

BROADWAY - DUPLEX

2439 Broadway
Boulder, CO 80304

NOT FOR CONSTRUCTION

02.16.2026



ABBREVIATIONS

&	AND	GCMU	GLAZED CONCRETE MASONRY UNIT(S)	ROW	RIGHT OF WAY
<	ANGLE	GA	GAUGE	RBS	RUBBER BASE STRAIGHT
#	AT	GR	GRADE	RBC	RUBBER BASE COVE
#	FOUND(S) or NUMBER	GL	GLASS or GLAZING	RB	RUBBER BASE
AB	ANCHOR BOLT	GR	GRADE	RH	RIGHT HAND
ABV	ABOVE	GL	GLASS or GLAZING	RF	RESILIENT FLOORING
AC	ACROSS	GR	GRADE	RECPT	RECEPTACLE
ACT	ACCUSSIONAL	GRT	GROUT	RBT	RUBBER TILE
ADD	ADDENDUM	GR	GRADE	RVS	REVERSE (SIDE)
ADJ	ADJACENT or ADJUSTABLE	GR	GRADE	RPM	REVOLUTIONS PER MINUTE
AGG	AGGREGATE	GR	GRADE	SRPT	SUPPORT
AHU	AIR HANDLING UNIT	GR	GRADE	S	SOUTH or SEALED
ALUM	ALUMINUM	GR	GRADE	SC	SOLID CORE
ALT	ALTERNATE	GR	GRADE	SCD	SEAT COVER DISPENSER
AVE	AVENUE	GR	GRADE	SD	SOAP DISPENSER
ARCH	ARCHITECTURAL	GR	GRADE	SD	SOAP DISPENSER
ASPH	ASPHALT	GR	GRADE	SNC	SANITARY NAPKIN CABINET
AUTO	AUTOMATIC	GR	GRADE	SND	SANITARY NAPKIN DISPENSER
AD	AREA DRAIN or ACCESS DOOR	GR	GRADE	SNR	SANITARY NAPKIN RECEPTACLE
ANOD	ANODIZED	GR	GRADE	SSK	SERVICE SINK
APPROX	APPROXIMATE	GR	GRADE	SS	STAINLESS STEEL
AV	AVERAGE	GR	GRADE	SR	SINK RECEPTACLE
AWP	ACOUSTICAL WALL PANEL	GR	GRADE	SCHD	SCHEDULE
B.O.F.	BY OWNER, FUTURE	GR	GRADE	SEC	SECTION
BD	BOARD	GR	GRADE	SHWR	SHOWER
B.O.	BY OWNER	GR	GRADE	SH	SHEET
BLDG	BUILDING	GR	GRADE	SHG	SHEATHING
BT	BUTYLINOUS	GR	GRADE	SIM	SIMILAR
BLKG	BLOCKING	GR	GRADE	SIM	SIMILAR
BM	BEAM or BENCH MARK	GR	GRADE	SPECS	SPECIFICATIONS(S)
BOT	BOTTOM	GR	GRADE	SG	SQUARE
BKG	BEARING	GR	GRADE	SF	SQUARE FEET
BSMT	BASEMENT	GR	GRADE	STL	STEEL
B	BASE	GR	GRADE	STA	STATION
CJ	CONTROL JOINT	GR	GRADE	STD	STANDARD
CL	COLUMN LINE	GR	GRADE	STOR	STORAGE
CONF	CONFERENCE	GR	GRADE	STRUC	STRUCTURE or STRUCTURAL
C.L.	CENTERLINE	GR	GRADE	SUSP	SUSPEND(ED)
CIRC	CIRCUMFERENCE	GR	GRADE	SYM	SYMMETRICAL
CAB	CABINET	GR	GRADE	SYS	SYSTEM
C	CALLING	GR	GRADE	SOFF	SOFFIT
CAD	CONSTRUCTION CHANGE DIRECTIVE	GR	GRADE	SPKR	SPEAKER
CF	COUNTERFLASHING	GR	GRADE	SPRL	SPRINKLER
CG	CORNER GUARD	GR	GRADE	T&B	TOP AND BOTTOM
CM	CENTIMETERS	GR	GRADE	T	TREAD
CMU	CONCRETE MASONRY UNIT	GR	GRADE	T&G	TONGUE AND GROOVE
CO	CLEARANCE	GR	GRADE	TR	TOWEL BAR
CT	CERAMIC TILE	GR	GRADE	TO	TOP OF
CDOT	COLORADO DEPARTMENT OF TRANSPORTATION	GR	GRADE	TPD	TOILET PAPER DISPENSER
CEM	CEMENTITIOUS	GR	GRADE	TPN	TOILET PARTITION
CK	CORK TILE	GR	GRADE	TV	TELEVISION
CLG	CEILING	GR	GRADE	THK	THICK or THICKNESS
CLOS	CLOSET	GR	GRADE	THD	THRESHOLD
CLR	CLEAR	GR	GRADE	TRC	TEMPORARY or TEMPERATURE
CTR	COUNTER	GR	GRADE	TOW	TOP OF WALL
COL	COLUMN	GR	GRADE	TOS	TOP OF STEEL
CONC	CONCRETE	GR	GRADE	TOC	TOP OF CONCRETE
CONSTR	CONSTRUCTION	GR	GRADE	THERM	THERMOSTAT
CONF	CONTINUOUS	GR	GRADE	USGS	USGS GEOLOGICAL SURVEY
CONTR	CONTRACTOR	GR	GRADE	UL	UNDERWRITERS LABORATORY
CORR	CORRIDOR or CORRUGATED	GR	GRADE	UNON	UNLESS OTHERWISE NOTED
CPT	CARPET	GR	GRADE	UNFIN	UNFINISHED
CFI	CAST IN PLACE	GR	GRADE	UR	URINAL
COIN	CONNECTION	GR	GRADE	V	VOLT
CATV	CABLE TELEVISION	GR	GRADE	VB	VAPOR BARRIER
CCTV	CLOSED CIRCUIT TELEVISION	GR	GRADE	VCT	VINYL COMPOSITION TILE
CJ	CUBIC	GR	GRADE	VTR	VENT THROUGH ROOF
CY	CUBIC YARD	GR	GRADE	VWC	VINYL WALL COVERING
DEG	DEGREE	GR	GRADE	VERT	VERTICAL
DAMP	DAMP-PROOFING	GR	GRADE	VEST	VESTIBULE
DF	DRINKING FOUNTAIN	GR	GRADE	VIN	VINYL or SHEET VINYL
DELT	DEPARTMENT	GR	GRADE	VAR	VARY or VARIES
DTL	DETAIL	GR	GRADE	VF	VERIFY IN FIELD
DI	DIAMETER	GR	GRADE	VER	VERIFY
DM	DIMENSION	GR	GRADE	VENT	VENTILATION
DN	DOWN	GR	GRADE	VOL	VOLUME
DSP	DISPENSER	GR	GRADE	WD	WOOD
DR	DOOR	GR	GRADE	W	WEST or WIDE
DR	DOWN-OUT	GR	GRADE	W/C	WATER CLOSET
DWG	DRAWING	GR	GRADE	WPT	WORKING POINT
DWR	DRAWER	GR	GRADE	WR	WATER RESISTANT
DV	DIVISION	GR	GRADE	WWF	WELED WIRE FABRIC
DAG	DIAGONAL	GR	GRADE	W/	WITH
DEMO	DEMOLISH or DEMOLITION	GR	GRADE	W/O	WITHOUT
EJ	EXPANSION JOINT	GR	GRADE	WF	WIDE FLANGE or WOOD FLOORING
EX	EXISTING	GR	GRADE	WDO	WINDOW
EB	EXPANSION BOLT	GR	GRADE	WP	WATERPROOF(ING)
E	EAST	GR	GRADE	WSCT	WARRANTY
ED	EXHAUST DUCT	GR	GRADE	WC	WALL COVERING
EF	EXHAUST FAN or EACH FACE	GR	GRADE	WT	WEIGHT
EW	ELECTRIC WATER COOLER	GR	GRADE	W.O.	WHERE OCCURS
EA	EACH	GR	GRADE	WGL	WIRE GLASS
EL	ELEVATION	GR	GRADE	YD	YARD
ELEC	ELECTRICAL	GR	GRADE		
ELEV	ELEVATOR	GR	GRADE		
EMER	EMERGENCY	GR	GRADE		
ENGR	ENGINEER	GR	GRADE		
EOS	EDGE OF SLAB	GR	GRADE		
EQ	EQUAL	GR	GRADE		
EQUIP	EQUIPMENT	GR	GRADE		
EXT	EXTERIOR	GR	GRADE		
EWS	ELECTRIC WATER HEATER	GR	GRADE		
EW	EACH WAY	GR	GRADE		
EST	ESTIMATE	GR	GRADE		
FAC	FIRE ALARM CABINET	GR	GRADE		
FA	FIRE ALARM	GR	GRADE		
FACP	FIRE ALARM CONTROL PANEL	GR	GRADE		
FBO	FURNISHED BY OTHER(S)	GR	GRADE		
FD	FLOOR DRAIN or FIRE DAMPER	GR	GRADE		
FE	FIRE EXTINGUISHER	GR	GRADE		
FEC	FIRE EXTINGUISHER CABINET	GR	GRADE		
FFL	FINISHED FLOOR LINE	GR	GRADE		
FHC	FIRE HOSE CABINET	GR	GRADE		
FR	FIRE RESISTIVE or FIRE RATED	GR	GRADE		
FDN	FOUNDATION	GR	GRADE		
FN	FINISHED	GR	GRADE		
FXT	FIXTURE	GR	GRADE		
FLG	FLASHING	GR	GRADE		
FLR	FLOORING	GR	GRADE		
FLUOR	FLUORESCENT	GR	GRADE		
FRT	FIRE RETARDANT TREATED	GR	GRADE		
FRP	FIBERGLASS REINFORCED PANEL(ING)	GR	GRADE		
FT	FOOT (FEET)	GR	GRADE		
FUR	FURRED or FURRING	GR	GRADE		
FUT	FUTURE	GR	GRADE		
F	FARENHIT	GR	GRADE		
FAC	FIRE VALVE CABINET	GR	GRADE		
FMS	FLAT HEAD MACHINE SCREW	GR	GRADE		
FF	FIRE HYDRANT	GR	GRADE		
FF	FINISHED FLOOR	GR	GRADE		
FURN	FURNISHED	GR	GRADE		
FOM	FACE OF MASONRY	GR	GRADE		
FOF	FACE OF FINISH	GR	GRADE		
FOS	FACE OF STUD	GR	GRADE		
FCC	FACE OF CONCRETE	GR	GRADE		
FHS	FLAT HEAD WOOD SCREW	GR	GRADE		
FHV	FIRE HOSE VALVE	GR	GRADE		
GWB	GYPSPUM WALLBOARD	GR	GRADE		
GC	GENERAL CONTRACTOR	GR	GRADE		
GB	GRAB BAR	GR	GRADE		
GYP	GYPSPUM BOARD	GR	GRADE		
BD.		GR	GRADE		

GRAPHIC STANDARDS

EXTERIOR ELEVATION IDENTIFICATION

STRUCTURAL GRID

INTERIOR ELEVATION IDENTIFICATION

ELEVATION DATUM IDENTIFICATION

DETAIL IDENTIFICATION

WINDOW IDENTIFICATION

WALL SECTION IDENTIFICATION

KEYNOTE IDENTIFICATION

BUILDING SECTION IDENTIFICATION

REVISION IDENTIFICATION

SECTION MATERIAL GRAPHICS

ENLARGED DETAIL IDENTIFICATION

DOOR IDENTIFICATION

ROOM/SPACE/AREA IDENTIFICATION

PARTITION TYPE IDENTIFICATION

ACOUSTIC PARTITION TYPE IDENTIFICATION

BUILDING & CODE INFORMATION

ZONING RMX-1

OCCUPANCY: R-3 per IRC R101.2 AND IBC 310.4 ACCESSORY AREAS - U

CONSTRUCTION TYPE(S): V-B

SPRINKLERED: YES per IRC R313.2

ALLOWABLE SQUARE FOOTAGE: 4,023 SF

ALLOWABLE BUILDING HEIGHT: 35'-0"

CLIMATE ZONE: 5B

BUILDING CONSTRUCTION: V-B

INTERIOR BEARING WALLS: 0 HR

INTERIOR BEARING WALLS: 0 HR

INTERIOR NON-BEARING WALLS: 0 HR

STRUCTURAL FRAME: 0 HR

FLOORS - CEILINGS/ROOFS:

ROOFS - CEILINGS/ROOFS:

SHAFT ENCLOSURES (4+ STORIES):

DEMISING WALLS: 0 HR

GROSS BUILDING AREA: 3,522 SF (1,761 SF PER UNIT)

BUILDING HEIGHT: 30'-4"

NUMBER OF STORIES: 3

ESTIMATED OCCUPANT LOAD:

PLUMBING FIXTURE COUNT:

BUILDING CODES: 2021 IRC - INTERNATIONAL RESIDENTIAL CODE
2021 INTERNATIONAL ENERGY CONSERVATION CODE
2021 INTERNATIONAL FIRE CODE
2021 INTERNATIONAL MECHANICAL CODE
2023 NATIONAL ELECTRIC CODE
2021 INTERNATIONAL PLUMBING CODE

LOCAL AMENDMENTS: CITY OF BOULDER TITLE 10 - 2021 I-CODES WITH LOCAL AMENDMENTS (ORD. 8697, 2025). APPLIES BOULDER ENERGY CONSERVATION CODE (COBECC) AND LOCAL WIND/SNOW DESIGN CRITERIA.

PROJECT TEAM

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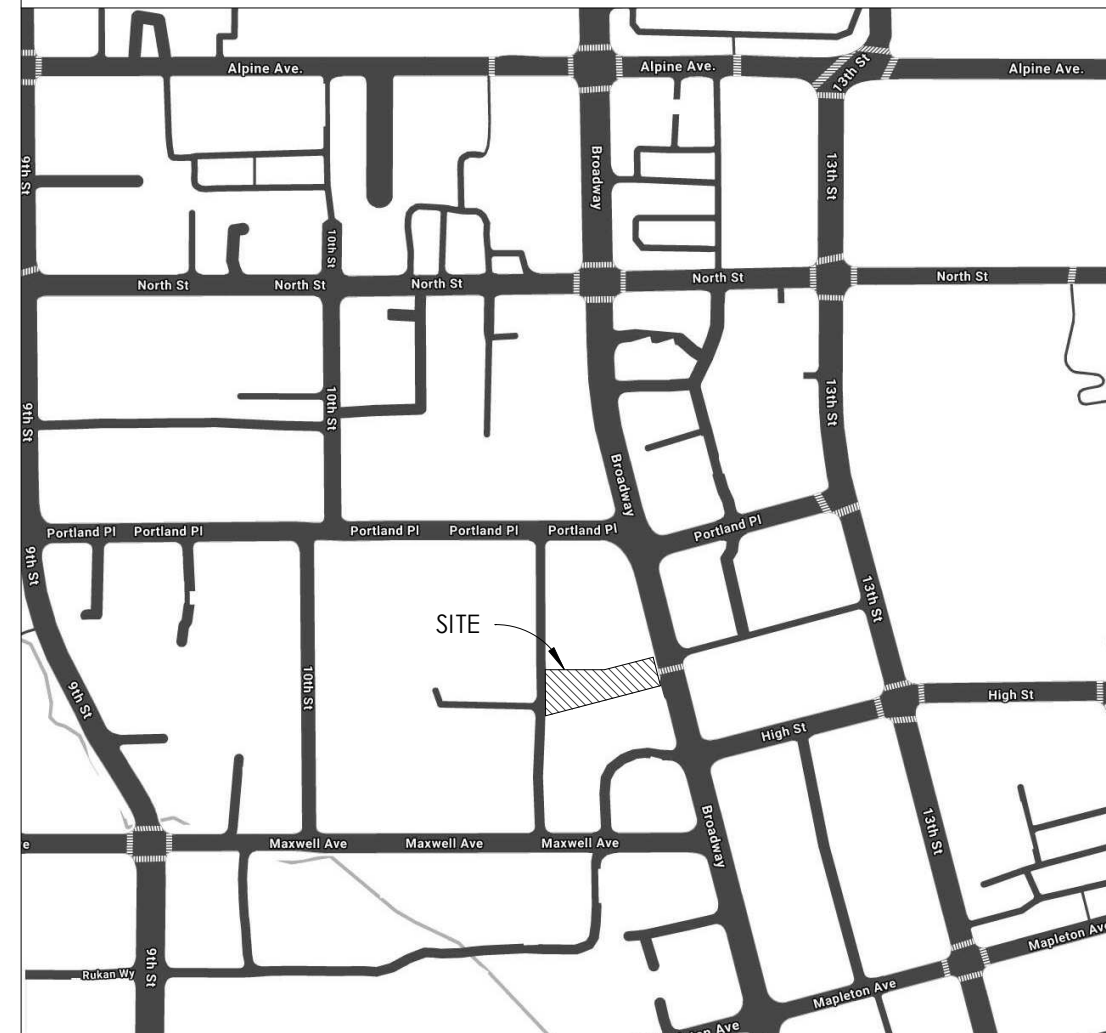
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VICINITY MAP



IECC COMPLIANCE

CLIMATE ZONE - 5B (IRC N1101.10 (R301.1))

- THERMAL ENVELOPE:
 - CEILING/ROOFS: R-50
 - EXTERIOR WALLS: R-21 (WOOD FRAMED)
 - FOUNDATION CRAWL SPACE WALLS: R-10
 - FLOORS OVER GARAGES: R-30
 - WALLS BETWEEN GARAGE & UNIT: R-21
 - DEMISING WALLS: R-13
 - WINDOW U-FACTOR: .30
 - EXTERIOR DOORS U-FACTOR: .32
 - CONCRETE SLABS UNHEATED: R-10 FOR A MINIMUM OF 2" DOWN.
- BUILDING TO BE CONSTRUCTED TO MEET IRC SECTION N1102.4.
- DUCT WORK WITHIN BUILDING THERMAL ENVELOPE. DUCT INSULATION NOT REQUIRED. DUCT SEALING METHOD PER IRC N1103.2 (R403.2)
- RECESSED LIGHTING: IC-RATED RECESSED LIGHTING FIXTURES SEALED AT HOUSING / INTERIOR FINISH AND LABELED TO INDICATE LESS THAN 2.0 CFM LEAKAGE @ 75 PA. (IRC N1102.4.4)

Sheet #	Sheet Name	XX/XX/XX 50%SD	XX/XX/XX 100%SD	XX/XX/XX 50%DD	XX/XX/XX 100%DD
GENERAL					
G1.01	COVER SHEET	X			
G2.11	CODE PLANS	X			
G2.12	SOLAR ACCESS DIAGRAM	X			
CIVIL					
C1.0	PLACEHOLDER	X			
LANDSCAPE					
L1.01	PLACEHOLDER	X			
ARCHITECTURE					
A1.01	ARCHITECTURAL SITE PLAN	X			
A2.01	LEVEL 1 FLOOR PLAN	X			
A2.02	LEVEL 2 FLOOR PLAN	X			
A2.03	LEVEL 3 FLOOR PLAN	X			
A2.04	ROOF PLAN	X			
A3.01	LEVEL 1 RCP	X			
A3.02	LEVEL 2 RCP	X			
A3.03	LEVEL 3 RCP	X			
A4.00	PERSPECTIVES	X			
A4.01	EXTERIOR ELEVATIONS	X			
A4.02	EXTERIOR ELEVATIONS	X			
A5.01	BUILDING SECTIONS	X			
A5.11	WALL SECTIONS	X			
A6.01	INTERIOR DETAILS	X			
A7.01	STAIR DETAILS	X			
A7.02	INTERIOR ELEVATIONS	X			
A8.01	DOOR TYPES & SCHEDULES	X			
A8.10	WINDOW DETAILS	X			
A8.11	WINDOW FLASHING	X			
A8.12	DOOR DETAILS	X			
A8.13	DOOR DETAILS	X			
A9.01	ROOF DETAILS - EAVES	X			
A9.10	DECK DETAILS	X			
A9.20	EXTERIOR WALL DETAILS	X			
A9.30	FIRE PROTECTION DETAILS - UNIT DEMISING	X			
A9.40	GARAGE DETAILS	X			
A10.00	THERMAL/AIR BARRIER DETAILS	X			
A10.01	STANDARD MOUNTING HEIGHTS	X			
STRUCTURAL					
S2.01	PLACEHOLDER	X			
PLUMBING					
P1.01	PLACEHOLDER	X			
MECHANICAL					
M1.01	PLACEHOLDER	X			
ELECTRICAL					
E1.01	PLACEHOLDER	X			

BROADWAY - DUPLEX

2439 Broadway
Boulder, CO 80304

PROJ. NO. 15-214
DRAWN: Author
CHECKED: Checker
APPROVED: Approver
DATE: 02.16.2026
REVISIONS

ISSUED FOR: NOT FOR CONSTRUCTION
© NEO STUDIO

SCALE: As indicated

SHEET TITLE:
COVER SHEET

G1.01

BROADWAY

2439 Broadway
Boulder, CO 80304

PROJ. NO. 25-14
DRAWN: Author
CHECKED: Checker
APPROVED: Approver
DATE: 12.20.2026
REVISIONS

ISSUED FOR: NOT FOR CONSTRUCTION
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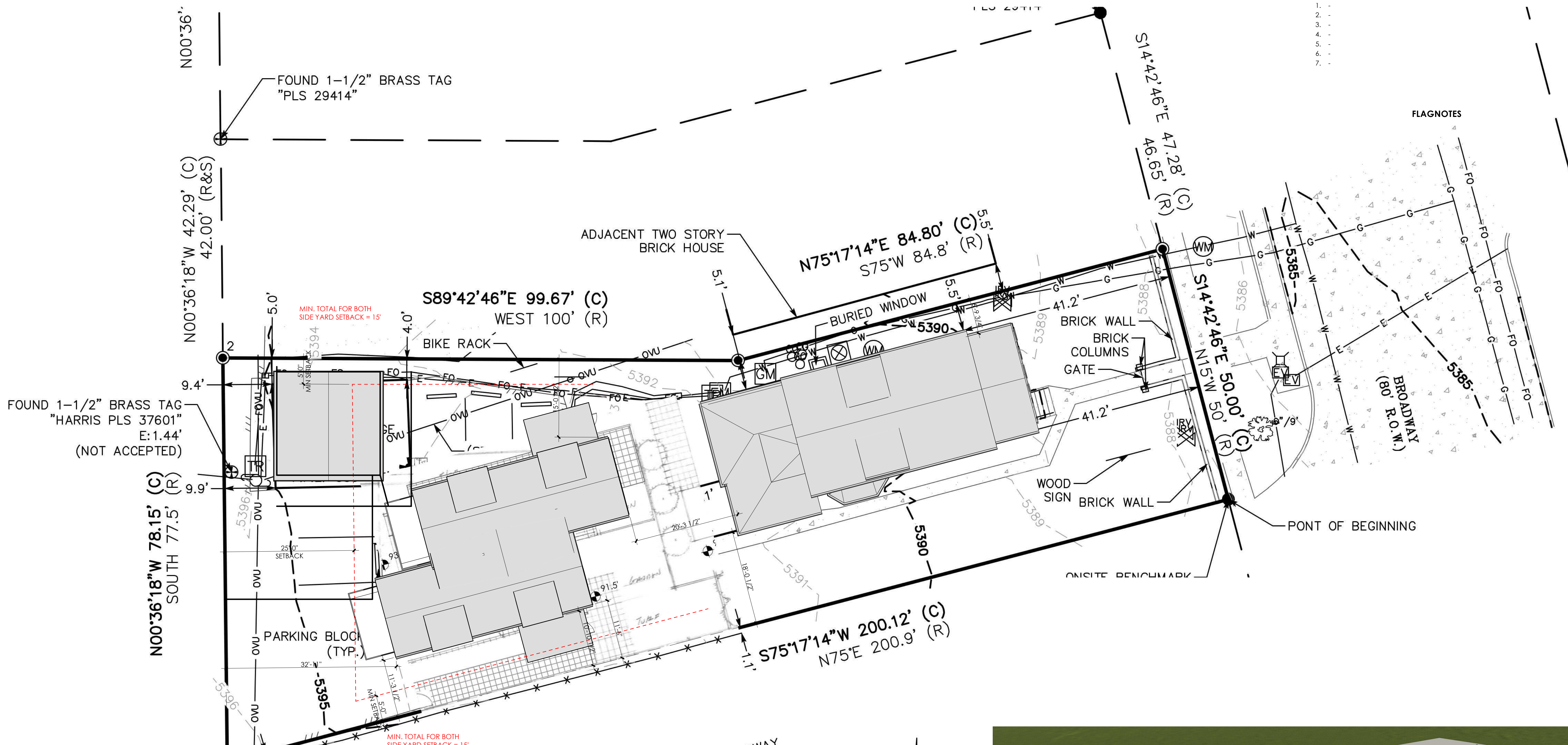
SCALE: 1" = 10'-0"

SHEET TITLE: ARCHITECTURAL SITE PLAN

A1.01

SITE PLAN NOTES

1. -
2. -
3. -
4. -
5. -
6. -
7. -

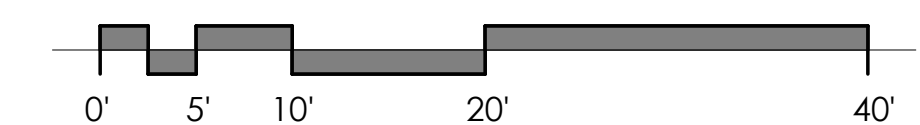


PROPERTY DATA		
ZONING AND LOT AREA		
LOT AREA (RMX-1)	8517 SF	
LOT AREA (BT-2)	2500 SF	
TOTAL LOT AREA	11017 SF	
FLOOR AREA RATIO		
LOT SIZE OF RMX-1 X 0.20 + 2320	4111 SF	MAXIMUM BUILDING COVERAGE 2753 SF
EXISTING BUILDING FLOOR AREA	1068 SF	ALLOWABLE FLOOR AREA PER ORDINANCE 8666
TOTAL EXISTING BUILDING	1610 SF	1ST FLOOR WITHIN RMX-1 ZONE
POTENTIAL ADDITIONAL FLOOR ARE	2501 SF	TOTAL
DENSITY ANALYSIS		
REQUIRED LOT AREA PER DU	2500 SF	
ALLOWABLE DUS ON RMX-1 PORTION OF LOT	3 EA	INCLUDING EXISTING HOUSE
LOT COVERAGE		
MINIMUM OPEN SPACE PER UNIT	600 SF	
REQUIRED OPEN SPACE	1800 SF	
EXISTING BUILDING FOOTPRINT	1068 SF	
EXISTING GARAGE FOOTPRINT	529 SF	
PROPOSED DWELLING (ASSUME 2 STORY)	1200 SF	
SPACE AVAILABLE FOR PARKING OR ADDITIONAL OPEN SPACE	5592 SF	
MAXIMUM BUILDING COVERAGE	2753 SF	
PROPOSED BUILDING COVERAGE	2797 SF	(CURRENT DESIGN IS 43 SF OVER BUILDING COVERAGE)
		2501 SF ALLOWED FOR DUPLEX
		2504 SF PROPOSED (W/ BOTH UNIT HAVING TANDEM GARAGES) 15 S.F. OVER ALLOWED
		600 SF OF OPEN SPACE REQUIRED PER UNIT.

2429 BROADWAY
(REC. NO. 2846977)



GRAPHIC SCA



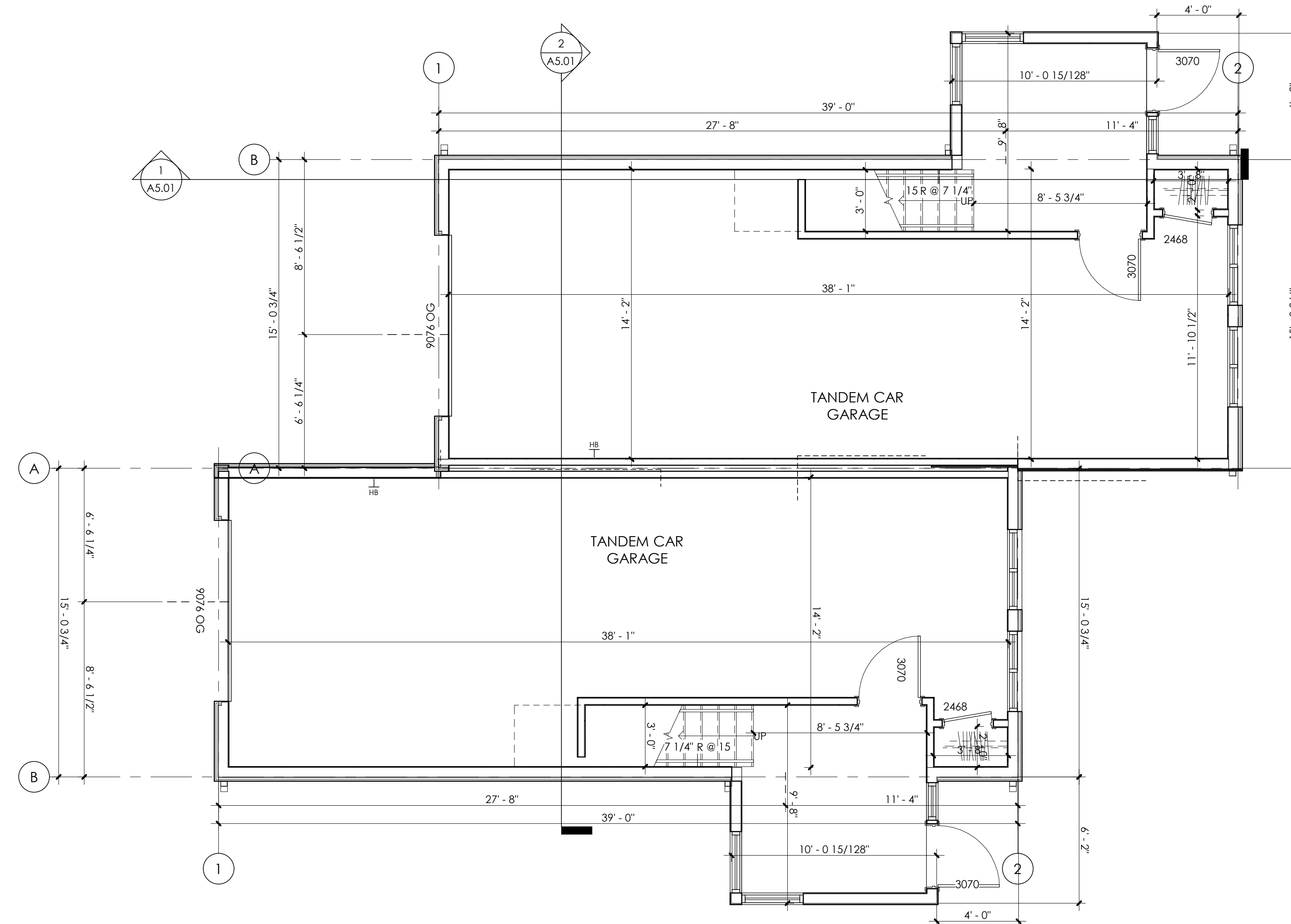
GENERAL PLAN NOTES

- ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD U.N.O. ALL EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING/FACE OF FOUNDATION WALL U.N.O.
- SEE OWNER SPECIFICATIONS FOR INTERIOR FINISH MATERIALS. FURNITURE IS NIC. U.N.O.
- ALL WORK TO BE PERFORMED IN COMPLIANCE WITH ALL STATE AND LOCAL CODES. CONTRACTOR RESPONSIBLE TO SECURE ALL REQUIRED PERMITS PRIOR TO CONSTRUCTION.
- PENETRATIONS AT ROOF TOP UNITS & TAKE-UP AIR UNITS SHALL BE COORDINATED WITH MECHANICAL CONTRACTOR FOR SIZE AND LOCATION.
- DIM. FROM EDGE OF DOOR FRAME TO EDGE OF ADJACENT PERPENDICULAR WALL SHALL BE 4" U.N.O.
- SEE A8.02 FOR DOOR AND WINDOW DETAILS
- DOOR HARDWARE SETS DESIGN-BUILD BY GENERAL CONTRACTOR. RE: DOOR AND WINDOW SHEETS FOR DETAILS.
- PROVIDE 3-1/2" BATT INSULATION IN ALL NEW BATHROOM WALLS AND INSULATE AROUND PLUMBING PIPES.
- PROVIDE WATER-RESISTANT GYPSUM BOARD AT ALL WET WALLS, AND DENSGLASS OR EQUAL AT ALL SHOWER ENCLOSURES.
- PROVIDE TEMPERED GLASS AT WINDOWS AND DOORS AS REQUIRED BY SECTION R324 OF THE 2024 IRC.
- FOAM PLASTIC INSULATION SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 75 AND A SMOKE DEVELOPED INDEX OF NOT MORE THAN 450 IN ACCORDANCE WITH ASTM E84. FOAM PLASTIC INSULATION SHALL COMPLY WITH ICC-ES EVALUATION REPORT ESR-2072.
- NEW INTERIOR DOORS: 1 3/4" THICK SOLID WOOD DOORS, FLAT PANEL, PAINT GRADE.
- MECHANICAL, ELECTRICAL & PLUMBING DESIGN & CONSTRUCTION BY GENERAL CONTRACTOR & SUB CONTRACTORS. DESIGN AND CONSTRUCTION PER ALL APPLICABLE CODES. PROVIDE SUBMITTALS TO ARCHITECT/OWNER TO REVIEW.
- GENERAL CONTRACTOR & SUBCONTRACTORS TO REVIEW AND PROVIDE SERVICES AND MATERIALS THAT MEET CODE REQUIREMENTS.
- TYPICAL EXTERIOR WALL TO BE 16, TYPICAL INTERIOR WALL TO BE 24, TYPICAL DEMISING WALL TO BE 36 (CENTERED ON GRID, UNO)
- ALL BEDROOMS TO HAVE EGRESS WINDOW AS REQUIRED BY SECTION R319 OF THE 2024 IRC
- SLOPE GARAGE/PORCH SLABS TO DRAIN MIN 1/8"=1'-0". RE: CIVIL DRAWINGS FOR SPOT GRADES
- DWELLING/GARAGE SEPARATION: GARAGE SHALL BE SEPARATED AS REQUIRED BY 2024 IRC TABLE R302.6. OPENINGS IN GARAGE WALLS SHALL COMPLY WITH SECTION R302.5. GARAGE BENEATH HABITABLE ROOM SHALL BE SEPARATED BY NOT LESS THAN 5/8" TYPE 'X' GYP BOARD. GARAGE SHALL BE SEPARATED FROM RESIDENCE BY NOT LESS THAN 1/2" GYP BOARD APPLIED TO GARAGE SIDE.
- ALL DOORS FROM GARAGE TO LIVING SPACE ARE TO BE TIGHT FITTING, WEATHER-STRIPPED, 20 MIN RATED OR 1 3/8" SOLID CORE WOOD OR INSULATED STEEL DOORS, EQUIPPED WITH SELF-CLOSING DEVICE PER 2024 IRC SECTION R302.5.1

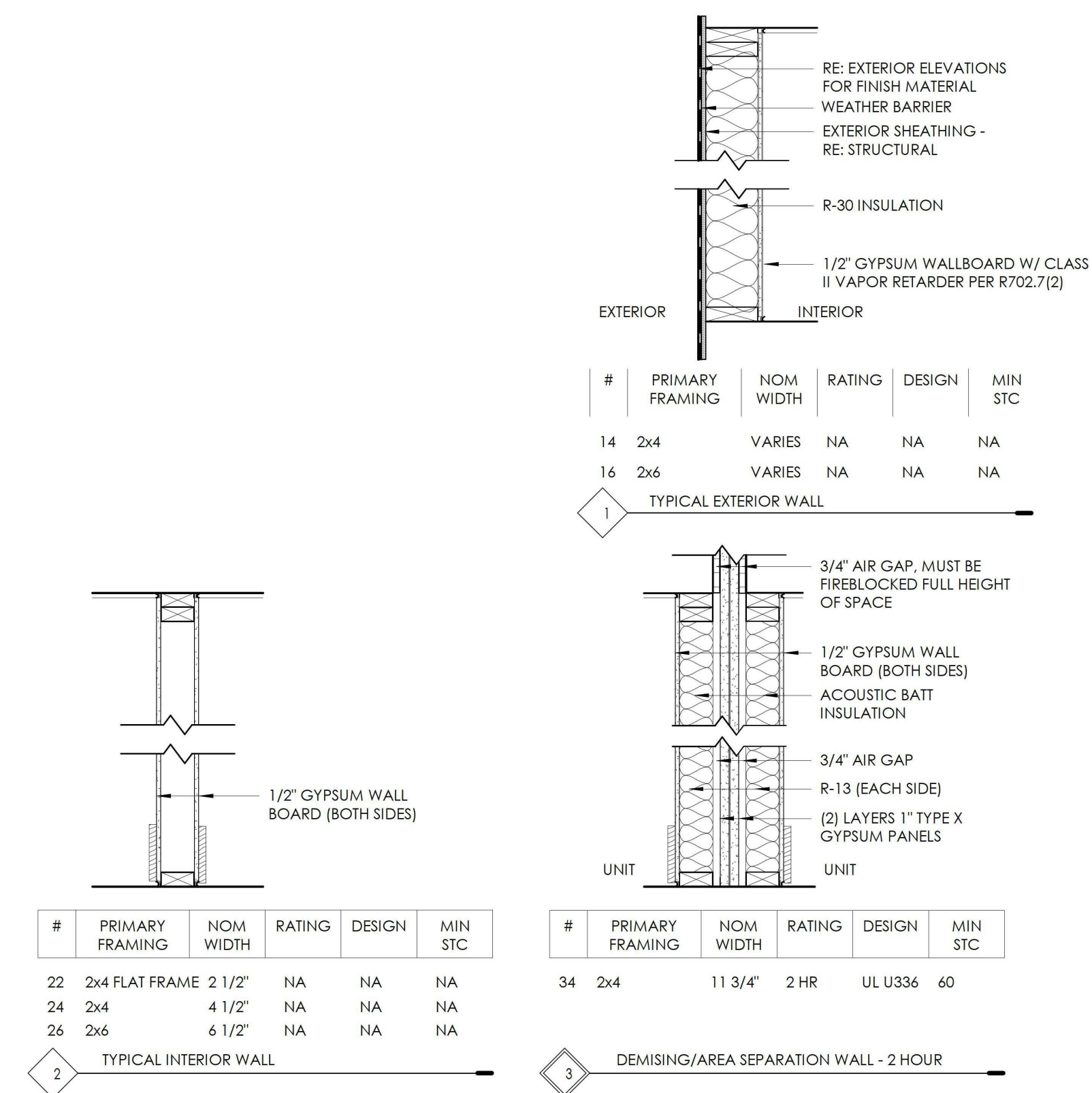
DOOR & WINDOW ABBR.

DOORS:		WINDOWS:
P - PANEL	HM - HOLLOW METAL	FIX - FIXED
SC - SOLID CORE	HC - HANDICAP	CAS - CASEMENT
BP - BIPASS	OG - OVERHEAD GARAGE	AWN - AWNING
BF - BIFOLD	O - FIXED	T - TEMPERED
FG - FULL GLASS	X - OPERABLE	

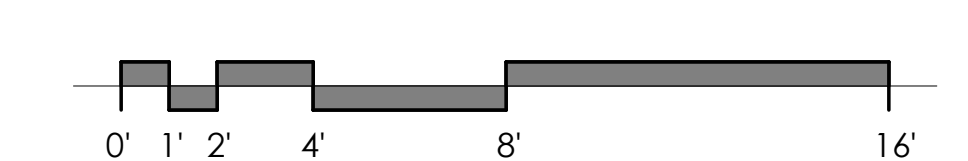
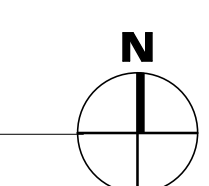
FLAGNOTES



PARTITION TYPES LEGEND



1 LEVEL 1 FLOOR PLAN
1/4" = 1'-0"



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- DWELLING/GARAGE SEPARATION: GARAGE SHALL BE SEPARATED AS REQUIRED BY 2024 IRC TABLE R302.6. OPENINGS IN GARAGE WALLS SHALL COMPLY WITH SECTION R302.5. GARAGE BENEATH HABITABLE ROOM SHALL BE SEPARATED BY NOT LESS THAN 5/8" TYPE 'X' GYP BOARD. GARAGE SHALL BE SEPARATED FROM RESIDENCE BY NOT LESS THAN 1/2" GYP BOARD APPLIED TO GARAGE SIDE.
- ALL DOORS FROM GARAGE TO LIVING SPACE ARE TO BE TIGHT FITTING, WEATHER-STRIPPED, 20 MIN RATED OR 1 3/8" SOLID CORE WOOD OR INSULATED STEEL DOORS, EQUIPPED WITH SELF-CLOSING DEVICE PER 2024 IRC SECTION R302.5.1

DOOR & WINDOW ABBR.

DOORS:		WINDOWS:
P - PANEL	HM - HOLLOW METAL	FIX - FIXED
SC - SOLID CORE	HC - HANDICAP	CAS - CASEMENT
BP - BIPASS	OG - OVERHEAD GARAGE	AWN - AWNING
BF - BIFOLD	O - FIXED	T - TEMPERED
FG - FULL GLASS	X - OPERABLE	

FLAGNOTES

PARTITION TYPES LEGEND

#	PRIMARY FRAMING	NOM WIDTH	RATING	DESIGN	MIN STC
14	2x4	VARIES	NA	NA	NA
16	2x6	VARIES	NA	NA	NA

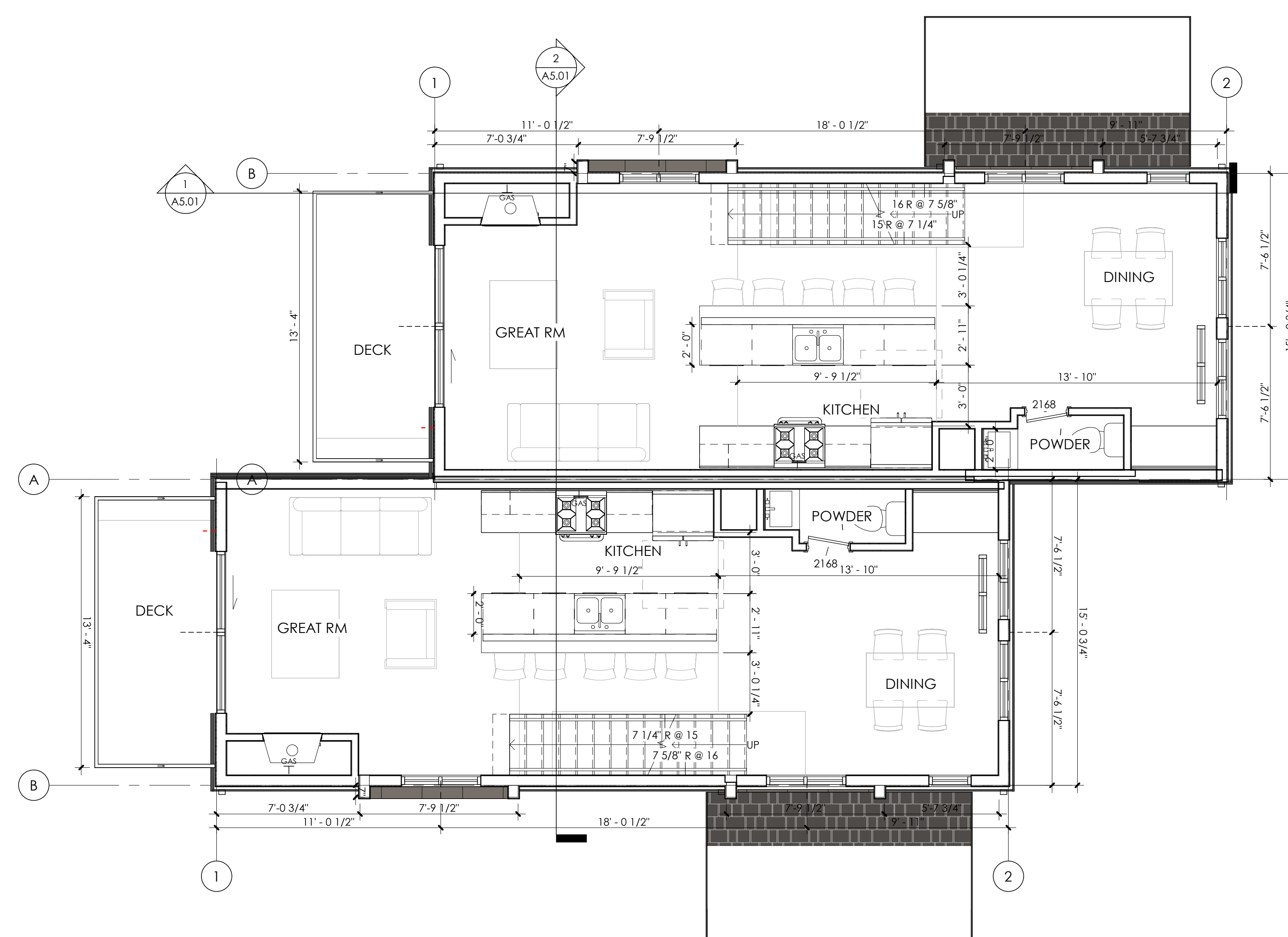
1 TYPICAL EXTERIOR WALL

#	PRIMARY FRAMING	NOM WIDTH	RATING	DESIGN	MIN STC
22	2x4 FLAT FRAME	2 1/2"	NA	NA	NA
24	2x4	4 1/2"	NA	NA	NA
26	2x6	6 1/2"	NA	NA	NA

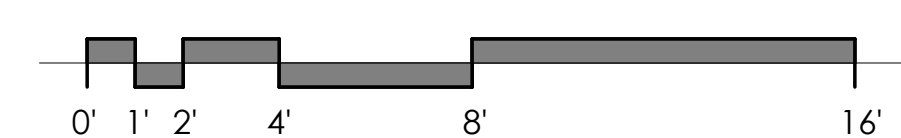
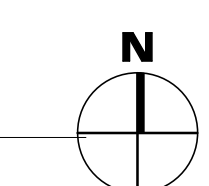
2 TYPICAL INTERIOR WALL

#	PRIMARY FRAMING	NOM WIDTH	RATING	DESIGN	MIN STC
34	2x4	11 3/4"	2 HR	UL U336	60

3 DEMISING/AREA SEPARATION WALL - 2 HOUR



1 LEVEL 2 FLOOR PLAN
1/4" = 1'-0"



GENERAL PLAN NOTES

1. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD U.N.O. ALL EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING/FACE OF FOUNDATION WALL U.N.O.
2. SEE OWNER SPECIFICATIONS FOR INTERIOR FINISH MATERIALS. FURNITURE IS NIC. U.N.O.
3. ALL WORK TO BE PERFORMED IN COMPLIANCE WITH ALL STATE AND LOCAL CODES. CONTRACTOR RESPONSIBLE TO SECURE ALL REQUIRED PERMITS PRIOR TO CONSTRUCTION.
4. PENETRATIONS AT ROOF TOP UNITS & TAKE-UP AIR UNITS SHALL BE COORDINATED WITH MECHANICAL CONTRACTOR FOR SIZE AND LOCATION.
5. DIM. FROM EDGE OF DOOR FRAME TO EDGE OF ADJACENT PERPENDICULAR WALL SHALL BE 4" U.N.O.
6. SEE A8.02 FOR DOOR AND WINDOW DETAILS
7. DOOR HARDWARE SETS DESIGN-BUILD BY GENERAL CONTRACTOR. RE: DOOR AND WINDOW SHEETS FOR DETAILS.
8. PROVIDE 3-1/2" BATT INSULATION IN ALL NEW BATHROOM WALLS AND INSULATE AROUND PLUMBING PIPES.
9. PROVIDE WATER-RESISTANT GYPSUM BOARD AT ALL WET WALLS, AND DENSGLASS OR EQUAL AT ALL SHOWER ENCLOSURES.
10. PROVIDE TEMPERED GLASS AT WINDOWS AND DOORS AS REQUIRED BY SECTION R324 OF THE 2024 IRC.
11. FOAM PLASTIC INSULATION SHALL HAVE A FLAME-SPREAD INDEX OF NOT MORE THAN 75 AND A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 450 IN ACCORDANCE WITH ASTM E84. FOAM PLASTIC INSULATION SHALL COMPLY WITH ICC-ES EVALUATION REPORT ESR-2072.
12. NEW INTERIOR DOORS: 1 3/4" THICK SOLID WOOD DOORS, FLAT PANEL, PAINT GRADE.
13. MECHANICAL, ELECTRICAL & PLUMBING DESIGN & CONSTRUCTION BY GENERAL CONTRACTOR & SUB CONTRACTORS. DESIGN AND CONSTRUCTION PER ALL APPLICABLE CODES. PROVIDE SUBMITTALS TO ARCHITECT/OWNER TO REVIEW.
14. GENERAL CONTRACTOR & SUBCONTRACTORS TO REVIEW AND PROVIDE SERVICES AND MATERIALS THAT MEET CODE REQUIREMENTS.
15. TYPICAL EXTERIOR WALL TO BE 16. TYPICAL INTERIOR WALL TO BE 24. TYPICAL DEMISING WALL TO BE 36 (CENTERED ON GRID, UNO)
16. ALL BEDROOMS TO HAVE EGRESS WINDOW AS REQUIRED BY SECTION R319 OF THE 2024 IRC
17. SLOPE GARAGE/PORCH SLABS TO DRAIN MIN 1/8"=1'-0"; RE: CIVIL DRAWINGS FOR SPOT GRADES
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DOOR & WINDOW ABBR.

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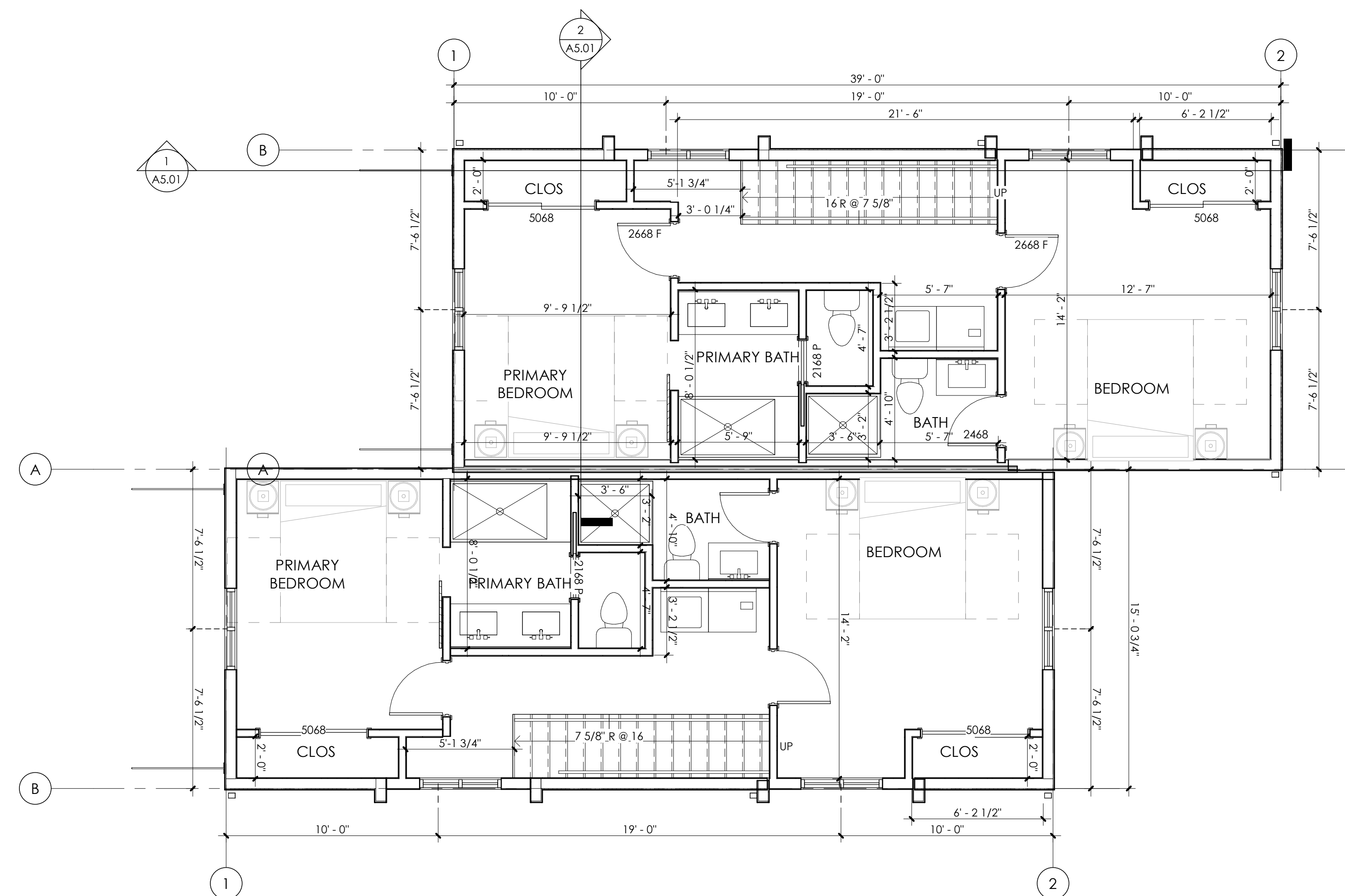
FLAGNOTES

PARTITION TYPES LEGEND

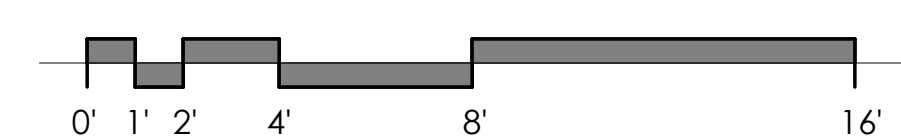
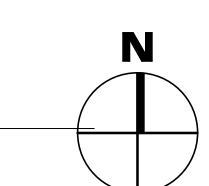
#	PRIMARY FRAMING	NOM WIDTH	RATING	DESIGN	MIN STC
14	2x4	VARIES	NA	NA	NA
16	2x6	VARIES	NA	NA	NA

#	PRIMARY FRAMING	NOM WIDTH	RATING	DESIGN	MIN STC
22	2x4 FLAT FRAME	2 1/2"	NA	NA	NA
24	2x4	4 1/2"	NA	NA	NA
26	2x6	6 1/2"	NA	NA	NA

#	PRIMARY FRAMING	NOM WIDTH	RATING	DESIGN	MIN STC
34	2x4	11 3/4"	2 HR	UL U336	60



1 LEVEL 3 FLOOR PLAN
1/4" = 1'-0"



BROADWAY - DUPLEX

2439 Broadway
Boulder, CO 80304

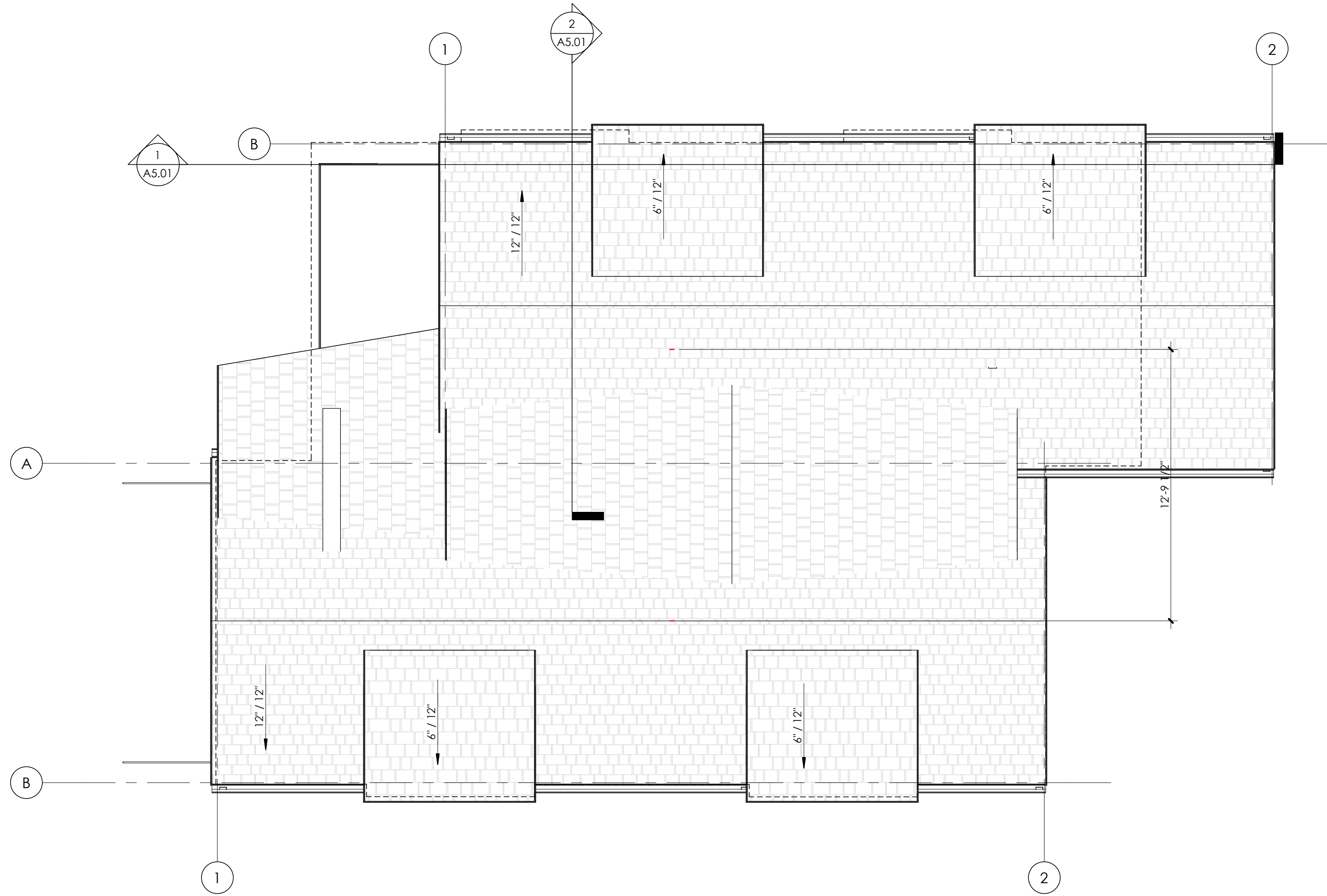
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DRAWN: Author
CHECKED: Checker
APPROVED: Approver
DATE: 02.16.2026
REVISIONS

ISSUED
FOR: NOT FOR
CONSTRUCTION
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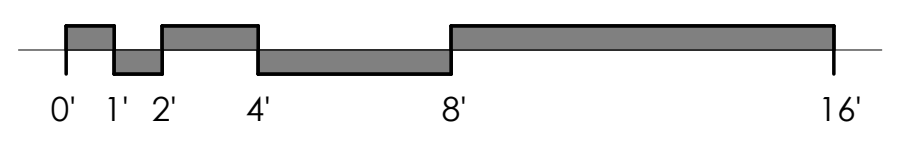
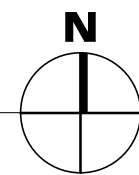
SCALE: 1/4" = 1'-0"

SHEET TITLE:
ROOF PLAN

A2.04



1 ROOF
1/4" = 1'-0"





1 SOUTH ELEVATION
1/4" = 1'-0"

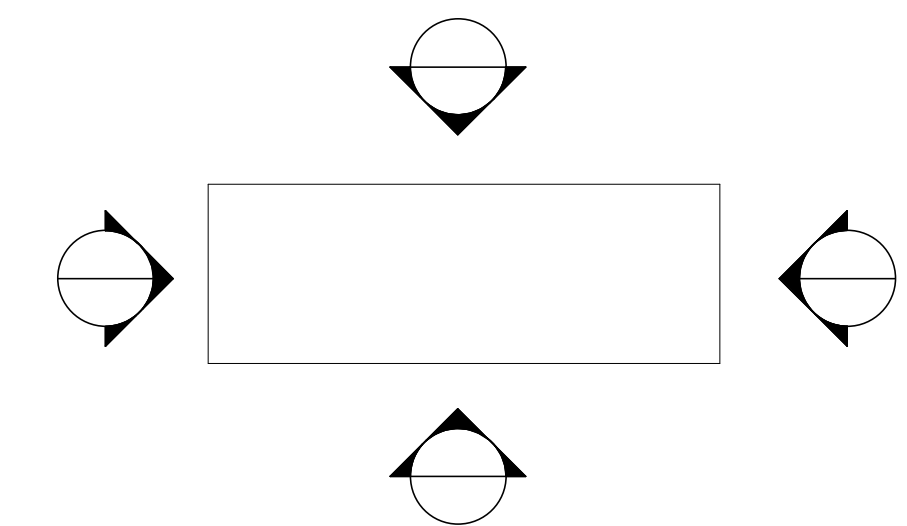


2 EAST ELEVATION
1/4" = 1'-0"



MATERIAL LEGEND

-  HORIZONTAL LAP SIDING
MFR: HARDIE
COLOR: SW 2829 CLASSICAL WHITE
-  ASPHALT SHINGLE
MFR: OWENS CORNING, TRU DEFINATION
DURATION STORM SHINGLES
COLOR: ESTATE GRAY
-  VERTICAL SIDING
MFR: HARDIE
COLOR: SW 0032 NEEDLEPOINT NAVY
-  CEMENTIOUS TRIM
MFR: HARDIE
COLOR: SW 7020 BLACK FOX
-  WINDOWS
ANDERSON 100
BLACK



KEY PLAN - GENERAL

BROADWAY - DUPLEX

2439 Broadway
Boulder, CO 80304

PROJ. NO. 25-14
DRAWN: Author
CHECKED: Checker
APPROVED: Approver
DATE: 02.16.2026
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SCALE: As indicated

SHEET TITLE: EXTERIOR ELEVATIONS

A4.01



3 NORTH ELEVATIONS
1/4" = 1'-0"

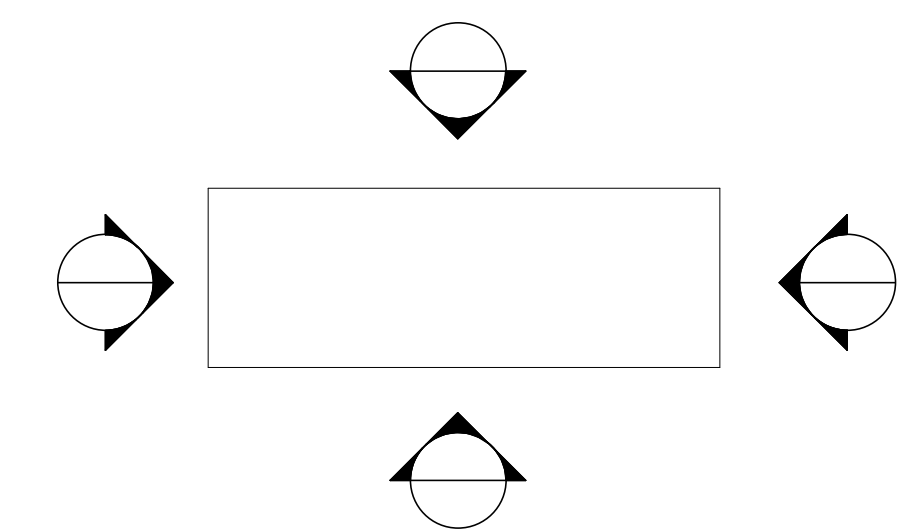


4 WEST ELEVATION
1/4" = 1'-0"



MATERIAL LEGEND

-  HORIZONTAL LAP SIDING
MFR: HARDIE
COLOR: SW 2829 CLASSICAL WHITE
-  ASPHALT SHINGLE
MFR: OWENS CORNING, TRU DEFINATION
DURATION STORM SHINGLES
COLOR: ESTATE GRAY
-  VERTICAL SIDING
MFR: HARDIE
COLOR: SW 0032 NEEDLEPOINT NAVY
-  CEMENTIOUS TRIM
MFR: HARDIE
COLOR: SW 7020 BLACK FOX
-  WINDOWS
ANDERSON 100
BLACK



KEY PLAN - GENERAL

BROADWAY - DUPLEX

2439 Broadway
Boulder, CO 80304

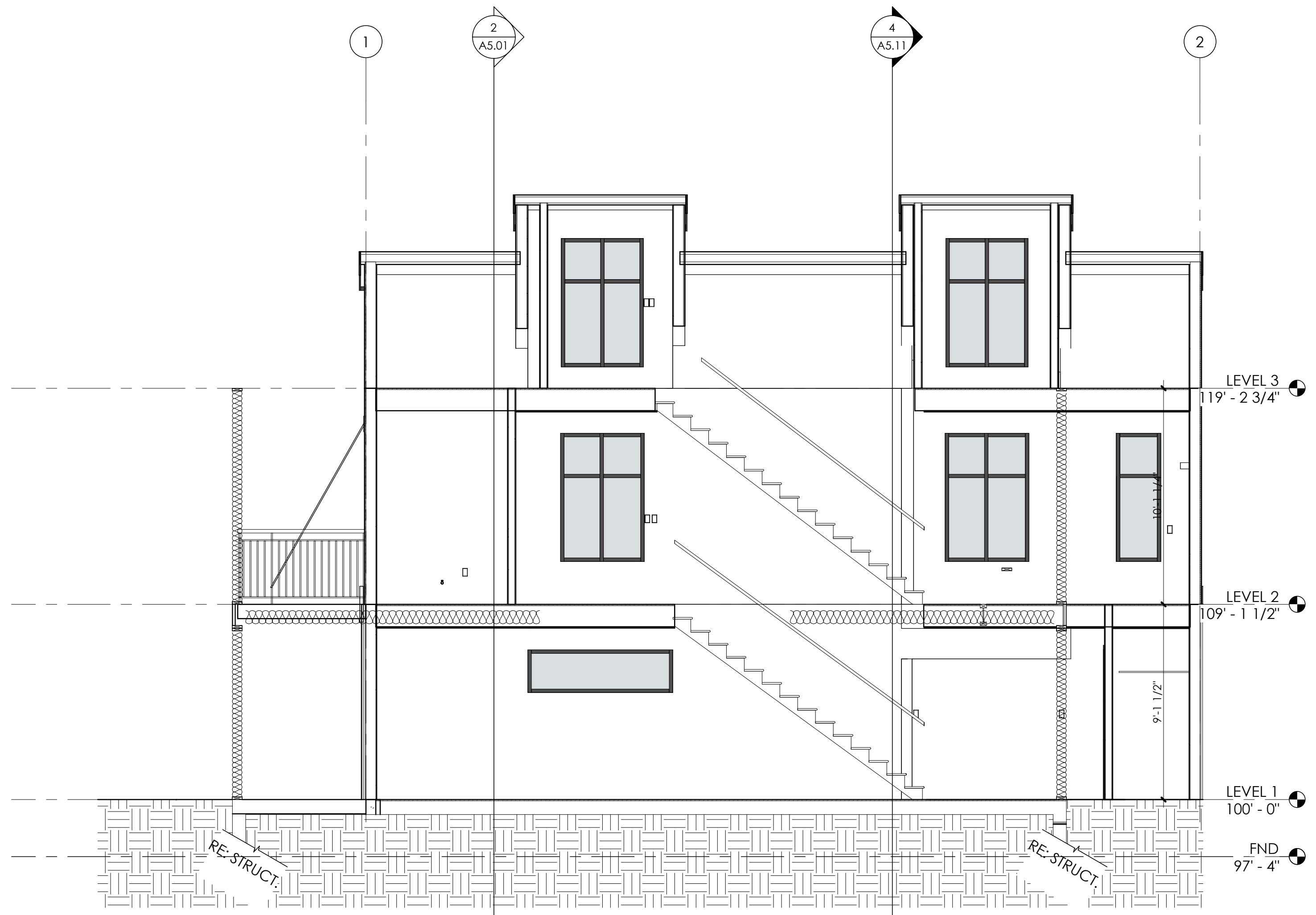
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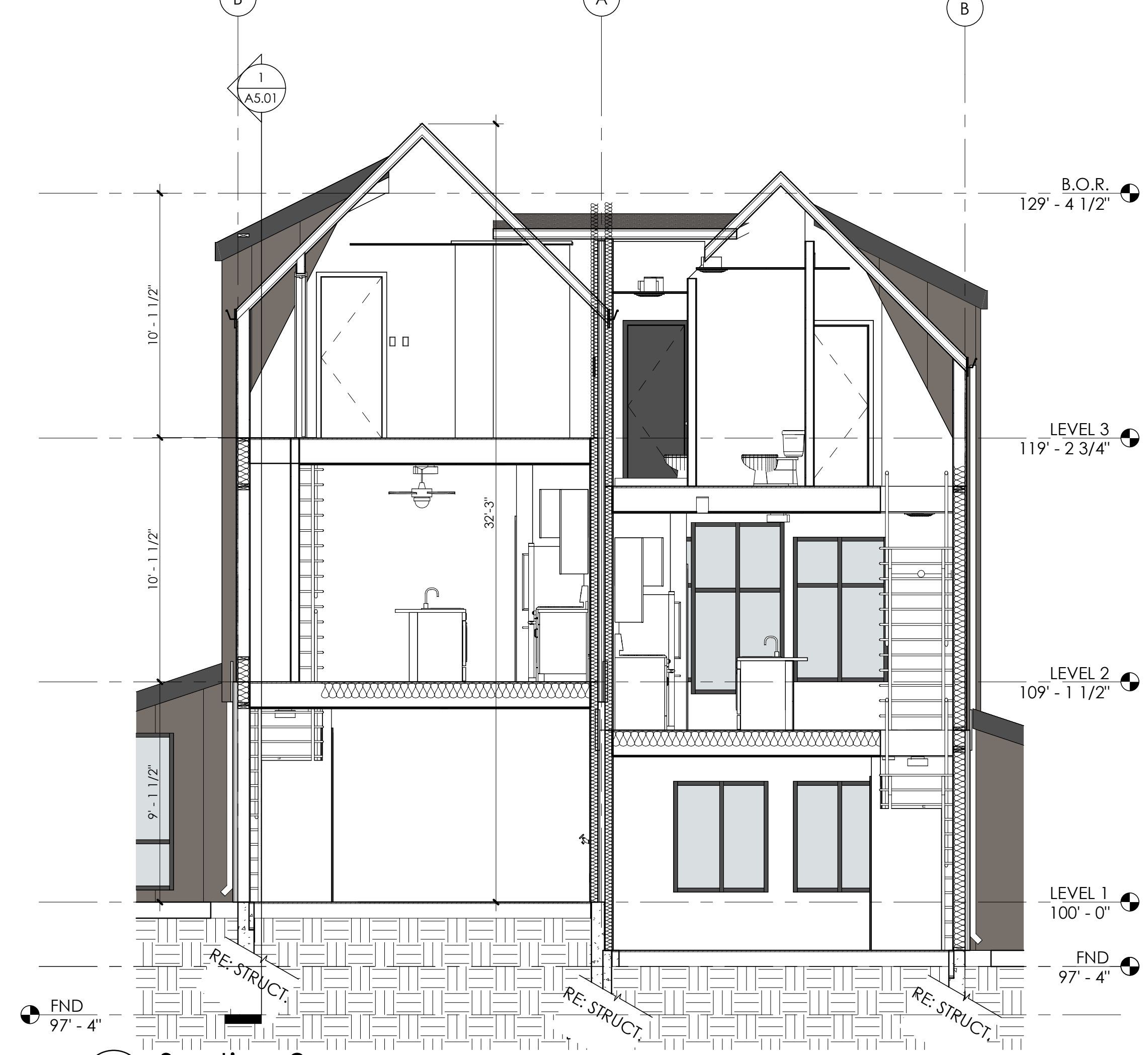
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EXTERIOR ELEVATIONS

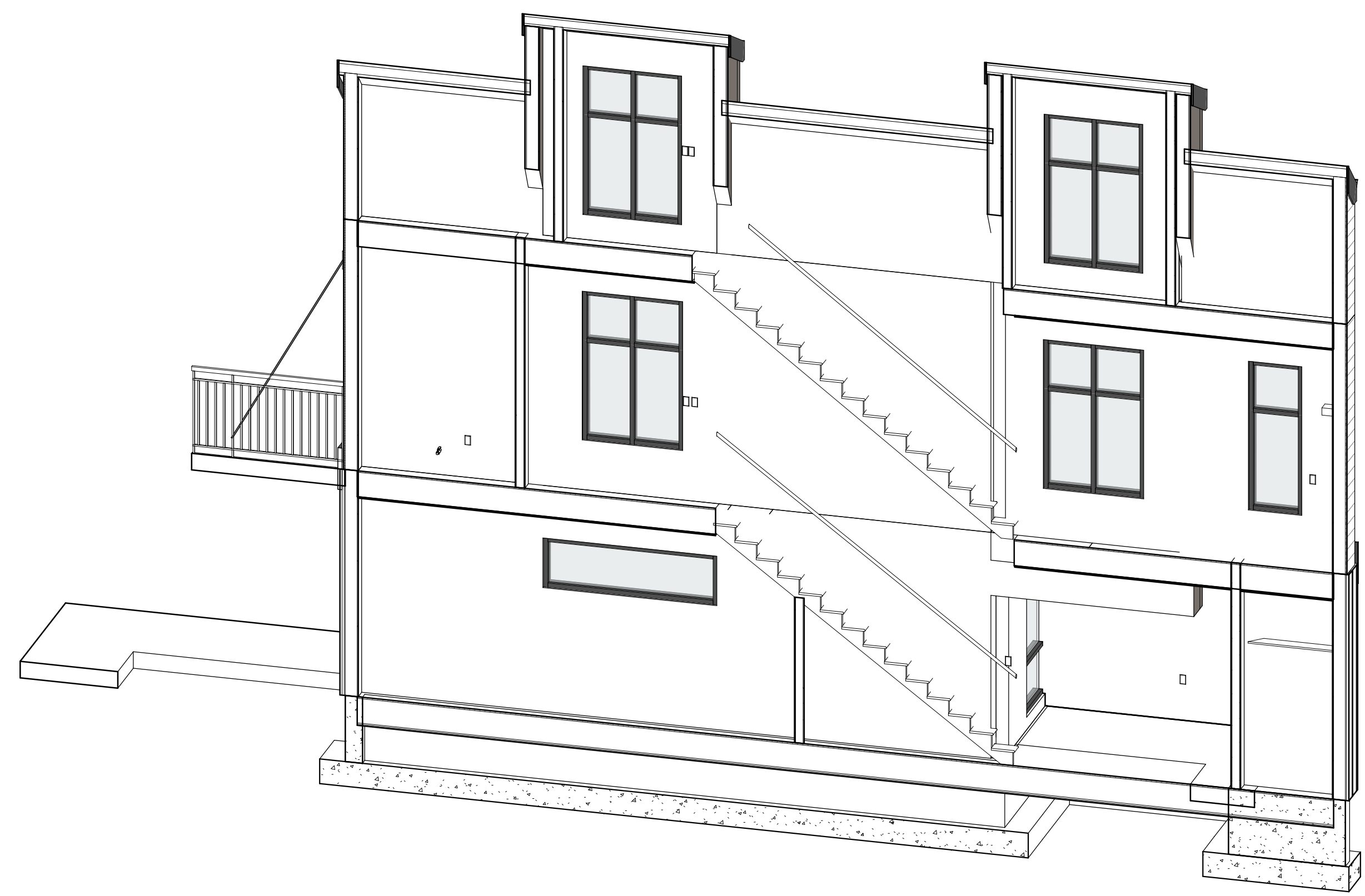
A4.02



1 Section 1
1/4" = 1'-0"



2 Section 2
1/4" = 1'-0"



BROADWAY - DUPLEX

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SCALE: 1/4" = 1'-0"

SHEET TITLE:
BUILDING SECTIONS

A5.01