

**FOR SALE OR LEASE**

±42,210 SF

Industrial Building



**1.3 AC of Expansion  
Space/Outdoor Storage**

**1600 N 89th Street  
Fairview Heights, IL 62208**

**CONTACT US**

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# Property Overview

|                        |                                                  |
|------------------------|--------------------------------------------------|
| Address:               | 1600 N 89th Street<br>Fairview Heights, IL 62208 |
| Building Size:         | ±42,210 SF                                       |
| Warehouse Area:        | ±38,450 SF                                       |
| Office Area:           | ±1,800 SF                                        |
| Freezer/Cooler Area:   | ±2,260 SF                                        |
| Main Lot Size:         | ±3.45 AC                                         |
| Excess Land:           | ±4.23 AC                                         |
| Dock Doors:            | 8                                                |
| Year Built:            | 1972                                             |
| Renovations/Expansion: | 1990                                             |
| Roof:                  | Replaced and repaired in 2004                    |
| Power:                 | 400 AMP and 200 AMP, 3-phase main panels         |
| Accessibility:         | Nearby access to Interstates 255 and 64          |

## ASKING PRICE:

**\$3,376,800** (\$80.00 PSF)

## LEASE RATE:

**\$6.25 PSF, NNN**

Click to view





## PARCEL INFORMATION

1

**±3.45 Acres**

Zoning: B-3 (Planned Business District)

2

**±1.25 Acres**

Zoning: R-3 (Single Family Residential)  
(Steeply sloped, wooded terrain)

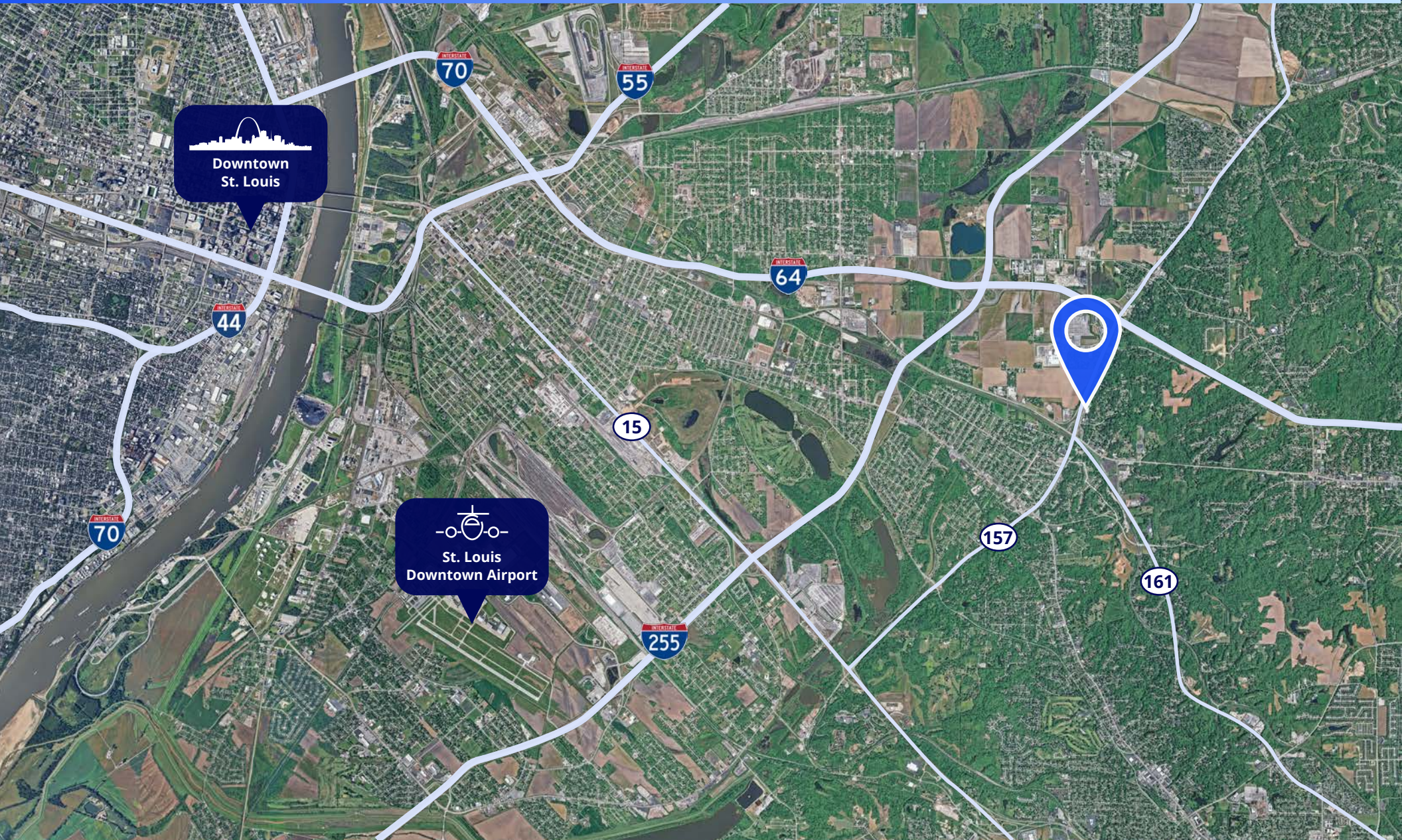
3

**±2.98 Acres**

Zoning: R-3 (Single Family Residential)  
(Steeply sloped, wooded terrain)

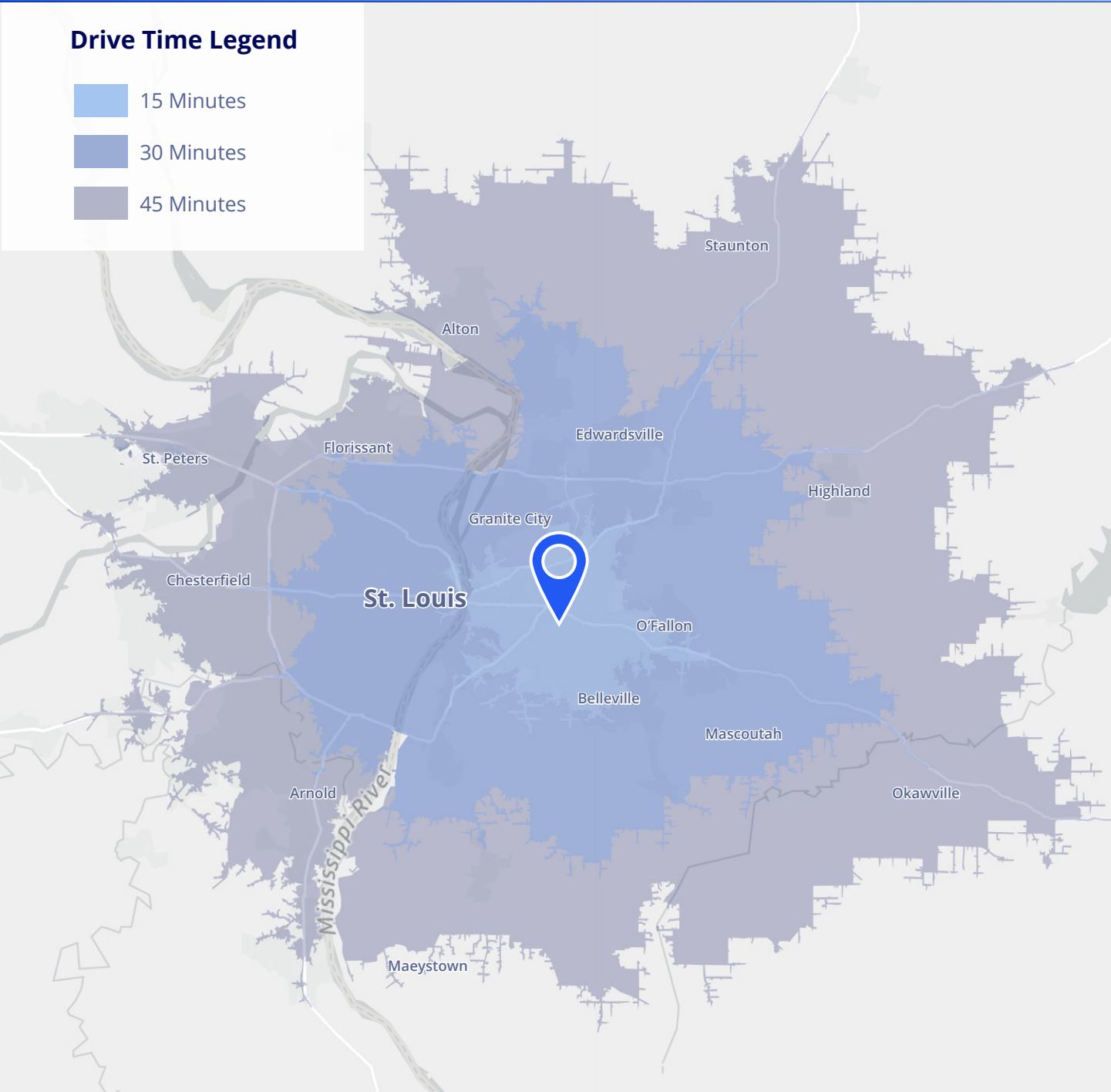
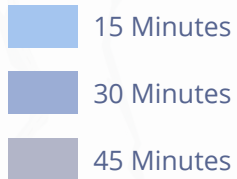
# LOCATION SUMMARY

Located in the heart of the Metro East industrial corridor, 1600 N 89th Street offers excellent regional connectivity with nearby access to Interstates 64, 70, 55, and 255, providing efficient distribution routes throughout the St. Louis metropolitan area and the Midwest. The property is just **minutes from Downtown St. Louis**, approximately **8 miles from St. Louis Downtown Airport**, and offers convenient access to major logistics hubs, manufacturing centers, and population bases throughout Illinois and Missouri.



# WORKFORCE OVERVIEW

## Drive Time Legend



The Fairview Heights location benefits from a strong labor pool, drawing employees from surrounding communities including Belleville, O'Fallon, Edwardsville, Granite City, and the greater St. Louis region.



## Number of Employees

| Drive Time | Employees |
|------------|-----------|
| 15 Mins    | 113,217   |
| 30 Mins    | 644,342   |
| 45 Mins    | 1,146,518 |



## Blue Collar %

| Drive Time | Percentage |
|------------|------------|
| 15 Mins    | 25.1%      |
| 30 Mins    | 17.3%      |
| 45 Mins    | 17.6%      |

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