

COTTAGES AT THE PRESERVE

SECTION 03, TOWNSHIP 4 SOUTH, RANGE 16 EAST

COLUMBIA COUNTY, FLORIDA

DEVELOPER, OWNERS' REPRESENTATIVE:

JIM ZUBER
426 COMMERCE DRIVE, SUITE 130
LAKE CITY, FL 32025
386.867.4970
jim@stewart.team

OWNER:

SCOTT STEWART
CORNERSTONE PARTNERS LP
426 COMMERCE DRIVE, SUITE 130
LAKE CITY, FL 32025
(HOA PRESIDENT)
386.867.3498
scott@sdstewart.com

CIVIL ENGINEER:

CAROL CHADWICK, P.E.
1208 S.W. FAIRFAX GLEN
LAKE CITY, FL 32025
307.680.1772
ccpeywo@gmail.com

SURVEYOR:

DANIEL & GORE, L.L.C.
PO BOX 1501
LAKE CITY, FL 32056
386.752.9019
sdaniel@dgsurveying.com



LOCATION MAP
NOT TO SCALE

PROJECT SITE

NOTES

1. SITE PARCELS: 03-45-16-02732-005
2. FUTURE LAND USE: RESIDENTIAL - LOW
3. ZONING: PRD - PLANNED RESIDENTIAL DEVELOPMENT

CONSTRUCTION INSPECTION CHECKLIST

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL COUNTY CONSTRUCTION INSPECTIONS ARE PERFORMED AND APPROVED. THE CONTRACTOR SHALL CONTACT THE COUNTY ENGINEER FOR SCHEDULING OF ALL INSPECTIONS:

1. PRE-CONSTRUCTION MEETING - PERMITS, INSURANCE, CONTACT INFORMATION, AND OTHER PERTINENT DATA
2. COMPLETION OF CLEARING AND GRUBBING - VISUAL ONLY, NO TEST RESULTS
3. ROUGH GRADING AND DRAINAGE STRUCTURES - RED LINE AS BUILT, TEST RESULTS
4. FINAL GRADING AND READY FOR LIMEROCK PLACEMENT - TEST RESULTS
5. LIMEROCK PLACED AND FINISHED - TEST RESULTS, THICKNESS, CROSS SECTION AND DENSITY
6. ASPHALTIC CONCRETE IN PLACE - TEST RESULTS, THICKNESS AND DENSITY
7. FINAL INSPECTION TO BE PERFORMED BY COUNTY ENGINEER AND PUBLIC WORKS AFTER AS BUILT SURVEY IS COMPLETED
8. THE DEVELOPER SHALL BE RESPONSIBLE FOR NOTIFYING THE COUNTY ENGINEER AND DIRECTOR OF PUBLIC WORKS FOR EACH PHASE'S INSPECTION.
9. ANY 3RD PARTY UTILITY CONSTRUCTED SHALL BE PLACED IN UTILITY EASEMENTS, AND SHALL NOT DAMAGE OR ALTER THE COUNTY'S INFRASTRUCTURE AS SHOWN IN THE PLANS.

SHEET INDEX

1	COVER SHEET
2	NOTES, LEGEND & PHASING PLAN
3	SITE PLAN
4	DIMENSION PLAN
5	GRADING PLAN
6	UTILITY PLAN
7	LANDSCAPE PLAN
8	UTILITY PLAN & PROFILE
9	ROAD & UTILITY PLAN & PROFILE
10	ROAD CROSS-SECTIONS & DETAILS SURVEY

CAROL CHADWICK, P.E.
 ENGINEER OF RECORD
 1208 S.W. FAIRFAX GLEN
 LAKE CITY, FL 32025
 307.680.1772
 ccpeywo@gmail.com

PROJECT NO.: 2023-001
 426 COMMERCE DRIVE
 SUITE 130
 LAKE CITY, FL 32025
 JIM ZUBER
 386.867.4970

COTTAGES AT THE PRESERVE
 COVER SHEET

DATE: JUNE 16, 2023
 SHEET NO.: 1 OF 10



ENGINEER OF RECORD: CAROL CHADWICK, P.E.
P.E. NO.: 82560

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EXISTING LINETYPES, SYMBOLS, AND HATCH PATTERNS

Table listing existing linetypes and symbols such as SA (Sanitary Sewer Main), SS (Sanitary Sewer Service), W (Water Main), WS (Water Service), SW (Storm Sewer), and various symbols for manholes, valves, and trees.

PROPOSED LINETYPES, SYMBOLS, AND HATCH PATTERNS

Table listing proposed linetypes and symbols including SA, SS, W, WS, SW, OP, UP, GAS, T, FO, CA, and various symbols for proposed structures, concrete, asphalt, gravel, and grass.

GENERAL CONSTRUCTION NOTES

- 1. ALL ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM 88 (NAVD 88).
2. LOCATIONS, ELEVATIONS, AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES, AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS.
3. THE CONTRACTOR SHALL CHECK THE PLANS FOR CONFLICTS AND DISCREPANCIES PRIOR TO CONSTRUCTION.

EROSION CONTROL NOTES

- 1. EROSION AND SEDIMENTATION CONTROL SHALL COMPLY WITH THE REQUIREMENTS OF THE 'FLORIDA DEVELOPMENT MANUAL' AND THE 'FLORIDA EROSION AND SEDIMENT CONTROL INSPECTORS MANUAL'.
2. THE CONTRACTOR SHALL ADHERE TO THE FLORIDA DEPARTMENT OF TRANSPORTATION, WATER MANAGEMENT DISTRICT, CITY OF CLERMONT AND OTHER GOVERNING AUTHORITIES FOR EROSION AND SEDIMENT CONTROL REGULATIONS.

CLEARING & EROSION CONTROL NOTES

- 1. PRIOR TO ANY SITE CLEARING, ALL TREES SHOWN TO REMAIN ON THE CONSTRUCTION PLANS SHALL BE PROTECTED IN ACCORDANCE WITH THE LOCAL REGULATORY AGENCY'S TREE ORDINANCE AND DETAILS CONTAINED IN THESE PLANS.
2. THE CONTRACTOR IS TO PREPARE THE SITE PRIOR TO BEGINNING ACTUAL CONSTRUCTION IN ACCORDANCE WITH THE SOILS TESTING REPORT. COPIES OF THE SOILS REPORT ARE AVAILABLE THROUGH THE OWNER OR THE SOILS TESTING COMPANY.

ENGINEER'S NOTES

- 1. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE JOB SITE PRIOR TO CONSTRUCTION TO ENSURE THAT ALL WORK WILL FIT IN THE MANNER INTENDED ON THE PLANS.
2. ALL DISTURBED AREAS SHALL BE SEEDDED WITH A MIXTURE OF LONG-TERM VEGETATION AND SHORT-TERM VEGETATION.

UNAUTHORIZED CHANGES AND USES CAUTION:

THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.

PRIVATE ENGINEERS NOTICE TO CONTRACTOR:

THE CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, HE/SHE WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY.

SANITARY SEWER NOTES

- 1. ALL SANITARY SEWER MAINS & LATERALS SHALL HAVE A MINIMUM OF 48 INCHES OF COVER.
2. ALL SANITARY SEWER MAINS & SERVICE LATERALS SHALL BE CONSTRUCTED OF P.V.C. PIPE 5.0 D.R.-26 OR AS OTHERWISE INDICATED IN THE DRAWINGS.

WATER SYSTEM TESTING AND INSPECTION REQUIREMENTS

- 1. ALL COMPONENTS OF THE WATER SYSTEM, INCLUDING FITTINGS, HYDRANTS CONNECTIONS, AND VALVES SHALL REMAIN UNCOVERED UNTIL PROPERLY PRESSURE TESTED AND ACCEPTED BY THE OWNER'S ENGINEER.
2. CONTRACTOR TO PERFORM CHLORINATION, BACTERIOLOGICAL SAMPLING SHALL BE BY THE LOCAL PUBLIC HEALTH UNIT AND/OR LOCAL UTILITY. CONTRACTOR SHALL OBTAIN CLEARANCE OF DOMESTIC WATER SYSTEM.

WATER SYSTEM NOTES

- 1. ALL WATER MAINS SHALL HAVE A MINIMUM OF 36 INCHES OF COVER.
2. ALL WATER SYSTEM WORK SHALL CONFORM TO LOCAL REGULATORY STANDARDS AND SPECIFICATIONS.
3. CONFLICTS BETWEEN WATER AND STORM OR SANITARY SEWER TO BE RESOLVED BY ADJUSTING THE WATER LINES AS NECESSARY.

SANITARY SEWER TESTING & INSPECTION REQUIREMENTS

- 1. ALL GRAVITY SEWER PIPING SHALL BE SUBJECT TO A VISUAL INSPECTION BY THE OWNER'S ENGINEER. CONTRACTOR TO NOTIFY THE ENGINEER 48 HOURS IN ADVANCE TO SCHEDULE INSPECTION.
2. THE CONTRACTOR SHALL PERFORM AND INFILTRATION/EXFILTRATION TEST ON ALL GRAVITY SEWERS IN ACCORDANCE WITH THE REGULATORY AGENCY HAVING JURISDICTION. SAID TESTS ARE TO BE CERTIFIED BY THE ENGINEER OF RECORD AND SUBMITTED TO THE REGULATORY AGENCY FOR APPROVAL.

WATER/SEWER CLEARANCE REQUIREMENTS

- UTILITY SEPARATION - VERTICAL CLEARANCE
1. WHERE WATER AND GRAVITY SANITARY SEWER MAINS CROSS WITH LESS THAN 12 INCHES VERTICAL CLEARANCE, THEN THE SANITARY SEWER WILL BE 20 FEET, CENTERED ON THE POINT OF CROSSING, OF EITHER:
A. DUCTILE IRON PIPE AND HYDROSTATICALLY PRESSURE TESTED, OR
B. CONCRETE ENCASED VITRIFIED CLAY; OR
C. PVC PIPE UPGRADED TO WATER MAIN STANDARDS AND PRESSURE TESTED.

WORK IN THE RIGHT-OF-WAY

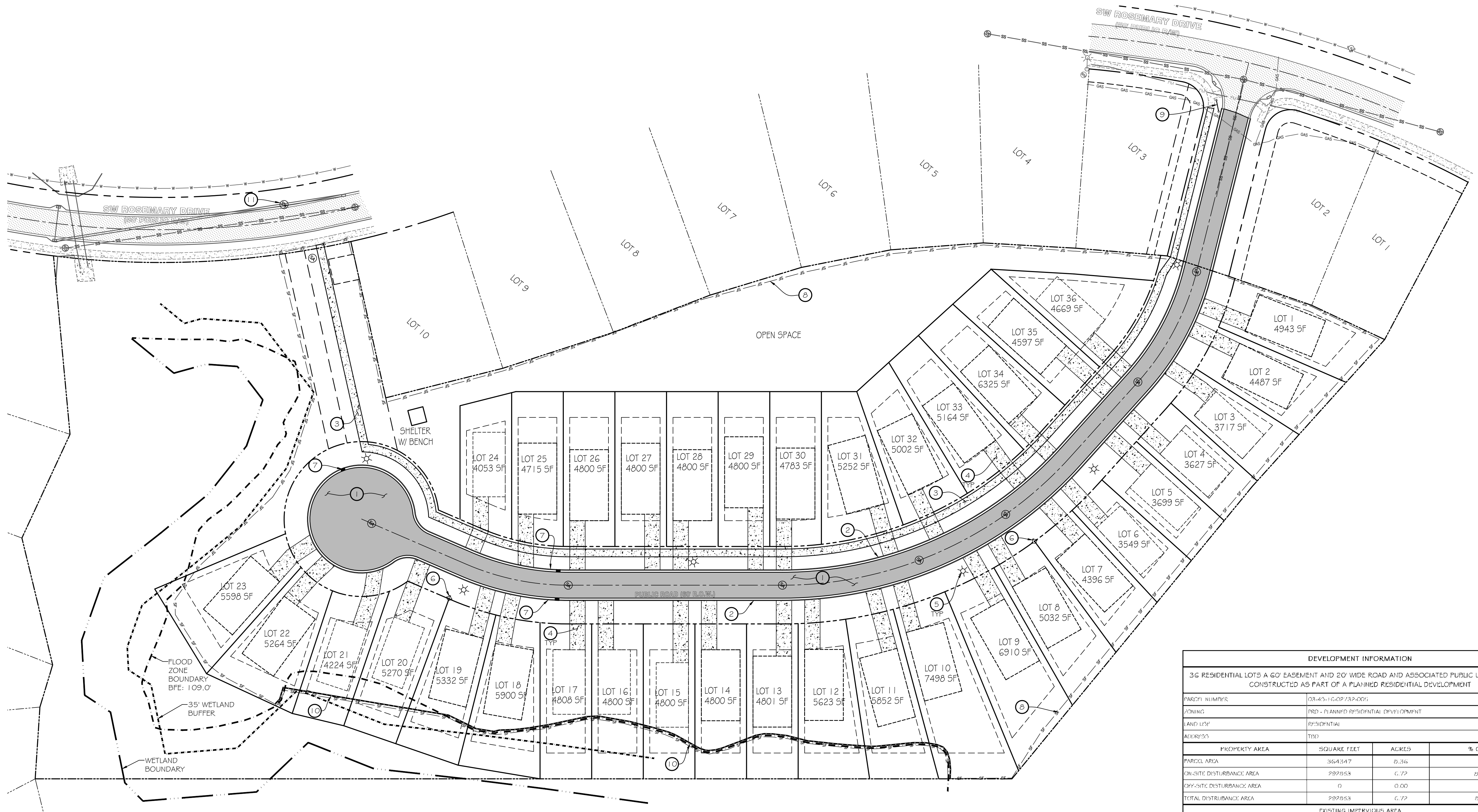
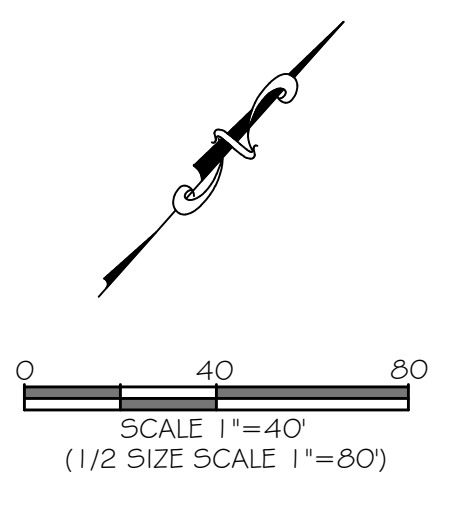
- 1. ALL STRIPING SHALL BE THERMOPLASTIC AND SHALL MEET THE REQUIREMENTS OF F.D.O.T. & LOCAL REGULATORY AGENCY SPECIFICATIONS AND SUPPLEMENTS.
2. REFLECTIVE PAVEMENT MARKERS SHALL MEET THE REQUIREMENTS OF F.D.O.T. AND LOCAL REGULATORY AGENCY SPECIFICATIONS AND SUPPLEMENTS.



Professional seal and information for Carol Chidwick, Registered Professional Engineer, State of Florida, License No. 12193. Includes contact information for Sunshine 811 and Cotages at the Preserve.

VERTICAL SCALE: 1" = 10' HORIZONTAL SCALE: 1" = 40'

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LOT	MIN. F.F.E., FEET	LOT	MIN. F.F.E., FEET
1	116.40	19	114.30
2	116.50	20	114.40
3	116.60	21	114.70
4	116.60	22	114.70
5	116.70	23	114.70
6	116.70	24	115.10
7	116.60	25	115.00
8	116.50	26	115.00
9	116.40	27	115.20
10	116.00	28	115.40
11	115.80	29	115.80
12	115.50	30	116.00
13	115.20	31	116.40
14	114.80	32	116.70
15	114.20	33	116.40
16	113.80	34	116.90
17	113.80	35	117.00
18	114.20	36	116.60

CONSTRUCTION NOTES

- 1 1.5" AC PAVEMENT OVER 6" COMPACTED LIMEROCK
- 2 MIAMI CURB & GUTTER
- 3 6" CONCRETE SIDEWALK
- 4 CONCRETE DRIVEWAY
- 5 STREET LIGHT
- 6 FIRE HYDRANT
- 7 STORM INLET
- 8 SILT FENCE
- 9 SIGN PER SEPARATE PERMIT
- 10 RETAINING WALL PER SEPARATE PERMIT
- 11 STORM MANHOLE

NOTES

- 1. 1650 S.F. BUILDING ENVELOPES SHOWN FOR ILLUSTRATION PURPOSES
- 2. SETBACKS: 20' FRONT & REAR AND 5' SIDE

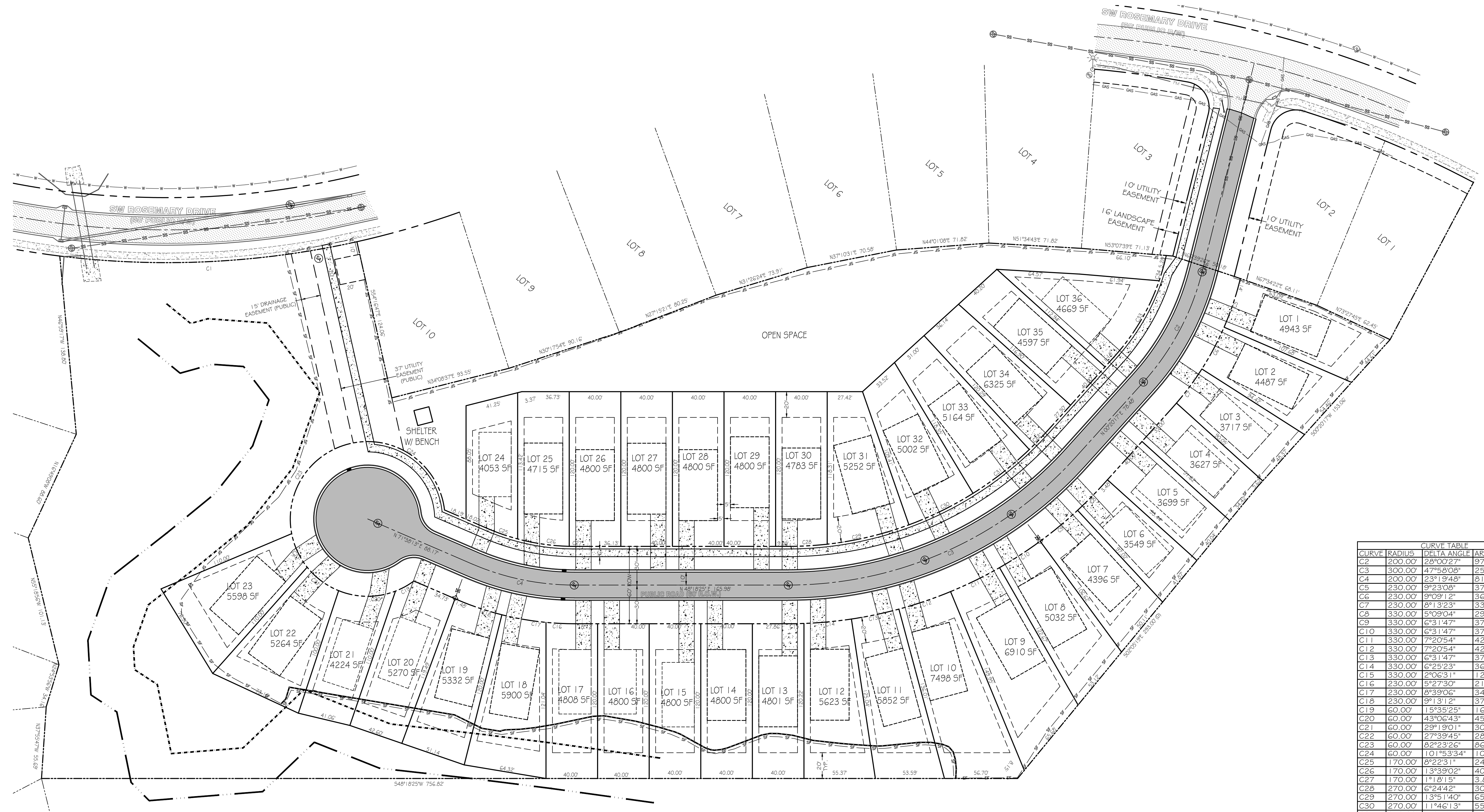
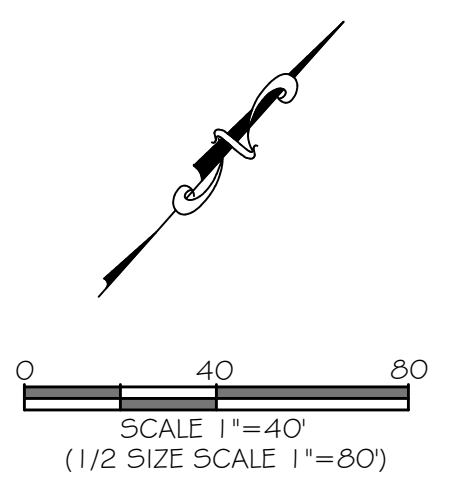
DEVELOPMENT INFORMATION			
36 RESIDENTIAL LOTS A 60' EASEMENT AND 20' WIDE ROAD AND ASSOCIATED PUBLIC UTILITIES WILL BE CONSTRUCTED AS PART OF A PLANNED RESIDENTIAL DEVELOPMENT			
PARCEL NUMBER	03-43-1-G-07-73P-001		
ZONING	PRD - PLANNED RESIDENTIAL DEVELOPMENT		
LAND USE	RESIDENTIAL		
ADDRESS	TBD		
PROPERTY AREA		SQUARE FEET	ACRES
PARCEL AREA	364,347	8.36	1.00
ON-SITE DISTURBANCE AREA	292,653	6.72	80.35
OFF-SITE DISTURBANCE AREA	0	0.00	-
TOTAL DISTURBANCE AREA	292,653	6.72	80.35
EXISTING IMPERVIOUS AREA			
TOTAL EXISTING IMPERVIOUS	0	0.00	0.00
PROPOSED IMPERVIOUS AREA			
NEW BUILDINGS	59,400	1.36	16.30
ASPHALT PAVEMENT	22,024	0.51	6.06
CURB & GUTTER	3344	0.08	1.14
CONCRETE DRIVEWAYS	1,672	0.38	4.59
SIDEWALKS	6,082	0.14	2.08
TOTAL PROPOSED IMPERVIOUS	107,640	2.47	30.17
WETLANDS			
WETLAND AREA	308.3	0.71	3.46
COMMON OPEN SPACE			
COMMON OPEN SPACE	11,201	2.58	30.96
LANDSCAPING			
PROPOSED LANDSCAPING	SEE LANDSCAPE PLAN		
PARKING			
REQUIRED SPACES	DWELLINGS: 2 SPACES PER HOME * 36 = 72		
EXISTING SPACES	DWELLINGS: 72		
UNIT DENSITY			
36 RESIDENTIAL UNITS	NET AREA, AC.	HOMES PER ACRE	
	7.66	4.70	

CAROL CHADWICK & ASSOCIATES, INC.
 REGISTERED PROFESSIONAL ENGINEER
 STATE OF FLORIDA
 ENGINEER NUMBER: 12157
 ADDRESS: 426 COMMERCIAL DRIVE
 SUITE 130
 LAKE CITY, FL 32825
 PHONE: 354-967-4870
 FAX: 354-967-4870

COTTAGES AT THE PRESERVE
 SITE PLAN
 DATE: JUNE 16, 2023
 SHEET: 3 OF 10



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CURVE	RADIUS	DELTA ANGLE	ARC LENGTH
C2	200.00	28°00'27"	97.76'
C3	300.00	47°58'08"	251.17'
C4	200.00	23°19'48"	81.44'
C5	230.00	9°23'08"	37.68'
C6	230.00	9°09'12"	36.74'
C7	230.00	8°13'23"	33.01'
C8	330.00	5°09'04"	29.67'
C9	330.00	6°31'47"	37.61'
C10	330.00	6°31'47"	37.61'
C11	330.00	7°20'54"	42.32'
C12	330.00	7°20'54"	42.32'
C13	330.00	6°31'47"	37.61'
C14	330.00	6°26'23"	36.99'
C15	330.00	2°06'31"	12.15'
C16	230.00	5°27'30"	21.91'
C17	230.00	8°39'06"	34.73'
C18	230.00	9°13'12"	37.01'
C19	60.00	15°35'25"	16.33'
C20	60.00	43°06'43"	45.15'
C21	60.00	29°19'01"	30.70'
C22	60.00	27°39'45"	28.97'
C23	60.00	82°23'26"	86.28'
C24	60.00	101°53'34"	106.70'
C25	170.00	8°22'31"	24.85'
C26	170.00	13°39'02"	40.50'
C27	170.00	1°18'15"	3.87'
C28	270.00	6°24'42"	30.21'
C29	270.00	13°51'40"	65.32'
C30	270.00	11°46'13"	55.47'
C31	270.00	11°45'28"	55.41'
C32	270.00	4°10'06"	19.64'
C33	170.00	23°01'05"	68.30'
C34	170.00	4°59'21"	14.80'

CAROL CHADWICK
 REGISTERED PROFESSIONAL ENGINEER
 STATE OF FLORIDA
 LICENSE NO. 12543
 EXPIRES 12/31/2024

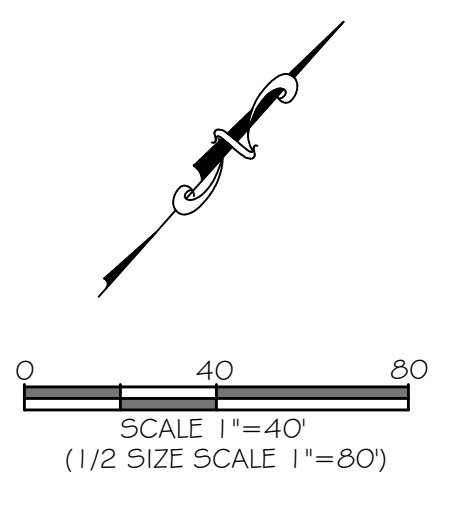
4326 COMMERCE DRIVE
 SUITE 130
 LAKE CITY, FL 32025
 (904) 777-1111
 396-967-4870

COTTAGES AT THE PRESERVE
 DIMENSION PLAN

DATE: 06/15/2023
 PROJECT: COTTAGES AT THE PRESERVE
 SHEET: 4 OF 10



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CAROL CHADWICK
 REGISTERED PROFESSIONAL ENGINEER
 STATE OF FLORIDA
 No. 12889
 EXPIRES 12/31/2024

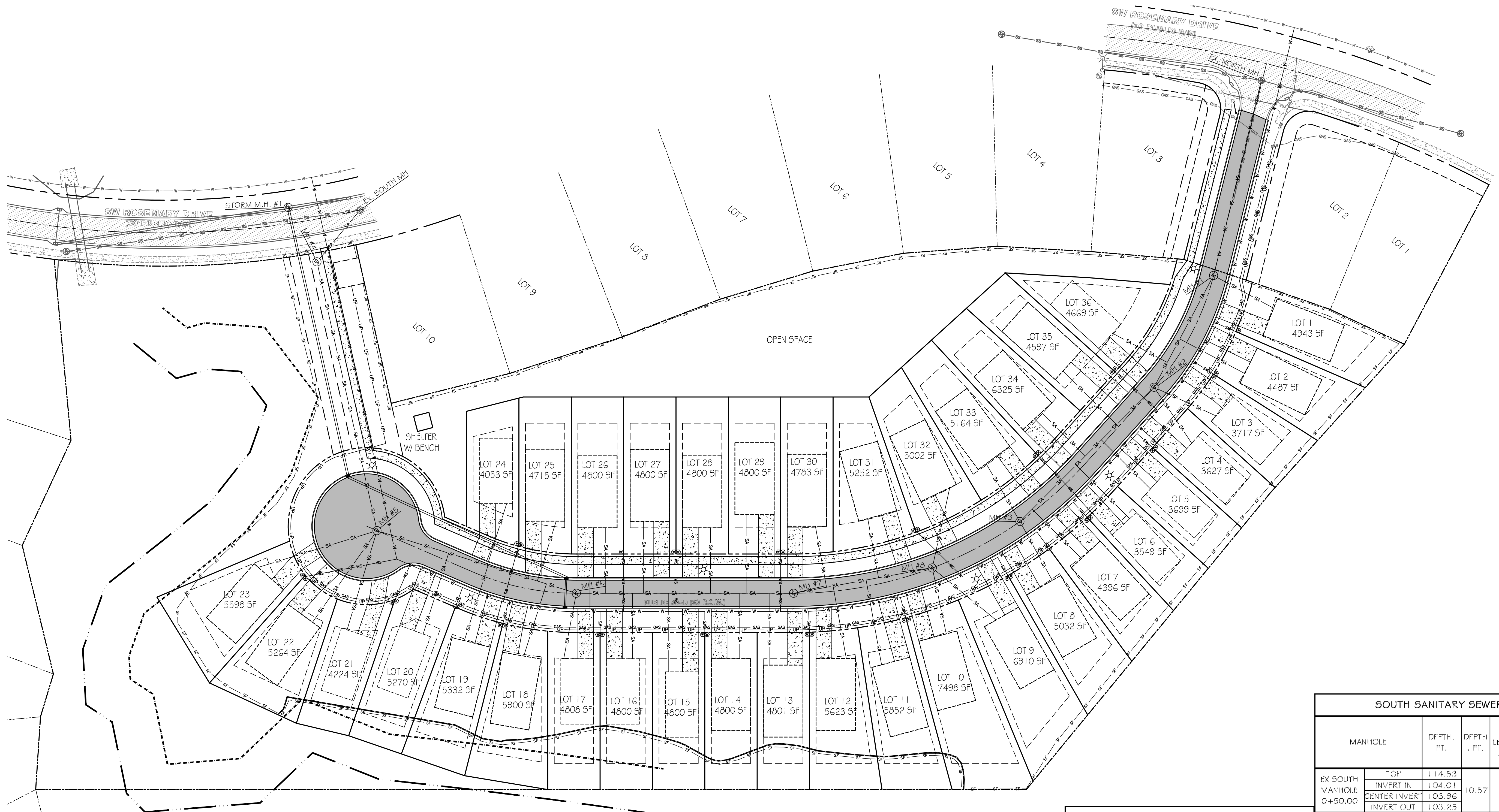
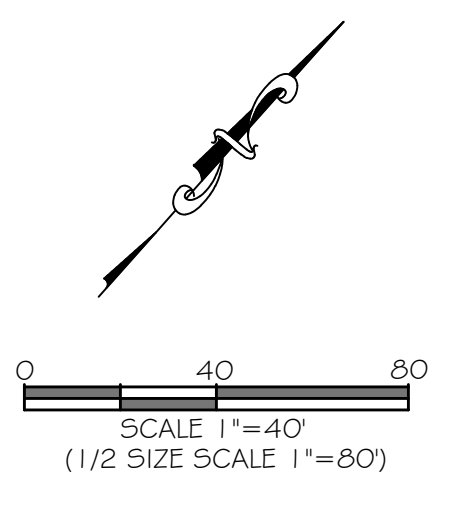
PROJECT NO. 2023-001
 426 COMMERCE DRIVE
 SUITE 130
 LAKE CITY, FL 32025
 TEL: 813-967-4870
 FAX: 813-967-4870

COTTAGES AT THE PRESERVE
GRADING PLAN

DATE: 06/15/2023
 PROJECT: COTTAGES AT THE PRESERVE
 SHEET: 5 OF 10

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SOUTH SANITARY SEWER

MANHOLE	DEPTH, FT.	DEPTH, FT.	PIPE LENGTH, L.F.	SLOPE, %
EX SOUTH MANHOLE 0+50.00	TOP	114.53		
	INVERT IN	104.01	10.57	
	CENTER INVERT	103.96		
	INVERT OUT	103.25		51.45 0.45

NORTH SANITARY SEWER

MANHOLE	DEPTH, FT.	DEPTH, FT.	PIPE LENGTH, L.F.	SLOPE, %
EX NORTH MANHOLE 19+16.39	TOP	113.65		
	INVERT IN	106.41	7.29	
	CENTER INVERT	106.36		
	INVERT OUT	106.31		190.91 0.45
#1 17+63.00	TOP	114.62		
	INVERT IN	107.37	7.30	
	CENTER INVERT	107.32		
	INVERT OUT	107.27		96.79 0.45
#2 16+65.24	TOP	114.98		
	INVERT IN	107.90	7.13	
	CENTER INVERT	107.85		
	INVERT OUT	107.80		145.00 0.45
#3 15+19.88	TOP	114.94		
	INVERT IN	N.A.	6.33	
	CENTER INVERT	108.61		
	INVERT OUT	108.56		

#4 1+01.45	TOP	113.14		
	INVERT IN	104.34	8.85	
	CENTER INVERT	104.29		
	INVERT OUT	104.24		210.50 0.45
#5 3+11.95=10+08.59	TOP	113.46		
	INVERT IN	105.39	8.12	
	CENTER INVERT	105.34		
	INVERT OUT	105.29		159.63 0.45
#6 11+69.61	TOP	112.84		
	INVERT IN	106.21	6.68	
	CENTER INVERT	106.16		
	INVERT OUT	106.11		165.98 0.45
#7 13+35.59	TOP	113.89		
	INVERT IN	107.05	6.89	
	CENTER INVERT	107.00		
	INVERT OUT	106.95		107.71 0.45
#8 14+43.89	TOP	114.64		
	INVERT IN	N.A.	7.05	
	CENTER INVERT	107.59		
	INVERT OUT	107.54		

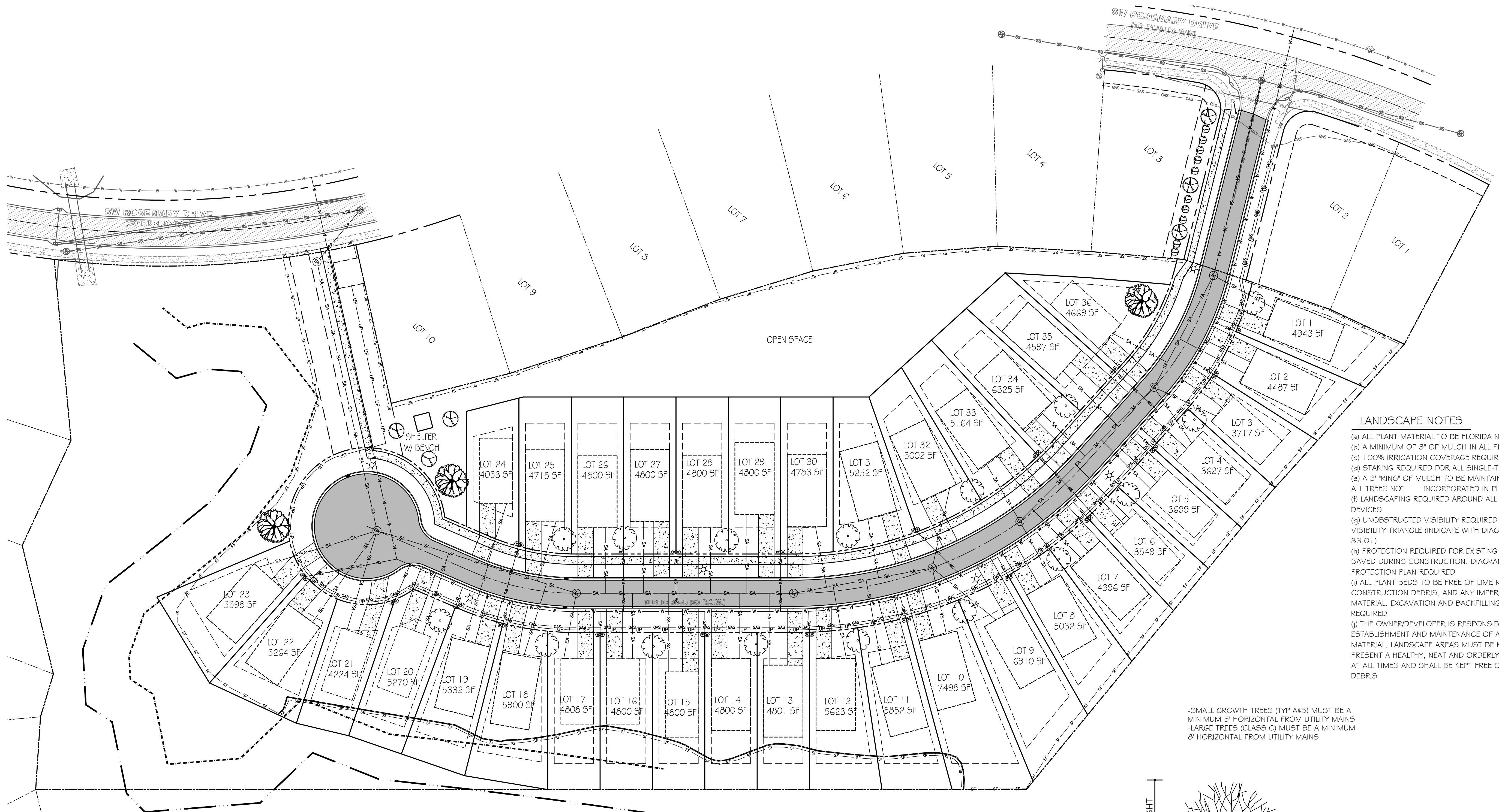
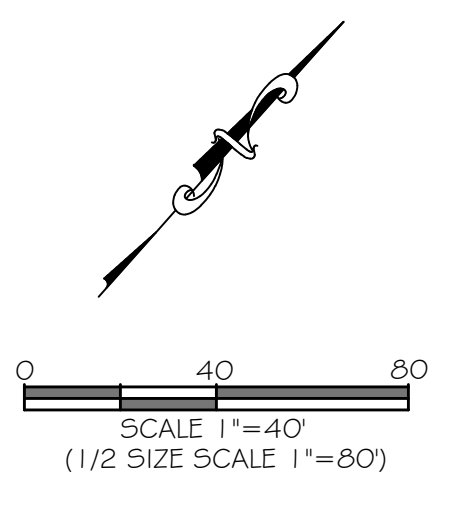
CAROL CHADWICK
 REGISTERED PROFESSIONAL ENGINEER
 STATE OF FLORIDA
 No. 12000
 EXPIRES 12/31/2024
 436 COMMERCE DRIVE
 SUITE 1130
 LAKE CITY, FL 32025
 (407) 396-8677
 (407) 396-8677

PROJECT NO. 22-1937
 DATE: JUNE 16, 2023
 SHEET NO. 6 OF 10

COTTAGES AT THE PRESERVE
 UTILITY PLAN



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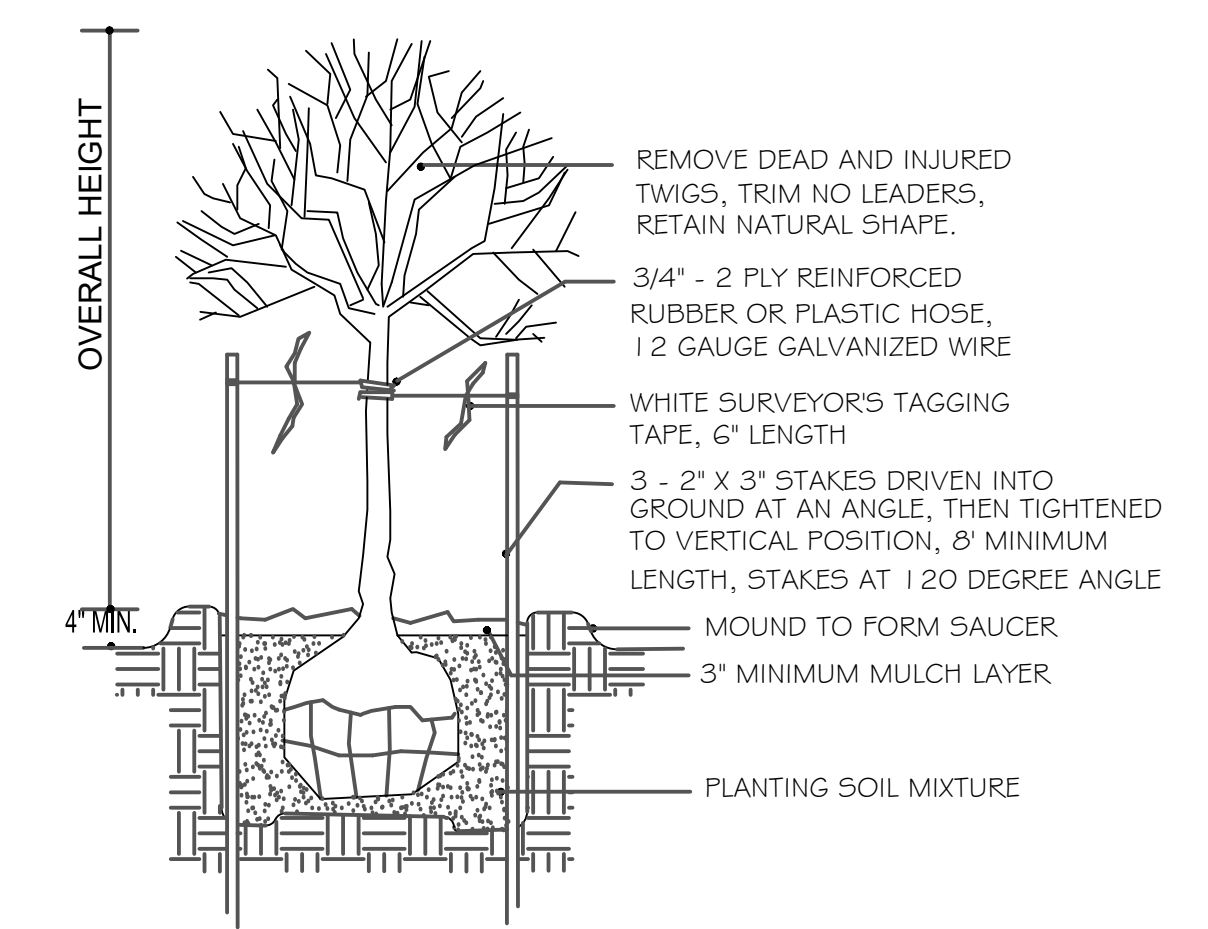


- LANDSCAPE NOTES**
- (a) ALL PLANT MATERIAL TO BE FLORIDA No. 1 QUALITY
 - (b) A MINIMUM OF 3" OF MULCH IN ALL PLANT BEDS
 - (c) 100% IRRIGATION COVERAGE REQUIRED
 - (d) STAKING REQUIRED FOR ALL SINGLE-TRUNK TREES
 - (e) A 3" "RING" OF MULCH TO BE MAINTAINED AROUND ALL TREES NOT INCORPORATED IN PLANT BEDS.
 - (f) LANDSCAPING REQUIRED AROUND ALL BACKFLOW DEVICES
 - (g) UNOBSTRUCTED VISIBILITY REQUIRED WITHIN SITE VISIBILITY TRIANGLE (INDICATE WITH DIAGRAM, FIGURE 33.01)
 - (h) PROTECTION REQUIRED FOR EXISTING TREES TO BE SAVED DURING CONSTRUCTION. DIAGRAM OF TREE PROTECTION PLAN REQUIRED
 - (i) ALL PLANT BEDS TO BE FREE OF LIME ROCK, CONSTRUCTION DEBRIS, AND ANY IMPERVIOUS MATERIAL. EXCAVATION AND BACKFILLING MAY BE REQUIRED
 - (j) THE OWNER/DEVELOPER IS RESPONSIBLE FOR THE ESTABLISHMENT AND MAINTENANCE OF ALL PLANT MATERIAL. LANDSCAPE AREAS MUST BE MAINTAINED TO PRESENT A HEALTHY, NEAT AND ORDERLY APPEARANCE AT ALL TIMES AND SHALL BE KEPT FREE OF TRASH AND DEBRIS

-SMALL GROWTH TREES (TYP A&B) MUST BE A MINIMUM 5' HORIZONTAL FROM UTILITY MAINS
 -LARGE TREES (CLASS C) MUST BE A MINIMUM 8' HORIZONTAL FROM UTILITY MAINS

PLANT SCHEDULE

SYMBOL	PLANT TYPE	CALIPER SIZE, IN	HEIGHT	WIDTH, FT	SIZE, GALLON
	LIVE OAK	2 - 3	12' - 14'	6 - 8	
	HOLLY TREE		8' - 10'		45
	MAGNOLIA TREE		8' - 10'		45
	LIGUSTRUM TREE		8' - 10'		45
	STREET TREES - TYPE TBD		8' - 10'		45
	VIBURNUM SHRUB AZALEAS SHRUB FODDORPUS SHRUB LAURA PENDULUM SHRUB		18" - 20"		3



TREE STAKING AND PLANTING DETAIL
 NOT TO SCALE

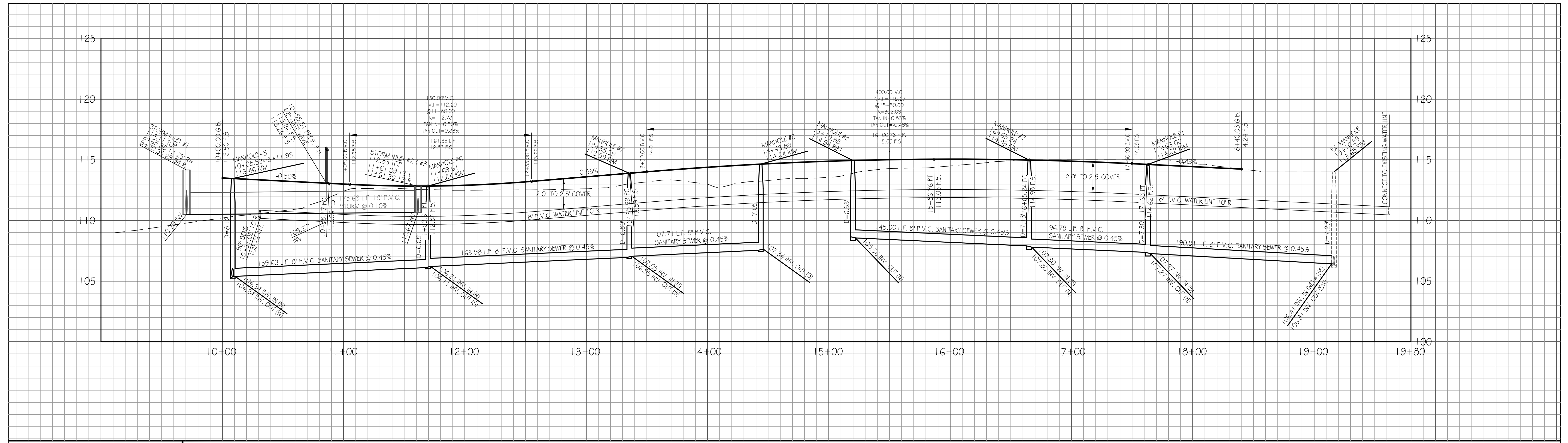
CAROL CHADWICK
 LANDSCAPE ARCHITECT
 4526 CONNOR DRIVE
 SUITE 130
 LAKE CITY, FL 32025
 PHONE: 904.867.4870
 FAX: 904.867.4870

COTTAGES AT THE PRESERVE
 LANDSCAPE PLAN

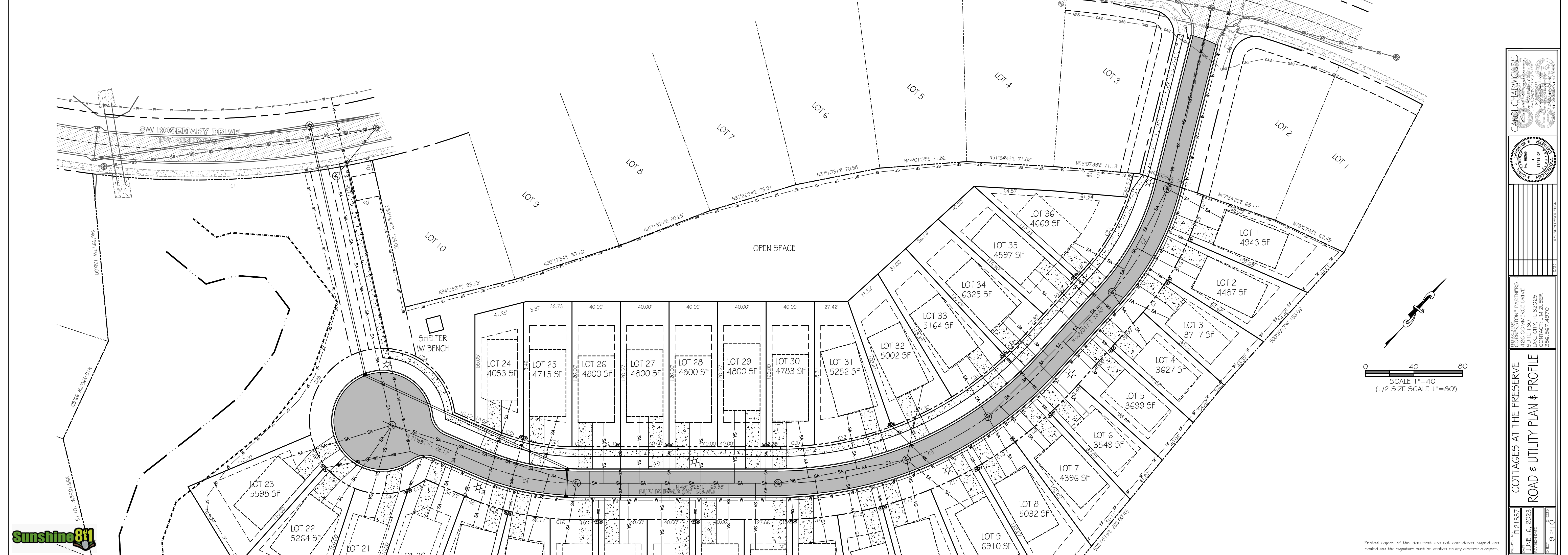
DATE: 06/16/2023
 TIME: 10:00 AM
 SHEET: 7 OF 10



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HORIZ. SCALE: 1"=50' (1/2 SIZE SCALE: 1"=100)
 VERT. SCALE: 1"=5' (1/2 SIZE SCALE: 1"=10)

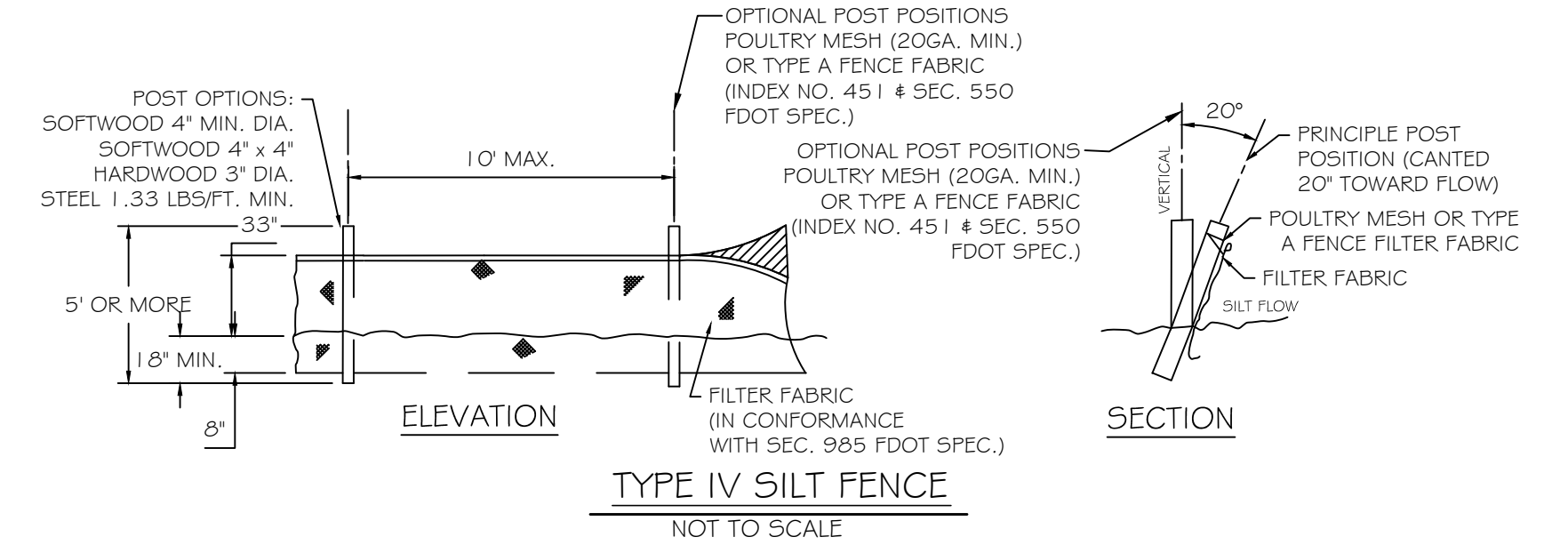
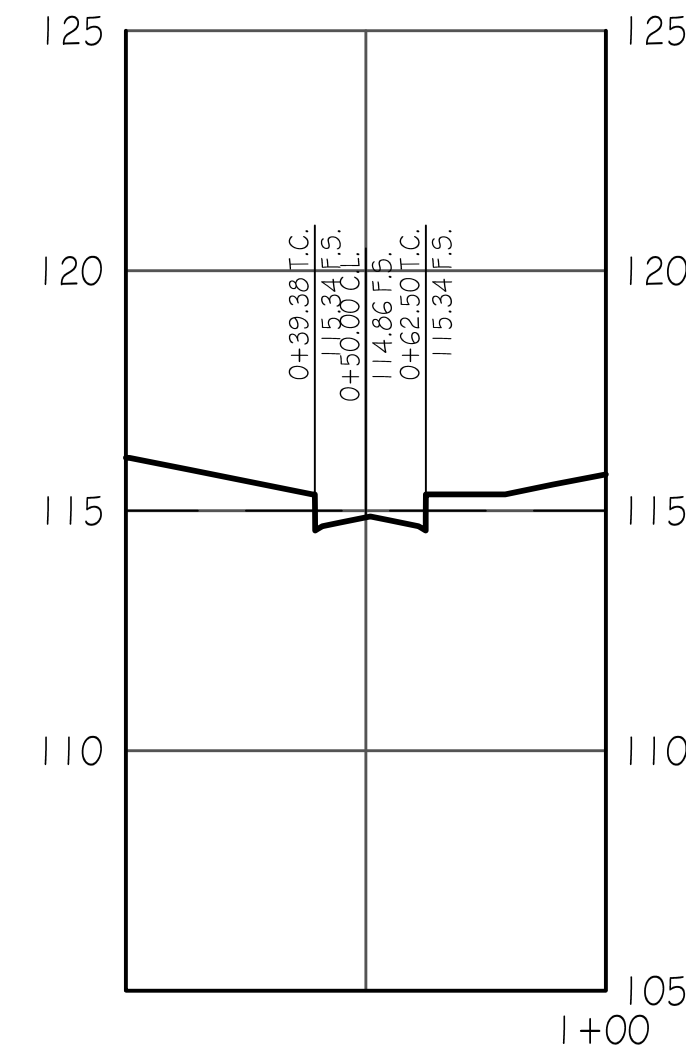
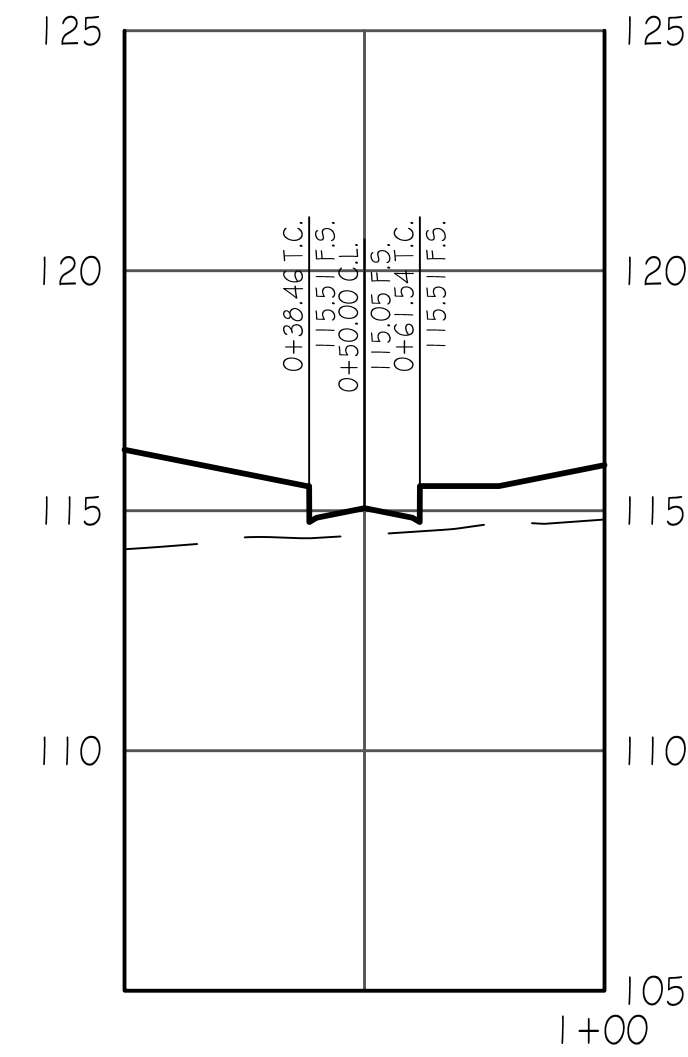
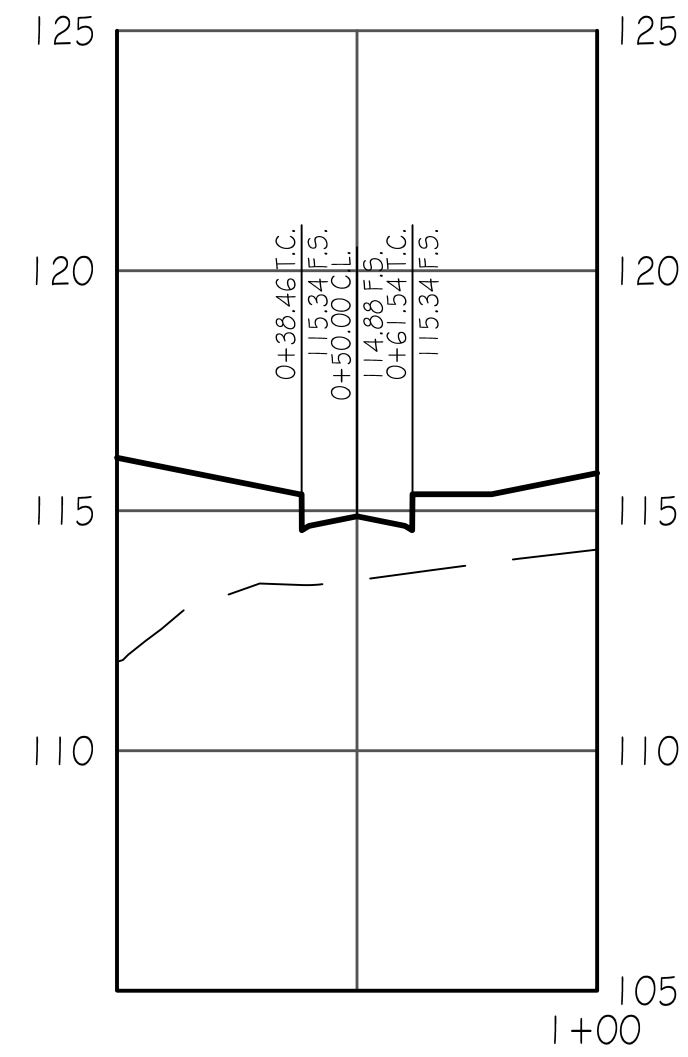
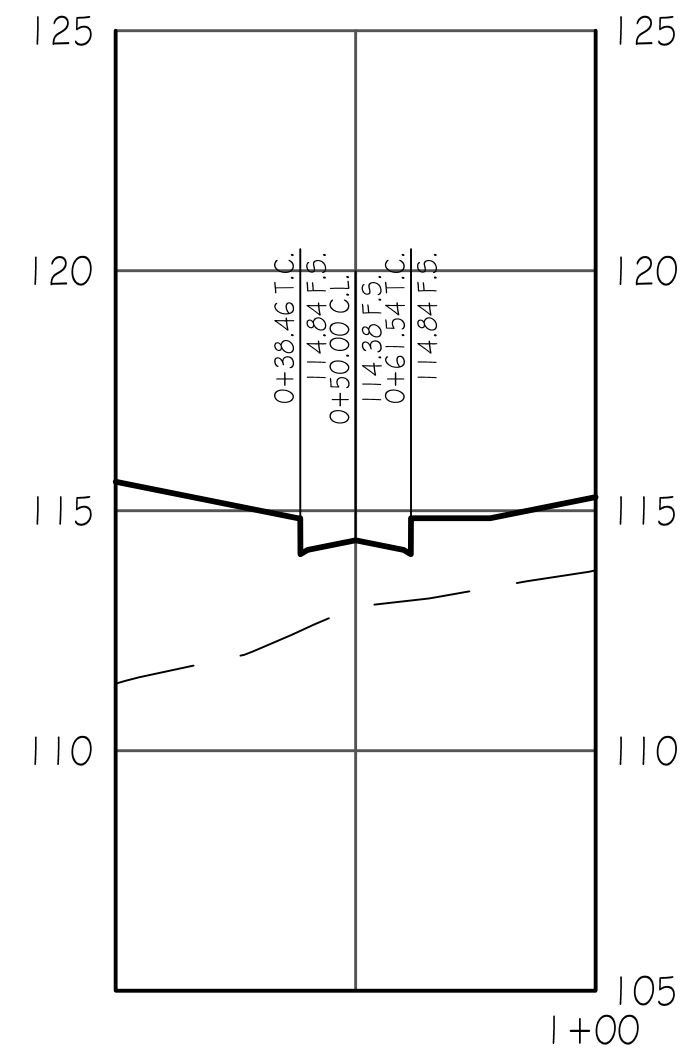
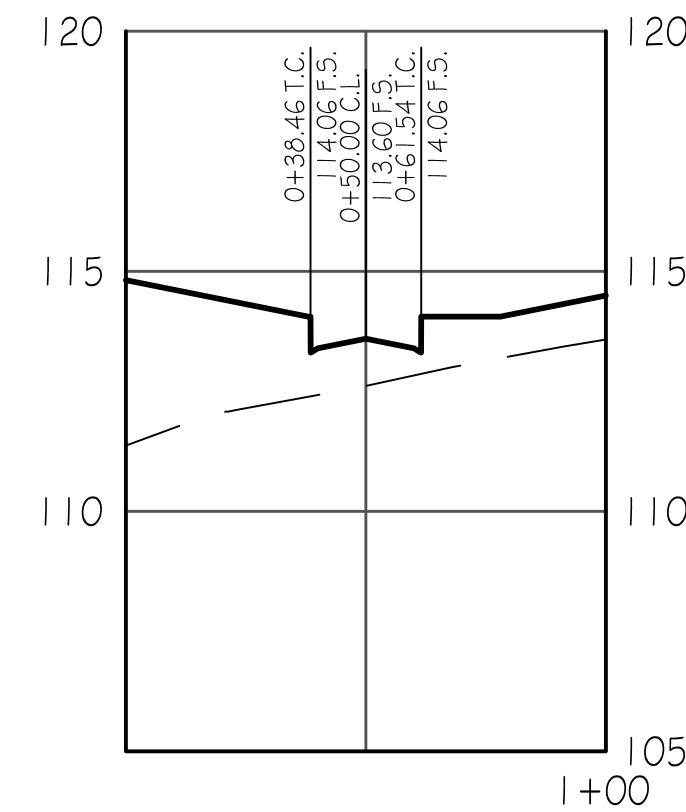
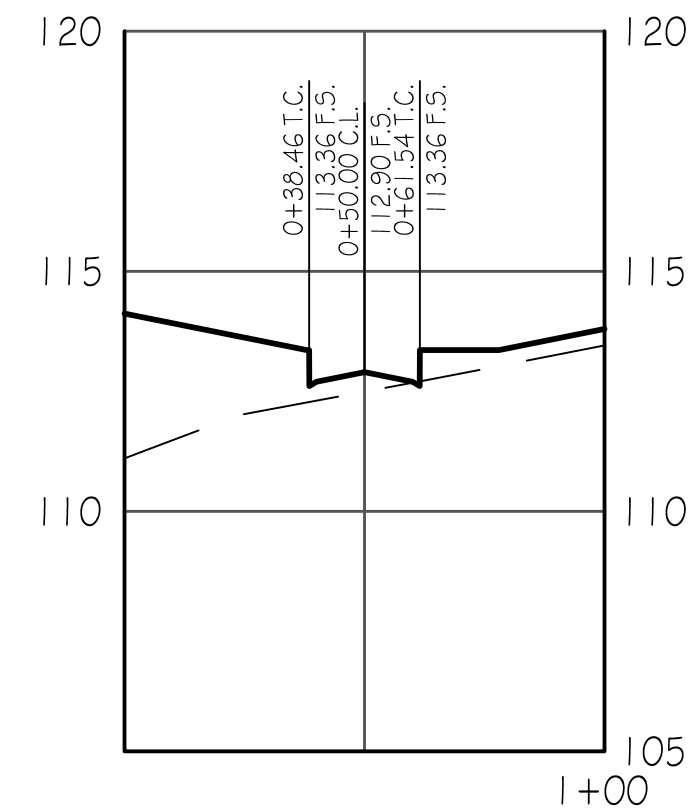
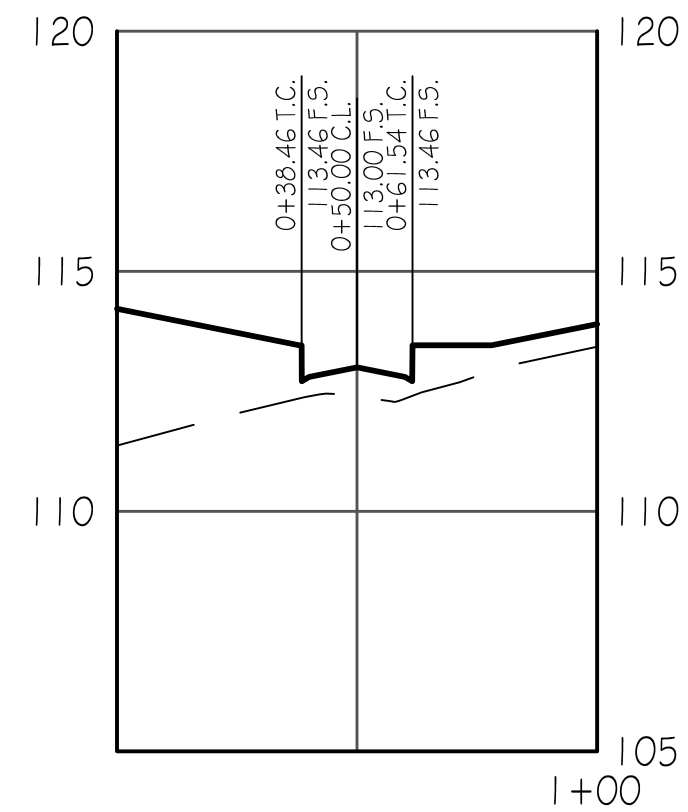
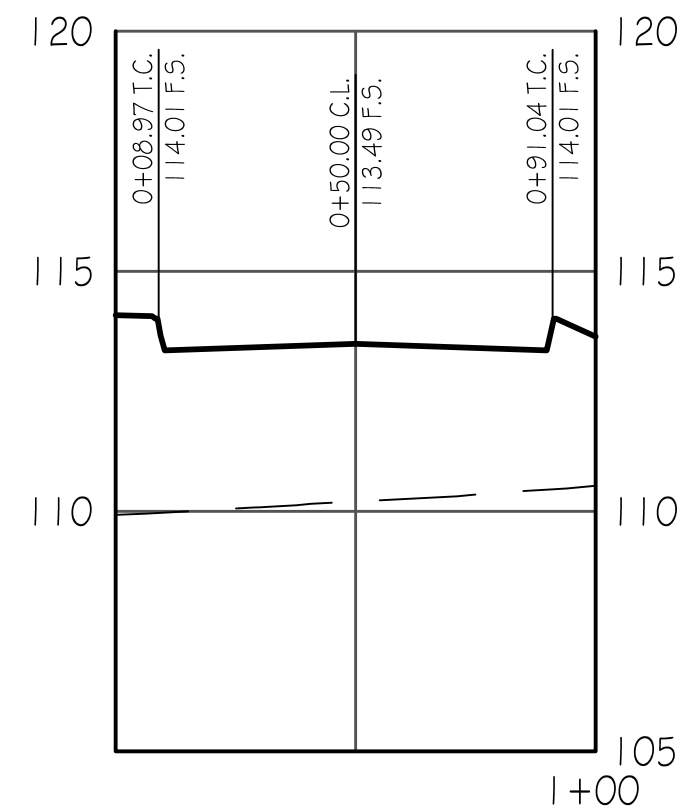


CAROL CHADWICK, P.E.
 REGISTERED PROFESSIONAL ENGINEER
 STATE OF FLORIDA
 No. 12589
 452 COMMERCE DRIVE
 SUITE 130
 LAKE CITY, FL 32025
 PHONE: 351-2000
 FAX: 351-967-4870

PROJECT: COTTAGES AT THE PRESERVE
 ROAD & UTILITY PLAN & PROFILE
 DATE: 06/15/2023
 SHEET: 9 OF 10

SCALE 1"=40'
 (1/2 SIZE SCALE 1"=80')

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COTTAGES AT THE PRESERVE
 ROAD CROSS-SECTIONS
 & DETAILS

PROJECT NO. 21-1357
 DATE: JUNE 16, 2023
 SHEET NO. 10 OF 10

ENGINEER: CAROL CHADWICK, P.E.
 4520 COMMERCIAL DRIVE
 SUITE 130
 LAKE CITY, FL 32025
 PHONE: 407-877-1000
 FAX: 407-877-4870

PROFESSIONAL SEAL
 STATE OF FLORIDA
 ENGINEERING
 No. 12589
 EXPIRES 12/31/2024

DATE PLOTTED: 6/16/23 10:54 AM
 PLOT SCALE: 1" = 10'

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