

MIXED USE MULTIFAMILY/COMMERCIAL FOR SALE
BALLANTYNE CONDOMINIUMS
120 BALLANTYNE STREET, EL CAJON, CA 92020



OFFERING MEMORANDUM

810 Jamacha Road, Suite 102
El Cajon, CA 92019



Each Office Independently Owned and Operated

BEN AMEEN
Broker Associate
(619) 840-6692
bensdcommercial@gmail.com
BRE# 01999481

EXECUTIVE SUMMARY

120 BALLANTYNE STREET



Ballantyne Condominiums is a newly constructed mixed-use asset ideally located in the heart of downtown El Cajon, within walking distance of Magnolia entertainment venue, popular restaurants, shopping, and local amenities.

The property consists of eight residential condominium units and two ground-floor retail/office suites, including:

- Four (4) spacious 2-bedroom, 2.5-bath units
- Two (2) 1-bedroom plus study, 1.5-bath units
- Two (2) 1-bedroom, 1.5-bath units
- Two (2) street-level retail spaces

OFFERING SUMMARY

PRICE: \$3,950,000

BUILDING SF: 10,950

PRICE / SF: \$360

NOI: \$169,014

CAP RATE: 4.27

OCCUPANCY: 100%

LOT SIZE: 7,663 SF

NUMBER OF UNITS 8 Plus 2- Offices

PARKING: 15

INVESTMENT OVERVIEW

Each residential unit is equipped with in-unit washer and dryer, individual HVAC systems, and secure gated covered parking.

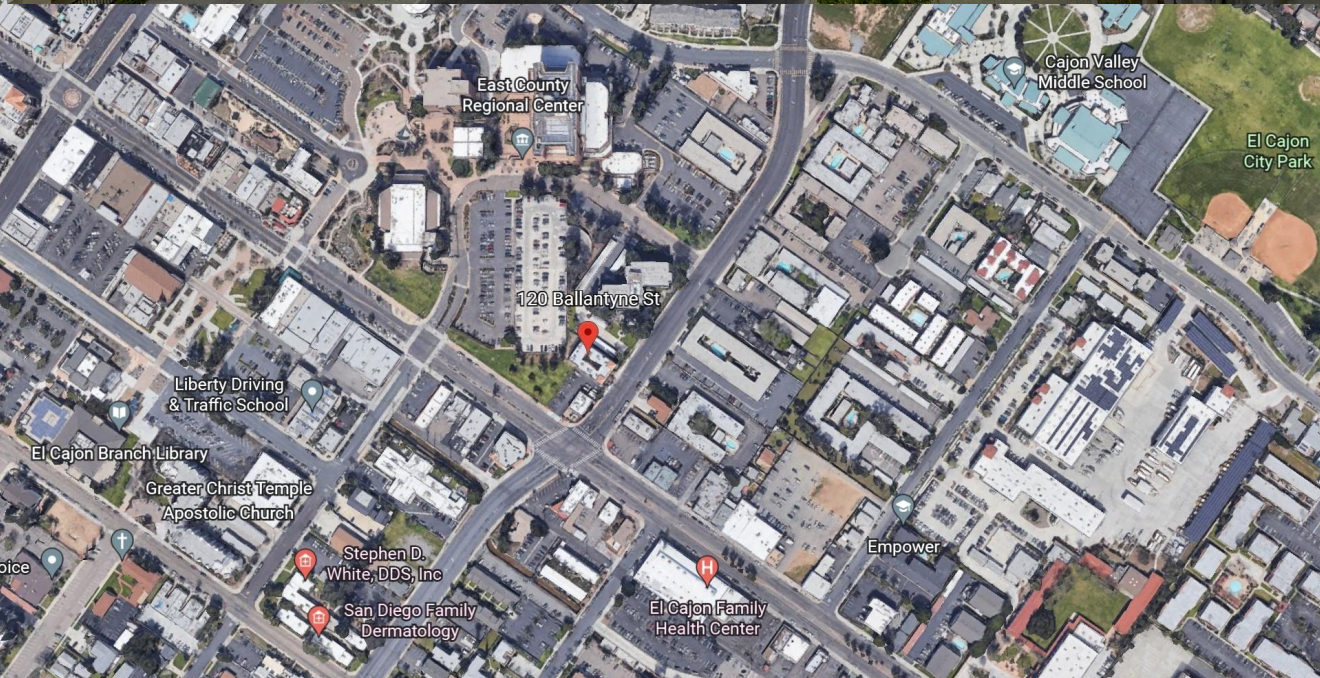
The property is currently 100% occupied, with all residential tenants on month-to-month leases, providing a new owner with the flexibility to implement immediate rental increases and maximize income potential.

This turnkey investment is strategically positioned to benefit from the continued growth and revitalization of the East County submarket. A unique value-add opportunity exists for a buyer to complete the HOA formation process and pursue the sale of individual condominium units, potentially unlocking significant additional value.

As a rare newer-construction asset, Ballantyne Condominiums offers low maintenance requirements, modern amenities, and strong long-term investment fundamentals.

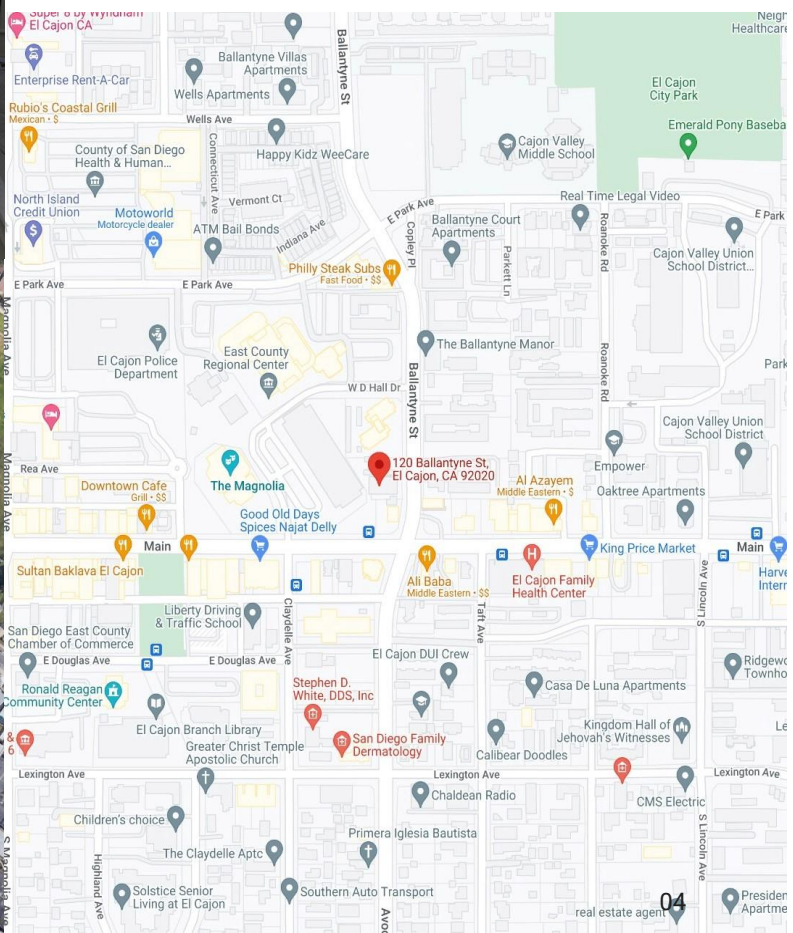
LOCATION & HIGHLIGHTS

120 BALLANTYNE STREET



PROPERTY HIGHLIGHTS

- Rare Newer Construction built 2019
- Low Maintenance/Repair Requirements
- Month-To-Month Leases Offer Opportunity for Increases
- Large Units Located in the Heart of El Cajon
- Washer & Dryer in Each Unit
- Turn-Key Investment



PROPERTY PHOTOS

120 BALLANTYNE STREET



PROPERTY PHOTOS

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PROPERTY PHOTOS

120 BALLANTYNE STREET



FLOOR PLAN

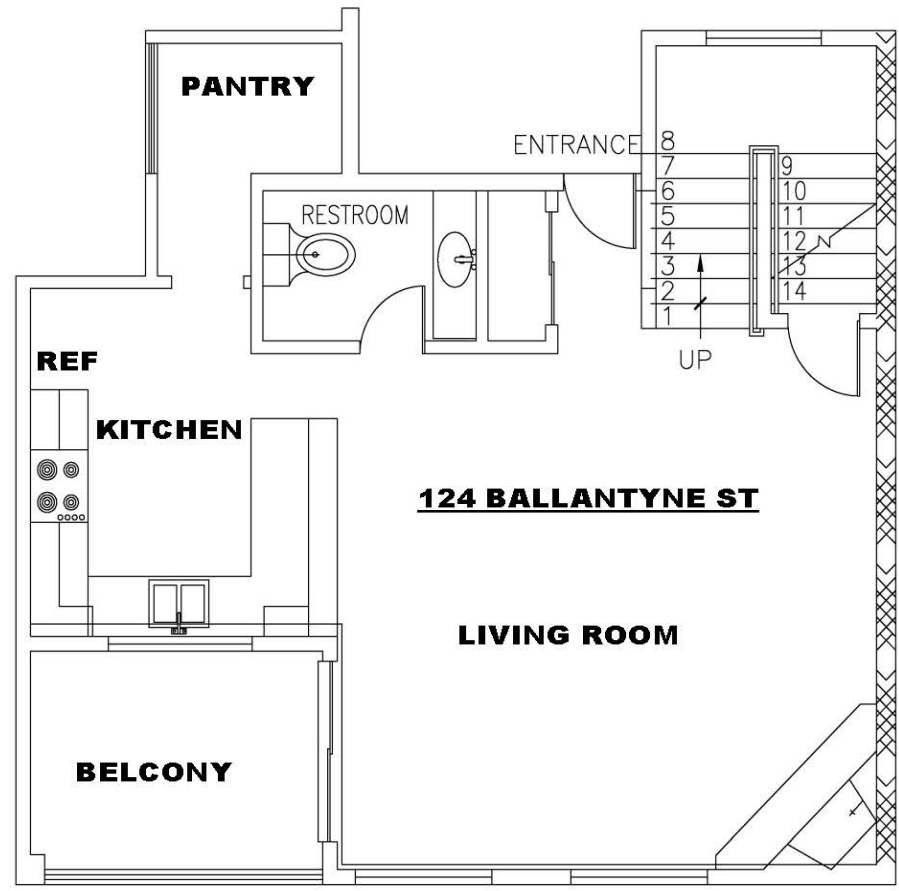
120 BALLANTYNE STREET



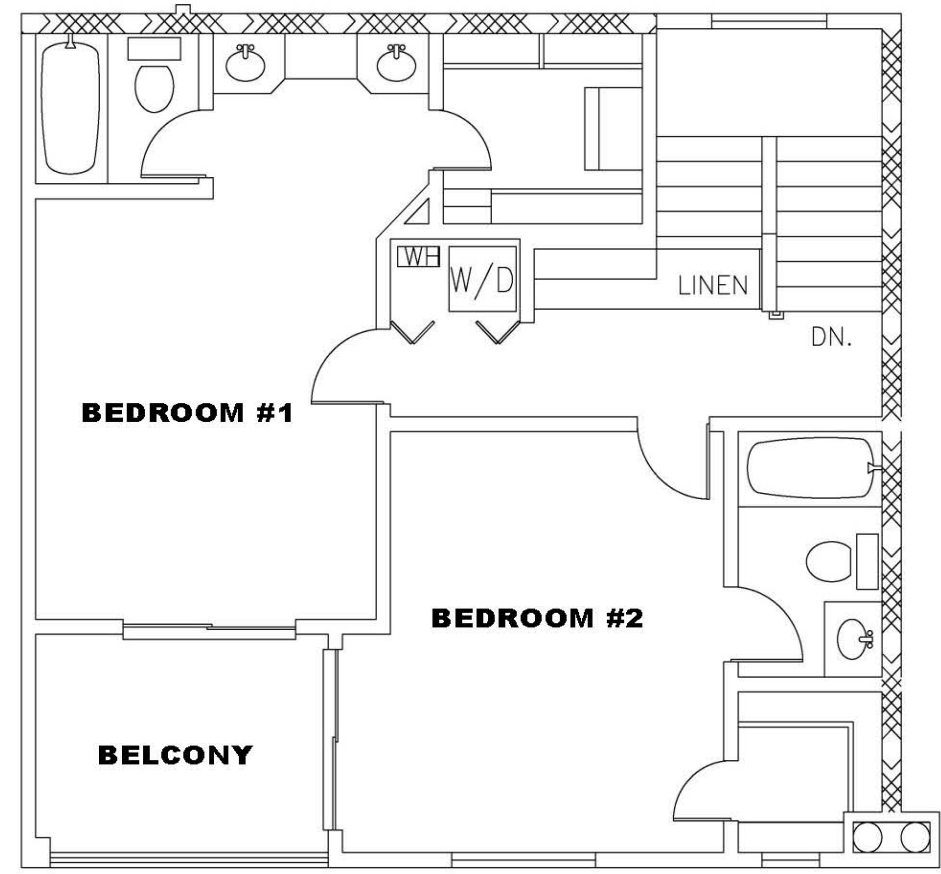
120 Ballantyne St, El Cajon, CA 92020

Plan 1

2 Bedroom ~ 2.5 Baths ~ 1,521 SF



LEVEL 1



LEVEL 2

FLOOR PLAN

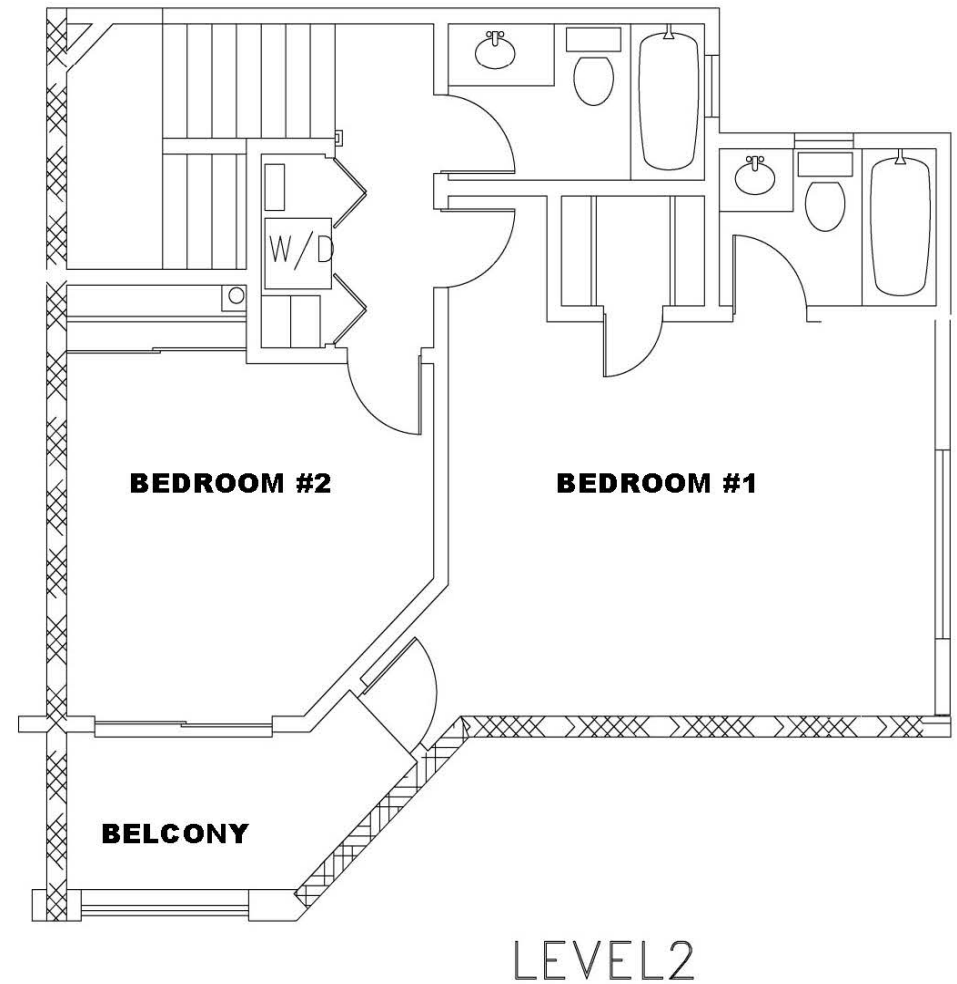
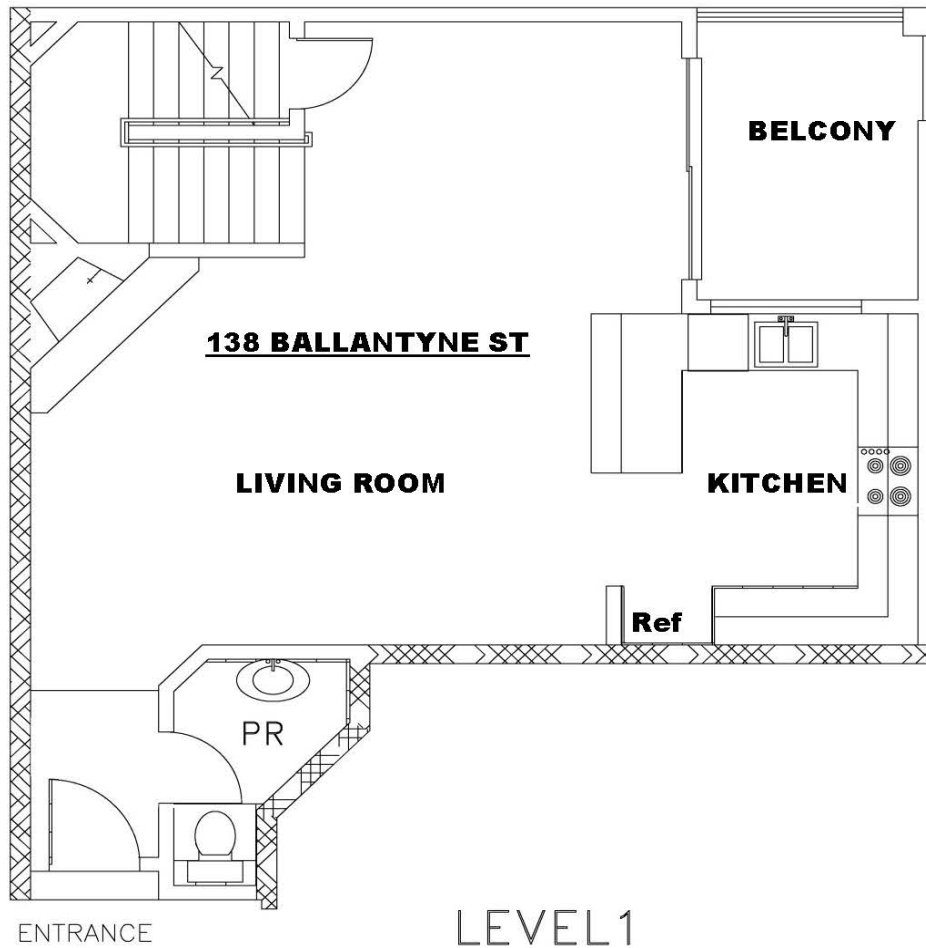
120 BALLANTYNE STREET



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Plan 2

2 Bedroom ~ 2.5 Bets ~ 1387 SF



PROPERTY PHOTOS

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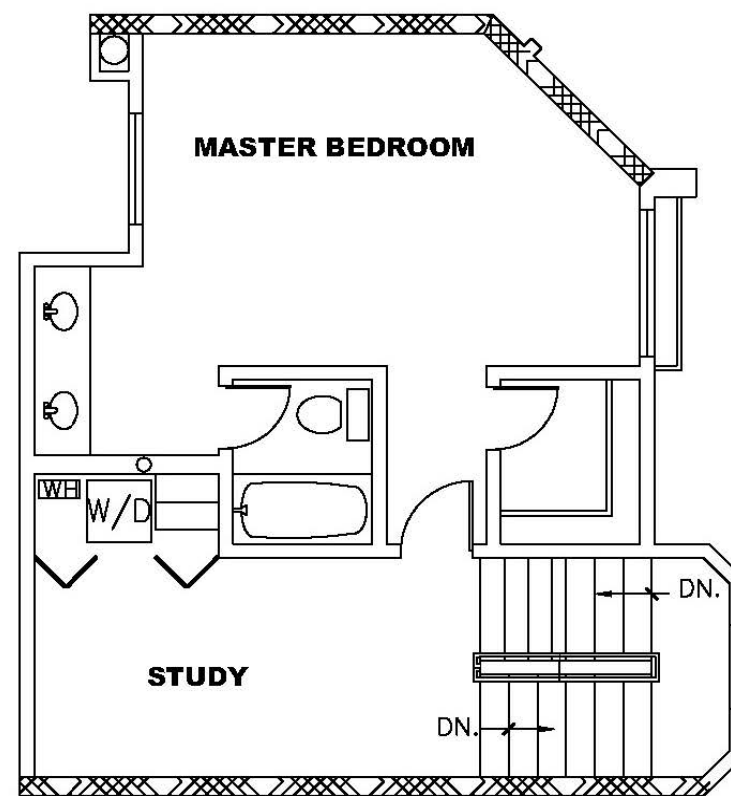
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Plan 3

1 Bedroom + Study ~ 1.5 Bets ~ 1,167 SF



LEVEL 1

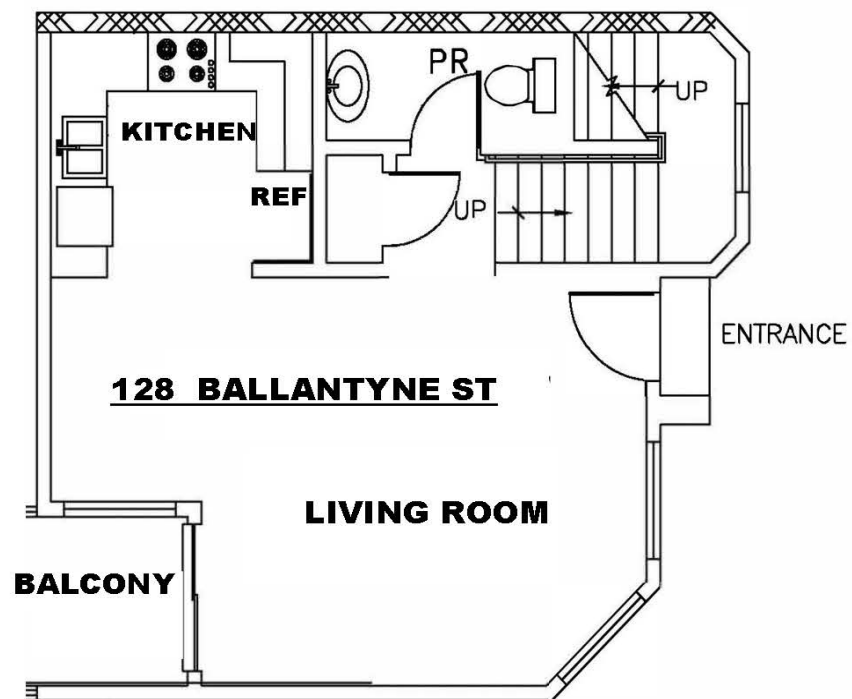


LEVEL 2

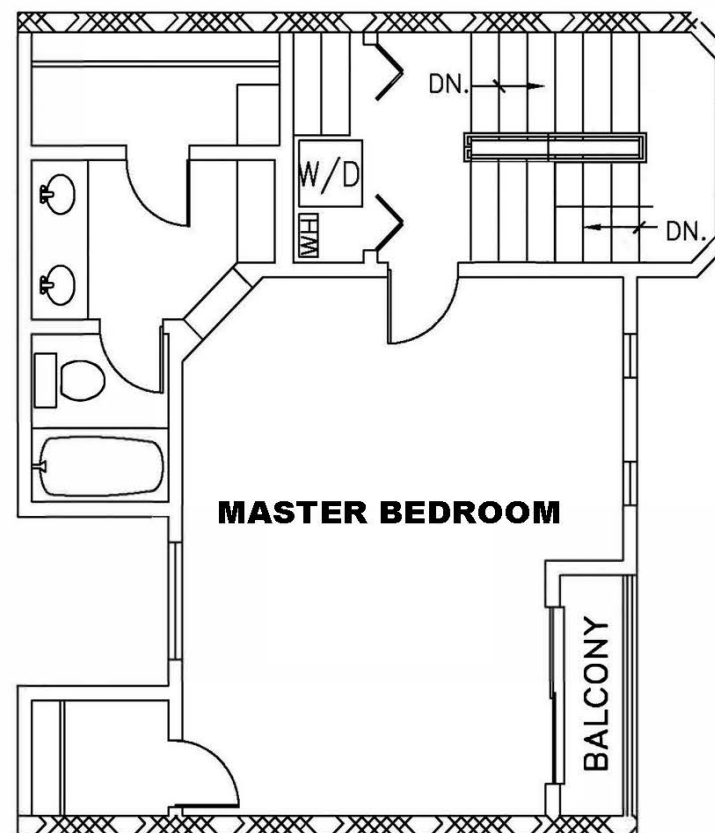


Plan 4

1 Bedroom ~ 1.5 Baths ~ 1,100 SF



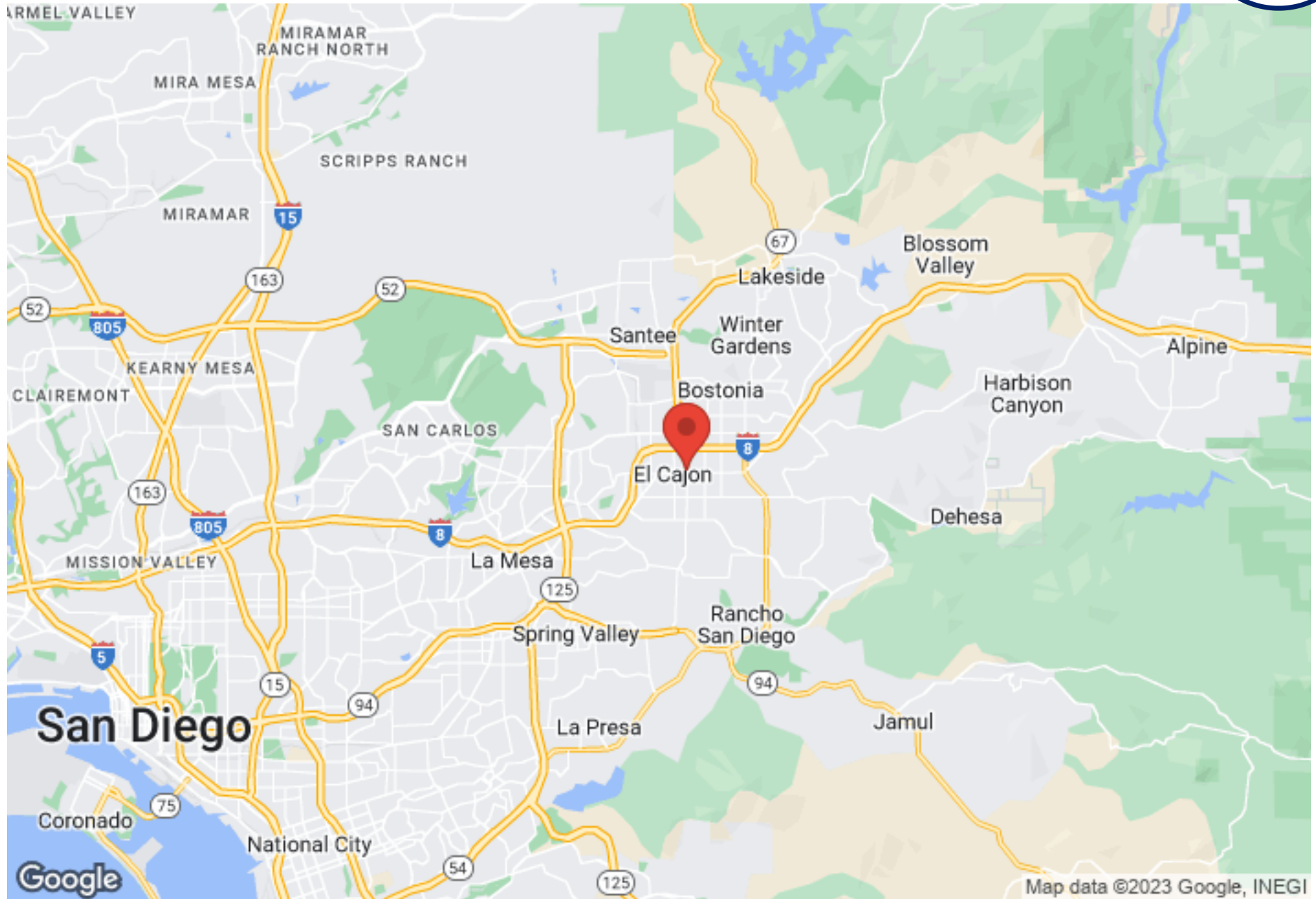
LEVEL 1



LEVEL 2

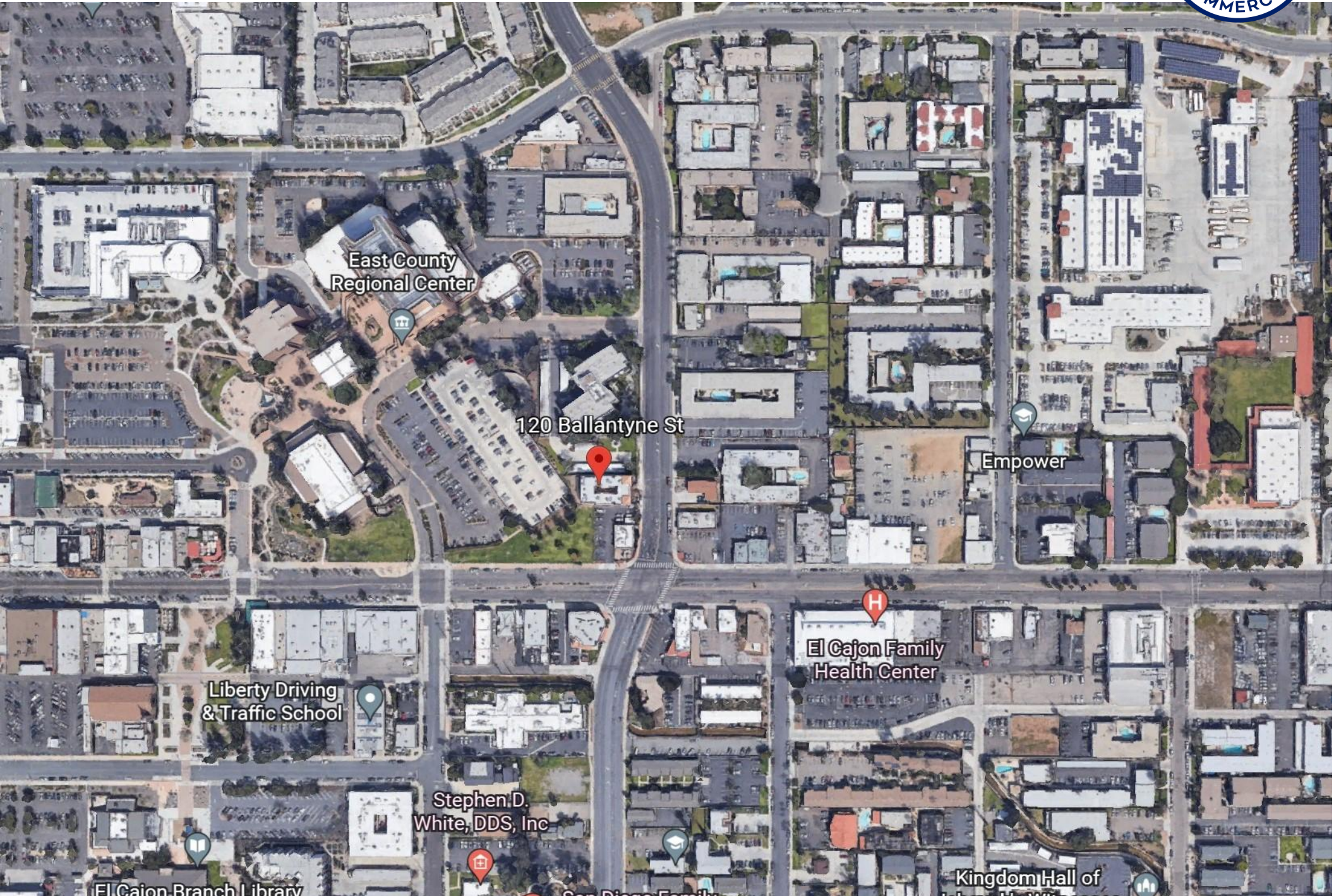
REGIONAL MAP

120 BALLANTYNE STREET



AERIAL MAP

120 BALLANTYNE STREET



East County Regional Center

120 Ballantyne St

Empower

Liberty Driving & Traffic School

El Cajon Family Health Center

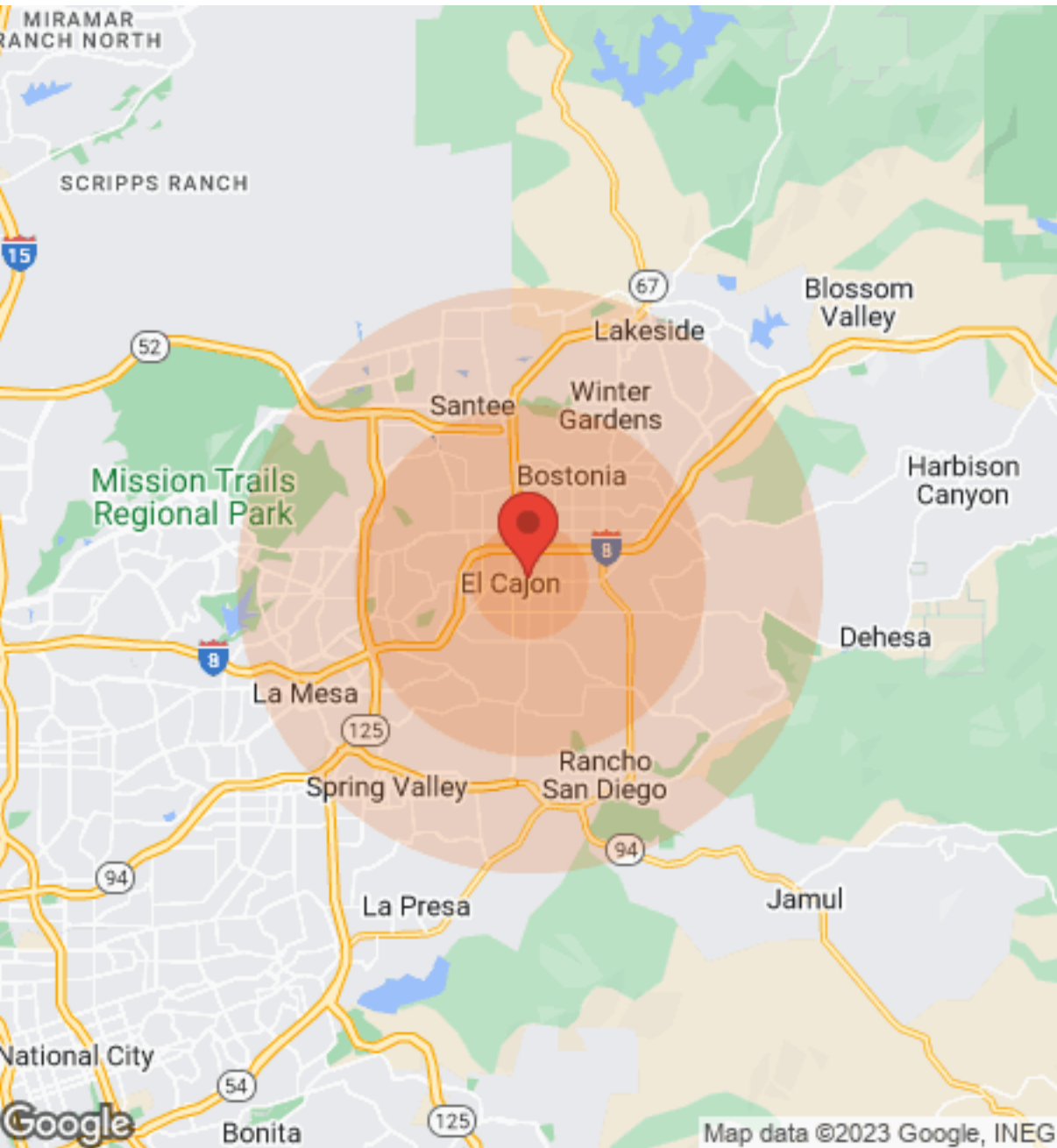
Stephen D. White, DDS, Inc

El Cajon Branch Library

Kingdom Hall of the Church of Jesus Christ of Latter-day Saints

DEMOGRAPHICS

120 BALLANTYNE STREET



Population	1 Mile	3 Miles	5 Miles
Male	20,547	75,982	158,639
Female	21,184	76,984	163,896
Total Population	41,731	152,966	322,535

Age	1 Mile	3 Miles	5 Miles
Ages 0-14	9,912	31,743	63,642
Ages 15-24	6,055	20,432	41,154
Ages 55-64	3,600	16,961	38,587
Ages 65+	3,810	22,166	50,167

Race	1 Mile	3 Miles	5 Miles
White	24,858	112,452	247,011
Black	3,400	7,067	14,246
Am In/AK Nat	166	389	701
Hawaiian	139	262	487
Hispanic	16,944	42,881	78,098
Multi-Racial	23,888	57,786	101,856

Income	1 Mile	3 Miles	5 Miles
Median	\$36,704	\$52,697	\$61,838
< \$15,000	2,661	6,613	11,366
\$15,000-\$24,999	2,452	5,919	11,123
\$25,000-\$34,999	1,875	5,326	11,627
\$35,000-\$49,999	2,589	7,971	16,306
\$50,000-\$74,999	2,425	10,537	23,406
\$75,000-\$99,999	1,114	6,776	17,219
\$10,000-\$149,999	682	6,616	17,657
\$150,000-\$199,999	97	2,154	5,817
> \$200,000	142	2,163	4,174

Housing	1 Mile	3 Miles	5 Miles
Total Units	14,910	57,724	128,563
Occupied	14,041	54,991	122,313
Owner Occupied	3,143	26,615	67,122
Renter Occupied	10,898	28,376	55,191
Vacant	869	2,733	6,250



Unit Mix & Annual Scheduled Income / ACTUAL

Unit#	Square			Total Months	Rent PSF	Monthly Rent	Annual Rent
	Feet	Bedrooms	Bathrooms				
Unit 1	1521	2	2.5	12	\$ 1.71	\$ 2,600.00	\$ 31,200.00
Unit 2	1100	1	1.5	12	\$ 1.82	\$ 2,000.00	\$ 24,000.00
Unit 3	1167	1.5	1.5	12	\$ 1.80	\$ 2,100.00	\$ 25,200.00
Unit 4	1387	2	2.5	12	\$ 1.77	\$ 2,450.00	\$ 29,400.00
Unit 5	1387	2	2.5	12	\$ 1.87	\$ 2,600.00	\$ 31,200.00
Unit 6	1167	1.5	1.5	12	\$ 1.97	\$ 2,300.00	\$ 27,600.00
Unit 7	1100	1	1.5	12	\$ 1.73	\$ 1,900.00	\$ 22,800.00
Unit 8	1521	2	2.5	12	\$ 1.82	\$ 2,600.00	\$ 31,200.00
Office 101	300	1	1	12	\$ 2.17	\$ 650.00	\$ 7,800.00
Office 102	300	1	1	12	\$ 2.17	\$ 650.00	\$ 7,800.00
Total:	10950 SF					\$ 19,850.00	\$238,200.00

Income

Description	Actual Gross	Per- Unit
Gross Rent	\$238,200	\$23,820

Operating Expenses

Description	Actual	Per-Unit
Total Expenses	\$69,185.76	\$6,918.57
Net Operating Income	\$169,014	\$16,901.40

PRO FORMA SUMMARY

120 BALLANTYNE STREET

Unit Mix & Annual Scheduled Income / PRO FORMA

Unit#	Square			Total			
	Feet	Bedrooms	Bathrooms	Months	Rent PSF	Monthly Rent	Annual Rent
Unit 1	1,521	2	2.5	12	\$ 2.04	\$ 3,100.00	\$ 37,200.00
Unit 2	1,100	1	1.5	12	\$ 1.82	\$ 2,700.00	\$ 32,400.00
Unit 3	1,167	1.5	1.5	12	\$ 2.44	\$ 2,850.00	\$ 34,200.00
Unit 4	1,387	2	2.5	12	\$ 2.13	\$ 2,950.00	\$ 35,400.00
Unit 5	1,387	2	2.5	12	\$ 2.13	\$ 2,950.00	\$ 35,400.00
Unit 6	1,167	1.5	1.5	12	\$ 2.44	\$ 2,850.00	\$ 34,200.00
Unit 7	1,100	1	1.5	12	\$ 2.45	\$ 2,700.00	\$ 32,400.00
Unit 8	1,521	2	2.5	12	\$ 1.82	\$ 3,100.00	\$ 37,200.00
Office 101	300	1	1	12	\$ 2.83	\$ 850.00	\$ 10,200.00
Office 102	300	1	1	12	\$ 2.83	\$ 850.00	\$ 10,200.00
Total:	10950 SF					\$ 24,900.00	\$ 298,800.00

Investment Summary

Price	\$3,950,000	Annualized Income	
Year Built	2019	Description	
Tenants	10	Gross Potential Rent	\$298,800
Price/Unit	\$395,000	- Less: Expenses	\$69,185.76
RSF	10,950	Net Operating Income	\$229,614.20
Price/RSF	\$360.73		
Lot Size	7,663 sf		
Floors	3		
APN	488-111-34-00		
Cap Rate	5.81%		

DISCLAIMER

120 BALLANTYNE STREET



This offering has been prepared solely for informational purposes. It is designed to assist a potential investor in determining whether it wishes to proceed with an in-depth investigation of the subject property. While the information contained herein is from sources deemed reliable, it has not been independently verified by the Coldwell Banker Commercial affiliate or by the Seller.

The projections and pro forma budget contained herein represent best estimates on assumptions considered reasonable under the circumstances. No representations or warranties, expressed or implied, are made that actual results will conform to such projections.

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Interested buyers should be aware that the Seller is selling the Property "AS IS" CONDITION WITH ALL FAULTS, WITHOUT REPRESENTATIONS OR WARRANTIES OF ANY KIND OR NATURE. Prior to and/or after contracting to purchase, as appropriate, buyer will be given a reasonable opportunity to inspect and investigate the Property and all improvements thereon, either independently or through agents of the buyer's choosing.

The Seller reserves the right to withdraw the Property being marketed at any time without notice, to reject all offers, and to accept any offer without regard to the relative price and terms of any other offer. Any offer to buy must be: (i) presented in the form of a non-binding letter of intent; (ii) incorporated in a formal written contract of purchase and sale to be prepared by the Seller and executed by both parties; and (iii) approved by Seller and such other parties who may have an interest in the Property. Neither the prospective buyer nor Seller shall be bound until execution of the contract of purchase and sale, which contract shall supersede prior discussions and writings and shall constitute the sole agreement of the parties.

Prospective buyers shall be responsible for their costs and expenses of investigating the Property and all other expenses, professional or otherwise, incurred by them

EACH PARTY SHALL CONDUCT ITS OWN INDEPENDENT INVESTIGATION AND DUE DILIGENCE.

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