may be obtained from your inspector or from the web site identified in our Inspection Agreement.

In general, home inspections include a visual examination of readily accessible systems and components to help identify material defects - as they exist at the time of the inspection. This is **not** a technically exhaustive inspection and will not necessarily list all minor home maintenance or repair items. Latent, inaccessible, or concealed defects are excluded from this inspection. Inspectors do not move furniture, appliances, personal items, or other materials that may limit his/her inspection. We do **not** report on cosmetic or aesthetic issues. Unless otherwise stated, this is **not** a code inspection. We did **not** test for environmental hazards or the presence of any potentially harmful substance.

Use of Reports

If the inspection is performed in connection with the sale, exchange or transfer of the property, copies of the report may be provided to the principals in the transaction and their agents. However, the report is for your sole information and benefit. We do not intend for anyone but the person(s) listed on this report to benefit, directly or indirectly, from this agreement and inspection report. Our contractual relationship is only to the person(s) purchasing our report/service.

Inspection Agreement

BY ACCEPTANCE OF OUR INSPECTION REPORT, YOU ARE AGREEING TO THE TERMS OF OUR INSPECTION AGREEMENT. A copy of this agreement was made available immediately after scheduling your inspection and prior to the beginning of your inspection. You should review the liability limitations and terms of the agreement carefully before accepting your inspection report. Should you discover a defect for which we may be liable to you, you must notify us and give us a reasonable opportunity to re-inspect the property before you repair the defect.

We understand the serious nature of real estate transactions and attempt to take reasonable actions to provide value and protect our clients. A part of many real estate transactions are contingencies limiting the time available for follow up inspections, repair work, or further inquiries. We are not responsible for any investigations that are not completed prior to the end of the contingency period.

Report Definitions

The following definitions of comment descriptions represent this inspection report.

Inspected: The item was visually observed and appears to be functioning as intended.

Not Inspected: The item was not inspected (reason for non-inspection should be noted):

Not Present: The item was not found or is not present.

Action Item: The item is not functioning as intended or needs repair or further evaluation.

Consideration Item: The item should be monitored and maintenance/repair/replacement should be considered. (Includes definitions, helpful tips, recommended upgrades, conditions requiring repair due to normal wear, and conditions that have not significantly affected usability or function - but may if left unattended). This is a very use comment area for the future maintenance of your home.

Building Status: Occupied With a Normal Amount of Interior Furnishings	Style of Home: Duplex Residential Dwelling	Age Determination: Reported in Listing
Age Of Home: 66 to 70 Years Appoximate Year Built : Built 1958	Attendees: Client's Agent	Home Viewed From: Street
Weather: Clear	Outside Temperature: 70 - 80 degrees	Soil Condition: Dry
Lot Topography: Flat	Standards of Practice: California Real Estate Inspection Association, American Society of Home Inspectors	

1. Introductory Notes

Items

1.0 CLIENT INFORMATION

Comments: Inspected

(1) These Standards of Practice provide guidelines for a home inspection and define certain terms relating to these inspections. Italicized words In these Standards are defined in Part IV, Glossary of Terms.

A. A home inspection is a non-invasive, visual survey and basic operation of the systems and components of a home which can be reached, entered, or viewed without difficulty, moving obstructions, or requiring any action which may result in damage to the property or personal injury to the Inspector. The purpose of the inspection is to provide the Client with information regarding the general condition of the building(s) to assist client in determining what corrections or further evaluations the Client should have corrected, evaluated or obtained estimates for repair prior to the release of contingencies.

B. A home inspection report provides written documentation of material defects discovered in the inspected building's systems and components which, in the opinion of the Inspector, are safety hazards, are not functioning properly, or appear to be at the ends of their service lives. The report will include the Inspector's recommendations for correction or further evaluation.

C. All corrections or further evaluations need to be provided by an appropriate, competent, licensed and/or certified professional as stated in the CA Business and Professions Code 7195(c).

D. Client should consider all available information when negotiating regarding the Property.

E. Inspections performed in accordance with these Standards of Practice are not technically exhaustive and shall apply to the primary building and its associated primary parking structure.

F. Cosmetic and aesthetic conditions shall not be considered in this report.



Bo Grebitus
ACI CRT CPI
ASHI CERTIFIED
INSPECTOR

Granite Bay
HOME-BUILDING
INSPECTIONS

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1.0 Item 1(Picture)

(2) Any defect discussed in this report should be carefully considered and reviewed with the real estate agent.

Because a reported deficiency is often based on visual clues, it should be understood that more (extensive, and hidden) issues could be present, beyond what is reported in this inspection. Additional/hidden deficiencies can be more costly to resolve than simply correcting the visible symptoms. (ie; a water stain on an interior wall). It is beyond the scope of this inspection to list (every) instance of (similar) defects. The inspector's notation of any given deficiency should be interpreted such that additional (similar) defects might be present, or more extensive. Reported defects might require

additional investigation (by a professional, licensed contractor) to better determine the number of similar defects and related problems in order to make a more informed decision.

(3) It is recommended that **smoke alarms be tested** when moving into a building. Replace any batteries or alarms as needed. (**We highly recommend the newer dual-sensor photo-electric and ionization smoke alarms**). It is also recommended that all homes be equipped with working, operational **carbon monoxide alarm(s)**. All alarms should be checked on a regular, ongoing basis to maintain safety and functionality.

PLEASE NOTE: Smoke and CO-2 alarms can be connected to home-fire alarm systems, too high to reach, or can be interconnected (all go off at once). For these reasons, **we do NOT test the active alarm**. We merely note their presence in the building. **It is YOUR responsibility to test the proper operation of this safety equipment.**

1.1 INSPECTION SCOPE

Comments: Inspected

(1) The purpose of this inspection is to evaluate the building for the function, operation, and condition of its main systems and components (structure, foundation, roof, electrical, plumbing, standard hard-wired appliances, and HVAC system).

We will not move Personal items or any form of furniture or appliances. The presence of furnishings, appliances (ie; refrigerators, washers and dryers), personal items, and decorations in occupied structures will limit the scope of the inspection. (Movement of said personal items and appliances (can) damage flooring and disturb plumbing and electrical attachments). Placement of furniture and personal items can prevent access to every electrical receptacle, floor space, walls, plumbing, doors, or windows.

Once the premises are vacant, additional issues may make themselves known that could not reasonably be found during home occupation (squeaking floors, once covered by furniture, as an example).

Building code or zoning violations are not the subject of this inspection nor included in this report. No information is offered on the legal use, or possible uses of the building or property. Information with regard to these issues may be available from the appropriate building and/or zoning agency. Important information about this property may be a matter of public record. However, a search of public records is not in the scope of this inspection. We recommend the buyer review all appropriate public records if this information is desired. Solar systems are beyond the scope of this inspection. **We recommend that the owners / buyers additionally conduct their own thorough, pre-closing, walkthrough inspection before closing escrow.**

(2) The following are EXCLUDED from your property inspection:

1) Auxiliary features of appliances beyond the appliance's basic function, including remote or timed devices, (remote fans, skylights, clocks, other timed, controlled devices, non-hard-wired appliances). 2) Determining compliance with manufacturers' installation guidelines or specifications, building codes, accessibility standards, conservation or energy standards, regulations, ordinances, covenants, or other restrictions. 3) Determining adequacy, efficiency, suitability, quality, age or remaining life of any building, system, or component, or marketability or advisability of purchase. 4) Water testing any building, system, or component or determine leakage in shower pans, pools, spas, or any body of water. 5) Reviewing information from any third-party, including but not limited to; product defects, recalls, or similar notices. 6) The inspection does not attempt to find or list cosmetic flaws. You, the client, are the final judge of aesthetic issues.

We make attempts to review all outlets, windows, doors, etc. At times, this is not possible due to furniture placement, window coverings, or physical (height) placements. We therefore note that not all windows, outlets, doors may be inspected. If we note an issue / recommendation for review with a particular equipment / feature / type (door, window, plug, etc.) we are stating that ALL such (related) items in the home should then be reviewed by recommended, qualified, licensed technician or contractor for (similar) defect possibility.

 (3) **"Inspected."** Please know that the comment **"Inspected"** means that we have visually reviewed that area/item, found it to be without (evidence of) issues or concerns, and we have no further comment.

1.2 ENVIRONMENTAL

Comments: Inspected

(1) This property (may) have radon gas in it. If concerned, read the following: Radon is a colorless, odorless radioactive gas that originates from uranium contained in a variety of soils that could be below the structure. The **Environmental Protection Agency** is updating information and regional maps regarding radon. **Determination of radon levels that may be present in this structure can only be made with an appropriate test lasting 48 hours or more. Unless specifically requested by the client and addressed elsewhere in this report or by separate document, testing for radon is not within the scope of this inspection.**

(2) Asbestos was used as an ingredient in hundreds of products commonly used in construction. Shingles, floor coverings, ceiling tiles, duct wraps, insulation, ceiling coatings, and wallboard joint compound are but a few of these common products that often contained asbestos in years past. Determination of asbestos in any given product that may be present in this structure can only be made with a laboratory test of the material. Unless specifically requested by the client and addressed elsewhere in this report or by separate document, testing for asbestos content in any material is not within the scope of this inspection.

(3) Testing for lead and/or lead paint is outside the scope of this inspection. Only by testing can one determine the presence or absence of lead in either the interior or exterior painted or stained surfaces. Check with local authorities for any testing requirements. Have a qualified technician perform any tests as desired.

(4) Mold may be present in visible or hidden areas of this (and most any) structure. The federal Environmental Protection Agency has not established any standards for levels of mold within a structure that may lead to human health problems. Determination of mold in or on any given product that may be present in this structure can only be made with a laboratory test of suspected material or by air sampling. Such tests will not indicate if any person may have an adverse reaction to any mold that may be present. While this inspector will point out and report any conditions present that may support mold (organic) growth, lab testing for mold type is not within the scope of this inspection unless specifically requested in the agreement.

1.3 WALK THROUGH INFORMATION

Comments: Inspected

 If the building (is or was) occupied, and after the original owners have moved from the building, you should have the opportunity for a "walk through" to check the now vacant building. At this time you may be able to check the areas that were concealed by furniture, etc at the time of the inspection. You should check to see if anything has changed since the original building inspection (that is typically performed a period of time prior to closing). It is also advisable for the owner to provide any operating manuals for equipment, along with any warranties that are available. If the owner has agreed to any repair work, the documentation (permits, warranties) for this work should be obtained. Any problems that are discovered during the walk-through inspection should be discussed with your agent, prior to closing.

1.4 OVERALL BUILDING CONDITIONS

Comments: Inspected

 Note: The two units of this duplex building suffer from deferred maintenance. Most of the deficiencies are cosmetic, not structural, and less mechanical. Make note also of the professional pest report on this building.



1.4 Item 1(Picture)

1.5 PICTURES

Comments: Inspected

The photos included in this report do not represent (every) defect that has been found. There may be action items that do not have a photo included. We suggest reading the key findings to find all of the defects that have been reported. Photos, if included, represent only the key finding associated with that photo (subject and location). The photo collection remains the sole property of Granite Bay Inspections, all rights reserved. If you have any questions on the key findings, please contact your **ASHI Certified inspector Bo Grebitus** for clarification.

Per the Granite Bay Inspections policy, Mr. Grebitus will make himself available to answer any questions concerning this property for as long as you live in the inspected location.

Bo Grebitus ACI CRT CPI - 916.803.0756

1.6 INSPECTION LIMITATIONS

Comments: Inspected

2. Structure

Our inspection of the structure included a visual examination of the exposed, readily accessible portions of the structure. These items were examined for visible defects, excessive wear, and general condition. Many structural components are inaccessible because they are buried below grade or are behind finished surfaces. Therefore, much of the inspection was performed by looking for visible symptoms of movement, damage and deterioration. Where there are no symptoms, conditions requiring further review or repair may go undetected and identification is not possible without destructive testing. We make no representations as to the internal conditions or stability of soils, concrete footings and foundations, except as exhibited by their performance. We cannot predict when or if foundations or roofs might leak in the future.

Styles & Materials

Foundation Type and Material:

Poured Concrete Slab
Interior Grade Beams

Items

2.0 CLIENT INFORMATION

Comments: Inspected

Inspection of the building structure includes the following components, (as applicable): building foundation, floor framing, under floor ventilation, foundation anchoring, cripple wall bracing, structural walls, roof framing, insulation, and wood separation from soil.

A determination of the ability of this structure to withstand damage in an earthquake requires an **engineering analysis**, which is beyond the scope of this inspection. If further information is desired, contact a qualified engineer.

2.1 CONCRETE SLAB

Comments: Inspected

2.2 ROOF STRUCTURE

Comments: Inspected

Where possible/visible, roof structures were inspected for cut or cracked trusses and/or beams.

2.3 WALL STRUCTURE

Comments: Inspected

2.4 FLOOR FRAMING SYSTEM

Comments: Not Present

2.5 CRAWL SPACE

Comments: Not Present



Issue: It appear there is a space under the units. We are un-able to crawl this (tight) space, and no inspection is possible. Review pest report on this property.



2.5 Item 1(Picture)



2.5 Item 2(Picture)

2.6 CRAWL SPACE MOISTURE AND VENTILATION

Comments: Not Present

2.7 CRAWL SPACE INSULATION

Comments: Not Present

2.8 CRAWL SPACE LIMITATIONS

Comments: Not Present

2.9 FOUNDATION, ANCHORING and CRIPPLE WALL BRACING

Comments: Not Present

Foundation is inspected for cracks, anchoring, deterioration, and proper supports.

2.10 BASEMENT

Comments: Not Present

2.11 STRUCTURE INSPECTION LIMITATIONS

Comments: Not Present

2.12 MANUFACTURED HOME CRAWL SPACE

Comments: Not Present

2.13 CRAWL SPACE VENTILATION

Comments: Not Present

3. Exterior

Our inspection of the building exterior included a visual examination. Items are examined for defects, excessive wear, and general state of repair. Exterior wood components are randomly probed. We do not probe everywhere. Varying degrees of exterior deterioration could exist in any component. Vegetation, including trees, is examined only to the extent that it is affecting the structure.

Styles & Materials

Primary Cladding:
Stucco

Items

3.0 CLIENT INFORMATION

Comments: Inspected
Note: Operation and evaluation of irrigation (sprinkler) systems is outside of the scope of this inspection.

SUGGESTION: Have the owner or a landscape technician demonstrate the irrigation system and any related equipment before closing.

3.1 DRIVEWAY(S), PATIO(S), and WALKWAY(S)

Comments: Inspected
 (1) Issue: Common cracks noted in driveway. Location: Front of home.

Recommend: No professional repairs required at this time.



3.1 Item 1(Picture)



(2) Note: The patio exhibits normal cracks in the surface but shows no structural issues. The patio is otherwise in adequate condition. Noted at the right side.



3.1 Item 2(Picture) Unit 3620

3.2 GRADING, DRAINAGE, and RETAINING WALL(S)

Comments: Inspected

Site was inspected for slope around the structure, proper drainage, and potential drainage issues.

3.3 WALL CLADDING and TRIM

Comments: Inspected

 (1) Wall cladding was inspected for deterioration, damage, proper sealing, and potential water intrusion areas.

Issue: Caulking around the exterior trim is deteriorated or missing. This appears at the separations between various wood trims and other wall cladding (stucco, brick, rock, etc). Lack of caulk maintenance can allow water into the structure and cause damage.

Recommend: Either a qualified handyman or licensed contractor should review and apply caulking materials as needed.

Issue: Areas of the building's exterior wood trim / paint show evidence of deterioration by way of rot, breakage, weathering, or wear.

Recommend: A licensed, qualified contractor should review and repair or replace as necessary to help maintain wall integrity and water resistance. Regular routine maintenance is recommended. For additional details, refer to pest report.

Both units 3622 - 3620



3.3 Item 1(Picture)



3.3 Item 2(Picture)



3.3 Item 3(Picture) Eaves paint peeling

 (2) Issue: There are small (hairline) cracks and/or holes in the stucco on the exterior of the building. This may be caused by (normal) home settling or stucco curing issues during construction.

Recommend: If concerned, a licensed, qualified contractor could review these surfaces and further advise.



3.3 Item 4(Picture) 3620



3.3 Item 5(Picture) 3620 right side

(3) Note: Mail drip frame missing, 3620.



3.3 Item 6(Picture)

3.4 WINDOWS

Comments: Inspected

 (1) Windows were inspected for damage and deterioration.

Note: several windows show obvious signs of previous replacement.

Recommend: Check for proper contractor permits/installation.



3.4 Item 1(Picture)

 (2) Issue: Several window screens are removed. Both units 3622-20.

Recommend: All window screens should be repaired or replaced as necessary.



3.4 Item 2(Picture)

3.5 DOORS (Exterior)

Comments: Inspected

(1) Doors were inspected for proper operation and damage.

 (2) Issue: The right side door jamb is damaged/deteriorated. Unit 3620

Recommend: The damaged elements of the jamb should be repaired, or the entire assembly replaced to restore proper operation.



3.5 Item 1(Picture)



3.5 Item 2(Picture)

 (3) Issue: The front door jamb is damaged/deteriorated. 3620.

Recommend: The damaged elements of the jamb should be repaired, or the entire assembly replaced to restore proper operation.



3.5 Item 3(Picture)



3.5 Item 4(Picture)

3.6 EAVES, SOFFITS and FASCIAS

Comments: Inspected

 (1) Eaves, soffits, and fascias were inspected for deterioration, gaps, attachments, and potential damage. Unit 3622.

Issue: Water stains found on the undersides of eaves or the roof decking at the left side. Did not observe specific conditions that might suggest a current, active leak.

Recommend: Ask home owner for any history on this subject. Refer to **pest company** report on this property.

Issue: We note evidence of wood rot in the eaves roof sheathing material of the building.

Recommend: A qualified **pest service** may review and advise as to repairs required.



3.6 Item 1(Picture)

 (2) Issue: Fascia trim / roof edge is deteriorated at the front, rear and sides of the home.

Recommend: A licensed, qualified **pest company** may examine all exterior trim for deterioration/damage and repair or replace as necessary.



3.6 Item 2(Picture)



3.6 Item 3(Picture)



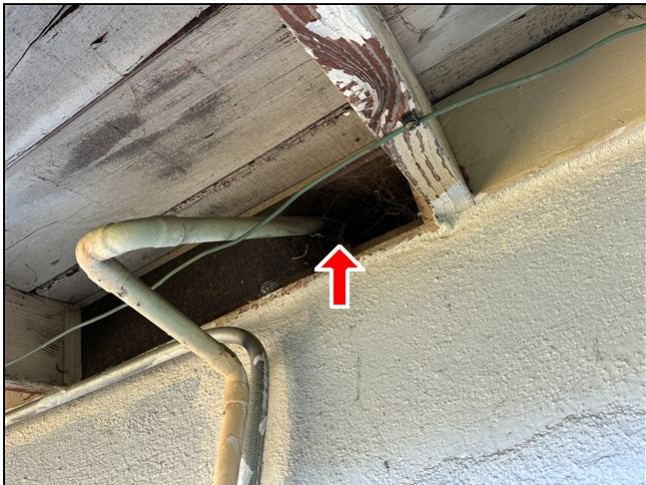
3.6 Item 4(Picture)



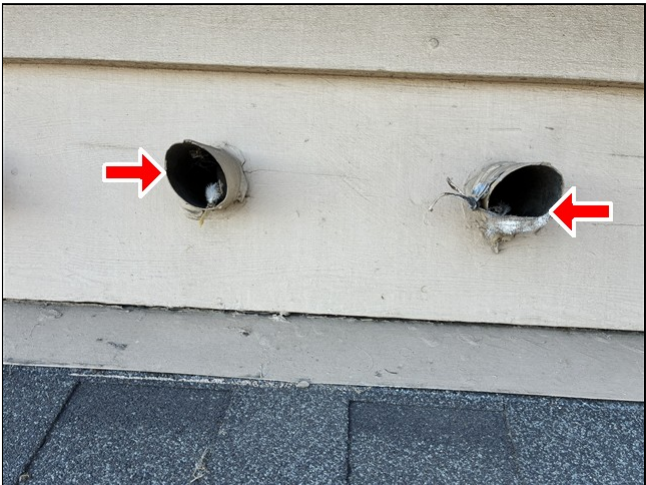
3.6 Item 5(Picture)

 (3) Issue: One or more of the attic vent screen in the eaves/soffit area are torn or gapped. (This may allow for possible entry of insects or rodents). Both units 3622-20.

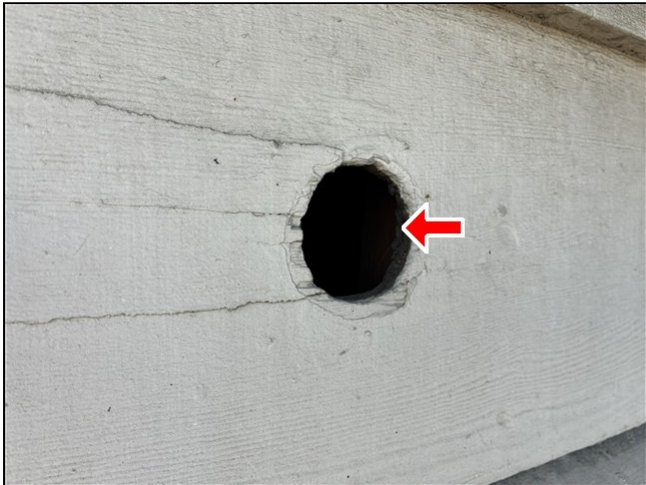
Recommend: A qualified handyman or licenced contractor review and repair as needed for health purposes. Refer also to the building pest report.



3.6 Item 6(Picture)



3.6 Item 7(Picture)



3.6 Item 8(Picture)

 (4) Issue: Sections of the exterior barge rafters exhibit deterioration at the front of the home.

Recommend: A qualified, licensed **pest company** should review and advise as to repairs / maintenance required.



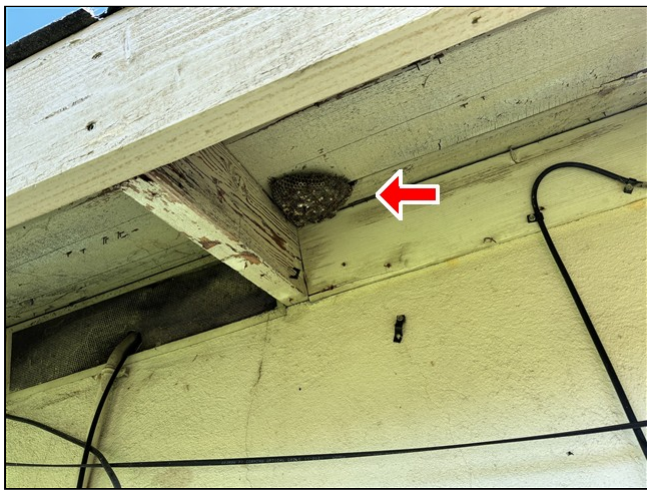
3.6 Item 9(Picture) Barge board touching roof



3.6 Item 10(Picture)

 (5) Issue: Nests (bees / wasps / insects) noted under the overhang at the exterior.

Recommend: While not a deficiency in the structure, they should be removed to reduce a potential for personal injury or possible building intrusion.



3.6 Item 11(Picture)

3.7 VEGETATION

Comments: Inspected

3.8 FENCES and GATES

Comments: Inspected

 Issue; There is minor damage to the fencing at the rear of the property, although it is functioning as designed.

Recommend: Damaged fence elements should be repaired if possible, or replaced as necessary.



3.8 Item 1(Picture)



3.8 Item 2(Picture)

3.9 DECK(S), BALCONIES, STEP(S), PATIO COVER(S) and RAILING(S)

Comments: Inspected

 Issue: Sections of the support post material for the front deck are deteriorated and/or damaged.

Recommend: To adequately support the structure, all damaged or deteriorated material should be replaced or repaired. A licensed contractor should review and advise as to proper maintenance or repair.



3.9 Item 1(Picture) Wood-cement contact may wick moisture, damaging wood

3.10 SEAWALL CONDITIONS

Comments: Not Present

4. Roofing

Our inspection of the readily accessible roof system included a visual examination to determine damage or material deterioration. We walk on the roof only when is it safe to do so and is not likely to damage the roof materials. We look for evidence of roof system leaks and damage. We cannot predict when or if a roof might leak in the future.

Styles & Materials

Viewed Roof Covering From:	Estimated Roof Covering Age:	Roof Covering:
Walked Roof	2nd Third	Asphalt/Fiberglass Shingles

Items

4.0 CLIENT INFORMATION

Comments: Inspected

(1) **Please note:** As building inspectors, we make a professional effort to inspect the roof system (one of many home systems) within our *limited time allotment*. We do not replace the professional (roofing) contractors. Ours is not an exhaustive inspection of every installation detail of the roof system according to manufacturer's specifications or construction codes. Neither is it to be considered a roof warranty or certification. While it is virtually impossible to detect a leak (except as it occurs or by specific water test, which are beyond the scope of our inspection) we will report when evidence of leaks make themselves known (visible staining). If concerned, we recommend that you ask for the sellers to disclose known information about the roof, and that you include comprehensive roof coverage in your insurance policy.

Our approach: Inspection of the roof system is completed by either physically walking exterior roof, binocular observation, and / or drone aerial photography. Additionally, we combine the use of an interior attic review, and interior structure ceiling review. While this process allows for a detailed review of the roofing system, this should not be interpreted as a certification that this roof is or will be free of leaks. All roof systems require periodic maintenance. Failure to perform routine roof maintenance will usually result in leaks and accelerated roof deterioration. If concerned, a qualified, licensed roofing contractor may be called in to further review and advise.

(2) Whenever safe conditions permit, we walk/examine the roof system, considering the following elements:

- Roof materials: Condition, workmanship, fasteners, standards.
- Flashings: Wall, chimney, and roof edge flashings.
- Penetrations: Plumbing (jacks), vents, skylights, electrical, HVAC
- Chimney: Cap, cover, spark arrestor, cladding.
- Additionally: We examine the roof system from the inside (attic area) for leak staining or openings.

See further remarks in this Roofing Section. See also remarks in Exterior / Eaves Section.

4.1 ROOF COVERINGS

Comments: Inspected

(1) Roof coverings whenever possible, are inspected for wear / damage from both exterior surface and interior (attic) sides.



4.1 Item 1(Picture)



4.1 Item 2(Picture)

 (2) Issue: Some (shingle / flashing) fasteners are not installed flush with the roof surface. The protruding fasteners have penetrated some of the flashings or overlying shingles.

Recommend: A qualified, licensed roofing contractor should review and make repairs or modifications as necessary.



4.1 Item 3(Picture)



4.1 Item 4(Picture)



4.1 Item 5(Picture)

 (3) Issue: Moss or an organic growth on the roof. This condition may affect the life expectancy of the roofing if allowed to build up.

Recommend: Action be taken to remove this growth buildup.



4.1 Item 6(Picture) Front

4.2 FLASHINGS and PENETRATIONS

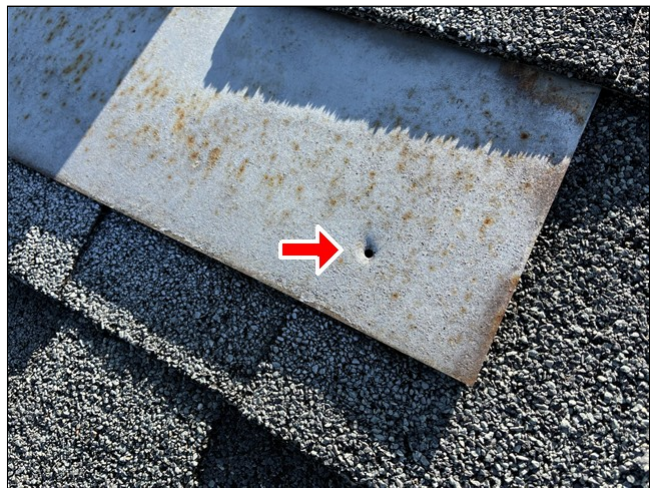
Comments: Inspected

 (1) Issue: The jack flashing on the rear of the roof surface is improperly installed. The flashing is surface mounted or not properly laced into the roofing surface. This may allow leaks.

Recommend: If concerned, a qualified technician could repair as needed.



4.2 Item 1(Picture)



4.2 Item 2(Picture)



4.2 Item 3(Picture) Rusted vent penetrations

 (2) Issue: Vent is in poor condition, (rust, damage).

Recommend: Depending on the severity of the issue, a ladder qualified handyman or qualified, licensed contractor may review and advise as to proper repair.



4.2 Item 4(Picture) 3620 side

 (3) Issue: The antenna mounting bracket is bolted through the roof. This is not considered a proper installation practice.

Recommend: The caulking around the bracket should be maintained and the flashing upgraded when the roof is replaced.



4.2 Item 5(Picture) 3620



4.2 Item 6(Picture) 3622

4.3 GUTTERS and DOWNSPOUTS

Comments: Inspected

4.4 VEGETATION

Comments: Inspected

4.5 SKYLIGHTS and SOLAR PANELS

Comments: Not Present

4.6 ROOF INSPECTION LIMITATIONS

Comments: Not Present

5. Plumbing

Our inspection of the plumbing system included a visual examination to determine defects, excessive wear, leakage, and general state of repair. Plumbing leaks can be present but not evident in the course of a normal inspection. A sewer lateral test to determine the condition of the underground sewer lines is beyond the scope of this inspection. Our review of the plumbing system does not include landscape irrigation systems, water wells, on site and/or private water supply systems, water quality, off site community water supply systems or private (septic) waste disposal systems unless specifically noted.

Styles & Materials

Main Water Shutoff Location: Rear	Water Supply Pipes: Not Visible	Water Heater Location(s): Interior closet
Water Heater Capacity(s): 30 Gallon 50 Gallon	Water Heater Age(s): 1 year 6 years	Main Sewer Cleanout Location: Unable to Locate
Gas Shutoff Location: Left Side	Gas Type: Natural Gas	Water Pressure: High Range of Normal Water Pressure P.S.I. : 72 PSI

Items

5.0 CLIENT INFORMATION

Comments: Inspected

 **Important Notes:** While we conduct a thorough review of all plumbing systems of this structure; 1) We cannot identify the pipe material that is buried in the exterior yard. 2) During the inspection, we only operate the valves or faucets that are normally operated by the occupants in their daily use of the plumbing system. 3) This inspection does not include evaluation of public sewage systems. 4) The typical scope of our inspection of the plumbing system in all buildings includes the visible water supply piping, fixtures and drain, waste and vent piping physically located in the confines of the building. 5) When the water utility is active, the exterior water supply piping is inspected for flow and pressure. 6) Single Handle Pull-Out Shower Handle Water Turn-On: These units have a cartridge mechanism that (may) fail (generally speaking, in homes over ten years of age). Recommend: As regular maintenance, have a qualified, licensed plumber replace this cartridge unit. They are known to fail and allow water to leak inside walls, often times unknown to the home owner, and often times with damaging effect, especially if located in an upstairs bathroom. 7) Older homes (can) have failed sewer pipes, root clogs, or old (Orangeburg) manufactured pipes, known to fail after 30 plus years of service. We recommend video camera inspection of sewer lines for older homes. Speak to your agent for further details.

5.1 MAIN WATER SHUT-OFF DEVICE

Comments: Inspected

5.2 WATER SUPPLY PIPING - FLOW/PRESSURE

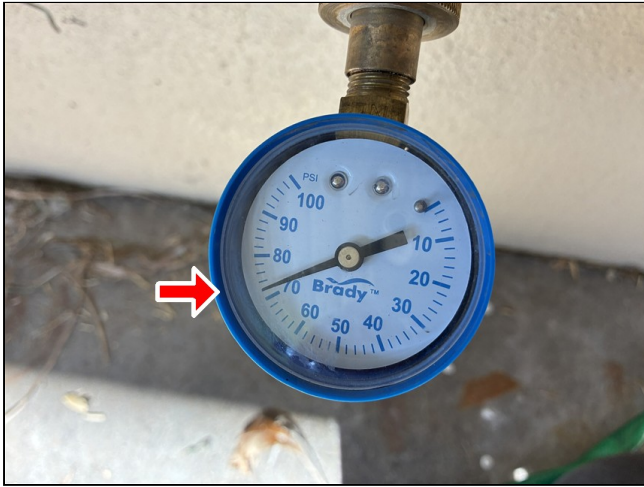
Comments: Inspected



Issue: System pressure, as measured by a gauge at an exterior hose bibb, was **high side of normal (72 PSI)**. **Average PSI is between 40 and 60. 80+ PSI is considered excessive.** Excessive pressure can result in damage or failure to valves, seats and washers, and fixture supply lines.

Recommend: A qualified plumber could review and further advise.

Review: pressure regulator (if currently installed) or install an approved pressure regulator and adjust home water pressure to standards. **Review** if old galvanized pipe for blocking mineral deposits, need for re-piping the home.



5.2 Item 1(Picture) 3622

5.3 FIXTURES and FAUCETS

Comments: Inspected

5.4 DRAIN, WASTE and VENT PIPING

Comments: Inspected

(1) Drain, waste, and vent piping are inspected for leaks, proper trapping, damage, slope, supports, and prior leaks or damage.



(2) Note: You should be aware that older structures commonly have old-style sewer pipe and plumbing in general. Determination of the condition of these lines is beyond the scope of this inspection.

Recommend: A plumber equipped with a special camera that displays the condition of the piping is recommended for further evaluation.



5.4 Item 1(Picture)

5.5 WATER HEATING SYSTEM

Comments: Inspected

(1) Note: The water heater inspection includes review of: Seismic restraints, Venting, Water, gas and/or electrical connections, Safety device installations, Potential damage, tank, pipes, and stand, Proper installation, locations and that Utilities are in operation.

3622 Rheem mfr 29 gal mfr 2020 unit 3622

3620 Rheem mfr 40 gal mfr 2025 unit 3620

INFORMATIONAL- INSTALLATION REQUIREMENTS OF A WATER HEATER UNIT:

- **Standard (tank) water heaters** should be installed with required permit.
 - Installation and maintenance instructions should be left with the water heater.
 - A full open valve is required on the cold water supply.
 - Unions are required within 12 inches of the tank for service and removal purposes.
 - The (gas) ignition source is required to be 18 inches above garage floor (on an elevated stand).
 - Vehicle protection (bollards) are required in the garage area.
 - Seismic restraints are required on upper and lower thirds of tank. (A third strap is required for tanks over 50 gallon capacity).
 - Fuel fired water heaters are prohibited from interior storage closets.
 - Temperature Pressure Relief Valve should be vented to the exterior in proper metal pipe on all water heater installations.
- **Note: Tankless unit** inspection follows a slightly different protocol. If concerned, confer with a qualified, licensed contractor.



5.5 Item 1(Picture)



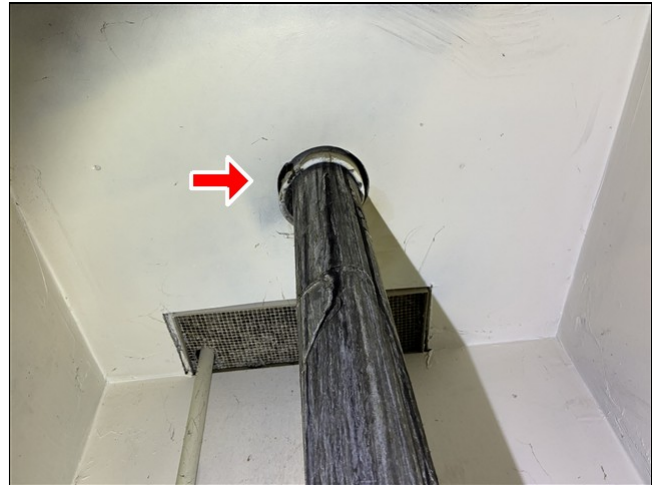
5.5 Item 2(Picture)

 (2) Issue: The water heater vent passes through a ceiling or wall with gapped thimble or spacer. This could be a fire hazard. Unit 3622.

Recommend: A qualified technician should install an approved, listed thimble or spacer.



5.5 Item 3(Picture) 3622



5.5 Item 4(Picture) Unit 3620

5.6 WATER HEATER(S) INSPECTION LIMITATIONS

Comments: Not Present

5.7 FUEL GAS SYSTEM

Comments: Inspected

Note: CSST (yellow Corrugated Stainless Steel Tubing) gas lines are found in (most) homes, connecting gas sources to the home. These are normally electrically bonded (building code) to prevent being electrically charged/damaged by (possible) home lightning strikes (rare on the west coast). The bonding (wire) is installed to prevent stray voltage from arching and creating a hole in the the CSST line, which (may) cause a gas leak and possible building fire or explosion. Typically, the bonding connection is at or near the gas manifold, (but may not always be visible to inspection). Therefore, the CSST line should be traced (by a qualified, licensed electrical contractor or gas company technician familiar with CSST) in order to verify the bonding connection. If bond is absent, one to the CSST line will be required to be installed.

5.8 GAS METER INSPECTION LIMITATIONS

Comments: Not Present

5.9 PLUMBING INSPECTION LIMITATIONS

Comments: Inspected

Note: During the inspection, we only operate the valves or faucets that are normally operated by the occupants in their daily use of the plumbing system. Be aware that we will not operate: (A) The main water supply shutoff (although we will report on its existence and location when accessible). (B) The temperature & pressure relief valve on the water heater (although we will note its existence and check its installation) (C) The water heater tank supply or drain valves. (D) Any stop valves supplying water to plumbing fixtures. (E) The laundry supply shutoff valves. - Any valve that is not operated on a daily basis may fail; that is, start leaking or dripping, when tested. If you want to know if seldom-used valves and faucets are functional, we encourage you to operate them in the presence of the seller, before escrow closing. If the seller is not available for this exercise, we recommend that you have a plumber present so that he can make any repairs or replacements.

6. Electrical

Our inspection of the electrical system included a visual examination of readily accessible components including a random sampling of electrical devices to determine adverse conditions and improper wiring methods, grounding, bonding and overcurrent protection. Performing voltage tests, load calculations or determining the adequacy of the electrical system for future usage is outside the scope of this inspection. Telephone, video, audio, security system, landscape lighting, and other low voltage wiring was not included in this inspection unless specifically noted.

Styles & Materials

Electrical Service Conductors: Overhead Service 120 - 240 volts	Circuit Protection Type: Circuit Breakers	Main Panel Location: Exterior (rear of building)
Grounding Type: Not Visible	GFCI's Installed: None Present	

Items

6.0 CLIENT INFORMATION

Comments: Inspected

(1) Main panel and circuit breakers were (unless otherwise noted) inspected for damage, proper installation, proper wire connection and gauge, and installed safety devices.

(2) Testing the function of the [main disconnect] is not in the scope of this inspection. Determining if various electrical circuits will support the use of high load appliances is beyond the scope of this inspection. Wiring devices blocked by furniture or personal goods may not be tested.

(3) Your **HOME ELECTRICAL DISCONNECT** (for safety or emergency purposes) is located in the main electrical panel on the (back) side of the building. Testing the function of the main disconnect is not in the scope of this inspection. **WARNING:** You should never remove the electrical panel inside cover (exposing the wires and breakers). This area is for a qualified, licensed electrical contractor.



6.0 Item 1(Picture)

6.1 MAIN DISTRIBUTION PANEL and CIRCUIT BREAKERS

Comments: Inspected

 (1) Issue: The seal on the electric panel is broken.

Recommend: Notify the electric utility provider. They may want to investigate this situation before replacing the seal.



6.1 Item 1(Picture)

 (2) **Note: This complex shows enough electrical issues that a qualified, licensed contractor should review the electrical system and further advise.**

Nearby fence does not allow full view of electrical panel without removing entire panel cover.

Issue: Panel circuits are not labeled. Labels help to identify which breakers control which circuits, and are important for determining which breakers to turn off when working on the system.

Recommend: The client may have an experienced handyman or a licensed electrician identify and label the circuits.

Electrical issues were observed in this building which would cause us to recommend a complete electrical system review by a qualified, licensed electrical contractor. Please refer to additional comments in this section.

Issue: There is rust or moisture inside the main service panel, indicating past or active water entry. This may become a hazard if essential parts corrode and deteriorate.

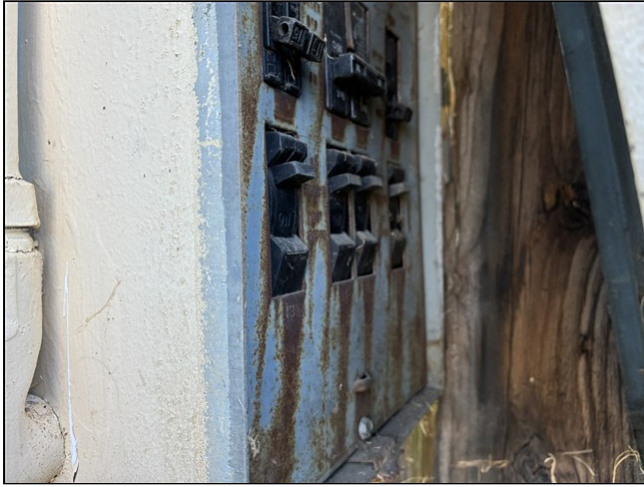
Recommend: Have a qualified, licensed electrician evaluate the panel and make any required repairs.



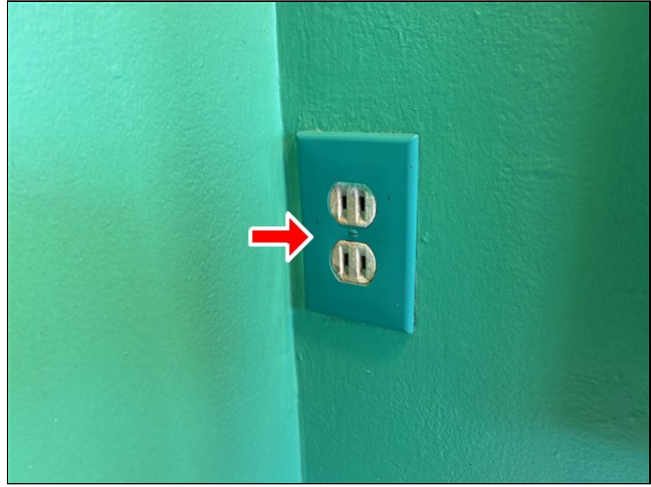
6.1 Item 2(Picture)



6.1 Item 3(Picture) Stuck panel cover



6.1 Item 4(Picture) Rusty panel



6.1 Item 5(Picture)

6.2 WIRING

Comments: Inspected

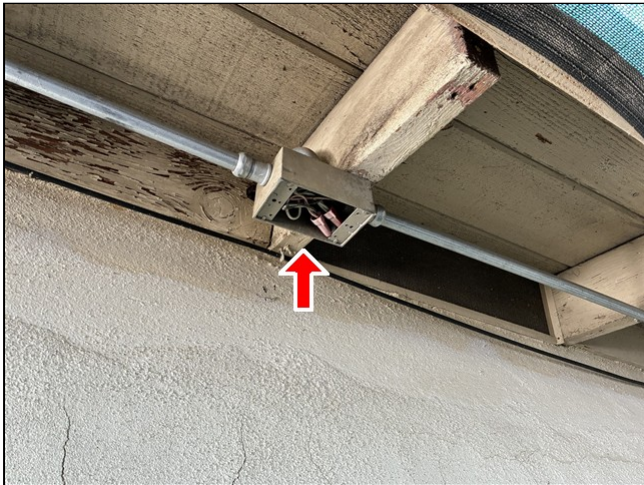
6.3 EXTERIOR RECEPTACLES, SWITCHES, and FIXTURES

Comments: Inspected



(1) Issue: A junction is noted is note without a cover plate, exposing the inside wiring. This (may) create a fire hazard. Unit 3620.

Recommend: A qualified handyman or contractor may replace cover as required.



6.3 Item 1(Picture)

 (2) Issue; The globe or cover for the light fixture at the (3620, right side)

Recommend: A proper cover should be installed.



6.3 Item 2(Picture)

6.4 INTERIOR RECEPTACLES, SWITCHES, and FIXTURES

Comments: Inspected

 (1) Issue: A garage junction box was found without a properly installed cover, exposing the inside wiring. This (may) cause a fire hazard.

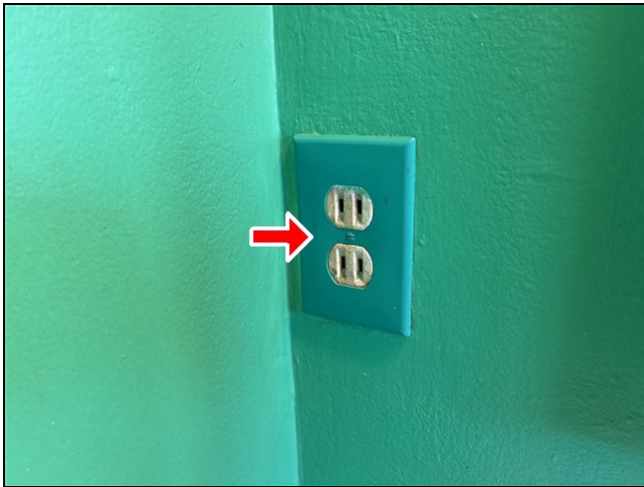
Recommend: A qualified handyman or contractor may replace cover as required.



6.4 Item 1(Picture)

 (2) Issue: This home shows two prong outlets. The electrical system in this building was installed (before) grounding was required. Properly grounded receptacles provide an increased margin of safety for the occupants and equipment.

Recommend: As a safety precaution, we recommend a qualified, licensed electrician replace the current two-prong ungrounded receptacles with grounded three-prong outlets.



6.4 Item 2(Picture)

6.5 SERVICE ENTRANCE CONDUCTORS and EQUIPMENT

Comments: Inspected

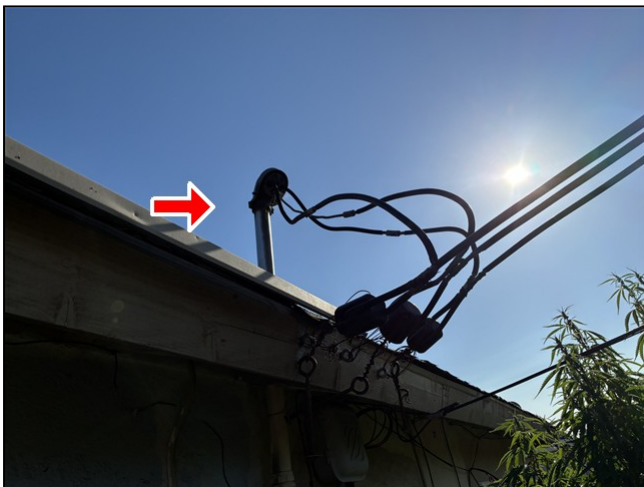
 Service entrance conductors were inspected for proper connections, insulation, and installation where visible and accessible.

Issue: The electrical service conductors are too low over grade (less than 10 feet). Electrical issues are considered a hazard until repaired.

Recommend: Further evaluation by a qualified, licensed electrician who can make repairs as needed.

Issue: Splices between the overhead service drop conductors and the service entrance conductors from the mast are exposed and / or the insulation is gapped. This is contrary to industry standards.

Recommend: Electric utility company should review and properly insulate the exposed splices.



6.5 Item 1(Picture)



6.5 Item 2(Picture)

6.6 GFCI CONDITIONS (GROUND FAULT CIRCUIT INTERRUPTERS)

Comments: Inspected



Issue: For purposes of safety, a GFCI receptacle/protection (currently missing), should be present at: Kitchen, bathroom, laundry, garage. Newer construction industry standards call for GFCI receptacle/protection be installed at possible moisture affected locations. These locations would include the kitchen, bathroom, laundry, garage, attic, and building exteriors. If a home has been remodeled (with normal permits), proper building standards would also apply. The room(s) should be updated with GFCI outlets. **(This is a safety Issue).**

Recommend: A qualified, licensed contractor should install GFCI protection at the noted location(s).

GFCI outlets are required at 15 amp / 20 amp / 125 volt receptacles, within a 6 foot arc of sinks, bath tub, showers, and in the laundry area of the home. Additionally, GFCI receptacles must be "readily accessible," (able to be reached and used with ease).

6.7 SUB PANEL(S)

Comments: Not Present

6.8 AFCI CONDITIONS (ARC FAULT CIRCUIT INTERRUPTERS)

Comments: Not Present

6.9 ELECTRICAL INSPECTION LIMITATIONS

Comments: Not Present

6.10 new inspection item

Comments: Not Present

7. Heating and Cooling

Our inspection of the heating and cooling system included a visual examination of the system's major components to determine defects, excessive wear, and general state of repair. Weather permitting, our inspection of a heating or cooling system includes activating it via the thermostat and checking for appropriate temperature response. Our inspection does not include disassembly of the furnace; therefore heat exchangers are not included in the scope of this inspection. Ceiling fans are not typically inspected as they are not within the scope of the inspection.

Styles & Materials

Heat Type:	Heater Energy Source:	Heat System Location(s):
Wall Heater(s)	Natural Gas	Living Room
Heat Source in Each Room:	Cooling Equipment Type:	
No	None	
	Extra Info : Window units, not inspected per contract	

Items

7.0 CLIENT INFORMATION

Comments: Inspected

(1) Note: There may be conditions/evidence within the combined heating and air conditioning system that warrant further investigation of the system. **If such evidence is found, we will recommend that a qualified professional HVAC technician, prior to the close of escrow, conduct a normal service and test of the complete HVAC system.**

PLEASE NOTE: **Carefully read the Heating and Cooling Systems sections of this report. Failure to heed an inspectors recommendation to have (further) inspection by a qualified, licensed HVAC professional prior to the close of escrow (may) cause a Warranty Company to void protection/coverage, due to "pre-existing" conditions. Speak to your Building Warranty company representative for further information.**

(2) **On January 1, 2010**, the Environmental Protection Agency (EPA) implemented a ban on the production and import of R22, except for continuing servicing needs of existing equipment.¹ The EPA also banned the manufacture and installation of new R22 AC or heat pump systems.² As a result, manufacturers of AC and heat pump equipment redesigned their systems to accommodate R410A, a chlorine-free refrigerant.

If your AC or heat pump was built and installed before January 1, 2010, there's a good chance that it uses R22 refrigerant. Your equipment may have a label that identifies the type of refrigerant type used, but it's a good idea to ask your licensed professional AC or heat pump dealer for confirmation.

(3) Inspecting wall or window mounted AC units is beyond the scope of the inspection and therefore no assessment of its functionality is made.



7.0 Item 1(Picture)

7.1 HEATING SYSTEM(S)

Comments: Inspected



Issue: Both units have wall heaters in need of maintenance, repairs. There is dirt, rust and scale on the top of the burners. This can prevent our ability to observe the burners or possible heat exchanger holes or cracks. Rust accumulations that cover burners affect their operation.

Recommend: A qualified technician should thoroughly clean and adjust the burners and their orifices BEFORE escrow closing. Both units.

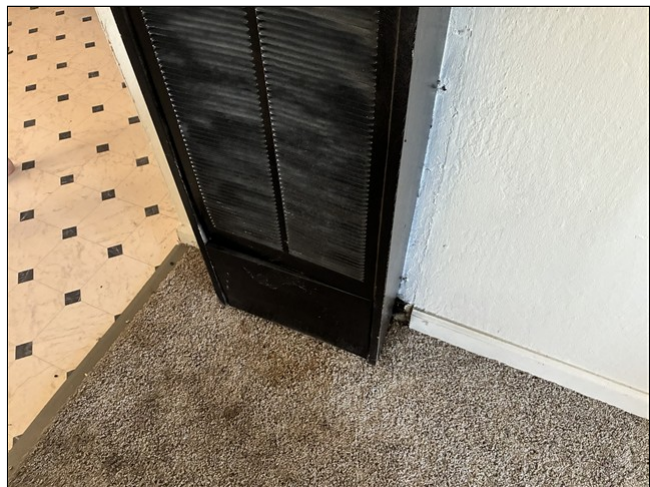
Issue: The wall heaters are quite dirty.

Recommend: The wall heater should be properly cleaned by a qualified HVAC technician.

Wall heater not operational unit 3622. Wall heaters are operational unit 3620



7.1 Item 1(Picture)



7.1 Item 2(Picture) Wall heater 3620

7.2 COOLING SYSTEM(S)

Comments: Inspected

Cooling system (when the utilities are on and the exterior temperature is above 59 degrees), is tested for proper operation using normal operator controls, equipment locations and service platforms, and is examined for damage to equipment.

7.3 DISTRIBUTION SYSTEM(S)

Comments: Inspected

If system is operational, the distribution systems is inspected for damage, leaks, proper installation of components, and potential damage. Only accessible areas are inspected.

7.4 HEATING - COOLING - HEAT PUMP LIMITATIONS

Comments: Not Present

7.5 EVAPORATIVE COOLER

Comments: Not Present

7.6 A-C SYSTEM(S) TO SMALL

Comments: Not Present

8. Attic

Our inspection of the readily accessible areas of the attic included a visual examination to determine any signs of defects, excessive wear, and general state of repair. When low clearance, framing design or obstructions, deep insulation and mechanical components prohibit walking safely in an unfinished attic, inspection is conducted from the available service platforms or access openings only.

Styles & Materials

Attic Insulation:	Attic Ventilation:
Blown	Passive
Cellulose	Passive Vents in Field of Roof
Approximately 6" Depth	Soffit Vents

Items

8.0 CLIENT INFORMATION

Comments: Inspected

8.1 ATTIC ACCESS and GENERAL CONDITIONS

Comments: Inspected

 Information Note: Asbestos pipe (vent) is found in the attic space. While its current use or presence causes no major concern, it is when re-modeling of a home occurs that the pipe may be broken and cause asbestos dust to become airborne.

Recommend: If the home is to be re-modelled, a qualified, licenced contractor familiar with asbestos product removal should be made available for this work/issue. If concerned, consult further with a qualified, licensed contractor prior tot he close of escrow.



8.1 Item 1(Picture)

8.2 ATTIC MOISTURE and VENTILATION

Comments: Inspected

 Issue: We note evidence of (past) water staining at roof sheathing/members. Stain(s) may also have occurred around a penetration (plumbing vent, roof vent) through the roof surface. While we see no active leaks, the area(s) should be monitored.

Recommend: If concerned, a qualified roofing contractor could review and further advise.



8.2 Item 1(Picture)

8.3 ATTIC INSULATION

Comments: Inspected

8.4 ATTIC INSPECTION LIMITATIONS

Comments: Inspected

 Note: We are not able to completely access areas of the attic nearest to the roof perimeter due to low headroom, or areas that may have been blocked by ducts, roof structural members, or that offer unsafe conditions to the inspector. Further evaluation may be advised if the client has concerns about these areas.

9. Garage

Our inspection of the garage included a visual examination of the readily accessible portions of the walls, ceilings, floors, vehicle and personnel doors, steps and stairways, fire resistive barriers, garage door openers and hardware if applicable.

Styles & Materials

Garage Door Type:

Two manual

Items

9.0 CLIENT INFORMATION

Comments: Inspected

9.1 GARAGE DOOR(S) and OPENER(S)

Comments: Inspected

Manual operation door.



9.1 Item 1(Picture)

9.2 FIRE WALL and PASSAGE DOOR

Comments: Inspected

9.3 GARAGE WALLS

Comments: Inspected

 Issue: There are water stains on the walls. However, we found no sign of active leaks.

Recommend: If additional staining develops, the source of the leak(s) should be identified and repairs performed as necessary. Preparing and refinishing the surface could restore its appearance.



9.3 Item 1(Picture)

9.4 GARAGE FLOOR

Comments: Inspected

9.5 GARAGE CEILINGS

Comments: Inspected

9.6 GARAGE FRAMING

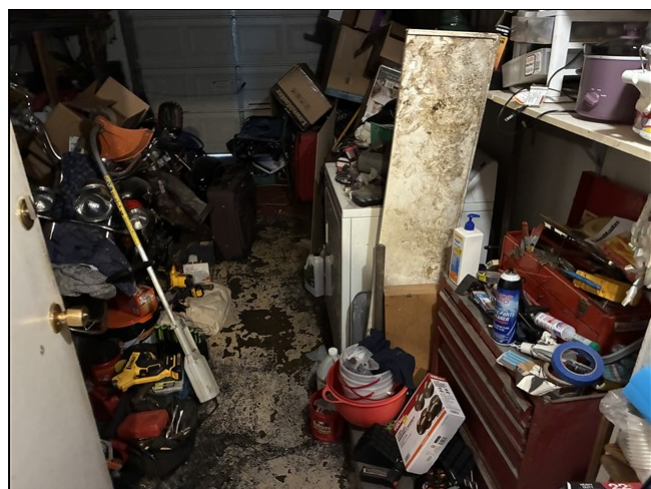
Comments: Not Inspected

9.7 GARAGE INSPECTION LIMITATIONS

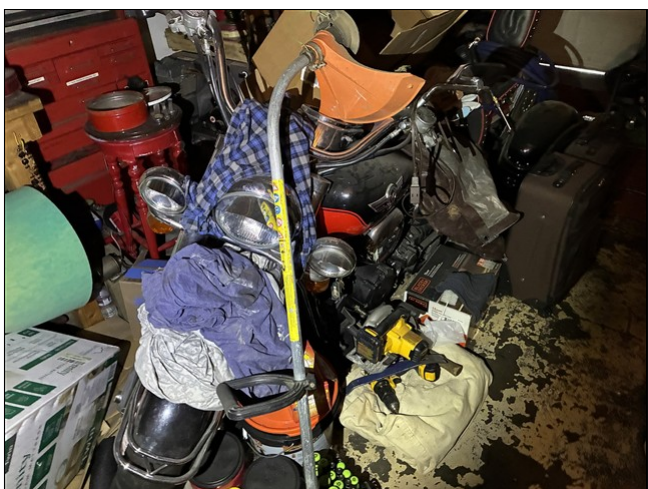
Comments: Inspected

 Issue: Personal belongings prevented full access to the garage at the time of this inspection.

Recommend: A walk-through is recommended when the area is cleared and accessible.



9.7 Item 1(Picture)



9.7 Item 2(Picture)

10. Interiors

Our inspection of the interior included a visual examination for structural and safety deficiencies. Please note that only a representative sample of accessible components was inspected.

Styles & Materials

Smoke Detectors Present:

Yes

Number of Fireplaces:

None

Items

10.0 CLIENT INFORMATION

Comments: Inspected

10.1 CEILINGS and WALLS

Comments: Inspected

 Issue: There is a large wall crack(s) in the bathroom wall (unit 3620)..

Recommend: A qualified technician could make repairs or modifications as necessary.



10.1 Item 1(Picture) Behind bathroom door

10.2 FLOORS

Comments: Inspected

10.3 WINDOWS

Comments: Inspected

 Issue: Condensation, staining, dust crystals, or droplets are present between the panes of one or more insulated glass windows in the home. This suggests a failure of the factory seal between the twin pieces of glass. While this does not effect the water tight integrity of the window, it creates a visual defect and lessens the windows energy efficiency.

Recommend: If concerned, we recommend a qualified, licenced window contractor could check any affected windows and further advise you as to repair or replacement of affected windows.



10.3 Item 1(Picture) Unit 3622

10.4 DOORS AND CLOSETS

Comments: Inspected
 (1) Issue: Hardware is missing or has been removed from the garage entry door(s). We recommend all loose or missing hardware should be repaired or replaced.

Recommend: A qualified handyman may do this work.



10.4 Item 1(Picture)



10.4 Item 2(Picture)

 (2) Issue: A doorway in the bathroom is damaged or deteriorated.

Recommend: Doorway should be repaired, refinished as necessary.



10.4 Item 3(Picture)



10.4 Item 4(Picture)

10.5 FIREPLACE(S) & CHIMNEY(S)

Comments: Not Present

10.6 STAIRWAY(S) AND RAILING(S)

Comments: Not Present

10.7 SMOKE DETECTOR(S)

Comments: Inspected

 (1) Note: Units 3622-20: The **smoke detector(s)** (when present) are inspected for presence and location only. The latest standards require that hard-wired smoke detectors be installed in all bedrooms at the time of construction, or if any significant remodeling is done, or (in some jurisdictions) when the residence is sold. Smoke detectors should be installed **1)** just inside each bedroom above the door frame, **2)** in each hallway leading to sleeping quarters, and **3)** on each floor if a multi-story home. For future reference, testing with only the built-in test button verifies proper battery and horn function, but does not test the smoke sensor.

Issue: A smoke detector(s) was not installed in all the bedrooms at the time of the inspection. (Safety issue). The latest standards require that smoke detectors be installed in all bedrooms at the time of construction, or if any significant remodeling is done, or (in some jurisdictions) when the residence is sold.

Recommend: Whether or not installation is required, we recommend that smoke detectors be installed per modern standards.

 (2) Note: If the smoke detectors appear to be old or "yellowed" in color, replacement should be considered. The age of a detector can often be determined by looking for a date on it's back side. The National Fire Protection Agency recommends replacing smoke detectors every 10 years. When replacing wired smoke alarms it's suggested they be of the same brand or it may be possible that the alarm won't sound.

We advise replacing all smoke alarms at the same time

10.8 CARBON MONOXIDE DETECTOR(S)

Comments: Inspected



NOTE: Effective July 1, 2011 carbon monoxide detectors are required to be installed in California dwelling units that have fossil fuel burning appliances, and/or have an attached garage.

DISCLOSURE: We did NOT (observe) an installed carbon monoxide detector at the time of the inspection. We recommend that at least one detector per level be installed and its proper operation verified.

10.9 SKYLIGHT(S)

Comments: Not Present

10.10 WHOLE HOUSE FAN

Comments: Not Present

10.11 INTERIOR INSPECTION LIMITATIONS

Comments: Inspected



Access impaired. Several areas of the house noted to be impaired from inspection due to owners/building possessions. Only readily accessible areas were inspected.

A walk-through is recommended when the area is cleared and accessible.

11. Kitchen

Our inspection of the kitchen included a visual examination of the readily accessible components to determine defects, excessive wear, and general state of repair. We tested basic, major built-in appliances using normal operating controls. Accuracy and/or function of clocks, timers, temperature controls and self cleaning functions on ovens is beyond the scope of our testing procedure. Refrigerators or other appliances were not tested or inspected unless specifically noted.

Styles & Materials

Cooking Fuel:
Electric

Items

11.0 CLIENT INFORMATION

Comments: Inspected
(1) Confirming the accuracy and function of clocks, timers, temperature controls and the self-cleaning function of ovens is beyond the scope of this inspection.
(2) Water filtration systems (if installed) are checked for water flow and leakage only. Testing for water quality is beyond the scope of this inspection.

11.1 RANGE(S), OVEN(S), and COOKTOP(S)

Comments: Inspected
Range, oven, and cooktop(s), if present, are tested for operability using normal operator controls. 3622.



11.1 Item 1(Picture) 3622



11.1 Item 2(Picture) 3622



11.1 Item 3(Picture) 3622



11.1 Item 4(Picture) Unit appears un-used



11.1 Item 5(Picture) 3620

11.2 SINK(S) and GROUT/CAULKING

Comments: Inspected

Sink(s) were tested to determine operability, check for leaks, look for damage and deterioration.

11.3 COUNTERTOP and CABINETRY

Comments: Inspected

(1) Counters and counter tops were inspected for damage, deterioration, operability, and functionality.



(2) Note: Hole noted under sink. This (may) allow pests into home.

Recommend: A qualified handyman should review and seal as needed.



11.3 Item 1(Picture) 3622

11.4 WASTE DISPOSAL(S)

Comments: Inspected

(1) Waste disposal (if present) is inspected for proper wiring, connections, and operability.



11.4 Item 1(Picture) 3620



(2) Issue: The garbage disposal did not respond to normal user controls. 3622.

Recommend: A qualified appliance technician should review and repair or replace the disposal as needed.



11.4 Item 2(Picture)

11.5 DISHWASHER(S)

Comments: Not Present

Note: Dishwasher limitations. The dishwasher (if present) is visually inspected for leaks, corrosion, proper under-cabinet anchor installation and limited operation. Inspection of water connections may not be visible and are beyond the scope of this inspection. The system may be run on a "rinse" cycle only to monitor (limited) function, as we do not have time to monitor a full cycle.

Recommend: If a more complete inspection of the dishwasher system is desired, a professional appliance technician may be asked to review this system for proper plumbing connections, function, and installation.

11.6 BUILT-IN MICROWAVE

Comments: Not Present

Built in microwave (if present) is inspected for proper installation and operation. Note: We do not test for microwave leakage.

Recommend: If concerned, a qualified, licensed appliance technician may examine and further advise.

11.7 RANGE HOOD/EXHAUST

Comments: Not Present
Range hood / exhaust (when present) is inspected for proper installation and operation.

11.8 REFRIGERATOR

Comments: Inspected
IMPORTANT NOTICE: The refrigerator unit if present) is examined for normal function (cooling and inner compartment lighting) and physical condition. However, per our Standards of Practice, and due to possible damage to floor surfaces or wall mounted water fittings, we are unable to move the refrigerator for further examination (behind) the unit. We cannot be held responsible for inspection of areas of the building where we do not have ready, visible access. Additionally, the refrigerator ice maker unit operation is not tested / inspected and is beyond the scope of this inspection.

Lights did not operating in unit. 3620.

Recommendation: If you are concerned, we recommend you have a professional appliance technician move the unit for further examination of plumbing fittings, wall, and floor conditions.



11.8 Item 1(Picture)



11.8 Item 2(Picture) 3620

11.9 TRASH COMPACTOR

Comments: Not Present

11.10 KITCHEN INSPECTION LIMITATIONS

Comments: Not Present

Issue: Stored personal items blocked our access to the area in and under the sink in the kitchen. units 3622-20.

Recommend: After the stored items have been removed, this area should be inspected.



11.10 Item 1(Picture)



11.10 Item 2(Picture)

12. Bathrooms

Our inspection of the bathrooms included a visual examination to determine if there were any active leaks, water damage, deterioration to floors and walls, proper function of components, excessive or unusual wear and general state of repair. Bathroom fixtures are run simultaneously to check for adequate water pressure and volume. Unusual bath features like steam generators or saunas are not inspected unless specifically discussed in this report.

Styles & Materials

Bathroom Ventilation:

Window

Items

12.0 CLIENT INFORMATION

Comments: Inspected

12.1 WASH BASIN(S)

Comments: Inspected

12.2 COUNTERTOP and CABINETRY

Comments: Inspected

12.3 SHOWER WALLS and ENCLOSURE

Comments: Inspected

 Issue: The window inside the shower area is set low where water from the shower nozzle may collect on the window sill. While we see no evidence of damage at this time, this setting may allow / cause a leak and window / wall damage.

Recommend: Review by a qualified contractor who may further advise.



12.3 Item 1(Picture)

12.4 BATHROOM FLOOR

Comments: Inspected

12.5 BATHTUB(S)

Comments: Inspected

-  (1) The bathtub drain stop and/or related parts are missing. Noted at the hallway bathroom

Recommend: A qualified technician could make repairs or modifications as necessary.



12.5 Item 1(Picture)

-  (2) The water diverter valve for tub - shower choice is deteriorated/not working properly. 3622.

Recommend: A qualified handyman review and repair/replace as needed.



12.5 Item 2(Picture)

12.6 TOILET(S)

Comments: Inspected

12.7 BATHROOM VENTILATION

Comments: Inspected



Issue: The vent pipe in the attic for the hallway bathroom exhaust fan is loose or has become disconnected from the vent hood to the exterior. This can allow moisture from the bathroom to enter the attic and cause deterioration of the structure. Unit 3620.

Recommend: The vent pipe should be properly connected to the vent hood by a qualified technician.



12.7 Item 1(Picture)

12.8 JETTED TUB

Comments: Not Present

12.9 ACCESSORIES

Comments: Not Present

12.10 BIDET

Comments: Not Present

13. Laundry

Testing of clothes washers, dryers, water valves and drains are not within the scope of this inspection. We inspect the general condition and accessibility of the visible water supply, drain and electric and/or gas connections and visible portions of the dryer vent. If present, laundry sink features will be inspected.

Styles & Materials

Dryer connections:

Electric

Items

13.0 CLIENT INFORMATION

Comments: Inspected

13.1 CLOTHES WASHER and DRYER HOOK-UPS

Comments: Inspected

Note: 1) The clothes washer drain and hot/cold water sources were not tested. It is beyond the scope of this inspection. 2) Due to The placement of laundry appliances, the wall and plumbing behind the units are not easily accessible nor visible for inspection. It is beyond the scope of this inspector to move appliances.

Recommend: If concerned, 1) have the owner demonstrate the function of the drain prior to the close of escrow. 2) If further concerned, we recommend a qualified appliance tech or handyman (carefully) move the units for further inspection prior to the close of escrow.



13.1 Item 1(Picture)



13.1 Item 2(Picture)

13.2 LAUNDRY AREA VENTILATION

Comments: Inspected

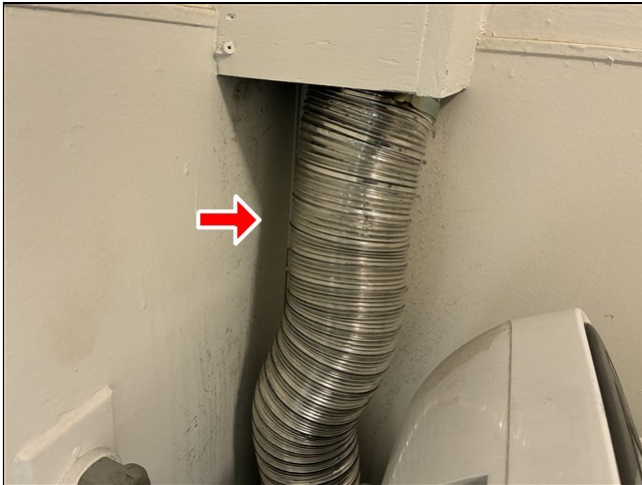
13.3 DRYER VENT

Comments: Inspected



(1) Issue: The dryer vent should be kept clear of lint and other debris to ensure proper function. A vent clogged with debris or lint will decrease the efficiency of the dryer, and is a fire hazard.

Warning: The building should never be left unoccupied when the dryer is in use.



13.3 Item 1(Picture)



(2) Issue: The dryer vent back-draft damper is missing/damaged at its termination. Pests could enter the duct.

Recommend: The back draft damper should be repaired/replaced by a qualified technician.



13.3 Item 2(Picture) 3620

13.4 LAUNDRY TUB

Comments: Not Present

13.5 LAUNDRY APPLIANCES

Comments: Not Inspected



Note: Due to the time frame required for complete testing, Inspection of the installed laundry appliances are not within in the scope of this inspection.

13.6 LAUNDRY APPLIANCES and PLUMBING INSPECTION LIMITATIONS

Comments: Not Present