

EXISTING LEGEND

T.O.B.	Top of Bank
T.O.S.	Top of Slope
CONC.	Concrete
ASPH.	Asphalt
M.S.	Masonry
FR.	Frame
S.P.	Screened Porch
C.P.	Corporal
CL.F.	Chain Link Fence
W.F.	Wire Fence
W.D.F.	Wood Fence
O.H.L.	Overhead Utility Line
U.P.	Utility Pole
E.P.	Edge of Pavement
SEC.	Section
R/WAY	Right-of-Way
M.A.	Manufactured Home
ZH.C.L.	Zephyr Hills Colony Company Lands
Centerline	Centerline

LANDSCAPE LEGEND

SYMBOL	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	QUANTITY
(Tree symbol)	LIVE OAK	QUERCUS VIRGINIANA	3" CALIBER, 10' HIGH, 20" MATURE SPREAD	32
(Shrub symbol)	SANDWICH VIBURNUM	VIBURNUM SUSPENSUM	3 GAL, 24"-30" HIGH	624 TO G.
(Grass symbol)	75% COVERAGE LIROPE GRASS			

LANDSCAPING NOTES:
 1.) ALL LANDSCAPED MATERIAL MUST BE FLORIDA GRADE #1 OR BETTER.
 2.) IRRIGATION SHALL BE PROVIDED TO ALL PROPOSED LANDSCAPING.

LANDSCAPE CHART	REQUIRED	PROVIDED
VEHICULAR USE AREA	-	-
BUILDING FLOOR AREA	-	-
SITE PERIMETER	-	-

SITE DATA TABLE

CLASS 1 DEVELOPMENT

OWNER/APPLICANT:
 CLAUDE ERVIE THOMAS
 36807 PALM STREET
 DADE CITY, 33525
 (352) 567-7339
 (352) 567-7743-FAX

SURVEYOR:
 C. FRED DEUEL & ASSOCIATES, INC.
 5151 GALL BLVD.
 ZEPHYRHILLS, FL 33541
 (813) 782-6717
 (813) 782-5426-FAX

PROJECT SUMMARY & SITE DATA:

TOTAL BUILDING AREA	= 2,916 SF (02%)	5,316 SF (03%)
TOTAL ASPHALT/CONC/SHELL AREA	= 106,490 SF (91%)	94,857 SF (54%)
TOTAL IMPERVIOUS AREA	= 109,406 SF (93%)	99,973 SF (57%)
TOTAL GREEN AREA	= 64,794 SF (37%)	74,227 SF (43%)
TOTAL PROJECT AREA	= 174,200 SF / 4.00 AC	

ZONING: "C-2", "A-C" **PROPOSED USE:** AUTO SALES & SERVICE

LOT REQUIREMENTS:

LOT AREA	15,000 SF	174,200 SF
LOT WIDTH	90 FT	620 FT
LOT DEPTH		281 FT

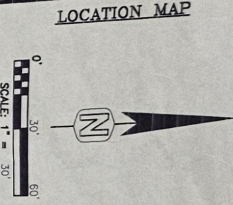
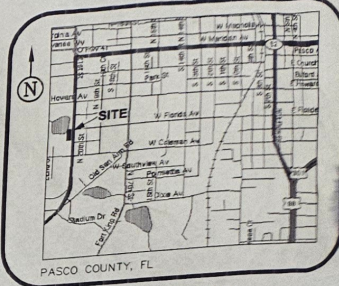
SETBACK REQUIREMENTS:

EAST(SR52)	125' TO C/(100' CLEARZONE+25' C-2 FRONT)	188 FT
NORTHWEST		30 FT
SOUTH		0 FT
		102 FT
		0.57
		0.27
		0.04

MAXIMUM LOT COVERAGE (USR): 0.50
MAXIMUM FLOOR/AREA RATIO: 0.27
PROPERTY AREA-WETLAND: 137,936 SF < 35 FT
MAXIMUM BUILDING HEIGHT: 6 FT
NUMBER OF PARKING SPACES: 17 SP
AUTO SERVICE: 1SP/400SF: 5,316/400 = 14 SP
NUMBER OF H.C. PARKING SPACES: 1HC/1-25SP

FLOOD ZONE: X, A E1-85.0'
COMMUNITY PANEL #: 120230 0280 C
MAP REVISED: 3-15-84

PROPOSED UTILITIES:
 WATER - PUBLIC WATER BY DADE CITY
 SEWAGE - PRIVATE SEPTIC TANK & DRAIN FIELD SYSTEM BY CONTRACTOR
 FIRE PROTECTION - BY PASCO COUNTY FIRE RESCUE
 ELECTRIC SERVICE - BY TECO
 SOLID WASTE - BY DUMPSTER AT SOUTH PROPERTY LINE



PROPOSED LEGEND

(Arrow symbol)	DIRECTION OF FLOW
(Dashed line symbol)	EXISTING ELEVATION
(Numbered circle symbol)	PROPOSED ELEVATION
(Note symbol)	NOTE: PROPOSED ELEVATIONS AT CURBLINE ARE AT BOTTOM OF CURB FACE, ADD 0.5 TO THESE ELEVATIONS FOR TOP OF CURB HEIGHT. (MEAS = MATCH EXISTING GRADE)
(X symbol)	SILT FENCING
(Circle with number symbol)	NUMBER OF PROPOSED PARKING SPACES
(X with circle symbol)	REMOVE/RELOCATE EXISTING TREE

EXISTING LEGEND

(Tree symbol)	OAK TREE W/SIZE
(Tree symbol)	PINE TREE W/SIZE
(Tree symbol)	PALM TREE W/SIZE

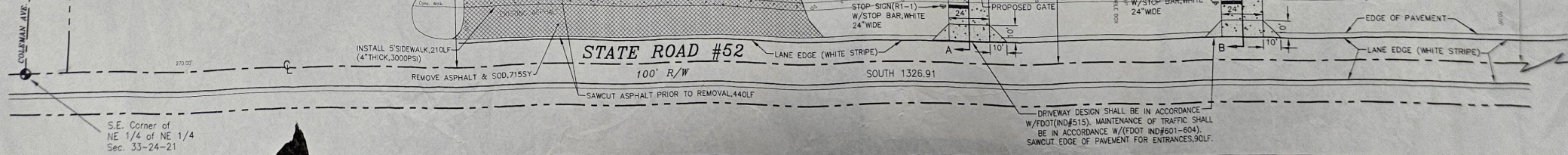
PROPOSED LEGEND

(Dashed line symbol)	PROPOSED CONCRETE
(Dotted line symbol)	PROPOSED ASPHALT

PASCO COUNTY GENERAL NOTES:

1. AIR CURTAIN SYSTEMS ARE PROPOSED.
 2. AIR CURTAIN SYSTEMS ARE THE METHOD OF FUGITIVE DUST CONTROL.
 3. AIR CURTAIN SYSTEMS SHALL BE INSTALLED PER APPENDIX "A" SPECS.
 4. ALL HISTORIC RESOURCES ARE FOUND ON SITE, THE FLORIDA
 5. HISTORIC RESOURCES AND PASCO COUNTY SHALL
 6. WITHIN TWO WORKING DAYS.
 7. ARE BASED ON NATIONAL GEODETIC VERTICAL DATUM
 8. ARE BASED ON NATIONAL GEODETIC VERTICAL DATUM
 9. CONSTRUCTION IF SOMETHING IS UNCOVERED,
 10. EARLY OF AN ARCHEOLOGICAL NATURE, THAT ALL WORK
 11. STOP AND THAT THE STATE ARCHEOLOGICAL OFFICE AND
 12. COUNTY ARE NOTIFIED.
 13. THERE ARE NO WETLANDS ON SITE.
 14. OWNER/APPLICANT ACKNOWLEDGES THAT ANY PROVISIONS
 15. OF PASCO COUNTY ORDINANCES NOT SPECIFICALLY WAIVED SHALL
 16. BE FULLY ENFORCEABLE AND EFFECTIVE.
 17. ALL INFORMATION SHOWN HEREON FROM SURVEY BY:
 18. C. FRED DEUEL & ASSOCIATES, INC. DATE: 6/25/75.

S.E. Corner of NE 1/4 of NE 1/4 Sec. 33-24-21



DESIGNED PER PASCO COUNTY COMMENTS	DJG
REVIEWED PER FOOT COMMENTS	DJG
REVIEWED PER FOOT COMMENTS	DJG

DESIGN:	DJG
DRAWN:	DJG

C. Fred Deuel and Associates, Inc.
 CONSULTING ENGINEERS - LAND SURVEYORS - LAND PLANNERS

THOMAS & SON, INC.
 PRELIMINARY CONSTRUCTION PLAN

TIMOTHY J. HEALY	WORK ORDER NO. 02-827
	DATE: 12-27-02
	SCALE: 1"=30'