

PRELIMINARY AND FINAL MAJOR SITE PLAN

FOR

ONE VENTURE, LLC

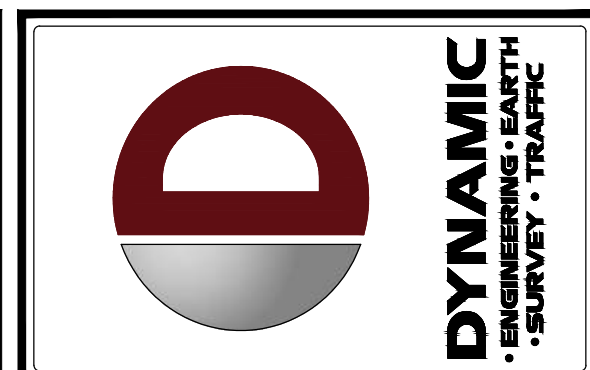
PROPOSED BUILDING ADDITION & CHANGE OF USE

BLOCK 2101, LOT 17; TAX MAP SHEET #21 - LATEST REV. DATED 10-1-1998, LAST REVISED 7-17-2000

39 MAIN STREET

TOWNSHIP OF ROXBURY

MORRIS COUNTY, NEW JERSEY



REV.	DATE	COMMENTS	BY
1	05/18/22	REVISED PER SECOND FLOOR IMPROVEMENTS	NPL
2	09/09/22	REVISED PER COMPLETENESS REVIEW	JD
3	03/09/23	REVISED PER COMPLETENESS REVIEW	JD
4	02/28/24	REVISED PER TOWNSHIP COMMENTS	JD
5	03/21/24	REVISED PER ZONING BOARD COMMENTS	JD
6	08/23/24	REVISED PER RESOLUTION COMPLIANCE	JD
7	07/03/25	REVISED PER RESOLUTION COMPLIANCE	JD
8	05/06/25	REVISED PER RESOLUTION COMPLIANCE #3	JD

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PROPOSED BUILDING ADDITION & CHANGE OF USE
BLOCK 2101, LOT 17
39 MAIN STREET
TOWNSHIP OF ROXBURY, MORRIS COUNTY, NEW JERSEY

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DANIEL T. SEHNAL
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NEW JERSEY LICENSE No. 53572

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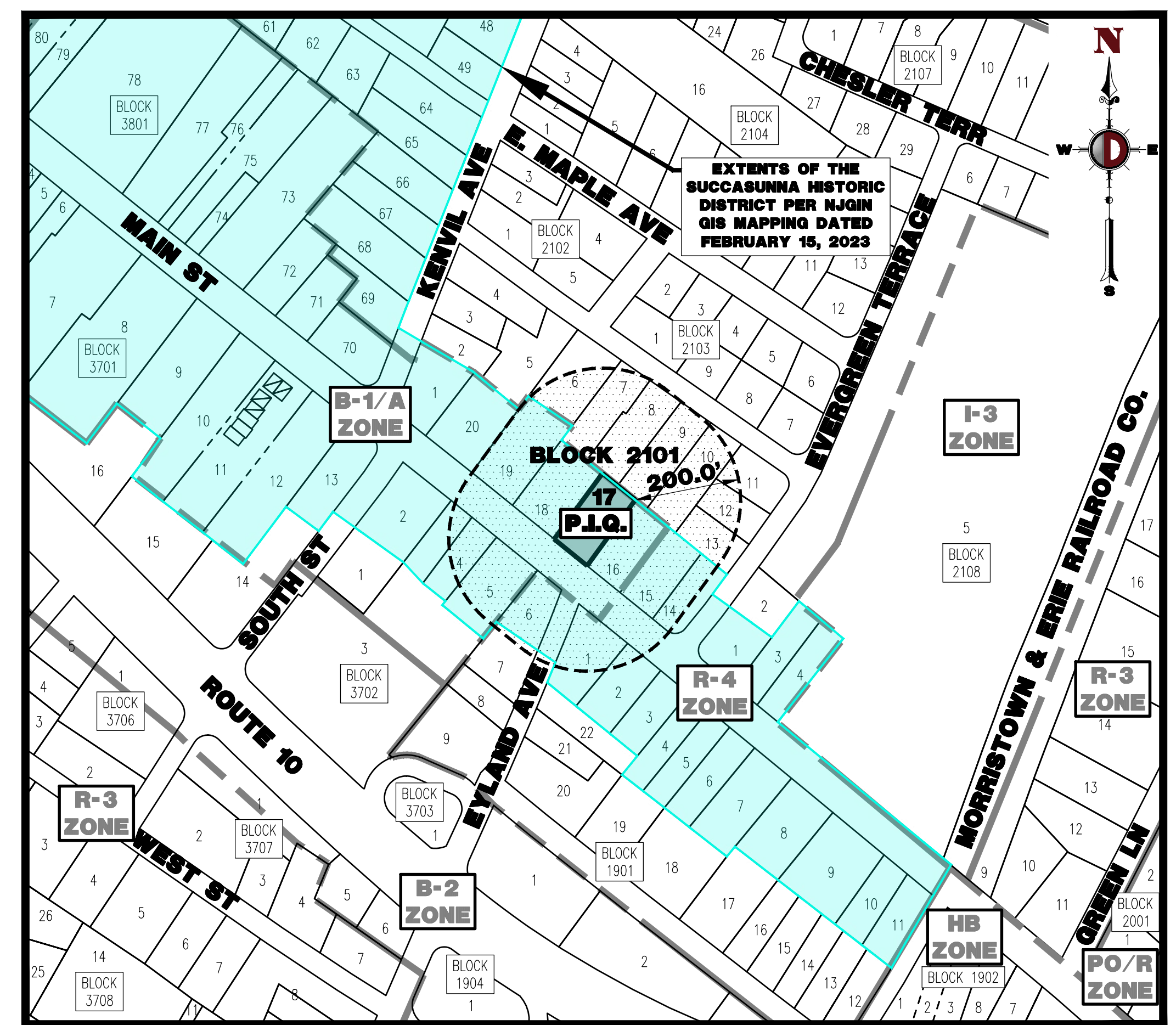
TITLE:
COVER SHEET

SCALE: (H) AS SHOWN DATE: 10/05/2020
PROJECT No: 3563-99-001

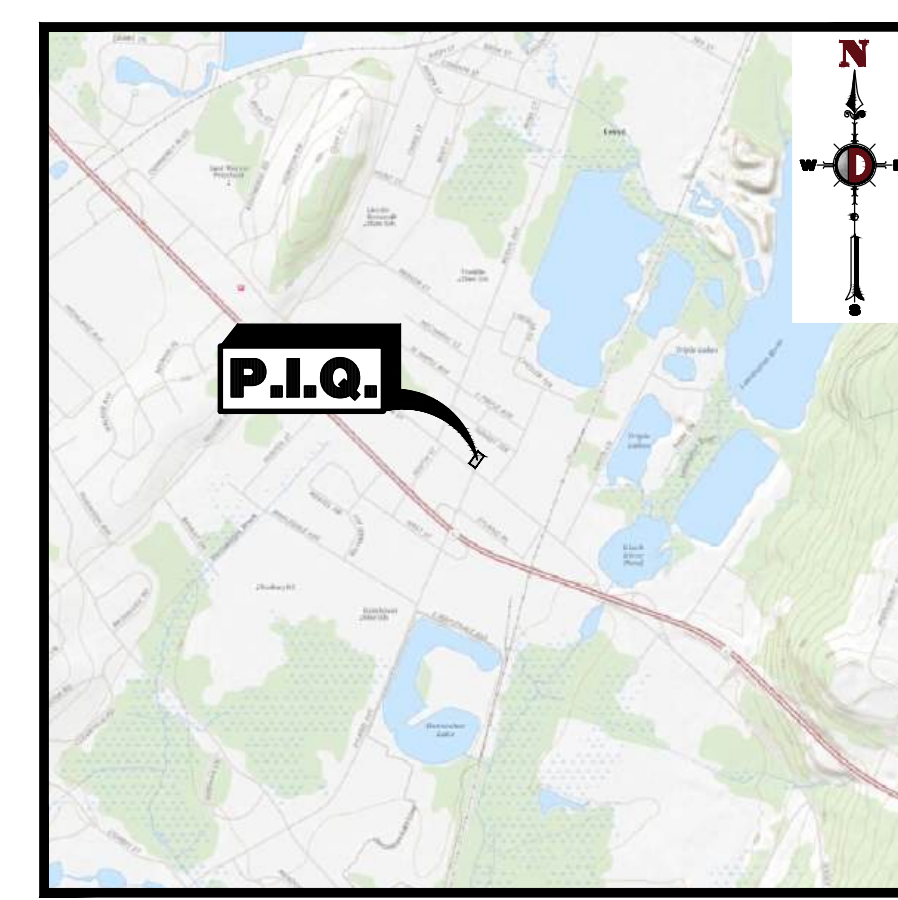
SHEET No: **1** OF 9 Rev. #: 8

200' PROPERTY OWNERS LIST

PROPERTY OWNER	BLOCK	LOT		
HACKETTSTOWN REALTY INC 59 B CENTRAL AVE MADISON, NJ 07940	3702	3		
D'AUGUSTINE, JOHN J SR/ROSE MAR 36 MAIN ST SUCCASUNNA, NJ 07876	1901	1		
PAOLELLA/CORATER, MARC/SCOTT L 34 MAIN ST SUCCASUNNA, NJ 07876	1901	2		
LOBOSCO, JOHN D 5 EVERGREEN TER SUCCASUNNA, NJ 07876	2101	12		
BAYLOR, DANIEL C 3 EVERGREEN TER SUCCASUNNA, NJ 07876	2101	13		
US BANK TRUST NA % RESCOP 3701 RESCOP BLVD STE 200 IRVING, TX 75063	2101	15		
FALQUEZ, JULIA 33 MAIN ST SUCCASUNNA, NJ 07876	2101	16		
PASSANANTE, PATRICIA/CROWLEY, S L 45 MAIN ST SUCCASUNNA, NJ 07876	2101	18		
MURILLO/ARENOCIBIA, LEONARDO/CAROLINA 47 MAIN ST SUCCASUNNA, NJ 07876	2101	19		
T & A ON MAIN LLC 15 JUSTINE PL SUCCASUNNA, NJ 07876	3702	4		
KITCHIN & KITCHIN, LLC 21 EDGEWATER AVE MT ARLINGTON, NJ 07856	3702	5		
DESAL, SUMANT R/RENIKA S 15 ST ANDREWS CT FLANDERS, NJ 07836	3702	6		
MC INTEE, COLLEEN 1 EYLAND AVE SUCCASUNNA, NJ 07876	3702	7		
KOZUBAL, ADAM/PATRICIA 9 SUNSET TER SUCCASUNNA, NJ 07876	2101	6		
LOPEZ, MICHEL 7A SUNSET TER SUCCASUNNA, NJ 07876	2101	7		
STRAUT, RICHARD/KRISTEN 7 SUNSET TER SUCCASUNNA, NJ 07876	2101	8		
ALBERT, MARC 5 SUNSET TER SUCCASUNNA, NJ 07876	2101	9		
SCOTT, JOHN C JR 3 SUNSET TER SUCCASUNNA, NJ 07876	2101	10		
AT&T PROPERTY TAX DEPARTMENT ATTN: MEL PAT BERGEN PO BOX 7207 BEDMINSTER, NJ 07921			ALSO TO BE NOTIFIED	
CABLEVISION OF MORRIS ATTN: BRUCE HICKSON OR JOHN BARTELS 683 ROUTE 10 E RANDOLPH, NJ 07869				
COLUMBIA GAS TRANSMISSION CORP. ATTN: ROBERT SCHNI 1470 POORHOUSE RD DOWNTOWN, PA 19335				
JCP&L ATTN: HEATHER ZABRSKIE 13 RICHBOYNTON RD DOVER, NJ 07801				
MORRIS COUNTY MUNICIPAL UTILITIES AUTHORITY ATTN: ANTHONY MILONAS 2144 CENTER GROVE ROAD RANDOLPH, NJ 07869				
MUSCONETCONG SEWERAGE AUTHORITY ATTN: JAMES SCHILLING 110 CONTINENTAL DR BUDD LAKE, NJ 07828				
NU NATURAL GAS CO ATTN: MATTHEW PUZO 1415 WYCKOFF RD PO BOX 1464 WALL, NJ 07719				
AMERICAN WATER ATTN: TAX DEPARTMENT PO BOX 2738 CAMDEN, NJ 08101				
TOWNSHIP OF ROXBURY WATER & SEWER DEPT C/O ENGINEERING DEPT 1715 ROUTE 46 LEDGEWOOD, NJ 07852				
VERIZON COMMUNICATIONS ATTN: RICHARD FLINT 290 W MT PLEASANT AVE LIVINGSTON, NJ 07039				
MORRIS COUNTY PLANNING BOARD PO BOX 900 MORRISTOWN, NJ 07963-0900				



AREA MAP
1" = 200'



KEY MAP
1" = 2000'

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COVER SHEET	1 of 9
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ZONING BOARD OF ADJUSTMENT APPROVAL

APPROVED BY THE ROXBURY TOWNSHIP ZONING BOARD OF ADJUSTMENT

BOARD CHAIRPERSON _____ DATE _____

BOARD SECRETARY _____ DATE _____

BOARD ENGINEER _____ DATE _____

OWNER CERTIFICATION

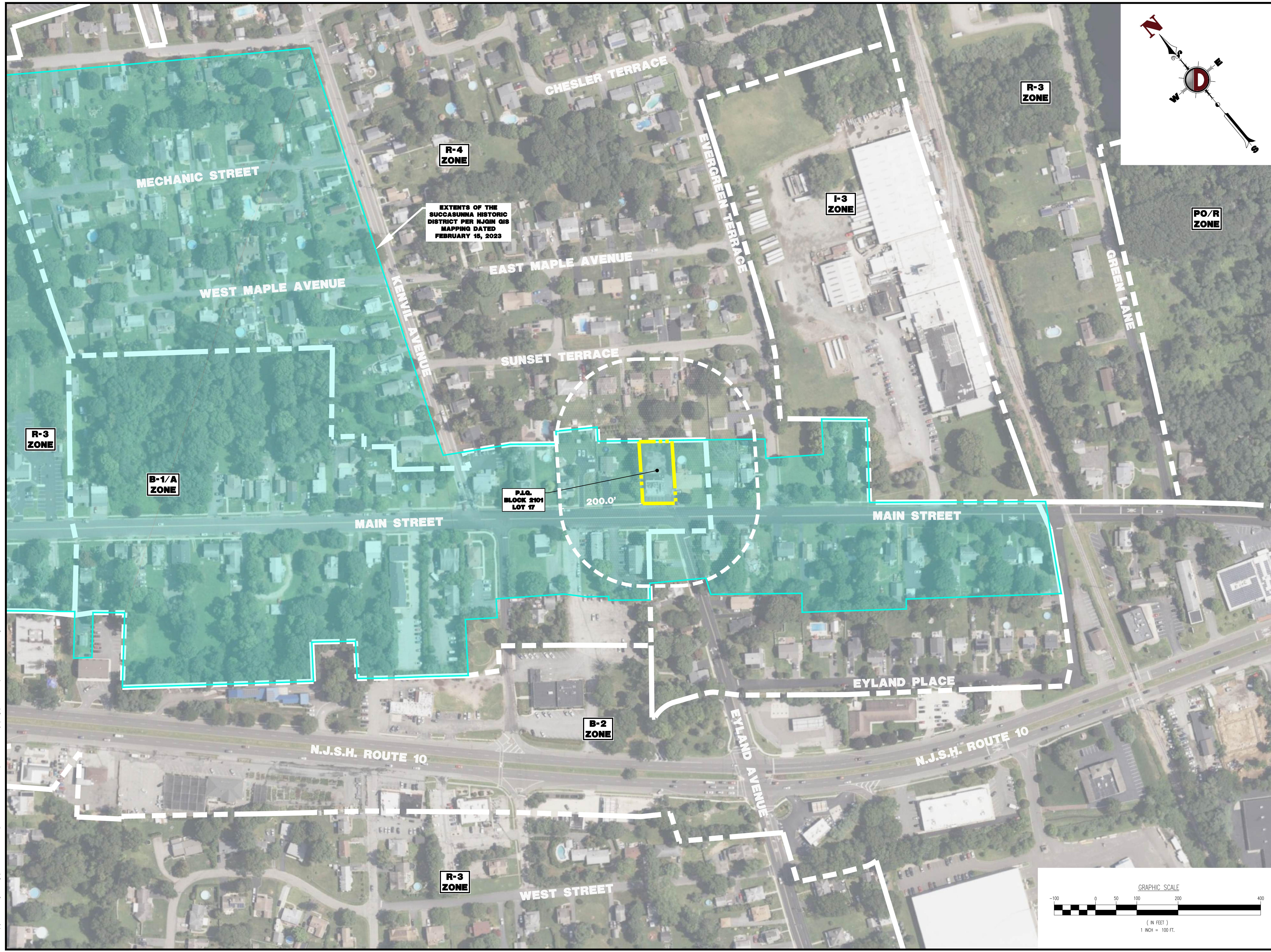
I CERTIFY THAT I AM THE OWNER OF LOT 17, BLOCK 2101 AND CONSENT TO THE FILING OF THIS APPLICATION

PROPERTY OWNER _____ DATE _____

PREPARED BY
DYNAMIC ENGINEERING CONSULTANTS, P.C.
245 MAIN STREET - SUITE 110
CHESTER, NJ 07930
WWW.DYNAMICCEC.COM

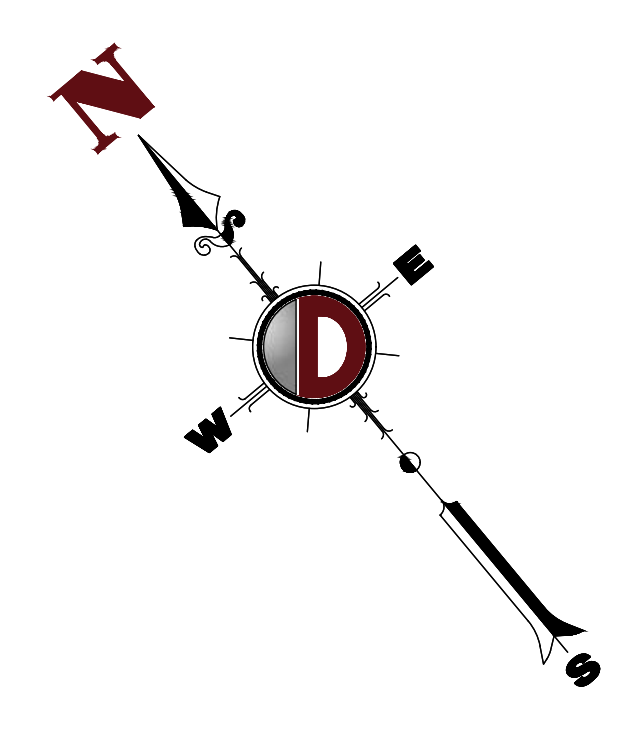
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 COPYRIGHT © 2025 - DYNAMIC ENGINEERING CONSULTANTS, PC - ALL RIGHTS RESERVED

Plotted: 05/06/25 - 12:20 PM, By: jkroyal
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EXTENTS OF THE
 SUCCASUNNA HISTORIC
 DISTRICT PER NJGIS
 MAPPING DATED
 FEBRUARY 15, 2023

P.L.G.
 BLOCK 2101
 LOT 17
 200.0'



R-3
 ZONE

I-3
 ZONE

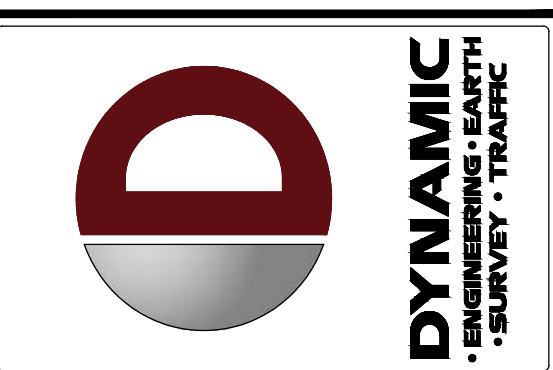
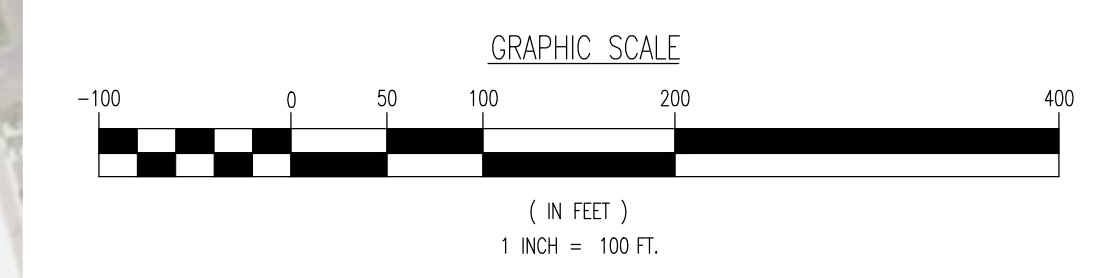
PO/R
 ZONE

R-3
 ZONE

B-1/A
 ZONE

R-3
 ZONE

B-2
 ZONE



REV.	DATE	COMMENTS	BY
8	05/06/25	REVISED PER RESOLUTION COMPLIANCE #3	JDR
7	07/03/24	REVISED PER RESOLUTION COMPLIANCE	JDR
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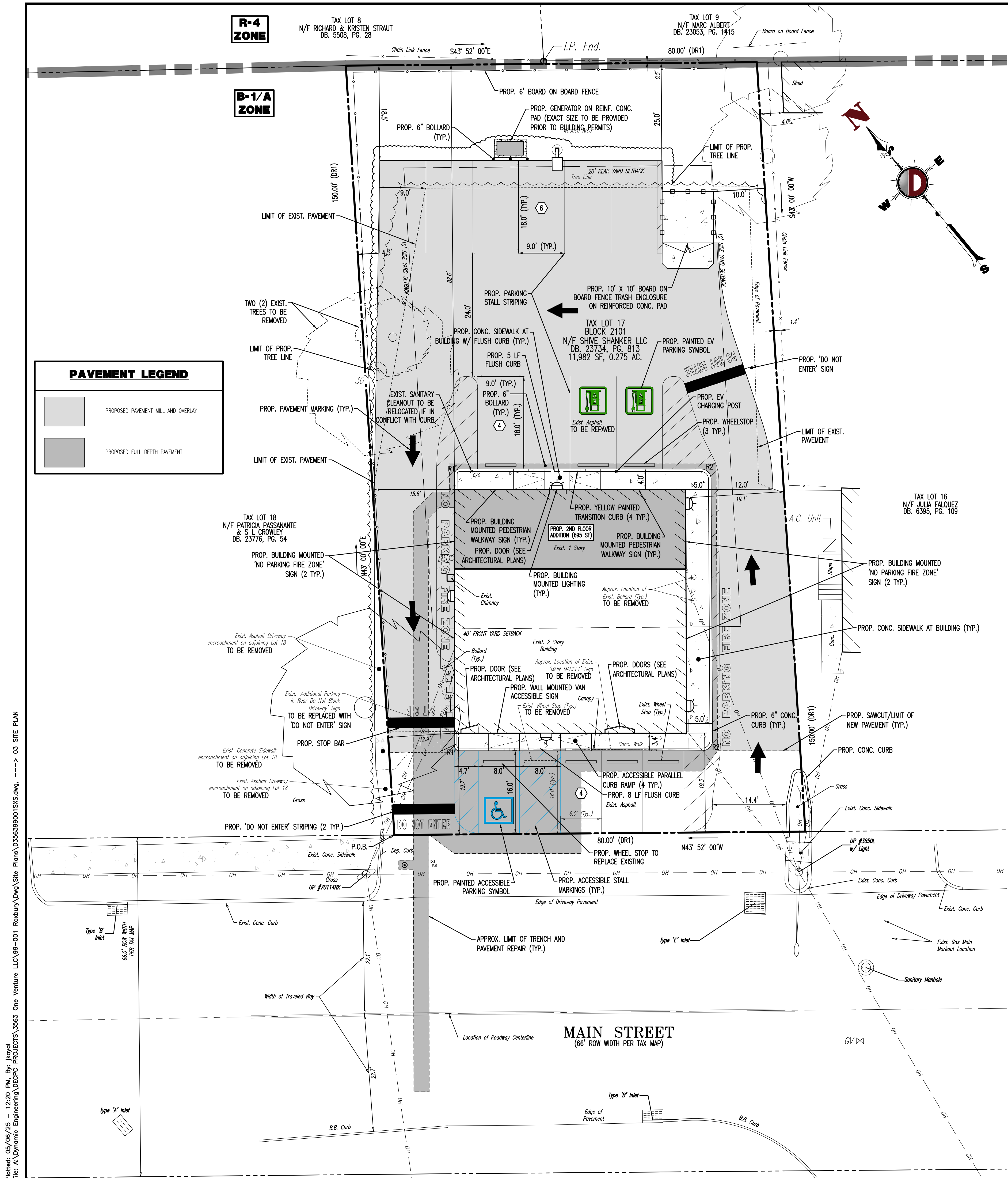
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 NEW JERSEY LICENSE NO. 53572

BRETT W. SKAPINETZ
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 NEW JERSEY LICENSE NO. 41985

TITLE:
AERIAL MAP

SCALE: (H) 1" = 100'
 (V) -----
 DATE: 10/05/2020
 PROJECT No:
 3563-99-001

SHEET No:
2
 OF 9
 Rev. #:
 8



GENERAL NOTES

- THIS PLAN HAS BEEN PREPARED BASED ON REFERENCES INCLUDING:
 - BOUNDARY AND TOPOGRAPHIC SURVEY: DYNAMIC SURVEY, LLC, 1924 MAIN STREET, LAKE COMO, NJ 07719. SURVEYOR FILE NO. 3563-99-001S. PREPARED ON: 10/01/2020. LAST REVISED 02/13/2023.
 - PROPOSED INTERIOR ALTERATION: SCOTT C. BELLA ARCHITECT, 625 BROWN AVENUE, CLIFTON ROCK, NJ 07042. PROJECT NO. 21-08. DATE: 6/30/22.
 - AS-BUILT STREET LIGHT LAYOUT: TOWNSHIP OF ROXBURY ENGINEERING DEPARTMENT, 1715 ROUTE 46, LESTERWOOD, NJ 07825. MAIN STREET STRESCAPE PROJECT - PHASE 1. DATE: 03/15/2013.
 - APPLICANT: ONE VENTURE, LLC, 39 MAIN STREET, ROXBURY, NJ 07876
 - OWNER: SHIVE SHANKER LLC, 35 E BURY AVE, PAULSDALE PARK, NJ 07650-1730
 - PARCEL DATA: 39 MAIN STREET, BLOCK 2101, LOT 17, TOWNSHIP OF ROXBURY, MORRIS COUNTY, NJ
 - ZONE: ZONE B-1/A (LIMITED BUSINESS DISTRICT)
 - EXISTING USE: RETAIL OFFICE (PERMITTED USE) (§ 13-7.2401)
 - PROPOSED USE: RETAIL RESIDENTIAL (PERMITTED USE) (§ 13-7.2401)
 - SCHEDULE OF ZONING REQUIREMENTS (§ 13 ATTACHMENT 4)
- | ZONE REQUIREMENT | ZONE B-1/A | EXISTING | PROPOSED |
|--|--------------------|-------------------------|----------------------|
| MINIMUM LOT AREA | 20,000 SF | 11,982 SF (0.28 AC) (E) | NO CHANGE |
| MINIMUM LOT WIDTH | 125' | 80.0' (E) | NO CHANGE |
| MINIMUM LOT FRONTAGE | 125' | 80.0' (E) | NO CHANGE |
| MINIMUM FRONT YARD SETBACK (MAIN STREET) | 40' | 19.3' (E) | NO CHANGE |
| MINIMUM REAR YARD SETBACK | 20' | 82.6' | NO CHANGE |
| MINIMUM SIDE YARD SETBACK | 10' | 12.9' | NO CHANGE |
| MAXIMUM BUILDING HEIGHT | 35' / 2 1/2 STORES | 25' / 2 STORES | NO CHANGE |
| MAXIMUM IMPERVIOUS COVERAGE | 50% | 78.2% (9,375 SF) (E) | 81.5% (9,771 SF) (V) |
| MAXIMUM FLOOR AREA RATIO | 0.15 | 0.30 (3,580 SF) (E) | 0.36 (4,276) (V) |
- (E): EXISTING NON-CONFORMANCE (V): VARIANCE
- CONDITIONAL USE REQUIREMENTS
 - A. MINIMUM FLOOR AREA FOR ACCESSORY DWELLING UNITS (§ 13-7.2302.C.2.a) (COMPLIES)
 - B. THREE-OR-MORE BEDROOM UNITS; 1 RESIDENTIAL APARTMENT UNIT WITH 4 BEDROOMS PROPOSED (2,138 SF)
 - C. THE DWELLING UNITS SHALL BE A COMPLETE AND INDEPENDENT LIVING AREA CONTAINING A LIVING/SLEEPING AREA WITH A KITCHEN AND COMPLETE SANITARY FACILITIES FOR THE EXCLUSIVE USE OF ITS OCCUPANTS. IT SHALL CONSIST OF NOT LESS THAN TWO (2) ROOMS, ONE (1) OF WHICH SHALL BE A FULL BATHROOM (§ 13-7.2302.C.2.a) (COMPLIES)
 - D. NO DWELLING UNIT MAY BE LOCATED ON THE GROUND FLOOR, BASEMENT OR ATTIC AREA (§ 13-7.2302.C.2.a) (COMPLIES)
 - E. FOR EACH DWELLING UNIT, THERE SHALL BE PROVIDED AT LEAST ONE (1) OFF-STREET PARKING SPACE IN ADDITION TO THE PARKING REQUIREMENT OTHERWISE SPECIFIED IN SECTION 13-8.701 HAVING DIRECT AND UNRESTRICTED DRIVEWAY ACCESS AND NOT BLOCKED BY ANY OTHER PARKING SPACE (§ 13-7.2302.C.2.a) (1 DWELLING UNIT PROPOSED = 1 ADDITIONAL PARKING SPACE REQUIRED) (14 SPACES REQUIRED); (COMPLIES)
 - F. NO DIRECTLY CONNECTED NON-RESIDENTIAL USE SHALL BE PERMITTED ON THE SAME FLOOR WITH A RESIDENTIAL USE (§ 13-7.2302.C.2.a) (COMPLIES)
 - G. THE RESIDENTIAL PORTION OF ANY STRUCTURE SHALL HAVE A SEPARATE ENTRANCE UPON A STREET EITHER DIRECTLY OR VIA AN UNRESTRICTED PASSAGEWAY (§ 13-7.2302.C.2.g) (COMPLIES)
 - PARKING REQUIREMENTS
 - A. EACH OFF-STREET PARKING SPACE SHALL MEASURE NINE (9) FEET IN WIDTH BY EIGHTEEN (18) FEET IN LENGTH (§ 13-8.702.A) (E - 8' X 16' EXISTING)
 - B. OFF-STREET PARKING AREAS AND TRAFFIC ALLEYS SHALL BE CLOSER THAN (6) FEET TO ANY BUILDING (§ 13-8.702.C) (13-8.702.C) (COMPLIES)
 - C. PARKING SPACES FOR THE PHYSICALLY HANDICAPPED SHALL BE PROVIDED AT APPROPRIATE LOCATIONS AND IN CONFORMANCE WITH THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT; 1 PROPOSED (§ 13-8.702.D) (COMPLIES)
 - D. OFF-STREET PARKING AREAS SHALL BE ORIENTED TO AND WITHIN A REASONABLE WALKING DISTANCE OF THE BUILDINGS THEY ARE DESIGNED TO SERVE (§ 13-8.702.E) (COMPLIES)
 - E. ACCESS TO PARKING LOTS SHALL BE DESIGNED SO AS NOT TO OBSTRUCT FREE FLOW OF TRAFFIC. THERE SHALL BE ADEQUATE PROVISION FOR INGRESS TO AND EGRESS FROM ALL PARKING SPACES TO ENSURE EASE OF MOBILITY, AMPLE CLEARANCE, AND SAFETY OF VEHICLES AND PEDESTRIANS (§ 13-8.702.F) (E)
 - F. ACCESS DRIVES SHALL BE LOCATED AT LEAST TEN FEET FROM ANY SIDE OR REAR PROPERTY LINE (§ 13-8.702.G) (E - 0.0' EXISTING)
 - G. PARKING AREAS IN COMMERCIAL OR INDUSTRIAL ZONES MAY BE LOCATED IN THE REAR OR SIDE OF A PROPERTY LINE, BUT SHALL BE PLACED A MINIMUM OF TWENTY (20) FEET FROM THE RIGHT-OF-WAY AND FRONT PROPERTY LINE, AND TEN (10) FEET FROM THE SIDE AND REAR PROPERTY LINES UNLESS OTHERWISE STATED IN THE ORDINANCE (§ 13-8.702.H) (V) 4.3' PROPOSED IN SIDE YARD
 - H. PARKING CALCULATION (§ 12-8.701): OFFICES (UNDER 49,999 SF GFA): 1 PARKING SPACE PER 225 SF GFA. RETAIL STORE, BUSINESS SERVICES AND PERSONAL SERVICES (5 OR LESS TENANTS): 1 PARKING SPACE PER 225 SF GFA. RESIDENTIAL (APARTMENT); GARDEN APARTMENT/CONDOMINIUM (3 BEDROOM): 2.5 PARKING SPACES PER UNIT; (4 BEDROOM): 3 PARKING SPACES PER UNIT. THEREFORE: EXISTING: RETAIL STORE (2,138 SF GFA) + OFFICE (1,443 SF GFA) = (3,581 SF GFA) * (1 PARKING SPACE / 225 SF GFA) = 16 SPACES REQUIRED. PROPOSED: RETAIL (LANDSCAPE + DELI) (2,138 SF GFA) + (1 PARKING SPACE / 225 SF GFA) = 10 SPACES REQUIRED. RESIDENTIAL (4 BEDROOM) : (1 UNIT) * (3 PARKING SPACES / UNIT) = 3 SPACES REQUIRED. RESIDENTIAL APARTMENTS CONDITIONAL USE REQUIREMENTS PER (§ 13-7.2302.C.2.a) : 1 DWELLING UNIT PROPOSED = 1 SPACE REQUIRED. TOTAL PARKING REQUIRED (PROPOSED) = 14 SPACES. TOTAL PARKING PROVIDED = 14 SPACES (COMPLIES)
 - I. ELECTRIC VEHICLE PARKING CALCULATION: i. FOR MIXED-USE DEVELOPMENTS, AT LEAST 15 PERCENT OF THE REQUIRED OFF-STREET PARKING SPACES SHALL BE MAKE-READY SPACES. (P.L. 2021, c. 171) ii. AT LEAST 5 PERCENT OF REQUIRED MAKE READY PARKING SPACES SHALL BE ACCESSIBLE MAKE READY SPACES. (P.L. 2021, c. 171) THEREFORE: 14 REQUIRED SPACES X 15% = 2 EV MAKE-READY SPACES REQUIRED. 2 EV MAKE-READY SPACES X 5% = 0 ACCESSIBLE EV MAKE-READY SPACES REQUIRED. 0 ACCESSIBLE EV-MAKE READY SPACES PROVIDED (COMPLIES)
 - LOADING REQUIREMENTS
 - A. FOR EVERY BUILDING OR PART THEREOF, WHICH IS TO BE OCCUPIED BY MANUFACTURING, STORAGE, GOODS DISPLAY, RETAIL STORE, WHOLESALE STORE OR WAREHOUSE, MARKET, HOSPITAL OR OTHER USE SIMILARLY REQUIRING THE RECEIPT OR DISTRIBUTION IN VEHICLES OF MATERIALS OR MERCHANDISE, THERE SHALL BE PROVIDED AND MAINTAINED ON THE SAME PREMISES WITH SUCH BUILDING ONE OFF-STREET LOADING SPACE MEASURING FIFTEEN (15) FEET X SIXTY (60) FEET WITH A FOURTEEN (14) FOOT CLEARANCE ABOVE GRADE, AT THE DISCRETION OF THE PLANNING BOARD, A SMALLER LOADING SPACE MAY BE PERMITTED IF JUSTIFIED BY THE APPLICANT BASED UPON THE TYPE OF USE AND TIME AND FREQUENCY OF VEHICLES SERVING THE FACILITY (§ 13-8.703.A) (N/A - LOADING VEHICLE WILL NOT SURPASS THE SIZE OF A DELIVERY VAN)
 - B. OFF-STREET LOADING SHALL BE LOCATED IN THE SIDE OR REAR YARD BUT IN NO CASE SHALL BE LOCATED CLOSER THAN FIFTEEN (15) FEET TO A PROPERTY LINE. THESE SHALL BE NO LOADING OR UNLOADING WITHIN THE STREET. OFF-STREET LOADING WITHIN THE FRONT YARD IS PROHIBITED. (§ 13-8.703.B) (COMPLIES - LOADING VEHICLES THE SIZE OF DELIVERY VANS CAN FIT IN A STANDARD PARKING SPACE WITHIN THE REAR OF THE PROPERTY)
 - SIDEWALK REQUIREMENTS
 - A. CURBED PEDESTRIAN SIDEWALKS, NOT LESS THAN SIX (6) FEET WIDE SHALL BE PROVIDED ALONG THE LENGTH OF ANY BUILDING WALL WHICH CONTAINS PUBLIC ENTRANCE OR EXIT WAYS. SAID WALKS SHALL BE AT LEAST SIX (6) INCHES HIGHER THAN THE ADJUTING PAVED PARKING AREA (§ 13-8.702.J) (E - EXISTING SIDEWALK AT FRONT DOOR 3.2' WIDE)
 - THE APPLICANT REQUESTS ANY AND ALL SUBMISSION WARNERS THAT ARE NOT SPECIFICALLY IDENTIFIED HEREIN. TESTIMONY WILL BE SUPPLIED AT THE PUBLIC HEARING TO SUPPORT SAID SUBMISSION WARNERS.
 - PROVIDER TO STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM
 - PROTECT YOURSELF: ALL STATES REQUIRE NOTIFICATION OF EXISTING UTILITIES BEFORE ANY CONSTRUCTION OR REMEDIATION WORK. CALL 811 TO LOCATE UTILITIES BEFORE YOU DIG. FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM
 - PROPOSED: RETAIL (LANDSCAPE + DELI) (2,138 SF GFA) + (1 PARKING SPACE / 225 SF GFA) = 10 SPACES REQUIRED. RESIDENTIAL (4 BEDROOM) : (1 UNIT) * (3 PARKING SPACES / UNIT) = 3 SPACES REQUIRED. RESIDENTIAL APARTMENTS CONDITIONAL USE REQUIREMENTS PER (§ 13-7.2302.C.2.a) : 1 DWELLING UNIT PROPOSED = 1 SPACE REQUIRED. TOTAL PARKING REQUIRED (PROPOSED) = 14 SPACES. TOTAL PARKING PROVIDED = 14 SPACES (COMPLIES)
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R-4 ZONE

B-1/A ZONE

TAX LOT 8
N/F RICHARD & KRISTEN STRAUT
DB: 5508, PG. 28

TAX LOT 9
N/F MARC ALBERT
DB: 23053, PG. 1415

TAX LOT 18
N/F PATRICIA PASSANANTE
& S L CROWLEY
DB: 23776, PG. 54

TAX LOT 17
BLOCK 2101
N/F SHIVE SHANKER LLC
DB: 23734, PG. 813
11,982 SF, 0.275 AC.

TAX LOT 16
N/F JULIA FALQUEZ
DB: 6395, PG. 109

GRADING NOTES

- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM TEST D-1557. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 2% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED SOILS ENGINEER, REGISTERED IN THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.
- CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO ENSURE 0.75% MIN. SLOPE AGAINST ALL ISLAND, GUTTERS/CURBS AND 1.0% ON ALL CONCRETE SURFACES, AND 1.5% MIN. ON ASPHALT UNLESS OTHERWISE NOTED. ANY DISCREPANCIES THAT MAY AFFECT THE PUBLIC SAFETY OR PROJECT COST, MUST BE IDENTIFIED TO THE ENGINEER IN WRITING IMMEDIATELY, PRECEDING WITH CONSTRUCTION WITH DESIGN DISCREPANCIES IS DONE SO AT THE CONTRACTOR'S OWN RISK.
- PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MIN. OF 0.75% GUTTER GRADE ALONG CURB FACE RECEIVING SURFACE RUNOFF. ENGINEER TO APPROVE FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION.
- SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED TO 95% OPTIMUM DENSITY (AS DETERMINED BY MODIFIED PROCTOR METHOD).
- REFER TO SITE PLAN FOR ADDITIONAL NOTES.
- IN CASE OF DISCREPANCIES BETWEEN PLANS, THE SITE PLAN WILL SUPERCEDE IN ALL CASES. CONTRACTOR MUST NOTIFY ENGINEER OF RECORD OF ANY CONFLICT IMMEDIATELY.
- MAXIMUM CROSS SLOPE OF 1:48 (2.08%) ON ALL SIDEWALKS.
- CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE OWNER'S GEOTECHNICAL ENGINEER PRIOR TO ONSET OF CONSTRUCTION TO SUBMIT AND CONFIRM THE CONTRACTOR'S PROPOSED MEANS AND MATERIALS AND TO SCHEDULE INSPECTIONS FOR BOTTOM OF BASIN, REMOVAL OF UNSUITABLE SOIL, FILL PLACEMENT, AND FINAL BASIN PERMEABILITY TESTING.
- CONTRACTOR IS RESPONSIBLE FOR AS-BUILT PLANS AND GRADE CONTROL UNLESS DEFINED OTHERWISE ELSEWHERE IN THE CONTRACT DOCUMENTS.

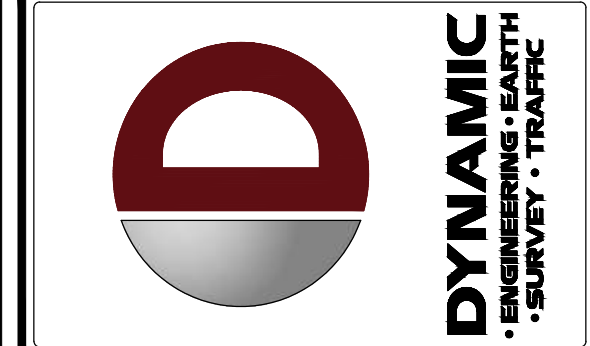
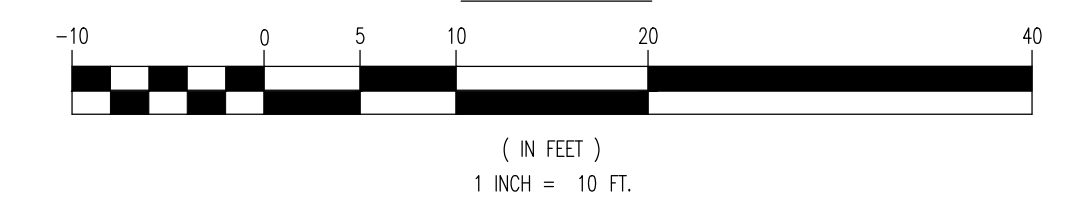
ADA NOTES

- ALL SLOPES INDICATED ARE ACTUAL. CONTRACTOR TO CONSTRUCT IMPROVEMENTS IN COMPLIANCE WITH THE LATEST ADA GUIDELINES AND BUILDING CODE REQUIREMENTS. AT THE TIME OF PLAN DESIGN, THESE REQUIREMENTS INCLUDE BUT ARE NOT LIMITED TO:
 - SIDEWALKS/ACCESSIBLE ROUTES:**
 - WIDTH: 36" MIN. EXCLUSIVE OF THE WIDTH OF ANY CURB
 - PASSING SPACE: MIN. 60" x 60" AT INTERVALS OF 200' MAX IF ACCESSIBLE ROUTE WIDTH IS LESS THAN 80'
 - RUNNING SLOPE: 1:20 (5%) MAX.
 - CROSS SLOPE: 1:48 (2.08%) MAX. 1.0% MIN.
 - INTERSECTION SLOPE: 1:48 (2.08%) MAX. IN ALL DIRECTIONS.
 - CHANGE IN LEVELS: 1/4" MAX. HEIGHT OR 1/2" MAX. HEIGHT WITH BEVELED EDGE. BEVELED EDGE SLOPE OF 1:2 (50%) MAX.
 - GAPS: 1/2" MAX. WIDTH. ELONGATED OPENINGS SHALL BE PLACED SO LONG DIMENSION IS PERPENDICULAR TO PATH OF TRAVEL.
 - CURB RAMP:**
 - SLOPE: 1:12 (8.33%) MAX.
 - SIDE FLARE SLOPE: 1:10 (10%) MAX OR 1:12 (8.33%) MAX IN ALTERATIONS WHERE TOP LANDING IS UNAVAILABLE (WHERE PEDS CROSS RAMP)
 - BOTTOM LANDING: 48" MIN. LENGTH, WIDTH TO MATCH CURB RAMP: 1:48 MAX. (2.08%) IN ALL DIRECTIONS
 - TOP LANDING: 36" MIN. LENGTH, WIDTH TO MATCH CURB RAMP: 1:48 MAX. (2.08%) CROSS SLOPE AND 1:20 (5%) RUNNING SLOPE WHEN ONLY CONNECTING ACCESSIBLE ROUTE RUNS PARALLEL TO THE RAMP RUN
 - COUNTER SLOPE: 1:20 (5%) MAX.
 - ACCESSIBLE PARKING STALLS:**
 - SPACE AND ACCESS ASLE SLOPE: 1:48 MAX. (2.08%) IN ALL DIRECTIONS ACROSS ACCESSIBLE PARKING STALLS AND STRIPED ACCESS AISLES
 - CROSSWALKS:**
 - RUNNING SLOPE: 1:20 (5%) MAX.
 - CROSS SLOPE: 1:48 (2.08%) MAX.
 - CHANGE IN LEVELS: 1/4" MAX. HEIGHT OR 1/2" MAX. HEIGHT WITH BEVELED EDGE. BEVELED EDGE SLOPE OF 1:2 (50%) MAX.
 - GAPS: 1/2" MAX. WIDTH. ELONGATED OPENINGS SHALL BE PLACED SO LONG DIMENSION IS PERPENDICULAR TO PATH OF TRAVEL.
 - RAMP:**
 - SLOPE: 1:12 (8.33%) MAX.
 - MAX. ROSE: 30"
 - MIN. CLEAR WIDTH: 36"
 - MIN. LANDING CLEAR LENGTH: 60"
 - MAX. CROSS SLOPE: 1:48 (2.08%)
- CONTRACTOR SHALL CLARIFY ANY QUESTIONS CONCERNING CONSTRUCTION AND/OR GRADING IN ADA AREAS WITH THE ENGINEER PRIOR TO THE START OF CONSTRUCTION.

GRADING/UTILITY GRAPHIC LEGEND

	PROPERTY LINE (PARCEL IN QUESTION)		OFF-SITE PROPERTY LINES
	EXIST. CABLE LINE		PROP. CABLE LINE
	EXIST. ELECTRIC LINE		PROP. ELECTRIC LINE
	EXIST. FIBER OPTIC LINE		PROP. FIBER OPTIC LINE
	EXIST. GAS LINE		PROP. GAS LINE
	EXIST. OVERHEAD WIRES		PROP. OVERHEAD WIRES
	EXIST. TELEPHONE LINE		PROP. TELEPHONE LINE
	EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		PROP. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)
	EXIST. WATER LINE		PROP. WATER LINE
	EXIST. FIRE SERVICE		PROP. FIRE SERVICE
	EXIST. SANITARY SEWER LINE		PROP. SANITARY SEWER LINE
	EXIST. FORCE MAIN		PROP. FORCE MAIN
	EXIST. STORM DRAIN LINE		PROP. STORM DRAIN LINE
	EXIST. MINOR CONTOUR & ELEVATION		PROP. MINOR CONTOUR & ELEVATION
	EXIST. MAJOR CONTOUR & ELEVATION		PROP. MAJOR CONTOUR & ELEVATION
	EXIST. MONITORING WELL		PROP. MONITORING WELL
	EXIST. SPOT ELEVATIONS		PROP. SPOT ELEVATIONS
	EXIST. GUTTER ELEV.		PROP. GUTTER ELEV.
	EXIST. TOP OF CURB ELEV.		PROP. TOP OF CURB & FINISHED GRADE ELEV.
	EXIST. FINISH FLOOR ELEV.		PROP. FINISHED FLOOR ELEV.
	EXIST. GARAGE FLOOR ELEV.		PROP. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. FIRE HYDRANT		PROP. TOP OF EXTENDED CURB @ FINISHED GRADE @ HIGH SIDE OF EXTENDED CURB & (2) FINISHED GRADE @ LOW SIDE OF EXTENDED CURB
	EXIST. GAS VALVE		PROP. DIRECTION OF DRAINAGE FLOW ARROW
	EXIST. GAS METER		PROP. WATER VALVE
	EXIST. ELECTRIC METER		PROP. GAS VALVE
	EXIST. ELECTRIC BOX		PROP. STORM CLEANOUT
	EXIST. CLEAN OUT		PROP. SANITARY CLEANOUT
	EXIST. WELL		PROP. AREA LIGHT
	EXIST. WATER SHUT OFF VALVE		PROP. OUTLET CONTROL STRUCTURE
	EXIST. TELEPHONE BOX		PROP. DRAINAGE MANHOLE
	EXIST. CABLE TV BOX		PROP. SANITARY SEWER MANHOLE
	EXIST. UTILITY POLE		PROP. "A" INLET
	EXIST. GUY WIRE		PROP. "B" INLET
	EXIST. LIGHT POLE		PROP. "C" INLET
	EXIST. BUILDING LIGHT		PROP. YARD INLET
	EXIST. SHOE BOX LIGHT		PROP. FLARED END SECTION
	EXIST. COBRA LIGHT POLE		PROP. HEADWALL
	EXIST. TRAFFIC SIGNAL POLE		
	EXIST. MANHOLE		
	EXIST. "A" INLET		
	EXIST. "B" INLET		
	EXIST. "C" INLET		
	EXIST. YARD INLET		
	EXIST. FLARED END SECTION		
	EXIST. HEADWALL		

GRAPHIC SCALE



NO.	DATE	REVISIONS	BY
1	05/18/22	REVISED PER SECOND FLOOR IMPROVEMENTS	NPL
2	09/09/22	REVISED PER COMPLETENESS REVIEW	JD
3	02/28/24	REVISED PER TOWNSHIP COMMENTS	JD
4	02/28/24	REVISED PER TOWNSHIP COMMENTS	JD
5	03/21/24	REVISED PER ZONING BOARD COMMENTS	JD
6	03/23/24	REVISED PER ZONING BOARD COMMENTS	JD
7	07/03/25	REVISED PER RESOLUTION COMPLIANCE	JKK
8	05/06/25	REVISED PER RESOLUTION COMPLIANCE	JKK

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

PROJECT: ONE VENTURE, LLC
PROPOSED BUILDING ADDITION & CHANGE OF USE
BLOCK 2101, LOT 17
39 MAIN STREET
TOWNSHIP OF ROXBURY, MORRIS COUNTY, NEW JERSEY

DATE: _____

REVISION: _____

DESIGNER: _____

CHECKED BY: _____

DATE: _____

DATE: _____

811 PROTECT YOURSELF

ALL STATES REQUIRE NOTIFICATION OF ENGINEERS, DESIGNERS, OR ANY PERSON PREPARING TO DIGGING THE EARTH'S SURFACE ANYWHERE IN ANY STATE

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www.dynamiccc.com

DANIEL T. SEHNAL

PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. 53572

BRETT W. SKAPINETZ

PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. 41985

TITLE: GRADING & UTILITY PLAN

SCALE: (H) 1" = 10'
(V) _____

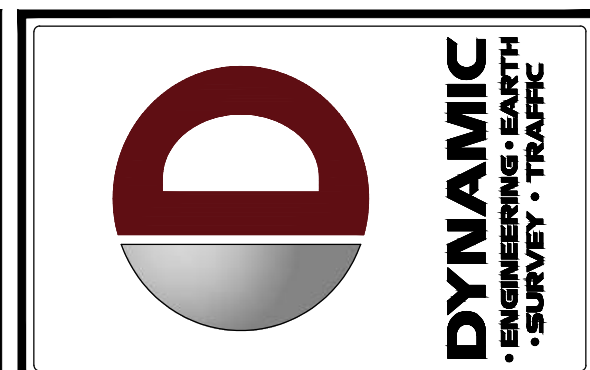
DATE: 10/05/2020

PROJECT No: 3563-99-001

SHEET No: **4** of 9

Rev. #: _____

Plotted: 05/06/25 - 12:21 PM, By: jkroyal
 File: A:\Dynamic_Engineering\DECPC PROJECTS\3563 One Venture LLC\99-001 Roxbury\DWG\Site Plans\3563\99001\SXG.dwg, ----- 04 GRADING & UTILITY PLAN



NO.	DATE	REVISIONS	BY
1	05/18/22	REVISED PER SECOND FLOOR IMPROVEMENTS	NEL
2	09/09/22	REVISED PER COMPLETENESS REVIEW	JD
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6	08/23/24	REVISED PER RESOLUTION COMPLIANCE	JD
7	07/03/25	REVISED PER RESOLUTION COMPLIANCE	JD
8	05/06/25	REVISED PER RESOLUTION COMPLIANCE #3	JD

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

PROJECT: ONE VENTURE, LLC PROPOSED BUILDING ADDITION & CHANGE OF USE BLOCK 2101, LOT 17 39 MAIN STREET TOWNSHIP OF ROXBURY, MORRIS COUNTY, NEW JERSEY

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DANIEL T. SEHNAL
 PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE NO. 53572

BRETT W. SKAPINETZ
 PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE NO. 41985

TITLE: LIGHTING PLAN

SCALE: (H) 1" = 10'
 (V) 1" = 10'

DATE: 10/05/2020

PROJECT No: 3563-99-001

SHEET No: 5

GENERAL NOTES

- THIS LIGHTING PLAN ILLUSTRATES ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) APPROVED METHODS. ACTUAL SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER RELATED VARIABLE FIELD CONDITIONS.
- ALL EXISTING CONDITIONS LIGHTING LEVELS ARE REPRESENTATIVE OF AN APPROXIMATION UTILIZING LABORATORY DATA FOR SIMILAR FIXTURES AND/OR ACTUAL FIELD MEASUREMENTS TAKEN WITH A LIGHT METER. DUE TO FACTORS SUCH AS FIXTURE MAINTENANCE, EQUIPMENT TOLERANCES, WEATHER CONDITIONS, ETC., ACTUAL LIGHTING LEVELS MAY DIFFER AND THE LIGHTING LEVELS DEPICTED ON THIS PLAN SHOULD BE CONSIDERED AS APPROXIMATE.
- CONDUITS SHALL BE INSTALLED A MINIMUM OF 2 FEET BEHIND GENERAL POSTS.
- ALL WIRING METHODS AND EQUIPMENT CONSTRUCTION SHALL CONFORM TO THE CURRENT NATIONAL ELECTRICAL CODE.
- REFER TO ARCHITECTURAL PLANS FOR SITE WIRING DIAGRAM.
- THIS PLAN IS PREPARED SPECIFICALLY TO ANALYZE THE LIGHTING LEVELS GENERATED BY THE PROPOSED ON-SITE LIGHTING ONLY. EXISTING LIGHT FIXTURES BEYOND THE EXTENTS OF THIS DEVELOPMENT/PROPERTY ARE NOT MODELED IN THIS DESIGN, AND MAY ALTER ACTUAL LIGHT LEVELS AT THE PROPERTY LINES.

TOWNSHIP OF ROXBURY LIGHTING STANDARDS

- § 13-8.707
- A LIGHTING PLAN PREPARED BY A QUALIFIED INDIVIDUAL SHALL BE PROVIDED WITH MAJOR SUBDIVISION AND SITE PLAN APPLICATIONS.
 - STREET LIGHTING OF A TYPE SUPPLIED BY OR APPROVED BY THE UTILITY AND OF A TYPE AND NUMBER APPROVED BY THE PLANNING BOARD SHALL BE PROVIDED FOR ALL STREET INTERSECTIONS, ARTERIALS, SECONDARY ARTERIALS, RESIDENTIAL COLLECTORS, RESIDENTIAL ACCESS STREETS AND AT THE TERMINUS OF CURB-TO-SAC ROADS AS DEEMED NECESSARY FOR SAFETY REASONS. ADDITIONAL LIGHTING SHALL BE PROVIDED BASED UPON STREET AND SITE DESIGN AND DEGREES OF HORIZONTAL AND VERTICAL CURVES. THE DEVELOPER SHALL ARRANGE FOR THE PROVISION OF STREET LIGHTS, AT HIS EXPENSE, UNDER THE REQUIREMENTS OF "CONTRIBUTION FIXTURES", AS ESTABLISHED BY THE BOARD BY PUBLIC UTILITIES COMMISSIONERS TARIFF NO. 6 ELECTRIC PART NO. 3 EFFECTIVE 4/25/83. THE DEVELOPER SHALL ALSO PROVIDE FOR THE INSTALLATION OF UNDERGROUND SERVICE FOR STREET LIGHTING AT HIS COST. [ORD. NO. 11-01 § 1]
 - LIGHTING SHALL BE PROVIDED WITHIN NONRESIDENTIAL AND MULTI-FAMILY DEVELOPMENTS AT BUILDING ENTRANCES, PARKING AREAS, DRIVEWAYS, MAJOR WALKWAYS AND LOADING AREAS.
 - THE LIGHTING PLAN SHALL SHOW THE PROPOSED LIGHT INTENSITY AT GROUND LEVEL INDICATED WHERE 0.5 FOOT CANDLES OCCUR. DIMENSIONED MANUFACTURER'S LIGHTING DETAILS AND SPECIFICATIONS INCLUDING FOOTCANDLE DISTRIBUTIONS SHALL BE PROVIDED. FOR NONRESIDENTIAL USES THE LIGHT LENS SHALL BE FLUSH WITH THE GROUND, HOWEVER, DEVIATIONS SHALL BE PERMITTED BY THE BOARD WHERE AN ALTERNATIVE FIXTURE IS CONSIDERED AN ATTRACTIVE UPGRADE. CANOPY LIGHTS ASSOCIATED WITH NONRESIDENTIAL USES SHALL HAVE THE LIGHT LENS FLUSH WITH THE CANOPY CEILING. ALL LIGHTS SHALL BE CONCEALED SOURCE NONGLARE LIGHTING AND SHALL BE FOCUSED DOWNWARD SO THAT THE DIRECT SOURCE OF LIGHT IS NOT VISIBLE FROM ADJOINING STREETS OR PROPERTIES. NO LIGHT SHALL SHINE INTO BUILDING WINDOWS NOR ONTO STREETS AND DRIVEWAYS SO AS TO INTERFERE WITH OR DISTRACT DRIVER VISION. ADJUSTABLE FIXTURE HOUSINGS ARE PROHIBITED.
 - LIGHTING SHALL BE PROVIDED BY FIXTURES WITH A MOUNTING HEIGHT NOT MORE THAN EIGHTEEN (18) FEET OR THE HEIGHT OF THE BUILDING, WHICHEVER IS LESS, MEASURED FROM THE GROUND LEVEL TO THE CENTERLINE OF THE LIGHT SOURCE. FOR SHOPPING MALLS IN THE B-3 DISTRICT, THE PLANNING BOARD MAY DEVIATE FROM THIS STANDARD TO A MAXIMUM OF THIRTY (30) FEET BASED UPON THE SCALE OF THE DEVELOPMENT AND PROXIMITY TO ADJOINING LAND USES.
 - FOR NONRESIDENTIAL DEVELOPMENT, THE LIGHT INTENSITY AT GROUND LEVEL SHALL AVERAGE 0.5 FOOT CANDLES; HOWEVER, VARIATIONS ARE PERMITTED DEPENDING UPON THE INTENSITY OF THE USE. LIGHT INTENSITY SHALL NOT EXCEED 0.3 FOOT CANDLES ALONG ANY PROPERTY LINE AND SHALL BE SO ARRANGED AND SHIELDED TO REFLECT THE LIGHT AWAY FROM ADJOINING STREETS OR PROPERTIES; HOWEVER, THIS REGULATION SHALL NOT APPLY TO LIGHTS USED AT DRIVEWAY ENTRANCES AND EXITS.
 - FREESTANDING LIGHTS WITHIN PARKING AREAS SHALL BE PROTECTED TO AVOID BEING DAMAGED BY VEHICLES. FREESTANDING LIGHTS AT THE PERIMETER OF PARKING LOTS SHALL BE ALIGNED WITH PARKING STALL STRIPING AND LOCATED A MINIMUM OF TWO AND ONE-HALF (2-1/2) FEET FROM THE EDGE OF CURB. EXPOSED CONCRETE LIGHT FOUNDATIONS SHALL NOT EXCEED TWO (2) INCHES ABOVE GRADE OR SIX (6) INCHES ABOVE GRADE WHEN LOCATED WITHIN A LAWN AREA.
 - THE STYLE OF ANY LIGHT OR LIGHT STANDARD WITHIN NONRESIDENTIAL AND MULTI-FAMILY DEVELOPMENTS SHALL BE CONSISTENT WITH THE ARCHITECTURAL STYLE OF THE PRINCIPAL BUILDING AND, WHERE APPROPRIATE, THE ARCHITECTURAL CHARACTER OF THE SURROUNDING AREA.
 - WITH THE EXCEPTION OF STREET LIGHTS, LIGHT FIXTURES ATTACHED TO UTILITY POLES WITHIN THE ROAD RIGHT-OF-WAY SHALL BE CONCEALED SOURCE "SHOE BOX" FIXTURES. ADJUSTABLE OR TILTING FIXTURES ARE PROHIBITED.
 - ANY OTHER OUTDOOR LIGHTING SUCH AS BUILDING AND SIDEWALK ILLUMINATION, THE LIGHTING OF SIGNS AND ORNAMENTAL LIGHTING, SHALL BE SHOWN ON THE LIGHTING PLAN, IN THE FORM OF MANUFACTURER'S DETAILS AND SPECIFICATIONS TO ALLOW A DETERMINATION OF EFFECTS UPON ADJACENT PROPERTIES, TRAFFIC SAFETY AND OVERHEAD SKY GLOW.
 - TO ACHIEVE THE ABOVE REQUIREMENTS, THE INTENSITY OF LIGHT SOURCES, LIGHT SHIELDING AND SIMILAR CHARACTERISTICS SHALL BE SUBJECT TO SITE PLAN APPROVAL.

TOWNSHIP NOTES

- ALL LIGHTS ON THE PROPERTY WILL BE ON FROM 6:00 AM TO 10:00 PM, PER THE HOURS OF OPERATION. FOR SAFETY AND SECURITY PURPOSES, THE LIGHTS ARE MOTION SENSOR OPERATED AFTER HOURS.

LIGHTING STUDY

*EXISTING LIGHT LEVELS ARE BASED UPON A LIGHTING STUDY PREPARED BY DYNAMIC ENGINEERING ON FRIDAY, FEBRUARY 24, 2023 AT 6:20 PM DURING CLEAR WEATHER CONDITIONS.

STATISTICAL AREA SUMMARY (EXISTING)						
LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN	DESCRIPTION
FULL SITE	0.6	6.6	0	N/A	N/A	ILLUMINANCE (Fc) OF FULL SITE

BEACON
VIPER Area/Site
VIPER LUMINAIRE

FEATURES

- Low profile LED area/line luminaire with a variety of IES distributions for lighting applications such as auto dealership, retail, commercial, and campus parking lots
- Featuring two different cabinet technologies, Slim and Micro-Strike cabinets which provide the best distribution patterns for retrofit or new construction
- Rated for high vibration applications including bridges and overpasses. All sizes are rated for IES
- Control options including photo control, occupancy sensing, NK Lighting Control™, wISCAPE and 3-Phase with networked controls
- New customizable luminaire output feature allows for the wattage and lumens output to be customized in the factory to meet whatever specification requirements may entail
- Field interchangeable mounting provides additional flexibility after the fixture has shipped

CONTROL TECHNOLOGY
NK Lighting Control™ wISCAPE

SPECIFICATIONS

CONSTRUCTION

- Die-cast housing with hidden vertical heat sink area for heat dissipation while keeping a clean smooth outer surface
- Customizable die-cast aluminum housing with 1000-hour powder coat paint finish
- External hardware is corrosion resistant

OPTICS

- Micro-Strike Optics (80, 300, 480, or 720) mounting heights conforming to applications and come standard with micro-beamer LEDs which evenly distribute the luminaire surface area to provide a low glare appearance. Catalog logic found on page 2
- Strike Optics (36, 72, 90, or 182 LED count) provide best in class distributions and minimum pole spacing in new applications with high powered LEDs. Strike optics are held in place with a polypropylene bezel to ensure the appearance of the Micro-Strike Optics in both situations can be controlled on the same application. Catalog logic found on page 3
- Both optics maximize target zone illumination with minimal spill at the fixture edge, reducing light trespass issues. Additional backlight control shields and roller shade shields can be added for further reduction of illumination behind the pole
- One-piece silicone gasket ensures a weatherproof seal
- Zero up-light at 0 degrees of tilt
- Field replaceable optics

INSTALLATION

- Mounting patterns for each arm can be found on page 11
- Custom universal mounting blocks for ease of installation during retrofit applications. Available as an option (MSA) or necessary for square and round poles

EXO
OUTDOOR LIGHTING

LNC
COMPACT LED LITERARY

FEATURES

- Compact LNC LED is designed for perimeter lighting and available in 3 lumen packages for safety, security and identity
- 3000K, 4000K, 5000K and ambient color temperatures
- Up to 4ft spacing to mounting height ratio means fewer fixtures to install
- Acrylic diffuser included. Use for applications near entrances or locations where reduced brightness is desired. (Maximum spacing with diffuser 30ft)
- Die-cast aluminum housing with decorative Luvon styling
- Full cut-off neighbor friendly
- Listed to UL508 for use in wet locations

SPECIFICATIONS

CONSTRUCTION

- Decorative die-cast aluminum housing and door
- Rugged design protects internal components and provides excellent thermal management for long life
- Powder paint finishes provide lasting appearance in outdoor environments
- Full cut-off distribution. Ambient diffuser included. Use for applications near entrances or locations where reduced brightness is desired

OPTICS

- Drivers are 120-277V, 50/60Hz Type I, II and Type IV unless provide with alternate driver
- 3000K - 80 CRI, 4000K - 75 CRI and 5000K - 70 CRI CCT normal
- Drivers have greater than 90 power factor and less than 20% total harmonic distortion

INSTALLATION

- Click mount bracket provides quick installation, designed for recessed box 4" square junction box

ELECTRICAL

- 60,000 hours minimum LED life at L80 rating per IESNA TM-21-11
- Minimum operating temperature is -40°C/-40°F
- 0-10V dimming 20-277V only
- LNC-L - 1 LED, Types I, II or IV available, see page 2 for electrical details
- LNC-L - 7 LEDs, Types I, II or IV available, see page 2 for electrical details
- LNC-L - 9 LEDs, Types I, II or IV available, see page 2 for electrical details

CONTROLS

- Photocontrol option is available to provide dusk-to-dawn control for additional energy savings

CERTIFICATIONS

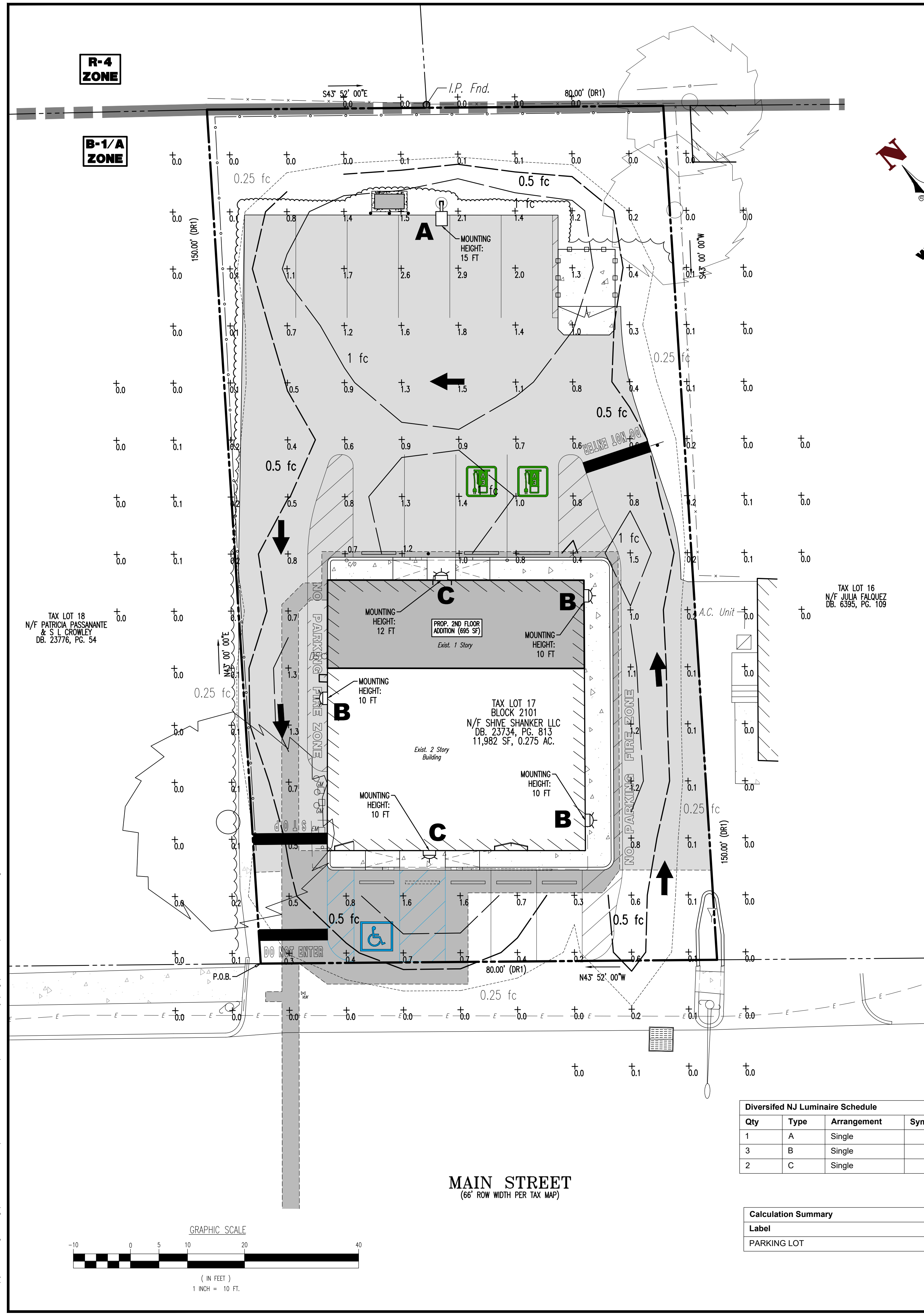
- Listed and labeled to UL 1599 for wet locations, 25°C ambient environments

WARRANTY

- 5 year warranty

KEY DATA

Lumen Range	800-2100
Height Range	13-22
Efficacy Range (lm/W)	64-95
Fixture Projected Life (Hours)	100K-200K
Weights (lbs. (kg))	9.6 (2.4) 5



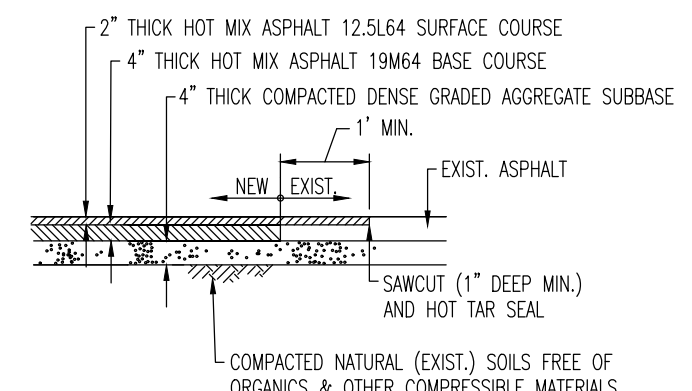
Diversified NJ Luminaire Schedule

Qty	Type	Arrangement	Symbol	Manufacturer	Light Fixture	CCT	Lum. Lumens	LLF	Lum. Watts	Arr. Watts	Pole / Bracket	Mounting AFG (FT)
1	A	Single	⊕	BEACON	VP-ST-1-36L-39-3K7-4F-UNV-A-FINISH-BC-MS8	3000K	4598	0.900	45.4	45.4	SSS-B-18'-40-A-1-B3-FINISH	15
3	B	Single	⊕	EXO	LNC-5LU-3K-2-FINISH	3000K	884	0.900	12.9	12.9		10
2	C	Single	⊕	EXO	LNC-7LU-3K-3-FINISH	3000K	1392	0.900	16.5	16.5		10, 12

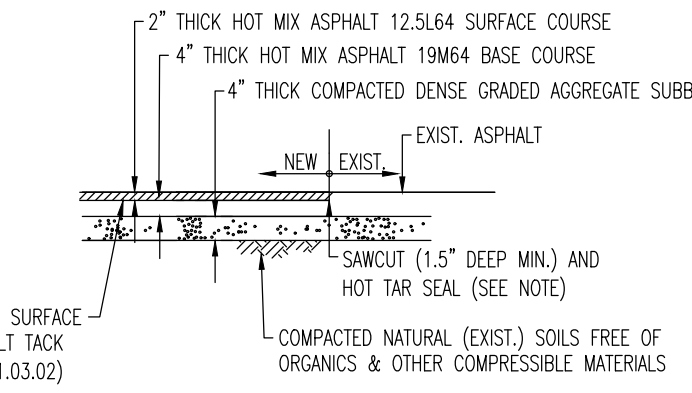
Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PARKING LOT	Illuminance	Fc	1.00	2.9	0.3	3.33	9.67

Plotted: 05/06/25 12:20 PM, By: jkoyal
 File: A:\Dynamic_Engineering\CEC\PROJECTS\3563_One_Venture_LLC\99-001_Roxbury\Dwg_Site_Plan_0356399001.SXD, ----> 05 LIGHTING PLAN
 Copyright © 2025 - DYNAMIC ENGINEERING CONSULTANTS, PC - ALL RIGHTS RESERVED



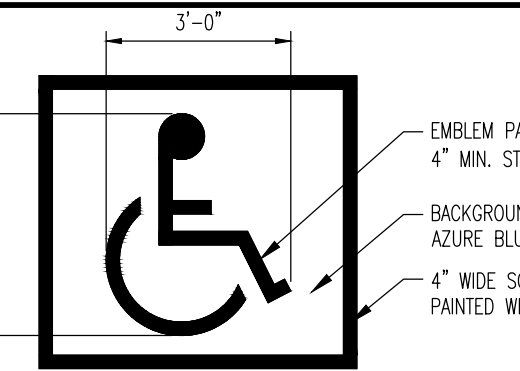
FULL DEPTH PAVEMENT EDGE CONDITION DETAIL



MILLING & OVERLAY DETAIL

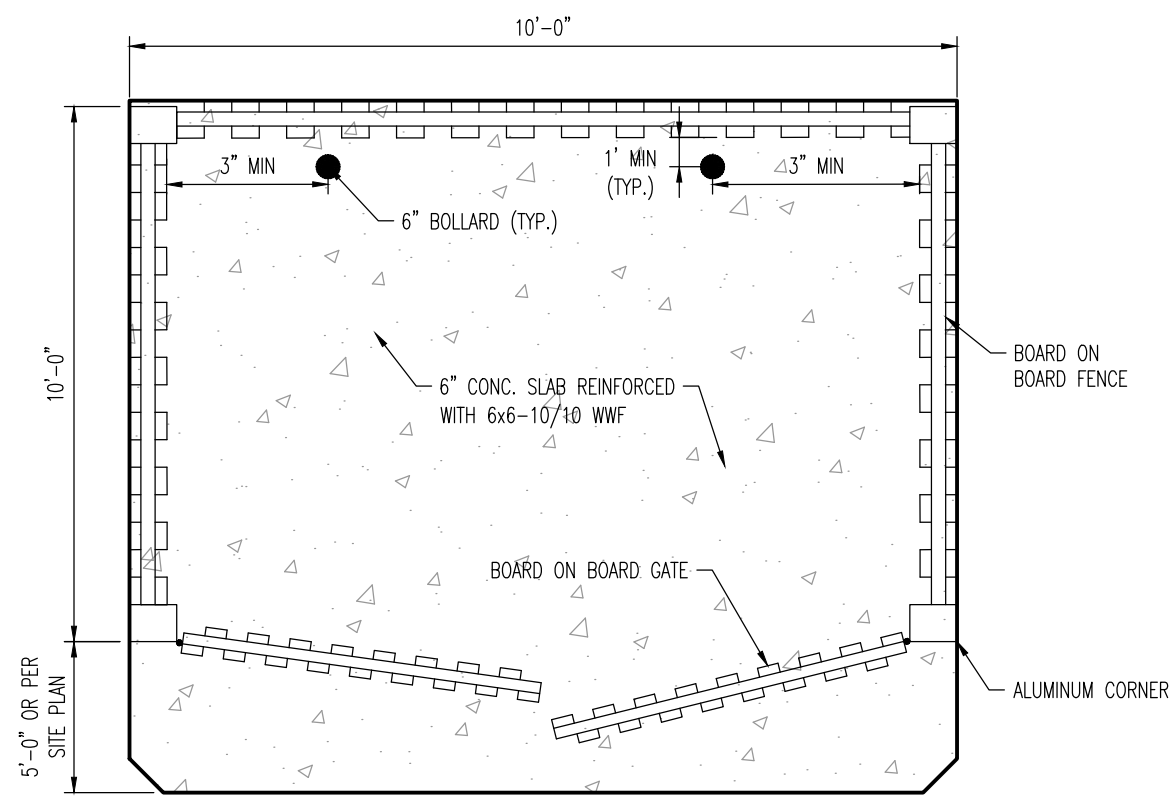
- NOTES:
- REMOVE THE HMA MATERIAL LEFT BY THE DRUM RADIUS AT THE LIMITS OF THE MILLING OPERATION. ENSURE THAT THE FACE IS CLEAN AND VERTICAL BY SAWCUTTING OR TRANSVERSE MILLING.
 - ALL PAVEMENT SECTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION 2007.
 - SEE PAVING DETAILS FOR ADDITIONAL INFORMATION.
 - THE DENSE GRADED AGGREGATE BACKFILL SHALL BE COMPACTED IN 8" LIFTS.

MILLING DETAILS

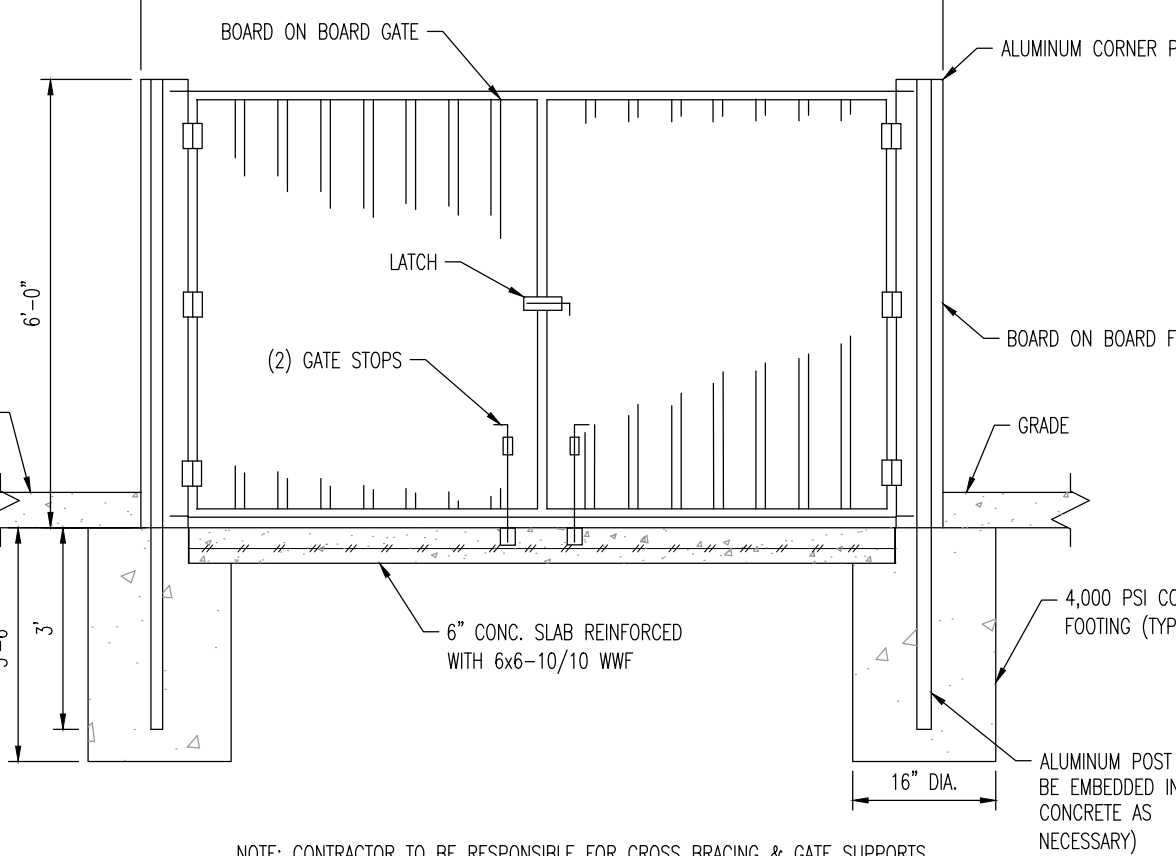


NOTE: ALL PAVEMENT STRIPING, MARKINGS & APPLICABLE SIGNAGE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST A.D.A. ACCESSIBILITY GUIDELINES.

PAINTED ACCESSIBLE PARKING SYMBOL DETAIL



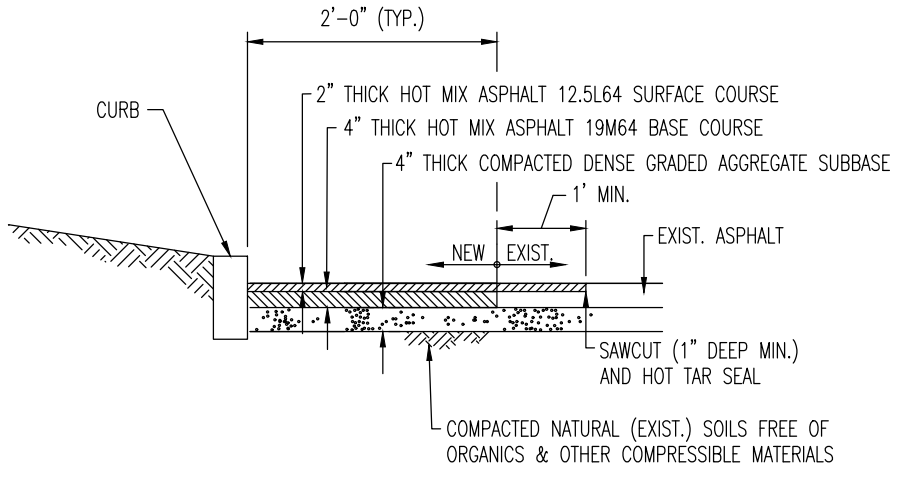
10' X 10' BOARD ON BOARD FENCE TRASH ENCLOSURE DETAIL



6" BOLLARD DETAIL

PARKING STALL STRIPING DETAIL

NOT TO SCALE

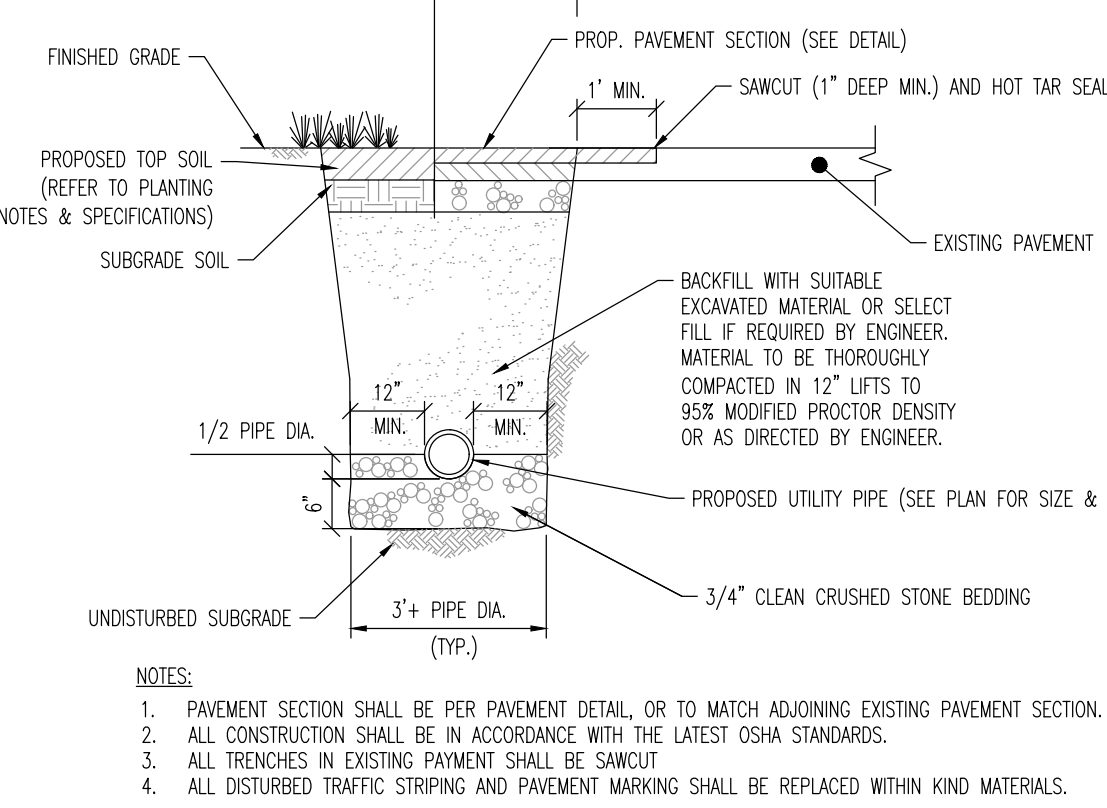


- NOTES:
- THE DENSE GRADED AGGREGATE BACKFILL SHALL BE COMPACTED IN 8" LIFTS.

FULL DEPTH PAVEMENT REPAIR DETAIL

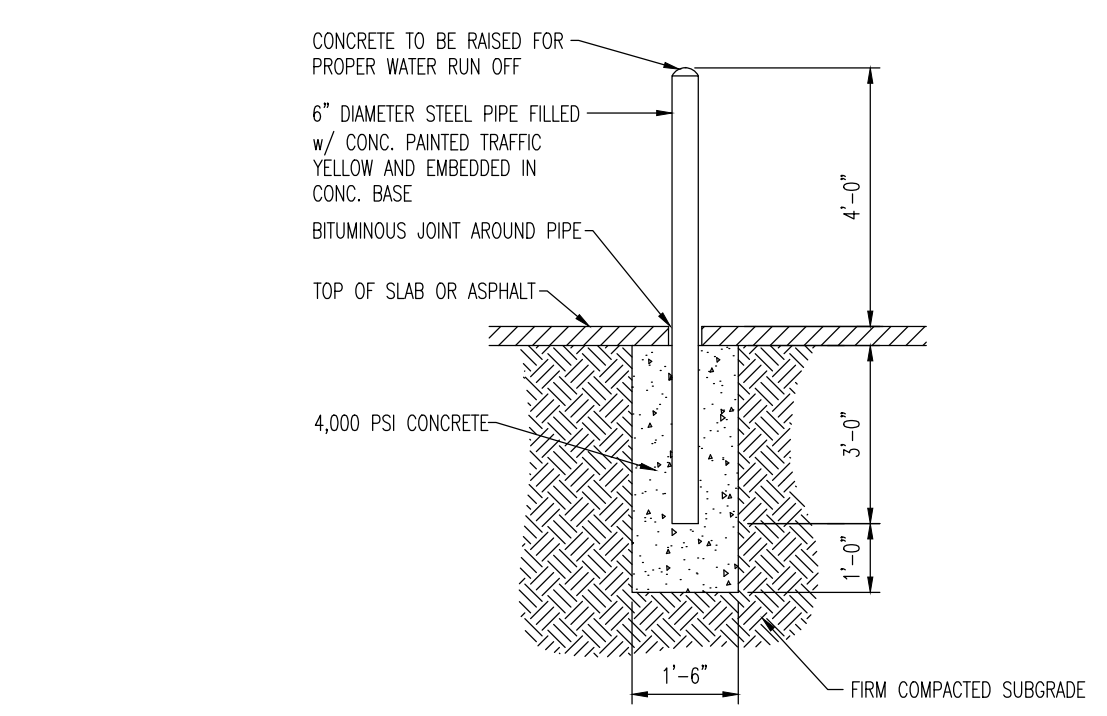
UTILITY SERVICE TRENCH DETAIL

NOT TO SCALE



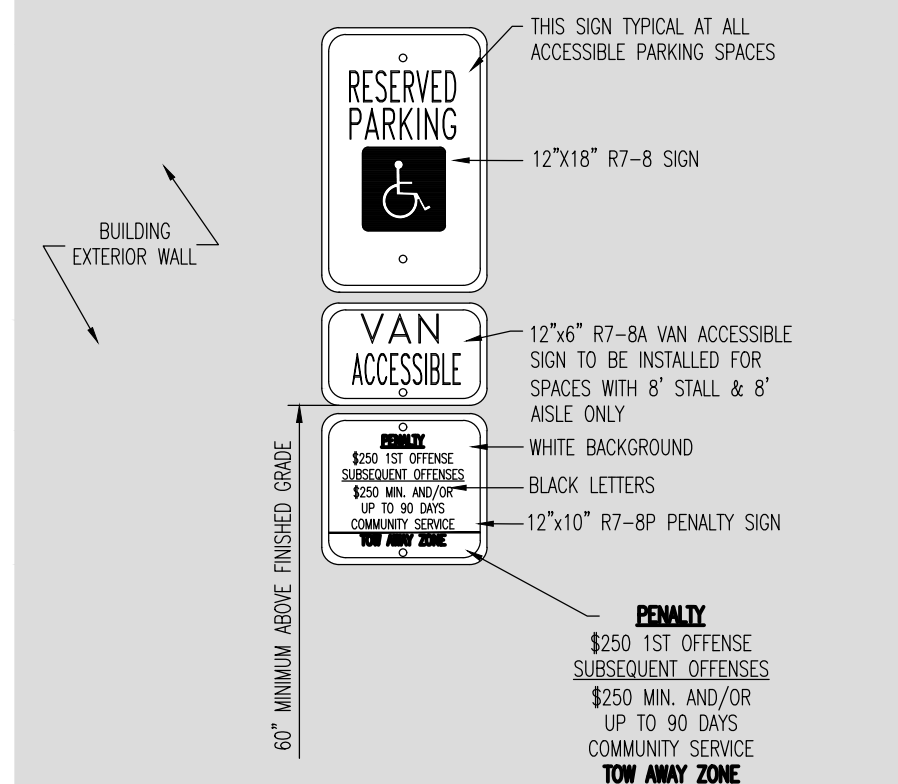
- NOTES:
- PAVEMENT SECTION SHALL BE PER PAVEMENT DETAIL, OR TO MATCH ADJOINING EXISTING PAVEMENT SECTION.
 - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST OSHA STANDARDS.
 - ALL TRENCHES IN EXISTING PAVEMENT SHALL BE SAWCUT.
 - ALL DISTURBED TRAFFIC STRIPING AND PAVEMENT MARKING SHALL BE REPLACED WITHIN KIND MATERIALS.

UTILITY SERVICE TRENCH DETAIL



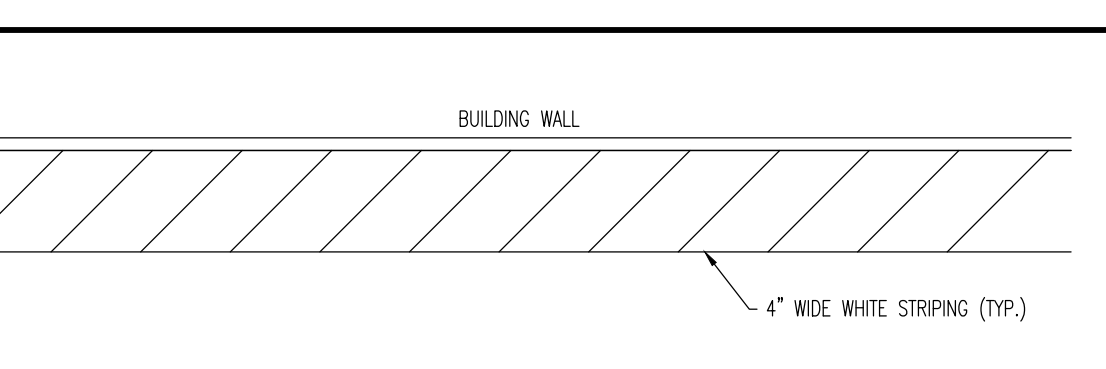
- NOTES:
- BOLLARDS MUST RESIST A FORCE OF 12,000 POUNDS APPLIED 36" ABOVE THE DRIVING SURFACE.
 - BOLLARDS REQUIRED AS DEPICTED ON SITE PLAN DRAWINGS. TYPICALLY LOCATED AT BUILDING CORNERS, TRANSFORMERS, FIRE HYDRANTS, EXTERIOR WATER METER, GAS METER, FIRE DEPARTMENT CONNECTIONS, AND TRASH ENCLOSURES.

CONCRETE TO BE RAISED FOR PROPER WATER RUN OFF

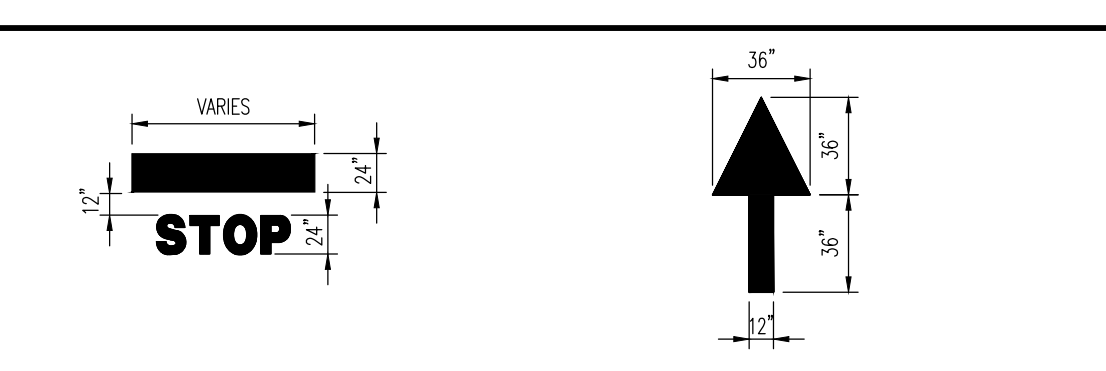


- NOTES:
- IF AT THE TIME OF CONSTRUCTION THE STATE OF NEW JERSEY HAS APPROVED FINES/PENALTIES DIFFERENT THAN THOSE INDICATED ON THIS DETAIL, CONTRACTOR IS TO PROVIDE SIGNAGE INDICATING THE CURRENT FINES/PENALTIES AS APPROVED BY THE STATE OF NEW JERSEY.
 - VAN ACCESSIBLE SIGN SHALL BE 60" MINIMUM ABOVE FINISHED GRADE WHERE APPLICABLE. WHEN VAN ACCESSIBLE IS NOT REQUIRED, R7-8 SIGN SHALL BE SET AT 60" MINIMUM ABOVE FINISHED GRADE.

WALL MOUNTED VAN ACCESSIBLE SIGN



WHITE PAINTED STRIPING DETAIL

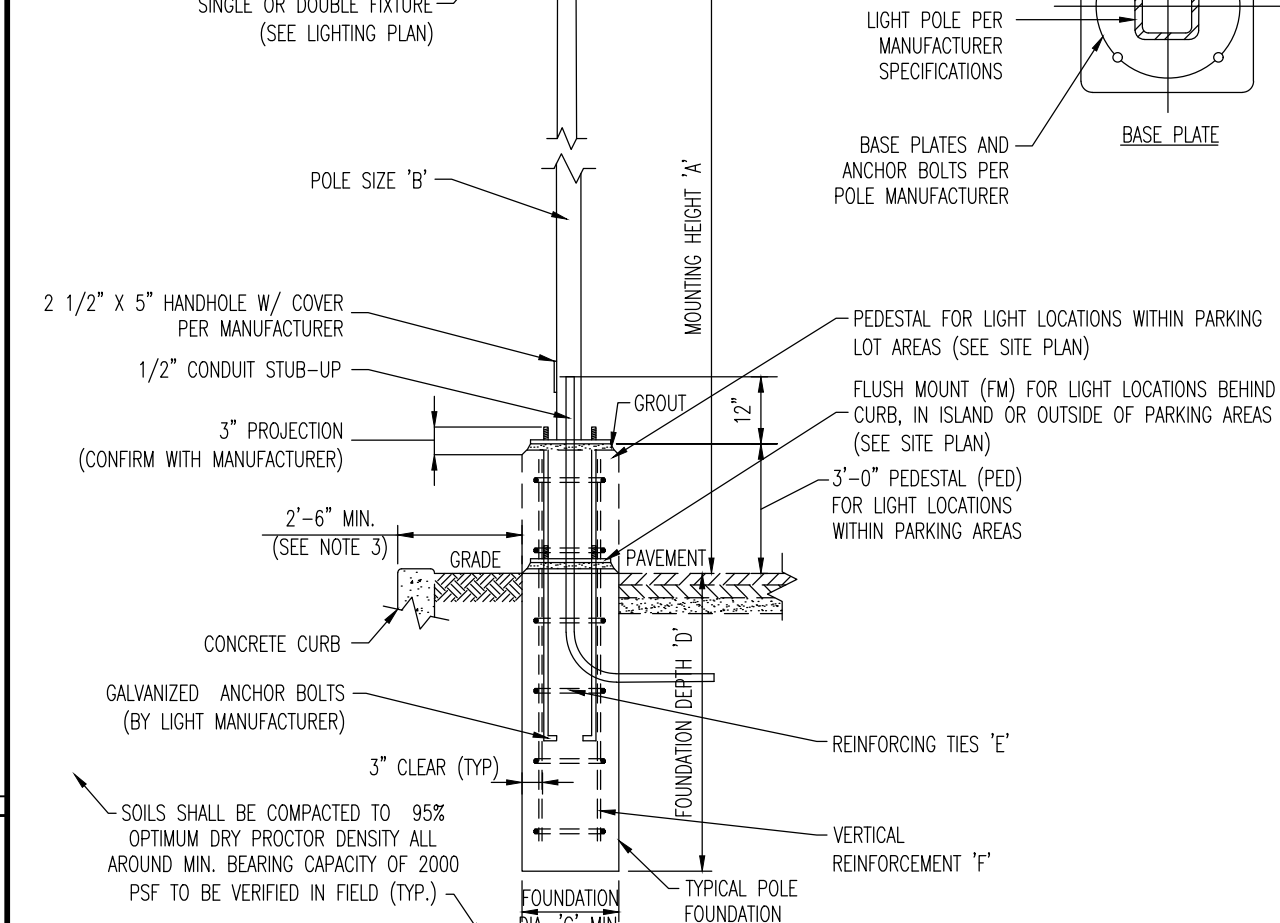


NOTE: ARROWS AND WORDS CAN BE ARRANGED IN OTHER COMBINATIONS THAN THOSE ILLUSTRATED HERE TO ACHIEVE DESIRED RESULT. ALL PAINT TO BE THERMOPLASTIC.

PAINTED MARKING DETAILS

AREA LIGHT FOUNDATION DETAIL

NOT TO SCALE



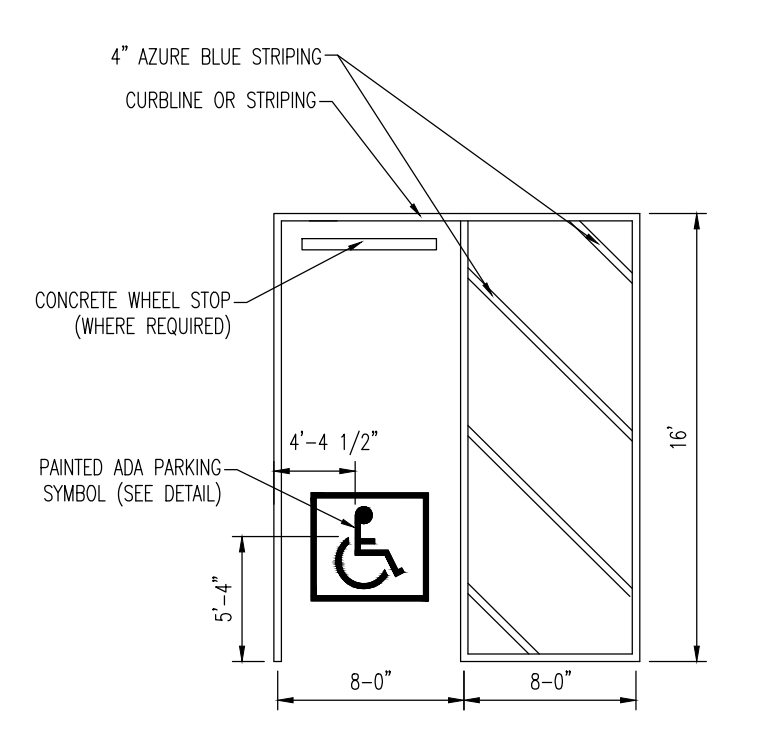
- NOTE:
- CONTRACTOR TO CONFIRM ALL LIGHT POLE & FIXTURE DIMENSIONS PRIOR TO CONSTRUCTION.
 - CONTRACTOR TO PROVIDE ADJUSTED POLE HEIGHT RESULTING IN MOUNTING HEIGHT 'A', TAKING INTO CONSIDERATION PEDESTAL (PED) OR FLUSH MOUNT (FM) FOUNDATION DESIGNATION AT EACH POLE LOCATION.
 - PROPOSED CONCRETE FOUNDATION AND POLE TO BE CONSTRUCTED WITHIN SUBJECT PROPERTY UNLESS OTHERWISE NOTED. SETBACK FROM CURB IS PREFERRED BUT TO BE ADJUSTED AS NEEDED TO PREVENT ENCROACHMENT OVER PROPERTY LINE.
 - BASE PLATE & ANCHOR BOLTS PER POLE MANUFACTURER. LARGER FOOTING DIAMETER AND/OR ALTERNATE ARRANGEMENT OF REINFORCING STEEL MAY BE REQUIRED TO ACCOMMODATE ANCHOR BOLT CONFIGURATION. CONTRACTOR RESPONSIBLE TO COORDINATE DIMENSIONAL REQUIREMENTS FOR BASE PLATE, ANCHOR BOLTS & REINFORCING STEEL PRIOR TO CONSTRUCTION.

LIGHT POLE FOUNDATION SCHEDULE	
MOUNTING HEIGHT ABOVE GRADE 'A'	18'
POLE DIA. 'B'	4" SQUARE
# OF FIXTURES	SINGLE
FOUNDATION DIAMETER 'C'	18" DIA. ROUND
FOUNDATION DEPTH 'D'	5.5'
REINFORCING TIES 'E'	#4 @ 12" O.C.
VERTICAL REINFORCEMENT 'F'	(6) #6 BARS EQUALLY SPACED

- SOIL NOTES:
- FOOTING DESIGN BASED ON ASSUMED MAXIMUM ALLOWABLE SOILS BEARING CAPACITY OF 2,000 PSF. CONTRACTOR RESPONSIBLE TO VERIFY ADEQUACY OF ASSUMED BEARING CAPACITY PRIOR TO CONSTRUCTION. ENGINEER TO BE NOTIFIED IF INCONSISTENCIES EXIST.
 - SUBGRADE TO BE FREE OF ORGANICS AND BE SUITABLE, COMPACTED MATERIAL.

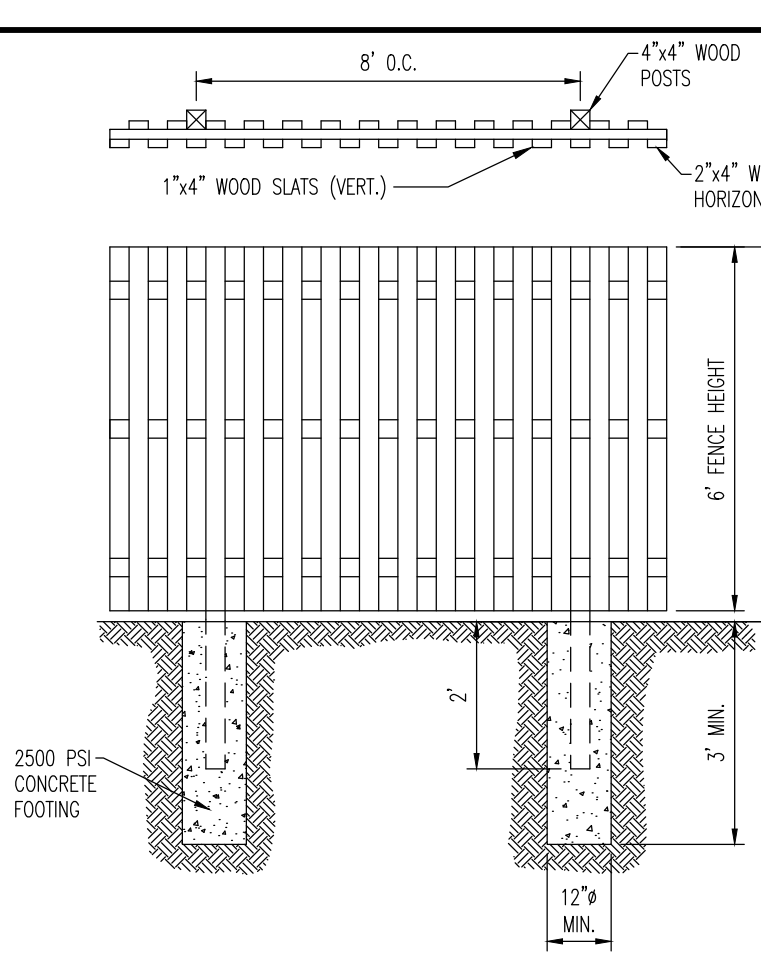
- CONCRETE NOTES:
- CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS WITH A MINIMUM CEMENT CONTENT OF 600 POUNDS PER CUBIC YARD FOR ALL FOOTINGS.
 - ALL CONCRETE SHALL HAVE A SLUMP OF NO GREATER THAN 4" TO WITHIN A TOLERANCE OF 1".
 - ALL EXPOSED CONCRETE SHALL BE AIR-ENTRAINED (WITHIN 1% TOLERANCE), CONFORMING TO ASTM C260.
 - REINFORCING FRAMEWORK AND PLACEMENT OF CONCRETE SHALL COMPLY WITH GOOD CONSTRUCTION PRACTICES AND BE IN ACCORDANCE WITH ALL LOCAL GOVERNING CODES AND REGULATIONS AS WELL AS THE AIA AND UNIFORM BUILDING CODE.

AREA LIGHT FOUNDATION DETAIL



- NOTES:
- PAVEMENT STRIPING FOR ALL ADA PARKING SPACES SHALL BE PAINTED AZURE BLUE.
 - WHERE AN ADA PARKING STALL MEETS A STANDARD PARKING STALL, AN AZURE BLUE AND WHITE PAVEMENT STRIPE SHALL BE PAINTED.
 - ALL PAVEMENT STRIPING, MARKINGS AND SIGNAGE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST ADA ACCESSIBILITY GUIDELINES.

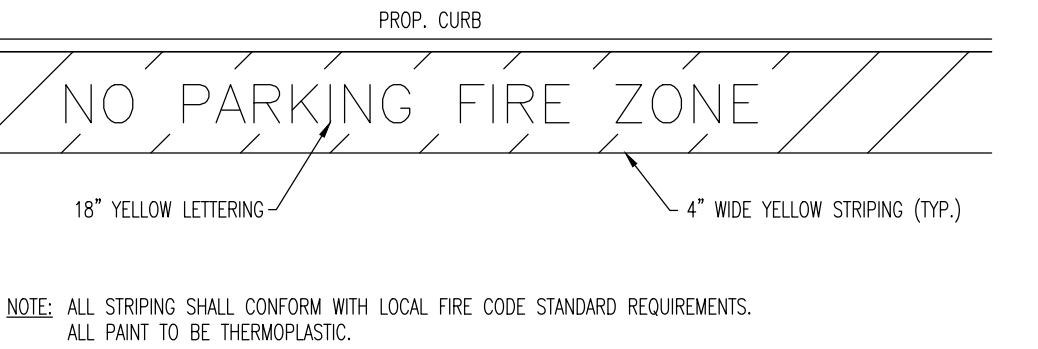
ACCESSIBLE STALL MARKINGS DETAIL



BOARD-ON-BOARD FENCE DETAIL

PAINTED ELECTRIC VEHICLE (EV) CHARGE STATION PARKING SYMBOL DETAIL

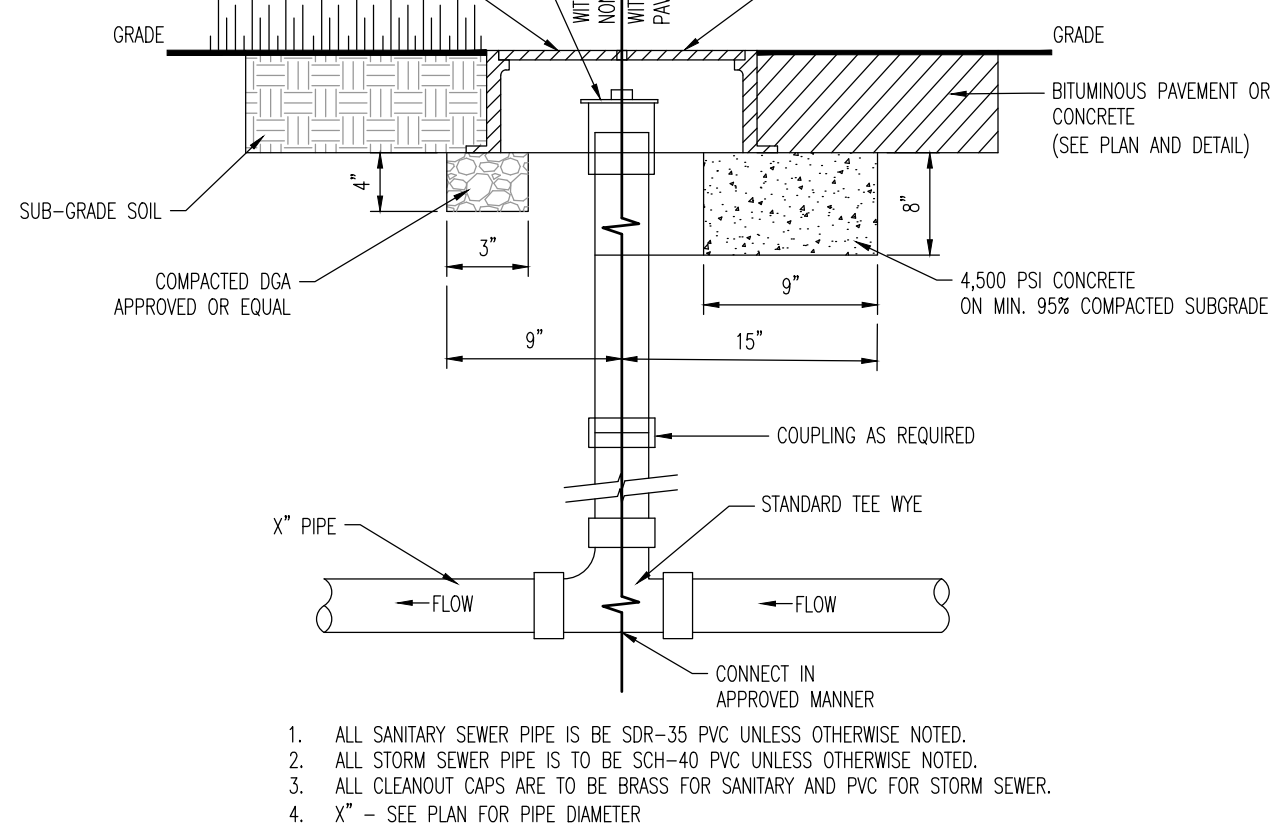
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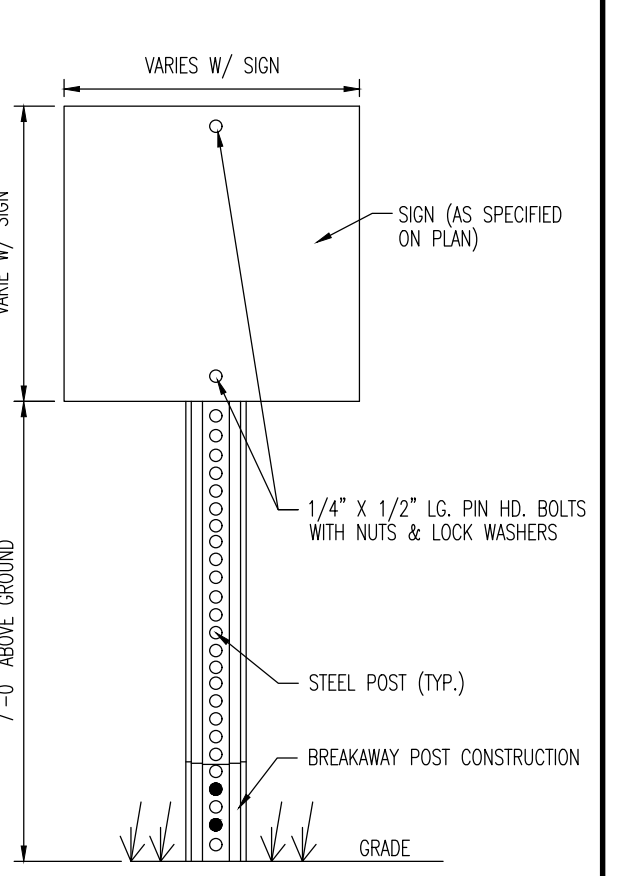
FIRE ZONE STRIPING DETAIL

CLEANOUT DETAIL

NOT TO SCALE

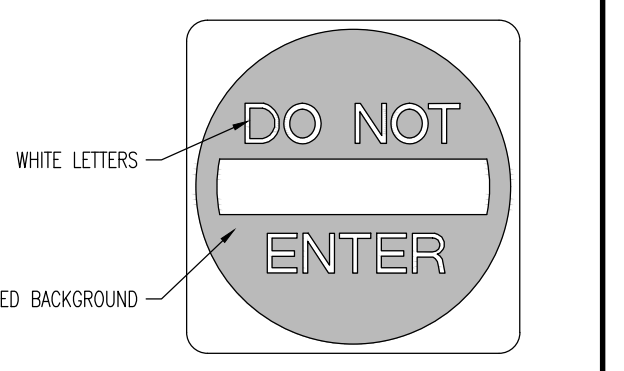


- NOTES:
- ALL SANITARY SEWER PIPE IS TO BE SDR-35 PVC UNLESS OTHERWISE NOTED.
 - ALL STORM SEWER PIPE IS TO BE SCD-40 PVC UNLESS OTHERWISE NOTED.
 - ALL CLEANOUT CAPS ARE TO BE BRASS FOR SANITARY AND PVC FOR STORM SEWER.
 - X" - SEE PLAN FOR PIPE DIAMETER.



SIGN POST DETAIL

NOT TO SCALE



'DO NOT ENTER' SIGN DETAIL

NOT TO SCALE

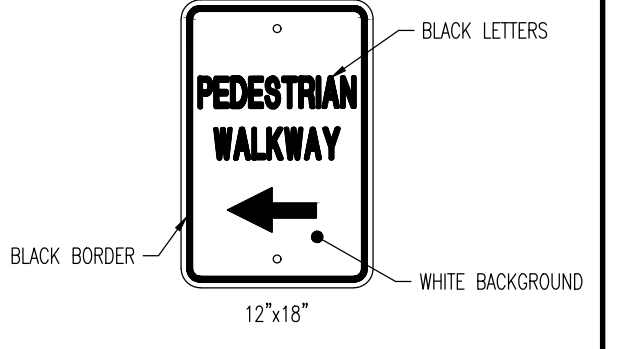


NO PARKING FIRE ZONE

NOTE: SIGN MUST COMPLY WITH ALL LOCAL FIRE DEPT. REQUIREMENTS.

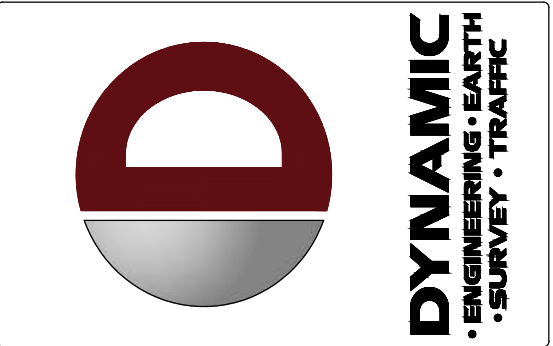
FIRE ZONE SIGN DETAIL

NOT TO SCALE



PEDESTRIAN WALKWAY SIGN DETAIL

NOT TO SCALE



NO.	DATE	REVISION	BY
1	05/18/22	REVISED PER SECOND FLOOR IMPROVEMENTS	NEL
2	09/06/22	REVISED PER COMPLETENESS REVIEW	JD
3	02/28/24	REVISED PER TOWNSHIP COMMENTS	JD
4	03/21/24	REVISED PER ZONING BOARD COMMENTS	JD
5	08/23/24	REVISED PER RESOLUTION COMPLIANCE	JD
6	08/23/24	REVISED PER RESOLUTION COMPLIANCE	JD
7	07/03/25	REVISED PER RESOLUTION COMPLIANCE #3	JD
8	05/06/25	REVISED PER RESOLUTION COMPLIANCE #3	JD

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION.

PROJECT: ONE VENTURE, LLC PROPOSED BUILDING ADDITION & CHANGE OF USE BLOCK 2101, LOT 17 39 MAIN STREET NEW JERSEY TOWNSHIP OF ROXBURY, MORRIS COUNTY, NEW JERSEY

DATE: _____

REV. DATE: _____

COMMENTS: _____

811 PROTECT YOURSELF

ALL STATES REQUIRE NOTIFICATION OF EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. CALL 811 TO LOCATE UTILITIES BEFORE YOU DIG.

FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

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DANIEL T. SEHNAL

PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. 53572

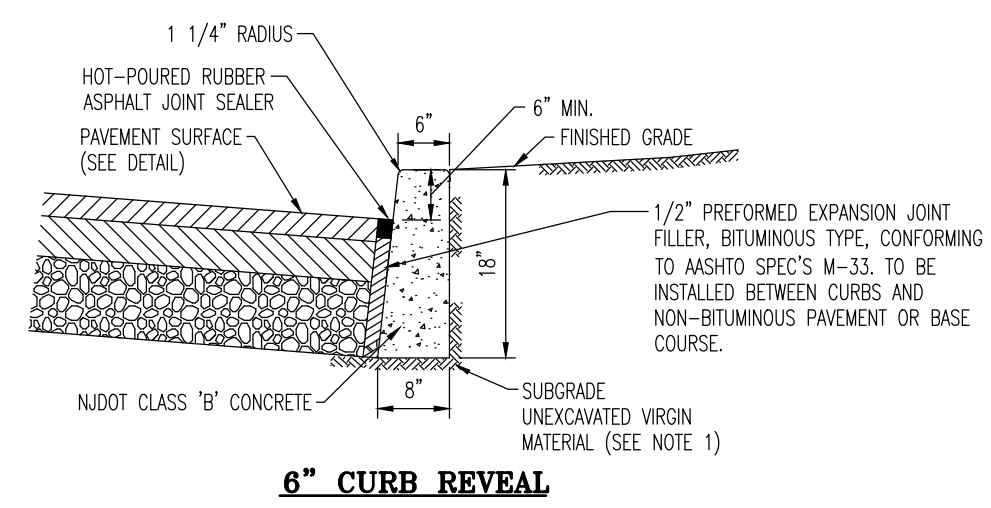
BRETT W. SKAPINETZ

PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. 41985

CONSTRUCTION DETAILS

SCALE: (H) NOT TO SCALE DATE: 10/05/2020
PROJECT No: 3563-99-001

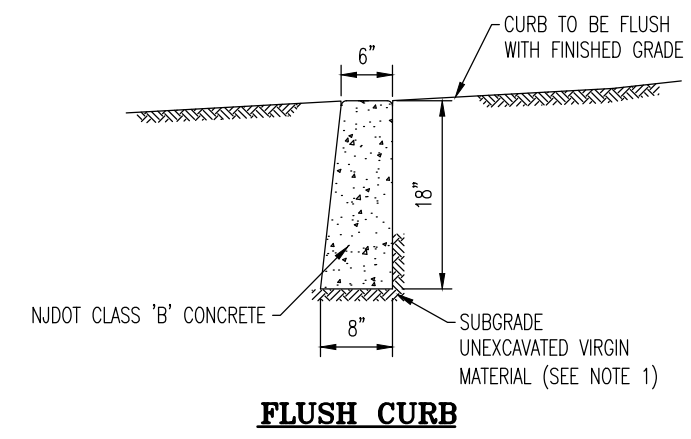
SHEET No: **7** Rev. #: _____
OF 9 8



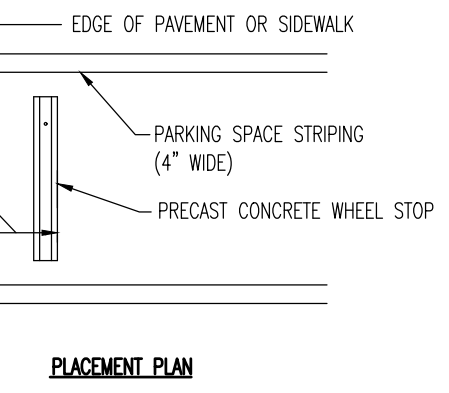
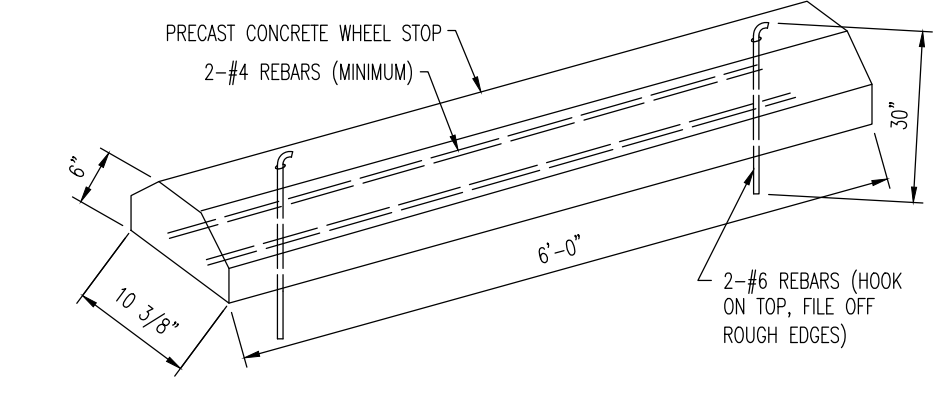
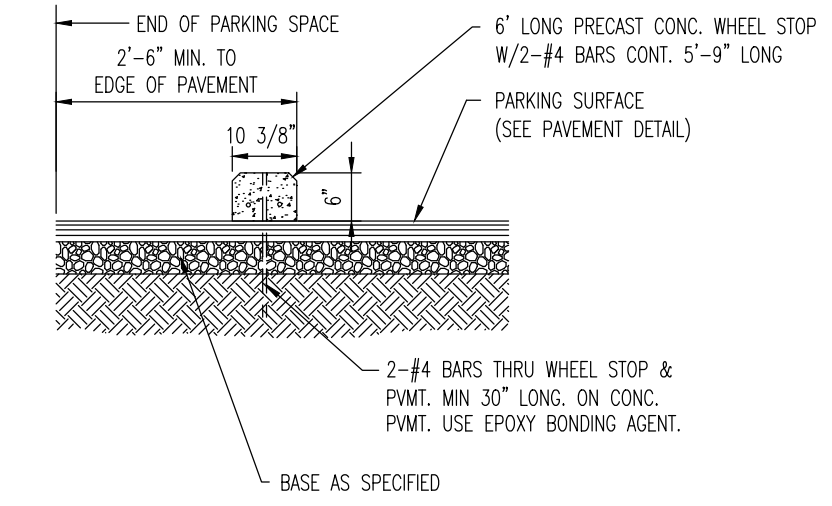
6" CURB REVEAL

NOTES:

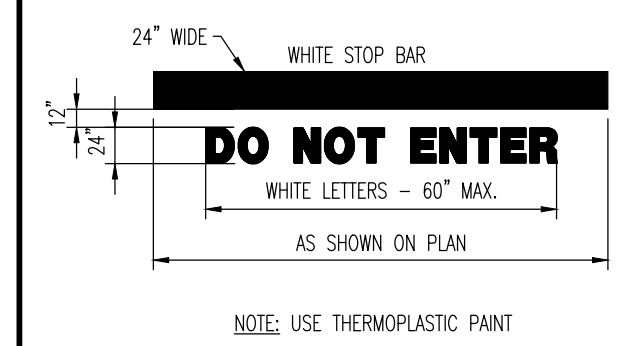
1. ANY EXCAVATION BELOW DESIRED GRADE DUE TO OVER EXCAVATION OR WET SOIL CONDITIONS SHALL BE BACKFILLED WITH 3/4" CLEAN CRUSHED STONE. ALL SUBGRADES SHALL BE APPROVED BY THE TOWNSHIP ENGINEER PRIOR TO POURING.
2. TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 20'-0" APART AND SHALL BE FILLED WITH PREFORMED, BITUMINOUS-IMPREGATED FIBER JOINT FILLER, COMPLYING WITH THE REQUIREMENTS OF ASTM-D-213, RECESSED 1/4" FROM THE FRONT FACE AND TOP OF THE CURB.
3. DUMMY JOINTS (FORMED) SHALL BE INSTALLED MIDWAY BETWEEN EXPANSION JOINTS.
4. WIDTH OF JOINT FILLER STRIP EQUAL TO THE THICKNESS OF THE PAVEMENT LESS 1/2".
5. THESE SPECIFICATIONS ALSO MEET RSD DESIGN STANDARDS.



FLUSH CURB



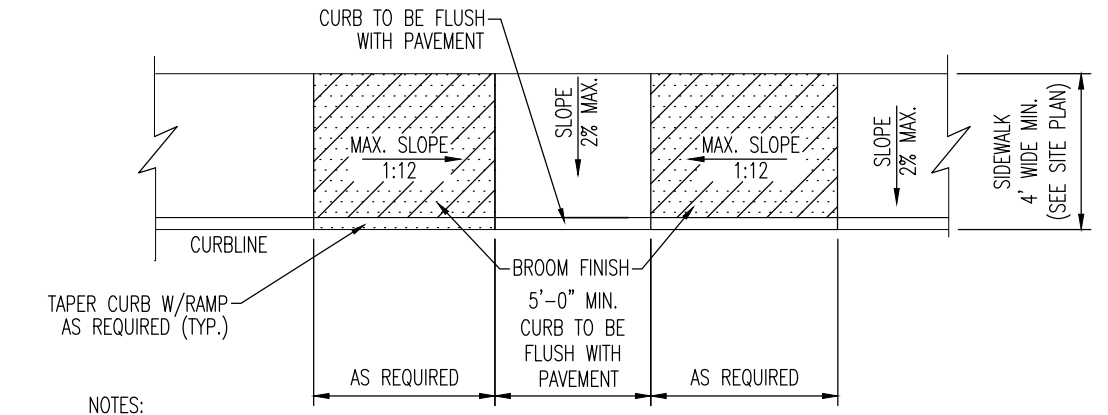
NOTE: WHEEL STOP TO BE USED ONLY WHERE SHOWN ON PLANS.



DO NOT ENTER STRIPING DETAIL
NOT TO SCALE

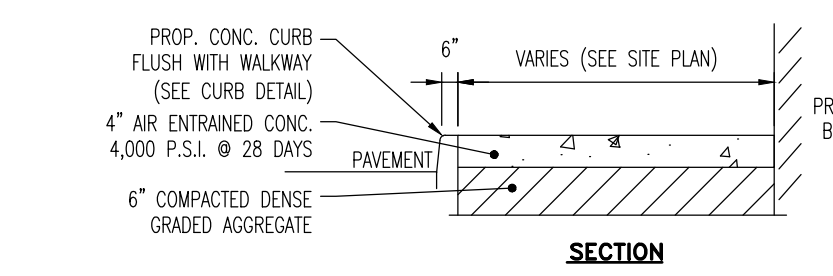
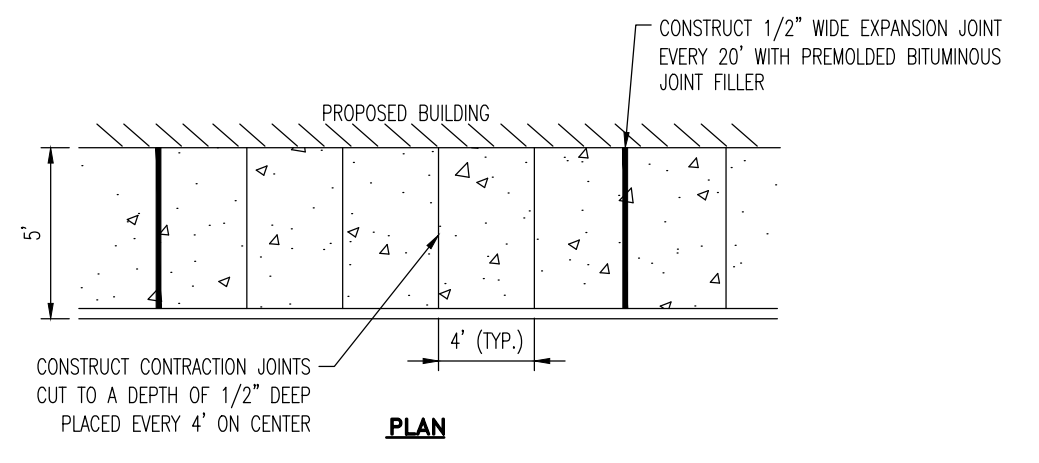
CONCRETE CURB DETAIL

NOT TO SCALE



- NOTES:**
- 1.) CURB RAMPS MAY NOT EXTEND INTO ANY PORTION OF THE PARKING SPACE OR ASSOCIATED STRIPED ISLAND.
 - 2.) COUNTER SLOPES OF ADJOINING GUTTERS AND PAVEMENT SHALL NOT BE STEEPER THAN 1:20 WITH A MAX. CROSS SLOPE OF 2%.
 3. A LEVEL LANDING AREA (MAX. SLOPE 2% IN ANY DIRECTION) SHALL BE PROVIDED AT THE TOP OF THE RAMP. THE LANDING CLEAR LENGTH SHALL BE 36" MIN AND THE CLEAR WIDTH SHALL BE AS WIDE AS THE RAMP.
 - 4.) CURB RAMPS, PAVEMENT MARKINGS & APPLICABLE SIGNAGE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST A.D.A. ACCESSIBILITY GUIDELINES.

ACCESSIBLE PARALLEL CURB RAMP DETAIL
NOT TO SCALE

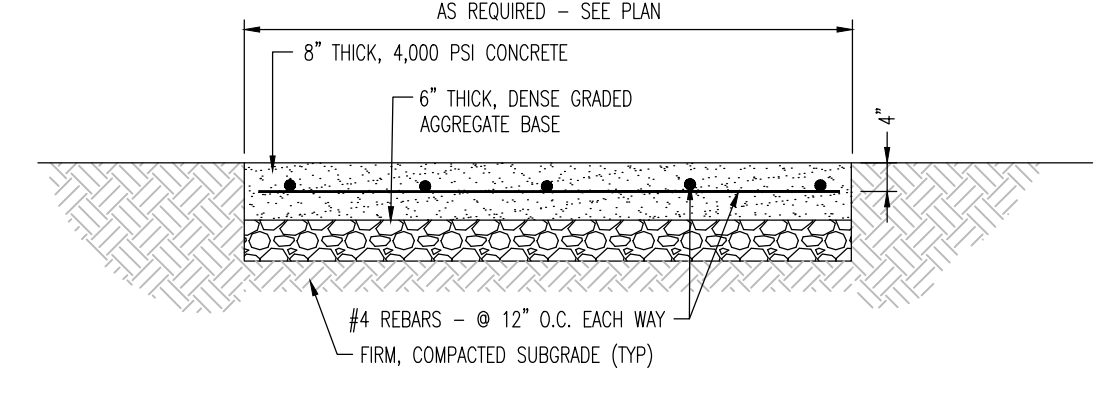


- NOTE:**
1. MAX. CROSS SLOPE 1/4" PER FOOT PITCHED AWAY FROM BUILDING.
 2. PROVIDE 1/2" WIDE PREFORMED BITUMINOUS EXPANSION JOINT AT 20' INTERVALS.
 3. REFER TO SITE PLAN FOR SIDEWALK WIDTH.
 4. PROVIDE A BROOM FINISH TO PROVIDE A SLIP RESISTANT WEARING SURFACE IN ACCORDANCE WITH A.D.A. REGULATIONS. FINISH THE EDGES OF THE GROOVES USING AN EDGING TOOL WITH A 1/4" RADIUS.

CONCRETE SIDEWALK AT BUILDING DETAIL
NOT TO SCALE

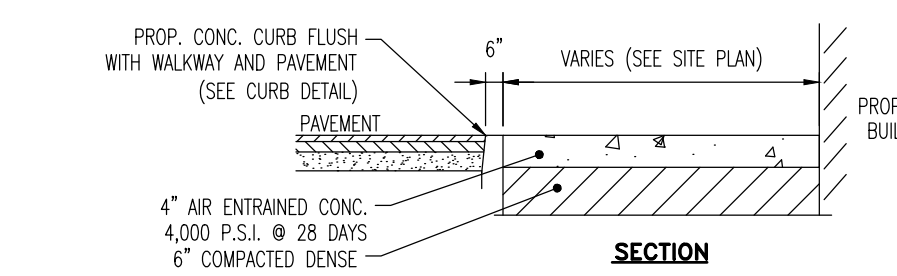
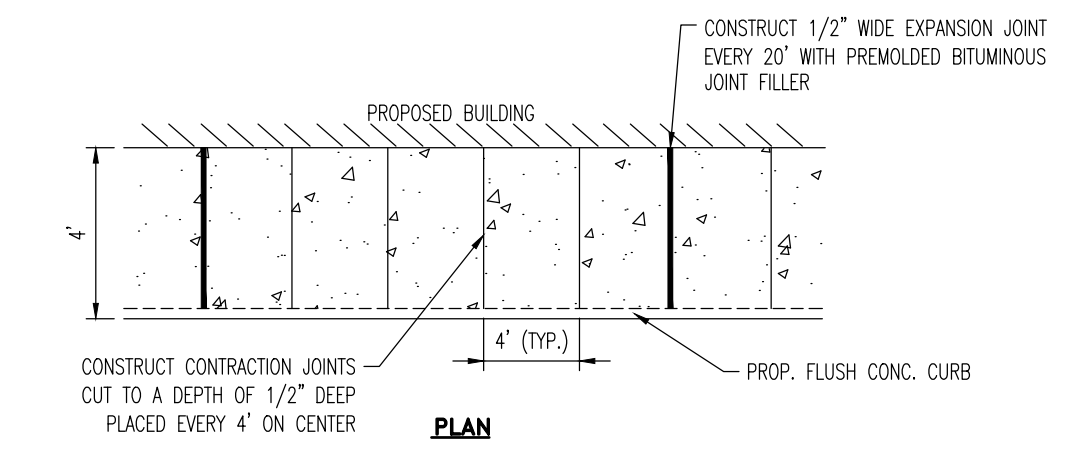
PRECAST CONCRETE WHEEL STOP DETAIL

NOT TO SCALE



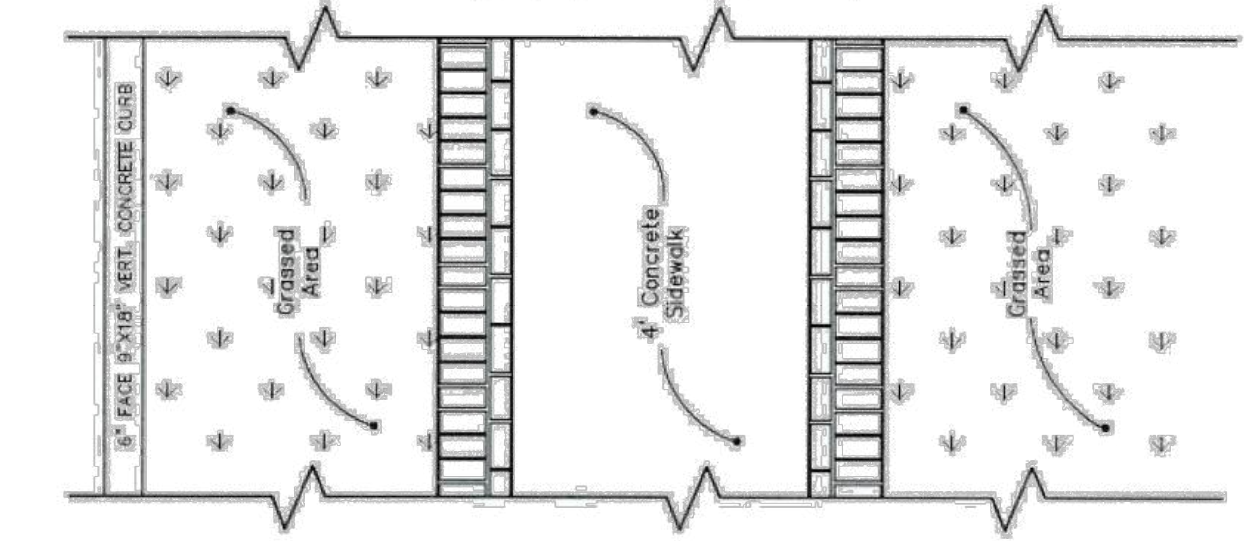
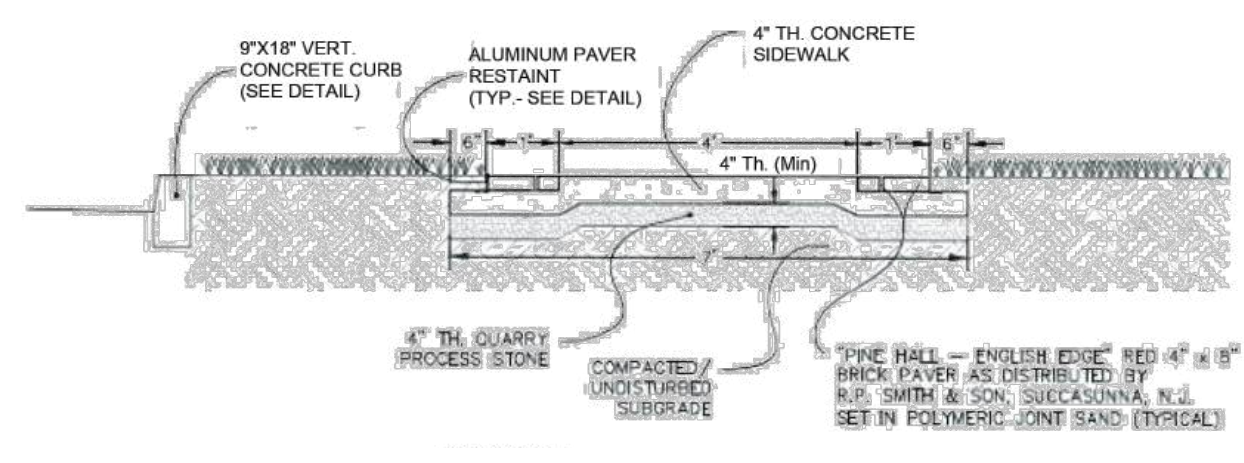
- NOTES:**
1. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS.
 2. ALL CONCRETE SHALL HAVE A SLUMP OF NO GREATER THAN 4" TO WITHIN A TOLERANCE OF 1".
 3. ALL EXPOSED CONCRETE SHALL BE AIR-ENTRAINED, (5% WITHIN 1" TOLERANCE), CONFORMING TO ASTM C260.
 4. REINFORCING STEEL BARS SHALL BE A MINIMUM ASTM A615, GRADE 60, AND SHALL BE FIELD WIRED IN PLACE.
 5. ALL FRAMEWORK, AND PLACEMENT OF CONCRETE SHALL COMPLY WITH GOOD CONSTRUCTION PRACTICES AND BE IN ACCORDANCE WITH ALL LOCAL GOVERNING CODES AND REGULATIONS, AS WELL AS THE ACI AND UNIFORM BUILDING CODE.
 6. PROVIDE CONTRACTION JOINT SPACING NO GREATER THAN 15' ISOLATION/EXPANSION JOINTS AT STRUCTURES AND CONSTRUCTION JOINTS WHEN WORK IS INTERRUPTED, ALL AT REGULAR JOINT INTERVALS. JOINT PATTERNS SHOULD DIVIDE CONCRETE INTO APPROXIMATE SQUARE PANELS WITH LENGTHS NOT MORE THAN 125% OF WIDTH AND AVOID ACUTE ANGLES.

REINFORCED CONCRETE PAD DETAIL
NOT TO SCALE



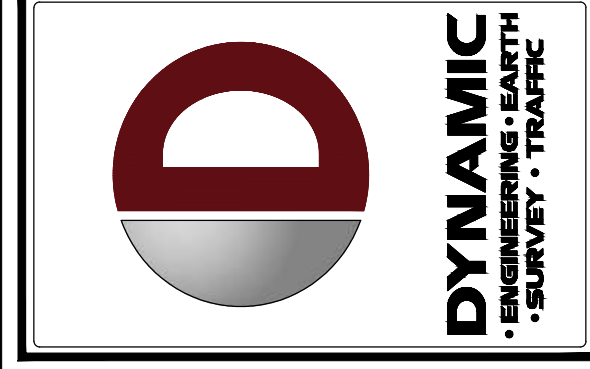
- NOTE:**
1. MAX. CROSS SLOPE 1/4" PER FOOT PITCHED AWAY FROM BUILDING.
 2. PROVIDE 1/2" WIDE PREFORMED BITUMINOUS EXPANSION JOINT AT 20' INTERVALS.
 3. REFER TO SITE PLAN FOR SIDEWALK WIDTH.
 4. PROVIDE A BROOM FINISH TO PROVIDE A SLIP RESISTANT WEARING SURFACE IN ACCORDANCE WITH A.D.A. REGULATIONS. FINISH THE EDGES OF THE GROOVES USING AN EDGING TOOL WITH A 1/4" RADIUS.

PROP. CONCRETE SIDEWALK AT BUILDING W/ FLUSH CURB DETAIL
NOT TO SCALE



- NOTE:**
1. THIS DETAIL SHALL ONLY BE USED FOR CONCRETE SIDEWALK REPLACEMENT WITHIN THE TOWNSHIP RIGHT-OF-WAY (MAIN STREET).
 2. ALL CONCRETE TO BE CLASS "B" (4000 P.S.I.) AND COLORED "FRENCH GRAY"

TOWNSHIP OF ROXBURY CONCRETE SIDEWALK DETAIL
NOT TO SCALE



NO.	DATE	REVISIONS	BY
1	05/18/22	REVISED PER SECOND FLOOR IMPROVEMENTS	JDK
2	09/06/22	REVISED PER COMPLETENESS REVIEW	JDK
3	02/28/24	REVISED PER TOWNSHIP COMMENTS	JDK
4	03/21/24	REVISED PER ZONING BOARD COMMENTS	JDK
5	06/23/24	REVISED PER RESOLUTION COMPLIANCE	JDK
6	06/23/24	REVISED PER RESOLUTION COMPLIANCE	JDK
7	07/03/24	REVISED PER RESOLUTION COMPLIANCE #3	JDK
8	05/06/25	REVISED PER RESOLUTION COMPLIANCE #3	JDK

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

PROJECT: **ONE VENTURE, LLC PROPOSED BUILDING ADDITION & CHANGE OF USE**
BLOCK 2101, LOT 17
39 MAIN STREET
TOWNSHIP OF ROXBURY, MORRIS COUNTY, NEW JERSEY

DATE: _____
DRAWN BY: _____
CHECKED BY: _____
DESIGNED BY: _____

811 PROTECT YOURSELF
ALL STATES REQUIRE NOTIFICATION OF ENGINEERS, DESIGNERS, OR ANY PERSON PREPARING TO DIGRESS THE SURFACE ANYWHERE IN ANY STATE

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TITLE: **CONSTRUCTION DETAILS**

SCALE: (H) NOT TO SCALE DATE: 10/05/2020
PROJECT No: 3563-99-001

SHEET No: **8** OF 9 Rev. #:

